



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, July 15, 2025
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so."

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of June 17, 2025
3. Consideration and possible action on Permitted Uses and Plans.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Public Hearing and discussion and possible action on a Conditional Use Permit for a Caretta Senior Housing facility located at N63W24103 Main Street on the parcels identified by Tax Key Numbers 249.992 and 249.991.001
 - b. Public Hearing and discussion and possible action on a Conditional Use Permit for a Tommy's Car Wash located at W249N648 State Highway 164.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. Discussion and possible action on a recommendation to the Village Board to adopt an Ordinance to repeal and recreate Section 17.0506(A)(5)(b) regarding equipment rental uses as a Conditional Use in the B-3 District and BP-1 Business Park Zoning District.
 - b. Discussion and possible action on a sign permit package for Scooter's Coffee located at the southwest corner of Business Dr and State Highway 164 and identified by Tax Key Number 0273999009 in the BP-1 Business Park District.
 - c. Discussion and possible action on a Resolution and recommendation to the Village Board to adopt an Ordinance to amend the Land Use component of the Comprehensive Plan for the property identified by Tax Key Number 227.036 from the Open Land Land Use Classification to the Single Family Attached and

Two Family Residential, Recreational, and Secondary Environmental Corridor Land Use Classifications.

- d. Discussion and possible action on a recommendation to the Village Board to adopt an Ordinance to Rezone the property identified by Tax Key Number 227.036 from the A-1 Agricultural Zoning District to the SFRD-3 Single Family Attached, P-1 Park, and P-2 Park with an Isolated Natural Resource Area Overlay and amend the PDO Planned Overlay.
 - e. Discussion and possible action on a waiver from Section 18.0811(C) regarding the burying of utilities associated with the development of the property located at Silver Spring Dr and Town Line Rd.
 - f. Update from Village on the Wildflower Subdivision development.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**VILLAGE OF SUSSEX
PLAN COMMISSION
6:30PM TUESDAY, JUNE 17, 2025
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:37pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Commissioners Jim Muckerheide, Kasey Fluet, Roger Johnson, Trustee Greg Zoellick, and Village President Anthony LeDonne

Members absent: Commissioners Mike Knapp and Debbie Anderson

Others present: Village Administrator Jeremy Smith, Community Development Director Gabe Gilbertson, Village Attorney John Macy, Village Engineer Judy Neu, Village Clerk Jennifer Boehm, applicants, and members of the public.

A quorum of the Village Board was not present at the meeting.

Consideration and possible action to approve the minutes for the Plan Commission meeting of May 20, 2025.

A motion by Johnson, seconded by Fluet to approve the minutes of the Plan Commission meeting of May 20, 2025.

Motion carried 5-0

Consideration and possible action on a Plan of Operation, site plan, landscape plan, architecture plan, and lighting plan for Scooter's Coffee located at the southwest corner of Business Dr and State Highway 164 and corresponding CSM.

Michael Leidig, 1250 Centennial Centre Blvd, Hobart was present and available for questions. He gave a brief description of Scooter's operations and business hours.

Mark Lake from Wangard, 1200 N Mayfair Rd was present and available for questions. He addressed commissioners' questions regarding access to the adjacent property to the south through the easement on Scooter's property.

A motion by Johnson, seconded by Zoellick to approve of the Plan of Operation, site plan, landscape plan, architecture plan, and lighting plan for a building expansion for Scooters Coffee located at Southwest corner of Business Drive and STH 164 and the CSM dividing parcel SUXV0273999009, subject to standard conditions of Exhibit A, and the following conditions:

1. Review and approval by the Architectural Review Board and any conditions added following their review.

2. Compliance with the comments and conditions of the Engineering Department in the memo dated May 28, 2025 (CSM) and May 29, 2025 (plans).
 - a. The proposed access drive shown on the submitted site plans shall either be excluded from the CSM and be located on a separate parcel or the access drive completed to the south property line. The submitted site plans or CSM shall be revised to reflect this.
3. Compliance with the comments and conditions of the Community Development Department in the memo dated May 28, 2025.
4. Submitting a revised utilities plan that extends utilities past the edge of pavement in the private drive that would service the property to the south.

Motion carried 5-0

Consideration and possible action on a Plan of Operation, site plan, landscape plan, architecture plan, signage and lighting plan for Culver's restaurant located at W249N6424 State Highway 164 and corresponding CSM.

Chris McGuire, 1209 Joseph Street, Dodgeville was present and available for questions. He indicated that they would be able to meet the window/door requirements.

Jordan Tastad, 1722 N Mohawk St, Chicago IL was present and available for questions. He indicated that there was a comprehensive traffic study and that the anticipated traffic flow meets all of the DOT requirements and recommendations.

Commissioner Muckerheide expressed concerns about traffic congestion out of the parking lot for patrons to go southbound.

Commissioner Johnson requested clear signage to direct southbound traffic exiting Culver's away from Hwy 164 and onto Freiheit Ct.

A motion by Johnson, seconded by Zoellick to approve of the Plan of Operation, site plan, landscape plan, architecture plan, signage plan with 3 wall signs and lighting plan for Culvers located at W249N6424 State Highway 164 and the CSM for SUXV 0231989008 and 0231989006, subject to standard conditions of Exhibit A, the following conditions:

1. Review and approval by the Architectural Review Board and any conditions added following their review.
2. Compliance with any comments and conditions of the Engineering Department in the memo dated May 14, 2025 (plans) and any comments and conditions following the Village's review of the CSM.
3. Submitting a revised site plan with details for amount of greenspace.
4. Light fixture mounting height shall not exceed 25'.
5. Submitting revised elevations for the west side that meets the minimum 33% window and door opening requirements.

And the 6th condition of adding additional signage to the parking lot subject to review by the Village Engineer.

Motion carried 4-1

Discussion and possible action on a Conditional Use Permit for a Tommy's Car Wash located at W249N648 State Highway 164.

Chris McGuire, 1209 Joseph Street, Dodgeville was present and available for questions.

Jordan Tastad, 1722 N Mohawk St, Chicago IL was present and available for questions.

Commissioner Muckerheide would like to know if a carwash has to be profitable.

The commissioners request to have a representative from Waukesha County present to answer questions regarding traffic flow.

A motion by Zoellick, seconded by Muckerheide to schedule the public hearing for the July 15, 2025 meeting.

Motion carried 5-0

Discussion and possible action on a Conditional Use Permit for a Caretta Senior Housing facility located at N63W24103 Main Street on the parcels identified by Tax Key Numbers 249.992 and 249.991.001

Commissioners would like the petitioner to answer the following questions at the Public Hearing:

- How will the entry and exit from Main Street affect visibility of traffic on Main Street?
- What are the setbacks from adjoining property lines?
- Are parking spots on Main Street needed?
- Capacity?
- How it relates back to Downtown plan?
- Employee count per shift?
- Resident population in Senior living, assisted living, Memory Care?
- Specifics regarding the impact of Senior Living on Emergency Services.
- Potential Impact?
- How many ambulance calls per day?
- How are they protecting the neighboring houses re. landscaping, buffering, visual screening.
- What has been the impact on neighboring homes from the other Senior Living facilities since The Mills and The Courtyard were built?
- Address the access road from The Mills westbound to this property.

A motion by Zoellick, seconded by Muckerheide to schedule the public hearing for the July 15, 2025 meeting.

Motion carried 5-0

Discussion and possible action on a Conditional Use Permit amendment for Quick Corners gas station for installation and operation of a bar inside the convenience store located at W232N6116 Waukesha Ave.

The petitioner was present and available for questions.

Village Attorney Macy informed the committee that State Statute does not allow the Village to issue the combination of Alcohol license that they are requesting.

The petitioner was advised that they could bring back the request for staff to review.

A motion by Fluet, seconded by Zoellick to not schedule a public hearing.

Motion carried 5-0

Discussion and possible action on a recommendation to the Village Board to adopt an Ordinance to repeal and recreate Section 17.0435(B) regarding the minimum area requirement for a residential Planned Development Overlay District.

A motion by Johnson to recommend the Village Board adopt an Ordinance to repeal and recreate Section 17.0435(B) regarding the minimum area requirement for a residential Planned Development Overlay District. The motion failed for lack of a second.

A motion by Fluet seconded by Muckerheide to recommend to the Village Board not to approve an Ordinance to repeal and recreate Section 17.0435(B) regarding the minimum area requirement for a residential Planned Development Overlay District.

Motion carried 4-1

Other Items for Future Discussion

Village Engineer Neu gave an update on the Wildflower development.

Adjournment

A motion by Zoellick, seconded by Muckerheide to adjourn the meeting at 8:01 pm.

Motion carried 5-0

Respectfully submitted,
Jennifer Boehm
Village Clerk



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MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of July 15, 2025
DATE: July 12, 2025

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. **Minutes of the Plan Commission meeting of June 17, 2025.**
03. **Consideration and possible action on Permitted Uses and Site Plans.**
04. **Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans.**
 - A. **Public Hearing and discussion and possible action on a Conditional Use Permit for a Caretta Senior Housing facility located at N63W24103 Main Street on the parcels identified by Tax Key Numbers 249.992 and 249.991.001**

Caretta Senior Living is proposing a senior living facility on Main Street, west of Maple Avenue. The site is zoned B-4 Central Mixed Use and a senior living facility is a conditional use permit under Section 17.0506(B)(3) of the Municipal Code. The proposed facility would have 79 units and is under the density requirements allowed for the B-4 Central Mixed Use Zoning District.

The Code allows for a parking ratio of .5 parking stalls per unit for senior facilities in the B-4 Central Mixed Use Zoning District for a total of 38 parking stalls. The submitted plans are proposing a total of 48 parking stalls and would meet the minimum number of stalls required.

The Petitioner will need to prove the standards/conditions found in the Conditional Use section of the Zoning Code during the Public Hearing process. These standards/conditions are attached to this memo. This is the basis from which the Plan Commission must make their determination.

Policy Question:

1. Are there any concerns with the Conditional Use or Plan of Operation?

2. Are there any concerns from the public hearing the Board wants added to the Conditional Use document?

Action Items:

1. Direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the August 20, 2025 Plan Commission meeting.

Staff Recommendation: Staff recommends the Plan Commission direct Staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the August 20, 2025 Plan Commission meeting.

B. Public Hearing and discussion and possible action on a Conditional Use Permit for a Tommy's Car Wash located at W249N6438 State Highway 164.

The subject property is zoned B-2 Regional Business District and is located directly south of the Dunkin Donuts and Baskin Robin's on State Highway 164. The land is currently vacant and the applicant is proposing to construct a Tommy's Carwash. Section 17.0506(9)(A)(1) requires a Conditional Use Permit for vehicle washing in the B-2 Regional Business District.

The Code requires one stall per employee on the largest shift and according to the application, the largest shift would have 8 employees. The site plan is providing 10 parking stalls. The Code requires space for up to 4 vehicles in cue for the car wash and 2 vacuum stations. The submitted site plan exceeds the minimum number of cueing spaces and vacuum stations.

The Petitioner will need to prove the standards/conditions found in the Conditional Use section of the Zoning Code during the Public Hearing process. These standards/conditions are attached to this memo.

Policy Question:

1. Are there any concerns with the Conditional Use or Plan of Operation?
2. Are there any concerns from the public hearing the Board wants added to the Conditional Use document?

Action Items:

1. Direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the August 20, 2025 Plan Commission meeting.

Staff Recommendation: Staff recommends the Plan Commission direct Staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the August 20, 2025 Plan Commission meeting.

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.

A. Discussion and possible action on a recommendation to the Village Board to adopt an Ordinance to repeal and recreate Section 17.0506(A)(5)(b) regarding equipment rental uses as a Conditional Use in the BP-1 Business Park Zoning District.

A request was submitted to amend Section 17.0506(A)(5)(b) of the Municipal Code to allow for equipment rental type uses as a Conditional Use Permit in the BP-1 Business Park District. The Code currently allows this type of use as a Conditional Use Permit in the B-3 Highway Business District only.

Policy Question:

1. Are there any concerns with the proposed text amendments?

Action Items:

1. Make a recommendation to the Village Board to act on the text amendment Ordinance.

Staff Recommendation: Staff recommends the Plan Commission discuss the proposed text amendment and make a recommendation to the Village Board to adopt or deny an Ordinance to repeal and recreate Section 17.0506(A)(5)(b) regarding equipment rental uses as a Conditional Use in the BP-1 Business Park Zoning District.

B. Consideration and possible action on a sign permit package for Scooters Coffee located at the southwest corner of Business Dr and State Highway 164 in the BP-1 Business Park District.

The Plan Commission approved a Plan of Operation for Scooters Coffee at their June 17, 2025 meeting. The applicant has submitted a sign package for Plan Commission to review.

Section 17.0807(H) of the Municipal Code states that the Plan Commission may permit more than one wall sign per building tenant when such multiple signs are deemed necessary to the orderly development of the building/property in order to provide safe pedestrian and vehicle traffic operation, particularly with building that have more than one street yard. Scooters Coffee submitted a sign packet requesting four wall signs at their new location. The property is visible from three street frontages. The packet also includes proposed ordering menus.

Policy Question:

1. Does the Plan Commission have any concerns with the proposed sign package?

Action Items:

1. Act on the sign request for Scooters Coffee.

Staff Recommendation: Staff recommends the Plan Commission discuss the request and act on the submitted sign package for Scooters Coffee located on the southwest corner of Business Dr and State Highway 164.

C. Consideration and possible action on a Resolution and recommendation to the Village Board to adopt an Ordinance to amend the Land Use component of the Comprehensive Plan for the property identified by Tax Key Number 227.036 from the Open Land Land Use Classification to the Single Family Attached and Two Family Residential, Recreational, and Secondary Environmental Corridor Land Use Classifications.

The property owner has applied to amend the Land Use component of the Comprehensive Plan from Open Land to Single Family Attached and Two Family Residential, Recreational, and Secondary Environmental Corridor Land Use Classifications. The property owner previously applied to amend the Land Use and Rezone the subject property to accommodate a senior living facility. That request was ultimately denied. The owner is now looking to proceed with a development that would be consistent with the existing developments in the subdivision.

Policy Question:

Are there any concerns with the proposed Land Use Amendment?

Action Items:

Act on a Resolution recommending the Village Board to adopt an Ordinance to amend the Land Use component of the Comprehensive Plan.

Staff Recommendation: Staff recommends the Plan Commission adopt a Resolution recommending the Village Board adopt an Ordinance to amend the Land Use component of the Comprehensive Plan for the property identified by Tax Key Number 227.036 from the Open Land Land Use Classification to the Single Family Attached and Two Family Residential, Recreational, and Secondary Environmental Corridor Land Use Classifications.

D. Consideration and possible action on a recommendation to the Village Board to adopt an Ordinance to Rezone the property identified by Tax Key Number 227.036 from the A-1 Agricultural Zoning District to the SFRD-3 Single Family Attached, P-1 Park, and P-2 Park with an Isolated Natural Resource Area Overlay and amend the PDO Planned Overlay.

The property owner as applied to rezone the subject property from the A-1 Agricultural Zoning District to the SFRD-3 Single Family Attached, P-1 Park, and P-2 Park with an Isolated Natural Resource Area Overlay. The existing PDO Planned Development Overlay Ordinance will also be amended to update Section 2(3)(B) and (C) to include the new townhomes and incorporate a new layout map as part of Exhibit B of the Ordinance.

Policy Question:

Are there any concerns with the proposed Rezoning?

Action Items:

Make a recommendation to the Village Board to act on the Rezoning Ordinance.

Staff Recommendation: Staff recommends the Plan Commission recommend the Village Board to approve the Ordinance rezoning the property identified by Tax Key Number 227.036 from the A-1 Agricultural Zoning District to the SFRD-3 Single Family Attached, P-1 Park, and P-2 Park with an Isolated Natural Resource Area Overlay and amend the PDO Planned Overlay.

E. Discussion and possible action on a waiver from Section 18.0811(C) regarding the burying of utilities associated with the development of the property located at Silver Spring Dr and Town Line Rd.

Section 18.0811(C) states that all utilities, new and existing overhead, shall be installed underground to serve all lands unless otherwise approved by the Plan Commission by a $\frac{3}{4}$ vote. The Plan Commission and Architectural Review Board approved an approximately 130,000 square foot industrial building at the subject property and the petitioner is requesting the Plan Commission waive this requirement from Chapter 18.

Policy Question:

1. The Plan Commission will need to discuss if they are comfortable granting a waiver from Section 18.0811(C) and allow the existing power lines to remain above ground. Staff has not received waiver requests from other developers.
2. In 2014 the Plan Commission granted a delay in the power burial for Sharp Packaging located to the west of the subject property. Because the County ultimately wants to widen CTH VV and those plans have not been finalized, the location of the burial lines cannot be determined. The Plan Commission allowed for the Sharp Packaging to delay burial of their overhead power lines until such time that CTH VV is widened.

Action Items:

Take action on the waiver request.

Staff Recommendation: Staff recommends the Plan Commission discuss the proposed waiver request and either approve or deny the request to waive the requirements of Section 18.0811(C) to install all new and existing utilities underground.

F. Update from Village on the Wildflower Subdivision development.

06. Other Items for future discussion.

07. Adjournment.



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Lucas Larson Phone # 612-590-0304

E-mail: Lucas@galahaddevelopment.com

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # SUXV0249991001, SUXV0249991002, SUXV0249992

Zoning: Central Mixed Use Business B-4

Address of Tenant Space: _____

1. Name of Business:

Caretta Senior Living Sussex, LLC

Business

7803 Glenroy Road Suite 200 (Local Address TBD - See Tax Keys) Bloomington, MN, 55439

612-590-0304

Address

City, State, Zip

Phone #

lucas@galahaddevelopment.com

Fax #

Email address

2. Business owner contact information:

Contact

Use same info as above

Address

City, State, Zip

Phone #

Fax #

Email address

3. Building/Land owner contact information:

See attached owner contract information document

Contact

Address

City, State, Zip

Phone #

Fax #

Email address

4. Number of Employees/Shifts:

44

3 Daily, 18 employees peak shift (2nd)

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
8am-8pm	8am-8pm	8am-8pm	8am-8pm	8am-8pm	8am-8pm	8am-8pm

6. Is this an extension of an existing operation? No

7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.

8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? Yes Do you need an Outdoor Establishment Permit? No

If yes, explain: We will need to obtain construction plan review and licensing approval from WI DHS and DSPS.

If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? NA

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: _____

11. Dimension of area to be occupied 67,000 Total square footage 67,000

If applicable list square footage according to 1st floor 35,000 2nd floor 16,000 (2nd) + 16,000 (3rd)

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:

Total Number of Parking Spaces 48 Number of spaces needed per code 40 (0.5

stalls/unit elderly housing)

Number of spaces allocated for employee parking 18

Dimensions of parking lot est. 22,000 SF Is parking lot paved? Yes

13. Signage: What type of signage are you proposing for your business?

Monument signage and building signage.

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Lucas Larson

5/30/2025

Name

Date

Manager, Caretta Senior Living Sussex, LLC

Title or Position

I am aware and approve of the business to be operating in the building

owned by Caretta Senior Living Sussex, LLC.

DocuSigned by:

Lucas Larson

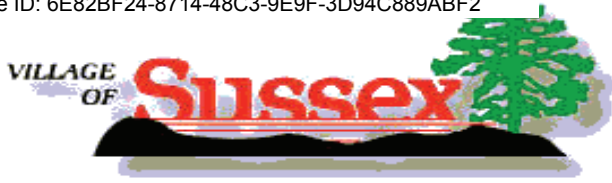
5/30/2025

Name

Date

Manager

Title or Position



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VILLAGE OF SUSSEX PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

7803 Glenroy Road Suite 200 Bloomington, MN 55439

Caretta Senior Living Sussex, LLC

Business Name: Caretta Senior Living Sussex

Name of Owner and Address of the Property involved in the Request (if different from above):

Gordon Caesar / Braden Properties, LLC (Daniel Braden)

Tax Key No. of the Property involved in the Request: SUXV 0249991001, 0249991002 / 0249992

Signed by:

Gordon Caesar

Signature of Property Owner and /or Authorized Agent

Gordon Caesar

5/30/2025

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



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**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

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PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

7803 Glenroy Road Suite 200 Bloomington, MN 55439

Caretta Senior Living Sussex, LLC

Business Name: Caretta Senior Living Sussex

Name of Owner and Address of the Property involved in the Request (if different from above):

Gordon Cesar / Braden Properties, LLC (Daniel Braden)

Tax Key No. of the Property involved in the Request: SUXV 249991011, 49991002 / 0249992

DocuSigned by:

Daniel B. Braden

5/30/2025

Signature of Property Owner and /or Authorized Agent Daniel B. Braden

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Caretta Senior Living Sussex

Address: 7803 Glenroy Road Suite 200 (Local Address TBD - See Tax Keys)

Owner/Operator: Lucas Larson

Standard Industrial Classification #: NA

How many people do you employ? 44

What are your businesses hours of work? 8am-8pm

Who is responsible for water quality? (List job titles)
Facility Maintenance Manager

Time and Duration of Discharge: Throughout the day

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):
79 units, 5 toilet flushes per day, 395 flushes at 1.2 gallons per flush = 474 gallons/day resident usage

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:
Resident and public restrooms

Please list each product your business produces. (Include type, amount and rate of production):
NA

What are the constituents and characteristics of your wastewater?
Human waste

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Caretta Senior Living Sussex
Business Address: TBD - See Tax Keys
Business Phone #: 763-377-1800
Business Email: sussex@caretta-seniorliving.com

Business Emergency Contacts

Name and Phone #: Donna Flaata 763-234-3109
Name and Phone #: Lorien Mueller 612-845-1775
Name and Phone #: Community staff when project is complete
Building Owner Name: Caretta Senior Living Sussex, LLC
Building Owner Email: dflaata@greatlakesmc.com

Building Owner Emergency Contacts

Name and Phone #: Currently the same as above until building opens
Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

Owner Contact Information

Tax Key #: SUXV0249991001, SUXV0249991002

Gordon Caesar

W204N6758 Lannon Road

Menomonee Falls, WI 53051

Tax Key #: SUXV0249992

Branden Properties, LLC

Daniel Braden

3345 Wilshire Road

Brookfield, WI 53045

DBraden@firstweber.com



Caretta Senior Living Sussex Impact Statement – Village of Sussex, WI

The following provides information regarding the impact of Caretta Senior Living Sussex on the immediate neighbors and Village of Sussex at large. This information is based on five other communities operated by Great Lakes Management in Wisconsin.

Caretta Senior Living Sussex would offer studio, one bedroom, and two bedroom apartments, 79 total units, and provide assisted living and memory care services to its residents. The community will hold both an RCAC license and CBRF license with the Wisconsin Department of Health. The facility is staffed 24/7. The facility will feature various amenity spaces including: multiple dining rooms; activity spaces for arts, crafts, baking and fitness; a salon; spa; library; and more. All residents will have access to three high quality scratch-cooked meals per day plus snacks, weekly laundry and housekeeping, programmed activities, utilities, and transportation.

Regarding land use, our proposal lies within the B-4 Central Mixed Use zoning district and Downtown Development Plan area. It would require a conditional use permit due to its housing component. However, since we will be providing senior care, our proposal closely dovetails with several of the currently permitted uses for senior and social services. Two similar buildings already operate on the adjacent lots to the east under the same zoning designation. Moreover, the proposal would feature lower traffic than several of the permitted business and commercial uses.

With respect to density, B-4 zoning allows up to 40 units per acre for elderly housing. Given the total site area of approximately 2.8269 acres, the properties would allow for up to 113 units. At 79 units, the site would be underutilized with respect to density.

Regarding site plan and architecture, the team studied the neighboring homes, village design requirements, and village code to ensure the building fits aesthetically and in terms of height, scale, and massing while taking into consideration the challenging topography of the site. We positioned the three-story assisted living wing of the building on the SE corner of the site to mirror the three-story building next door, and our one-story memory care wing on the west side. The building complies with the 45' height restriction and creates a natural step down in massing toward the single family homes to the west minimizing the perception of scale. We are planning 48 parking stalls, which is as many as we could fit on the site considering the site shape, topography, stormwater, and landscaping constraints. Based on data from our existing communities, up to 28% of RCAC residents will bring cars. The rest of the residents do not have cars. This equates to a need for 13 resident parking stalls. It is estimated that those residents will drive their car 1 to 2 times per



week. Our existing communities have 35 to 53 parking stalls, all of which we deem adequate for our operation.

Vehicular traffic, parking lighting, deliveries, garbage pickup, and emergency usage are contained within the courtyard of the building to mitigate impact on neighbors. Most traffic to the building will come from staff, visitors, and vendors. The building operates in three shifts: 6am-2pm; 2pm-10pm; and 10pm-6am. During peak shift, there will be approximately 18 staff in the building. Guest traffic averages 10 to 12 visitors per day between 8am and 8pm. Trash pickup will average two to three times per week. Food service delivers twice weekly. Business deliveries such as UPS or Amazon will average three times per week. Finally, summer landscaping will occur once per week with snow removal as needed. We also intend to retain as many of the existing trees as possible and add buffer landscaping along the property boundary.

Finally, with respect to EMS other similarly sized Caretta facilities make one or less calls per month. EMS is only called for medical conditions that require emergency room or hospital treatment. We attribute the low usage of EMS to the following:

1. We staff at least one full-time registered nurse (RN) for facility oversight
2. We have an RN Triage Team available to review medical situations after hours. In the event of an emergency, care givers will first contact the Triage Team to determine treatment or medical needs. The Triage Team will review reported incidents and give direction on treatment and next steps.
3. All care givers are trained and certified with DHS WI to provide CBRF-level care in the event of falls. The facility also owns and operates its own lifts and we obtain an insurance policy that includes transfers and lifts by staff. EMS will not be called for basic lifts.
4. If a resident requires a medical evaluation following a non-emergency incident, the family is first called to transport. Secondly, we use non-emergency medical transport companies.
5. Our staffing is determined by individual evaluations of the needs of each resident. This ensures that we have an adequate number of staff to provide care.



Caretta
SENIOR LIVING

ASSISTED LIVING AND MEMORY CARE

Overall, we have done our best to ensure our proposal minimizes the impact on village resources and neighbors while providing a much-needed asset to serve the aging population. We look forward to the opportunity to serve.

Lucas Larson

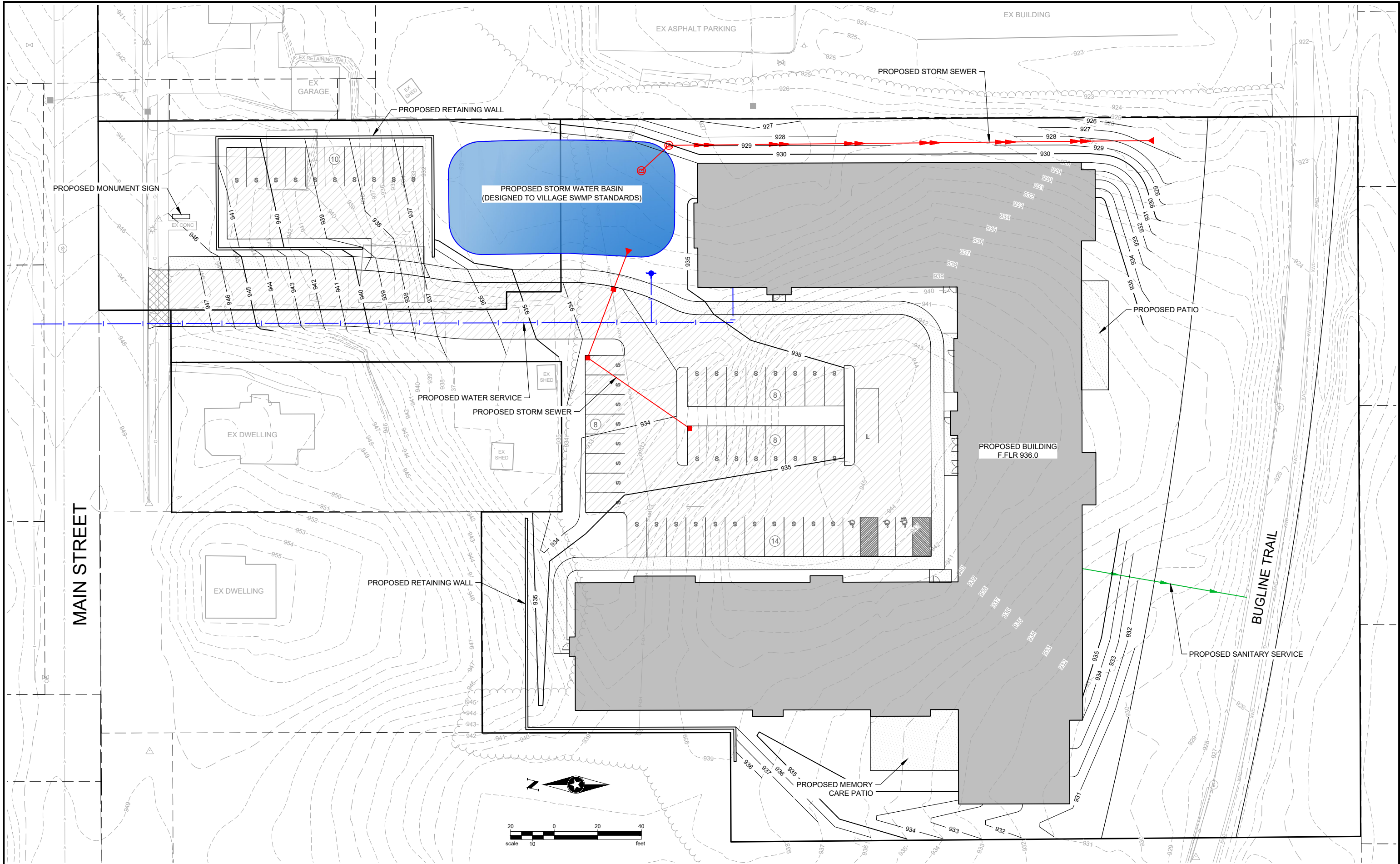
Manager

Caretta Senior Living Sussex, LLC

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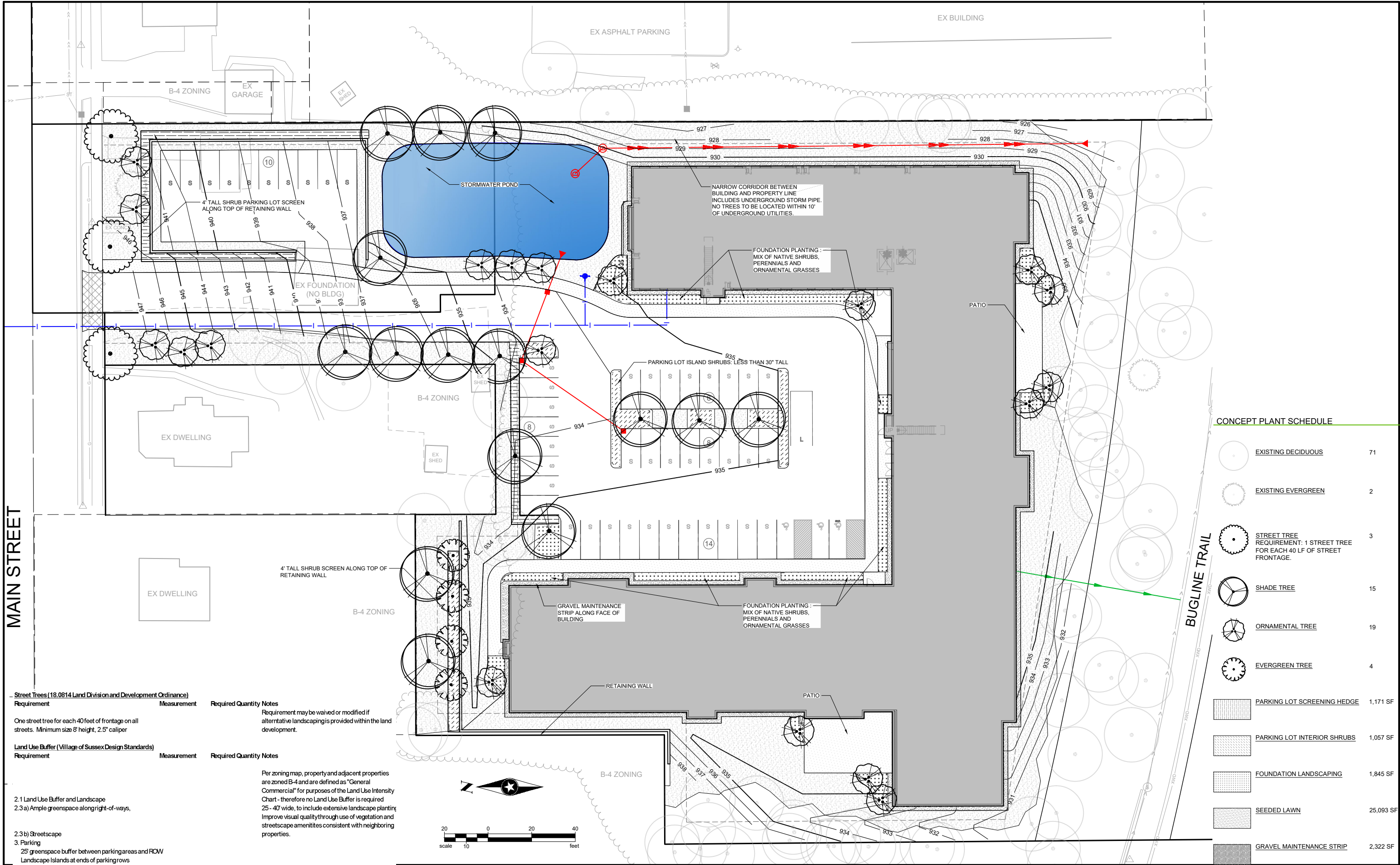


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SEH Project	DORAN_185697	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date		CARETTA SUSSEX - SENIOR LIVING VILLAGE OF SUSSEX, WI	CONCEPT GRADING PLAN	C 3 of 4
Drawn By	PAL										
Designed By	PAL										
Checked By	MAM										

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Street Trees (18.0814 Land Division and Development Ordinance)

Requirement Measurement **Required Quantity Notes**

One street tree for each 40 feet of frontage on all streets. Minimum size 8" height, 2.5" caliper

Land Use Buffer (Village of Sussex Design Standards)

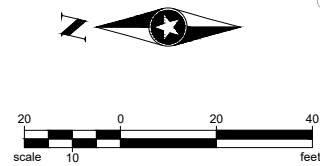
Requirement Measurement **Required Quantity Notes**

2.1 Land Use Buffer and Landscape
2.3a) Ample greenspace along right-of-ways,

2.3b) Streetscape
3. Parking
25' greenspace buffer between parking areas and ROW
Landscape Islands at ends of parking rows

Requirement may be waived or modified if alternative landscaping is provided within the land development.

Per zoning map, property and adjacent properties are zoned B-4 and are defined as "General Commercial" for purposes of the Land Use Intensity Chart - therefore no Land Use Buffer is required 25'-40' wide, to include extensive landscape planting. Improve visual quality through use of vegetation and streetscape amenities consistent with neighboring properties.



SEH Project	DORAN_185697	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	MGW						
Designed By	MGW						
Checked By	-						



CARETTA SUSSEX - SENIOR LIVING
VILLAGE OF SUSSEX, WI

CONCEPT LANDSCAPE PLAN

L 1
of 4



Aerial view looking southwest

5/30/2025

esc

Caretta Senior Living
Village of Sussex, WI

RENDERINGS



View looking south-southwest

5/30/2025

esc

Caretta Senior Living
Village of Sussex, WI

RENDERINGS

The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0419 B-4 Mixed Use District

17.0419**B-4 CENTRAL MIXED USE DISTRICT**

The B-4 Business District is intended to provide for the orderly and appropriate development of the Central Mixed Use District as designated by the Community Development Authority, in conformance with and to implement "The Downtown Design and Development Plan."

- A. It is the specific intent of the B-4 District to:
1. Encourage development of retail, residential, and office uses that are compatible with the historic Village setting in size, scale, and architectural character.
 2. Encourage the retention and restoration of existing buildings, along with the landscaping and design elements that are characteristic of the Village setting.
 3. Provide opportunities for a diversity of commercial uses and a mix of compatible residential uses.
 4. Encourage mixed-use development on larger tracts in order to fully utilize the area of these tracts for the economic benefit of both the Village and the property owner.
 5. Encourage those types of commercial and office uses that do not generate a traffic volume that may lead to congestion.
 6. Encourage consolidation of driveways, parking, and curb cuts to enhance safety and provide more efficient and economical access and parking.
 7. Encourage the creation of connection driveways parallel to Main Street, to the rear of existing and new development, where appropriate, in order to reduce conflicts between downtown commercial traffic and through traffic.
 8. Minimize visual and functional conflicts between residential and non-residential uses within and abutting the district.
- B. Lot Area and Width
Lots shall contain sufficient area and width to implement the "Downtown Design and Development Plan," as determined by the Plan Commission and the Architectural Review Board.
- C. Permitted Uses in the B-4 District
On any lot in the B-4 district, one or a combination of the following uses is permitted:
1. Accommodations and Food Service
 - (a) Hotels and motels
 - (b) Bed and breakfast establishments
 - (c) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
 - (d) Bars
 - (e) Food service contractors and caterers
 2. Arts, Entertainment, and Recreation Services
 - (a) Promoter, agent, and artists offices/studio
 - (b) Theater companies and dinner theaters, dance, musical groups, and performing arts companies.
 - (c) Sports teams, clubs and commercial recreational facilities.
 - (d) Museums, historical sites, zoos, botanical gardens, and marinas
 3. Educational, Health Services, and Social Services

- (a) Fine arts and language schools and studios
 - (b) Sports and recreation instruction
 - (c) Automobile driving school
 - (d) General medical services
 - (e) Vocational rehabilitation services
 - (f) Community food services
 - (g) Religious facilities
 - (h) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
 - (i) Youth, elderly and disability social services and emergency relief services (non-housing) in the B-4 district.
 - (j) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
- (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
 - (b) Financial investment, insurance offices, and similar financial products
 - (d) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
 - (e) Office equipment rental and leasing
5. General Services
- (a) Repair and Maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods.
 - (b) Barber, beauty, nail salons, spa treatment services
 - (c) Personal care and weight loss services
 - (d) Funeral home and funeral services
 - (e) Coin operated laundries and drycleaners
 - (f) Dry cleaning and laundry services (non-industrial)
 - (g) Photo finishing laboratories
 - (h) General business offices
 - (i) Travel and visitor services
 - (j) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)
6. Information Services
- (a) Radio/TV/Cable network, stations, news syndicates excluding towers and dishes

- (b) Telecommunications services
- (c) Motion picture and video production
- (d) Motion picture theaters excluding drive-ins
- (e) Libraries and archives
- (f) Newspaper, printers, paper and software publishers, recording studio record production, telecommunications services and data processing.
- 7. Professional, Technical, Scientific, and Administrative Services
 - (a) Legal, notaries, and title services
 - (b) Accountants, tax preparation, payroll, and other accounting services
 - (c) Architects, landscape architects, engineering, surveying services
 - (d) Interior, industrial, graphic, and fashion design services
 - (e) Consulting/professional services, advertising, management, HR, marketing, IT
 - (f) Research and development facilities (non industrial)
 - (g) Translation and interpretation services
 - (h) Employment placement and provider services
 - (i) Private investigators, locksmiths, security, and armored car services
 - (j) Janitorial services
 - (g) Pest control services
 - (h) Veterinary services
 - (i) Offices of holding companies and regional managing offices
- 8. Public Administration and Government Services
 - (a) Public utility, offices of Federal, State, and Local Governments
 - (b) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 9. Retail Trade
 - (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/package beverage and tobacco stores
 - (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Internet sales shopping/mail order business and vending machine sales
- 10. Manufacturing/Assembly
 - (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.
- 11. Transportation and Warehousing

- (a) Courier, delivery, postal service businesses and U.S. postal Service
- 12. Housing and Mixed Uses
 - (a) Business or professional home offices such as residences of clergymen, architects, landscape architects, professional engineers, real estate agents, artists, teachers, authors, musicians, or persons in other recognized professions used to conduct their professions where the office does not exceed 25 percent of the area of only one (1) floor of the residence and only one (1) nonresident person is employed.
 - (b) Single-family residential detached home and two-family residential dwelling, but only if the use is constructed prior to January 1, 2010. In the event of a disaster these dwellings may be reconstructed.
 - (c) Conversions. A conversion of an existing single family residential detached building into a combination of non-residential and residential uses or all non-residential uses in a single existing building meeting the following requirements:
 - (1) The front facade and front porch of the existing building, if any, shall be preserved and any building addition shall be located to the rear, and shall be compatible with the existing building in size, scale, and building materials unless the Plan Commission with review and recommendation by the architectural review board determines that the particular façade or front porch is not architecturally significant or if the new proposed façade, front porch, or building addition more appropriately meets the design standards of the Village than the existing structures. Stairways, fire escapes, and other structural alterations shall be located to the rear or side of the building.
 - (2) A single-family detached dwelling may be converted to:
 - (a) A maximum of three non-residential uses with no residential uses, or
 - (b) One apartment with up to two non-residential uses.
 - (3) Residential units must meet the minimum size and facility requirements found in Section 17.0506(A)(15)(g).
 - (4) To encourage a business environment that is compatible with the residential character of the Village, conversions to permitted uses in the B-4 Central Mixed Use District shall not be issued without review and approval of the Plan Commission and Architectural Review Board. Said review and approval shall be concerned with general layout, building plans, architectural and façade treatment, ingress and egress, design, parking, loading and unloading, and sign design and landscaping. The Plan Commission and Architectural Review Board shall determine that all proposed development and redevelopment in the B-4 district will serve to implement the "Downtown Design and Development Plan."
 - (d) A permitted or conditional non-residential use is allowed in accessory buildings located to the rear or side of principal buildings, provided that adequate parking is provided and the

- non-residential use is owned or operated by a person or entity legally occupying a portion of the principal building.
- (e) Mixed Use Development. Mixed-use development if it meets the following conditions:
- (1) The project shall be developed under a single development plan with a unified architectural scheme and site plan, to include building facades, street furniture, signs, lighting standards, parking, driveways and pedestrian circulation, in conformance with the following requirements:
 - (a) Residential and non-residential uses may be combined on a single parcel in new buildings or a combination of new and existing non-residential building(s).
 - (b) Residential uses on the ground floor of buildings in a mixed use development are allowed if the Plan Commission finds that the overall mixed-use development has sufficient retail/office presence to meet the intent of the Downtown Development and Design Plan.
 - (c) When the mixed use involves a conversion of an existing non-residential building the development must establish and or maintain non-residential uses on the ground level of the building(s) such that the Plan Commission finds that the overall mixed-use development will maintain sufficient non-residential presence to meet the intent of the Downtown Development and Design Plan.
 - (d) On large buildings, variations in facades, canopies, and roof lines to provide contrasts of height, color, texture, and materials are encouraged.
 - (e) Any building facade which is visible from a street or other public place shall be constructed of traditional building materials such as local stone, brick, and wood. The use of these materials on other facades is also encouraged.
 - (2) Pedestrian circulation shall be included in the design of the development, with walkways planned for linkage to an existing or future pedestrian network of sidewalks. New sidewalks shall connect to the Bugline Recreation Trail where appropriate and in accordance with the "Downtown Design and Development Plan."
 - (3) A traffic impact study may be required for any development that, in the opinion of the Architectural Review Board or Plan Commission, may generate a traffic volume that may require special mitigation measures.
 - (4) Residential units in mixed use developments shall at a minimum each have one bedroom, one kitchen, and one bathroom. A one bedroom unit shall be at least 600 square feet in size and a two bedroom or larger unit shall be at least 800 square feet in size.

- (f) Single Family Residential Attached Units, if approved as part of a TIF project plan of the Village.
13. Parking Lots
- (a) Parking Lots without a principal use on the lot are permitted as long as the parking lot supports an adjacent parcels use and is sufficiently screened so as to minimize any impact to any adjacent residential uses.
 - (b) To facilitate traffic circulation:
 - (1) Parking areas for a proposed nonresidential use should be directly connected to nonresidential parking areas on adjacent lots where possible. If a connection cannot be made when the proposed use is constructed, a driveway may be constructed extending to the adjacent property line in a location where a future connection can be made. Cross-easements for access shall be provided where applicable.
 - (2) Driveway access from Main Street or Waukesha Avenue should be limited and shared driveways between abutting lots are encouraged. If only one lot is being developed, a cross-easement to an abutting lot or lots may be offered, and recorded on a plan for the first lot. When such shared driveways are established, no additional driveways shall be permitted to access either lot from Main Street or Waukesha Avenue. Additional driveways may be permitted off a side street or a service street.
 - (c) Shared parking facilities maximize the use of the limited area available for parking within the Central Mixed Use District and should be used wherever possible. When parking facilities are shared, the overall parking requirement may be reduced. The number of residential parking spaces, however, shall not be reduced. It shall be the burden of the applicant to provide documentation that uses sharing parking are complimentary and that the full required number of parking spaces would not be required

D. Permitted Accessory Uses

- 1. Off-street parking and loading. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 2. Detached garages for storage of vehicles used in conjunction with the operation of the principal business or for occupants of the premises.
- 3. Roof-mounted, solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

E. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

F. Dimensional Standards.

The following standards shall apply to all uses:

- 1. Build-to Line: For all construction a build-to line rather than a minimum street yard shall be used. New buildings shall be constructed to a line

formed by the average building setback of the buildings on the adjacent lots on both sides. If no existing buildings are present on the adjacent lots, the average setback of the next nearest buildings on each side shall be used. The build-to line may be adjusted by the Plan Commission if it finds that a change in the build-to line would be consistent with the Downtown Design and Development Plan, and the Design Standards. The build-to line shall not be less than five (5) feet.

2. Side yard: 10 feet on each side, except one or both sideyards may be reduced if the Plan Commission finds that:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction,
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards and the Downtown Design and Development Plan of the Village.
3. Rear yard: 15 feet.
4. Loading docks may be required to be set back a greater distance from the side or rear lot line, as determined by the Plan Commission.
5. Setback from the Bugline Recreation Trail right-of-way: 15 feet.
6. Accessory buildings shall be set back from all property lines at least five (5) feet, except that accessory buildings used for principal uses shall meet all the setback requirements for principal buildings.
7. Maximum height: 45 feet.
8. Minimum shoreyard: No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.
9. Parking lot setbacks:
 - (a) From street right-of-way: The setback of the principal or 25 feet, whichever is less. No parking shall be permitted between the front of the principal building and the street line with the following exception: The Plan Commission may allow up to ten (10) percent of the parking to be in the street yard if it finds that the no street yard parking requirement is unfeasible for the site.
 - (b) From rear property lines: ten (10) feet; except that the Plan Commission may allow a reduction of this requirement to five (5) feet, upon the Architectural Review Board's recommendation of a landscape plan that meets the design standards and intent of the Downtown Design and Development Plan.
 - (c) From side property lines: five (5) feet, however no setback is required if shared parking is used and cross-easements are established.
 - (d) From buildings: five (5) feet.
 - (e) Any parking structure that was constructed prior to the date of the original adoption of the parking lot setback requirements for the B-4 Central Mixed Use District in 1990, that does not meet the current requirements of subsection 17.0419 (F)(9)(a-d), is considered legal non-conforming and does not have to be removed upon performing parking lot restoration work. Extension, expansion, enlargement, reconstruction, substitution, or moving of the parking lot, however, may be subject to said requirements of subsection 17.0419(F)(9)(a-d), as described in

Section 17.0900 of this Zoning Ordinance.

10. Property line buffer: A buffer area landscaped with trees and shrubs meeting the intent of the “Downtown Design and Development Plan” and the Village Design Standards, shall be required along all side and rear property lines. Driveways may not encroach into the buffer area unless the lot is too narrow to permit any other alternative, in the opinion of the Plan Commission, or for the purpose of shared parking or connected parking areas between lots.
- G. Erosion Control
 1. See Chapter 14 of the Village Municipal Code.
- H. Development Design Standards
 1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village’s Smart Growth 2040 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- I. Plans and Specifications to be Submitted to Plan Commission
 1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in the B-4 Central Mixed Use District shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, architectural and facade treatment, ingress and egress, parking, loading and unloading, and sign design and landscaping. The Plan Commission and Architectural Review Board shall determine that all proposed development and redevelopment in the B-4 district will serve to implement the “Downtown Design and Development Plan.”

B. RESIDENTIAL CONDITIONAL USES The following residential and quasi-residential uses shall be conditional uses and may be permitted as specified in this section. Petitioners for conditional uses in the residential section must produce an "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

3. Housing for the Elderly, including community-based residential facilities, rest homes and nursing homes in the Rm-1 and B-4 districts. Elderly housing shall not exceed a density of more than 17.4 dwelling units per acre in the Rm-1 district or more than 22 units per acre in the B-4 district. Upon recommendation of the Architectural Review Board the Plan Commission may reduce the number of required parking spaces for elderly housing in the B-4 district when parking shared with adjacent businesses is provided, however, parking dedicated to the elderly housing use shall not be less than 0.5 parking spaces per dwelling unit.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.
3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.



PAID

216864064

216864063

PLAN OF OPERATION – NEW CONSTRUCTION
PROCEDURE LIST

Project Name _____

Tax Key # _____

Pre-application conference must be arranged with staff. Please contact us at 262-246-5215 prior to submitting application materials.

Submittal checklist:

- _____ Original completed Plan of Operation (Page 1-3)
- _____ Original completed Professional Services Reimbursement, Emergency Contact, Wastewater Discharge Permit and Flood Plain Occupancy
- _____ 3 original size and 3 reduced (11 x 17) copies of Site Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Architectural plans
- _____ 3 original size and 3 reduced (11 x 17) copies of Sign Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Landscape Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Lighting Plan
- _____ Submit plans in PDF format on a disc

The following fees are required at the time of submittal:

- _____ Plan of Operation fee \$175.00
- _____ Conditional Use fee \$210.00
- _____ Plan Review fee \$250.00

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Please make check payable to: Village of Sussex (fees are non refundable)

Deadline for submittals is the last business day of the month for consideration for the next Plan Commission Agenda. (Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda.). Application can be submitted via email to ggilbertson@villagesussex.org.

Contact Name for meetings: Joseph Mayer Phone # Joseph Mayer
E-mail: Joe.Mayer@kimley-horn.com

For office use only:

Met with staff on: _____
Received documents on: _____
Fees received and paid on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on PROPERTY _____

SITE PLAN REVIEW CHECKLIST

This checklist is a guide for developers to have a project reviewed by the Village of Sussex Plan Commission. Before a project can be reviewed by the Plan Commission, initial consultation should be made with staff.

GENERAL INFORMATION

Names and addresses of owner/developer/
designer/engineer
Graphic scale, north arrow
Location sketch
Size of site (gross and net acreage)
Existing zoning, adjacent zoning
Summary of proposed development

EXISTING SITE INFORMATION

Dimensions of site and lot lines
Existing grades
Adjacent property grades and structures
Drainage systems and structures
Natural features
Wetland boundaries
Floodplain elevation and boundaries
Environmental concerns
Roads, curbs, parking lots, pavement areas
Structures (location, size)
Rights-of-way (existing/proposed)
Easements (drainage, utility)
Existing utilities
Benchmark locations and elevations
Location of fences, wells, borings, etc.

ARCHITECTURAL PLANS

Existing building location
Existing building elevations/materials
Proposed use
Proposed floor plans
Square footage
Proposed elevations, building height
Proposed materials and colors (material sample
board
required for new construction)
Details of any special features

PROPOSED SITE PLAN

Grading and spot elevations
Erosion control measures
Stormwater management
Stormwater management design report
General drainage pattern
Swales w/ arrows for direction of flow
Pond design with outfalls
Culverts location/size
Utilities
Sanitary
Water
Stormsewer
Electrical or power generators
Building location (dimension)
Building elevation (finished grade)
Location of proposed signage
Dumpster enclosure details
Setbacks (clearly marked and dimensioned)
Vehicular entrances (dimension to centerline of
nearest intersection)
Streets (dimension and direction for one-ways)
Curve radii
Sidewalks
Parking areas (show striping/spot elevations)
Parking setback from property line
Lot coverage
Square footage total
Impervious surface total %
Green space total %
Percent permitted %
Municipal utility connections
Sanitary sewer (pipe size/elevations)
Water (size, valve location, elevations)
Location of hydrants
Easement for public water mains

LIGHTING PLAN

Major improvements for context
Location/nature of existing fixtures
Location of proposed fixtures
Photometric report (to scale on plan)
Manufactures cut-sheets of all fixtures
Lighting schedule
Key to plan
Number/type of fixtures
Output (wattage)
Installation details as appropriate

The following materials can be reviewed on our website www.villagesussex.org

Design Standards
Chapter 17 & 18
Development Requirements
Downtown Plan
2040 Comprehensive Plan
2040 Land Use Plan

LANDSCAPING PLAN

Landscape plan to be same scale as site plan
Location of driveways, walk ways and sidewalks
Proposed outdoor amenities (benches, decks, gazebos)
Existing vegetation plan
Saved
Destroying
Proposed landscape features (berms, fountains)
Plant list broken down in the following categories
Deciduous trees, names and numbers
Evergreens, names and numbers
Shrubs/flowers, names and numbers
Indicate sizes of plantings

Fire Department Chapter 5

ITEMS SUBMITTED FOR PLAN COMMISSION

Completed Plan of Operation
Required # of copies to be received by established deadline date
Building material sample board
All required fees paid

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.



PLAN OF OPERATION

To be used for a business with new construction.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? _____

OR an amendment to an existing CU? _____

(Conditional Use Permits require a Public Hearing)

Address location of new construction W249N6438 Highway 164, Sussex, WI 53089

Tax Key # SUXV0231989008

Zoning: B-2 Regional Business District

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? No
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? _____
Arcade permit? No
If yes, explain: _____
If yes, please obtain and complete form.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No
If yes, explain: _____

11. Dimensions and levels of all buildings:

	Dimensions	Levels	Square footage
Building 1	<u>40' x 130'</u>	<u>1</u>	<u>5,484sf GROSS</u>
Building 2	_____	_____	_____
Building 3	_____	_____	_____

Is the building(s) to be used for multi-tenant purpose? No

12.	Lot size	Depth	Width	Area
	<u>1.64 AC</u>	<u>242'</u>	<u>470'</u>	<u>1.64 AC</u>

Above to be included on survey

- 13 Parking: Dimensions of parking lot 60' x 260'
Parking lot construction Asphalt & Concrete
Type of screening: Fence _____ or Plantings X (see landscape plan)
Number of spaces needed per code 0 # of spaces for employees _____
Above to be included on site plan

Please provide the following information:

Total square footage of building, new and existing 5,484 s.f.

Total square footage of parking lot, new and existing 15,600 s.f.

14. Signs: Type: Free standing _____ Attached to building _____
Lighted _____ Single or double faced _____

Size _____ Location _____

Above to be included on sign plan

15. What security lighting are you proposing? (Please include on lighting plan)

See Photometric Plan

16. Is there a need for outside storage? NO If yes, explain:

17. Is a Highway access permit needed from the state or County Highway Departments? No

If yes, please attach a copy of the secured permit.

What conditions has the State or County imposed upon your permit?

18. Is there a need for any special type of security fencing? No

If yes, what type? _____

19. What provisions are you making for fire protection? FIRE SPRINKLER AND FIRE ALARM SYSTEMS, DESIGN BY OTHERS. FDC TO BE PROVIDED.

What provisions are your making for a sprinkler system? 6" WATER CONNECTION WILL BE PROVIDED, SPRINKLER DESIGN BY OTHERS

Storage system? NOT INCLUDED, SPRINKLER SYSTEM WILL BE FED BY MUNICIPAL WATER SUPPLY

Hydrant stand pipes? N/A

Is there a fire lane shown on your site plan? No

Explain: _____

20. Surface water drainage facilities and impervious areas, describe and/or include on site plan.

21. Did Wisconsin State Department of Industry Labor and Human Relations approve building plans?

No

If yes, explain: _____

22. Please give a timetable for items to be completed:

Building construction _____

Paving _____

Landscaping _____

Occupancy _____

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position



Information on Flood Plain Occupancy:

Site is located in Zone X per FEMA Floodplain Map 55133C0088H. Based on this map our flood elevation is near 942.4'.

1. What is the flood plain elevation at the site? near 942.4'
2. Is the flood plain construction elevated or flood proofed? Elevated N/A Flood proofed
3. What is the elevation of the lowest floor of the structure? FFE = 947.50'
4. What is the elevation of the land fill surrounding the structure? N/A
5. Does the fill extend beyond the structure? N/A
How far beyond the structure? N/A feet
6. Is dry land access provided? N/A
7. If the structure is flood proofed, what flood proofing measures are used?
N/A
8. Certification of elevation or flood proofing must be provided by a licensed surveyor or registered Engineer.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

06/10/2025

Mr. Gabe Gilbertson
Community Development Director
N64W23760 Main Street
Sussex, WI 53089

**RE: Tommy's of Sussex – Impact Statement
W249 N6438 Hwy 164
Sussex, WI**

Dear Mr. Gilbertson,

Kimley-Horn understands that the proposed Tommy's Carwash development at W249 N6438 Hwy 164 in Sussex, WI will require a conditional use permit. In association with the submittal documents provided to the Village, the applicant offers the following impact statement for Village consideration:

Impact Statement

- **Traffic** – A Traffic Study was prepared by TADI and submitted to the Village as part of the application. The traffic study analyzed how trips generated by this development, as well as the Culver's development adjacent to the project, would impact the surrounding roadway network. Improvements are recommended to limit the Hwy 164/Prospect intersection to ¾ access (no lefts out). Please see the Traffic Study for additional information on traffic mitigation.
- **Parking & Overflow parking** – Sufficient parking for the land use has been provided based on local zoning code as well as tenant demands. The application does not expect overflow parking will be warranted given the surplus provided on site. Please see the site plan provided as part of the Engineering Documents by Kimley-Horn.
- **Noise & Odor**– The project will follow local noise & odor ordinances to mitigate substantial impacts to neighboring properties, which are commercial in nature.
- **Safety & Crime** – Lighting will be provided in accordance with local ordinances to provide a safe environment. The building will be staffed during operating hours for the safety and convenience of its customers.
- **Hours of operation** – The proposed hours of operations are 6am-10pm, 7 days a week. The applicant understands that is consistent with the commercial land use and applicable ordinances.
- **Health and Sanitation** – The proposed development will include municipal water and sanitary services for the building. A utility plan has been provided as part of the Engineering Plans prepared by Kimley-Horn. Public Health and building codes will be implemented as required in both design and operations.

- **Property maintenance** – *The building will be staffed with multiple employees that will monitor the operation and property for maintenance concerns. A trash enclosure has been proposed at the northeast corner of the property for refuse. Please see the site plan as part of the Engineering Plans prepared by Kimley-Horn. An operation and maintenance plan will be implemented for all stormwater management infrastructure on site.*

If you have any questions or require any additional information, please contact me at (630) 487-5563.

Sincerely,

A handwritten signature in black ink that reads "Joe Mayer". The signature is fluid and cursive, with the first name "Joe" and last name "Mayer" clearly distinguishable.

Joe Mayer, P.E.
Kimley-Horn and Associates, Inc.
Phone: (630) 487-5563
Email: joe.mayer@kimley-horn.com

Drawing name: K:\CHL\DEV\168974030_Culver's_Sussex_WI\2 Design\CA0\PlanSheets\Tommy's_Carwash.dwg CO.0 Jun 04, 2025 11:53am by: AnthonyGraziano
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PRELIMINARY ENGINEERING PLANS

TOMMY'S CARWASH

W249N6438 HIGHWAY 164

SUSSEX, WI 53089



UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING & DEVELOPMENT DEPARTMENT
SUSSEX CIVIC CENTER
N64W23760 MAIN ST
SUSSEX, WI 53089
TEL: (262) 246-5215
CONTACT: GABE GILBERTSON
EMAIL: GGILBERTSON@SUSSEXWI.GOV

ENGINEERING DEPARTMENT
SUSSEX CIVIC CENTER
N64W23760 MAIN ST
SUSSEX, WI 53089
TEL: (262) 246-5200
CONTACT: JUDITH A. VEU

SANITARY SEWER SERVICE
SUSSEX WASTEWATER TREATMENT
N59 W 23551 CLOVER DR
SUSSEX, WI 53089
TEL: (262) 246-5200
CONTACT: DUSTIN BECKMAN

STORM SEWER SERVICE
SUSSEX PUBLIC WORKS
N59 W 23525 CLOVER DR
SUSSEX, WI 53089
TEL: (262) 820-3130
CONTACT: SCOTT ASCHER

WATER SERVICE
SUSSEX PUBLIC WORKS
N59 W 23525 CLOVER DR
SUSSEX, WI 53089
TEL: (262) 820-3130
CONTACT: SCOTT ASCHER

ROADWAY AUTHORITY
WISCONSIN DEPARTMENT OF TRANSPORTATION
2019 GOLF RD
PEWAUKEE, WI 53072
TEL: (414) 266-1000

WAUKESHA COUNTY HIGHWAY DEPARTMENT
515 W MORELAND BLVD
WAUKESHA, WI 53188
TEL: (262) 548-7740

POWER COMPANY
WE ENERGIES
PO BOX 2046
MILWAUKEE, WI 53201
TEL: (800) 662-4797

NATURAL GAS COMPANY
WE ENERGIES
PO BOX 2046
MILWAUKEE, WI 53201
TEL: (800) 261-5325

PROJECT TEAM

DEVELOPER
S & L COMPANIES
2651 KIRKING CT
PORTAGE, WI 53901
TEL: (608) 742-2893
CONTACT: JEFF LIEGEL

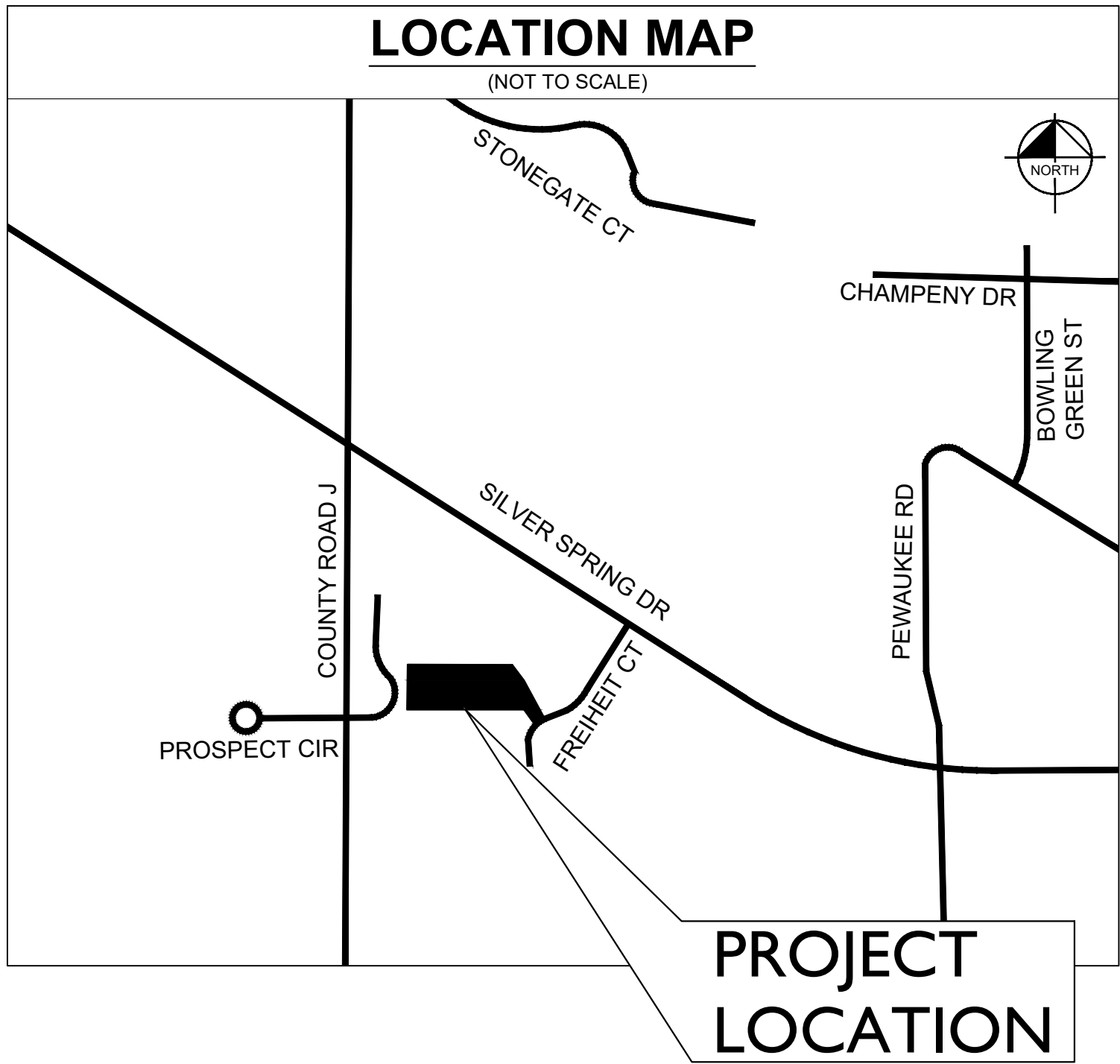
ARCHITECT
OLLMANN ERNEST MARTIN ARCHITECTS
200 S STATE ST
BELVIDERE, IL 61008
TEL: (815) 544-7790
CONTACT: WENDY MARTIN

SURVEYOR
CHAPUT LAND SURVEYS
234 W. FLORIDA ST
MILWAUKEE, WI 53204
TEL: (414) 224-8068
CONTACT: JOHN KONOPACKI

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
111 W. JACKSON BLVD.
CHICAGO, IL 60604
TEL: (630) 487-5550
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: JOE.COGSWELL@KIMLEY-HORN.COM
CONTACT: JOE COGSWELL, P.L.A.

GENERAL CONTRACTOR
MCCON BUILDING CORPORATION
1209 JOSEPH ST
DODGEVILLE, WI 53533
TEL: (608) 930-4545
CONTACT: CHRIS MCGUIRE



BENCHMARKS

REFER TO V0.0 FOR BENCHMARKS LISTED BY LICENSED LAND SURVEYOR

LEGAL DESCRIPTION

REFER TO V0.0 FOR ALTA LAND TITLE AND TOPOGRAPHIC SURVEY LEGAL DESCRIPTION.

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.0	ALTA SURVEY
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL NOTES & DETAILS
C4.0	GRADING & DRAINAGE PLAN
C5.0	UTILITY PLAN

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JOSEPH MAYER, A LICENSED PROFESSIONAL ENGINEER OF WI, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF TOMMY'S CARWASH BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 4TH DAY OF JUNE, A.D., 2025.

JOSEPH MAYER
WI LICENSED PROFESSIONAL ENGINEER 101882-6
MY LICENSE EXPIRES ON 07/31/2026
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

NOT FOR CONSTRUCTION

Kimley»Horn
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
111 WEST JACKSON BOULEVARD, STE 1320
CHICAGO, IL 60604
PHONE: 312-726-9445
WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION



COVER SHEET

TOMMY'S
W249N6424 HIGHWAY 164
SUSSEX, WI 53089

ORIGINAL ISSUE:
04/30/2025
KHA PROJECT NO.
168974030
SHEET NUMBER

C0.0

No. BY DATE

VILLAGE SUBMITTAL

AS NOTED
DESIGNED BY: AMG
DRAWN BY: AMG
CHECKED BY: JPM

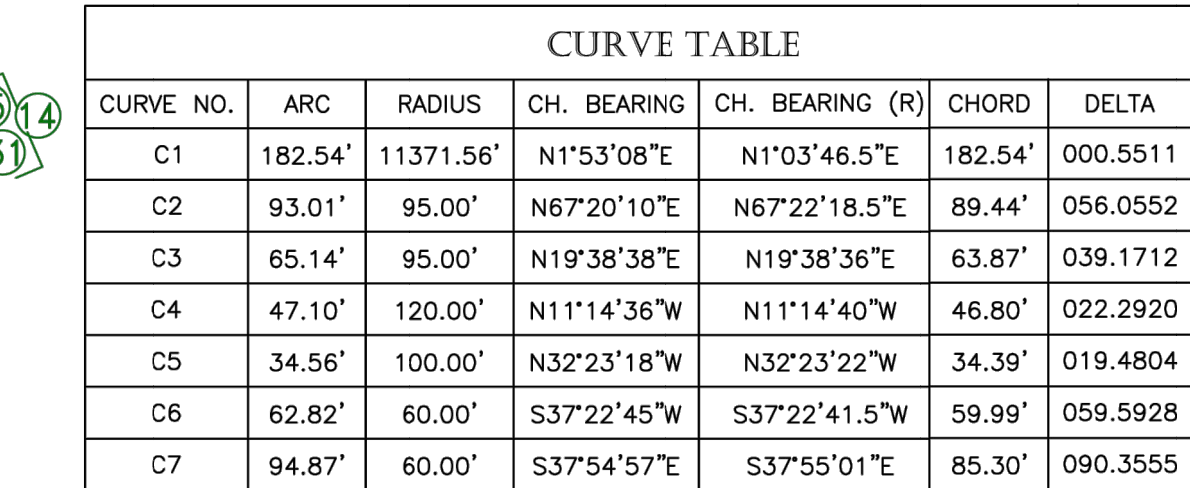
6/3/25

REVISIONS

This survey was prepared based on First American Title Insurance Company National Commercial Services Commitment No. NCS-1256730-MAD, effective date of April 04, 2025 which lists the following easements and/or restrictions from schedule B-II:

2, 3, 5, 12, 34 VISIBLE EVIDENCE SHOWN, IF ANY
1, 4, 6-11, 24, 33 & 35 NOT SURVEY RELATED

13. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 7359 recorded May 13, 1994 in Volume 62, Page 225 as Document No. 1964188 referenced in the legal description contained Reference is hereby made to said plat for particulars. Amended by Surveyor's Affidavit of Correction recorded August 25, 1995 in Reel 2107, Image 1051 as Document No. 2062028. **Affects property by location, shown.**
14. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 11483 recorded August 31, 2016 in Book 114, Page 172 as Document No. 4228086 referenced in the legal description contained Reference is hereby made to said plat for particulars. (Affects Parcel B). **Affects property by location, shown.**
15. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 11349 recorded September 09, 2015 in Book 112, Page 201 as Document No. 4165011 referenced in the legal description contained Reference is hereby made to said plat for particulars. **Affects property by location, shown.**
16. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 12086 recorded November 10, 2020 in Book 123, Page 172 as Document No. 4529044 referenced in the legal description contained Reference is hereby made to said plat for particulars. Amended by Surveyor's Affidavit of Correction recorded January 20, 2021 as Document No. 4549890. **Affects property by location, shown.**
17. Utility Easement to Wisconsin Telephone Company, dated February 25, 1909, recorded/filed April 06, 1911 as Document No. 74794. **Does not affect property by location, not shown.**
18. Utility Easement to Wisconsin Gas and Electric Company, its successors and assigns, dated November 09, 1916, recorded/filed December 02, 1916 as Document Nos. 95508 and 95509. **Does not affect property by location, not shown.**
19. Utility Easement to Wisconsin Gas and Electric Company, dated January 03, 1927, recorded/filed February 04, 1927 as Document No. 148409. Conveyance of Rights in Land recorded January 31, 2006 as Document No. 3357986. **Does not affect property by location, not shown.**
20. An easement as set forth in Conveyance by Individual recorded May 05, 1970 in Volume 1191 of Deeds, Page 210 as Document No. 759633. **Affects property by location, shown.**
21. Utility Easement to Wisconsin Electric Power Company & Wisconsin Telephone Company, their successors and assigns, dated March 05, 1974, recorded/filed April 11, 1974 in Reel 74, Image 272 as Document No. 878077. **Affects property by location, shown.**
22. Memorandum of Restrictive Covenant Agreement recorded March 17, 1997 in Reel 2402, Image 343 as Document No. 2197247. **Does not affect property by location, not shown.**
23. Temporary Limited Easement as set forth in Award of Damages by State of Wisconsin recorded September 13,



To: LSRE Sussex, LLC
First American Title Insurance Company National Commercial Services
U.S. bank National Association

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS LAND TITLE SURVEYS, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 19, and 20(b) of Table A thereof. The fieldwork was completed on MARCH 26, 2025.

Date of Map: May 5, 2025



John P. Konopacki
Professional Land Surveyor
Registration Number S-2461

Date	Revision description	

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor / client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Pinnacle Engineering Group.

DRAFTED BY: KGD **Drawing No. 6431.00**

DRAFTED BY: KGD Drawing No. 6431.00

Parcel A:

Lot 1 of CERTIFIED SURVEY MAP NO. 12086 recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on November 10, 2020, in Book 123 of Certified Survey Maps, Page 172 as Document No. 4529044, and corrected by Surveyor's Affidavit of Correction recorded January 20, 2021 as Document No. 4549890, Said Certified Survey Map being a redivision of Lot 1 of Certified Survey Map No. 11483, Lot 3 of Certified Survey Map No. 11349 and Lot 2 of Certified Survey Map No. 7359, being part of the Southwest 1/4 of the Southwest 1/4 of Section 22, Township 8 North, Range 19 East, in the Village of Sussex, Waukesha County, Wisconsin.

And also an undividable fractional ownership in Outlot 1 of CERTIFIED SURVEY MAP NO. 11349 recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on September 09, 2015, in Book 112 of Certified Survey Maps, Page 201 as Document No. 4165011, Said Certified Survey Map being a redvision of part of Lot 2 of Certified Survey Map No. 7359, and amended by Surveyor's Affidavit of Correction recorded on August 25, 1995, on Reel 2107, Image 1051-1052, as Document No. 2062028, Waukesha County Register of Deeds and being part of the Southwest 1/4 of the Southwest 1/4 of Section 22, Township 8 North, Range 19 East, in the Village of Sussex, Waukesha County, Wisconsin.

Parcel B:

Lot 2 of CERTIFIED SURVEY MAP NO. 11483 recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on August 31, 2016, in Book 114 of Certified Survey Maps, Page 172 as Document No. 4228086, Said Certified Survey Map being a redivision of Lot 3 of Certified Survey Map No. 11349 and being part of the Southwest 1/4 of the Southwest 1/4 of Section 22, Township 8 North, Range 19 East, in the Village of Sussex, Waukesha County, Wisconsin.

And also an undividable fractional ownership in Outlot 1 of CERTIFIED SURVEY MAP NO. 11349 recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on September 09, 2015, in Book 112 of Certified Survey Maps, Page 201 as Document No. 4165011, Said Certified Survey Map being a redivision of part of Lot 2 of Certified Survey Map No. 7359, and amended by Surveyor's Affidavit of Correction recorded on August 25, 1995, on Reel T107, Image 1051-1052, as Document No. 2062028, Waukesha County Register of Deeds and being part of the Southwest 1/4 of the Southwest 1/4 of Section 22, Township 8 North, Range 19 East, in the Village of Sussex, Waukesha County, Wisconsin.

① SANITARY MANHOLE	✂ SIGN	C/L =CENTERLINE	(R) =RECORDED AS
② STORM MANHOLE	✂ MAIL BOX	CONC. =CONCRETE	(D) =DEED AS
③ CLEANOUT	🚩 FLAG POLE	EL. =ELEVATION	(INV.) =INVERT
④ CURB INLET	● BOLLARD	EXT. =EXISTING	MON. =MONUMENT
⑤ STORM INLET	✂ CROSS CUT	SEC. =SECTION	P.O.B. =POINT OF BEGINNING
⑥ CATCH BASIN	✂ IRON PIPE	SQ. FT. =SQUARE FEET	P.O.C. =POINT OF COMMENCEMENT
⑦ LATERAL	● IRON REBAR/ROD	W/ =WITH	R.O.W. =RIGHT OF WAY
⑧ UNKNOWN MANHOLE	✂ MAG NAIL		
⑨ WELL	✂ SECTION MONUMENT		
⑩ HYDRANT	⬢ BENCH MARK		
⑪ WATER VALVE	☀ CONIFER TREE		
⑫ DOWN SPOUT	☀ DECIDUOUS TREE	— W —	— W —
⑬ SPRINKLER VALVE	☀ BUSH	— F —	— F —
⑭ WATER SHUT OFF	🌿 WETLAND SYMBOL	— FO —	— FO —
⑮ FIBER OPTIC MARKER	⚓ STANDPIPE		
⑯ FIBER OPTIC MAN-HOLE/VAULT	⊗ WATER MANHOLE	— T —	— T —
⑰ TELEPHONE PEDESTAL	◀ FLOOD LIGHT	— E —	— E —
⑱ TELEPHONE MAN-HOLE/VAULT	☆ LIGHT POLE	— E —	— E —
⑲ TELEPHONE MARKER	➡ DIRECTIONAL ARROW		
⑳ TRANSFORMER	+ SPOT ELEVATION	— OH —	— OH —
㉑ ELECTRIC METER/PEDESTAL	♿ HANDICAP STALL	— CATV —	
㉒ ELECTRIC MAN-HOLE/VAULT	🗑 DUMPSTER	— CATV —	
㉓ CABLE TV RISER/BOX CABLE	⊙ VENT	— G —	— G —
㉔ TV MANHOLE/VAULT	⊙ UTILITY POLE	— G —	— G —
㉕ GAS VALVE	⊙ GUY WIRE		
㉖ GAS METER	⚡ TRAFFIC SIGNAL POLE		
㉗ GAS MARKER	❄ AIR CONDITIONING UNIT		

CHAPIT

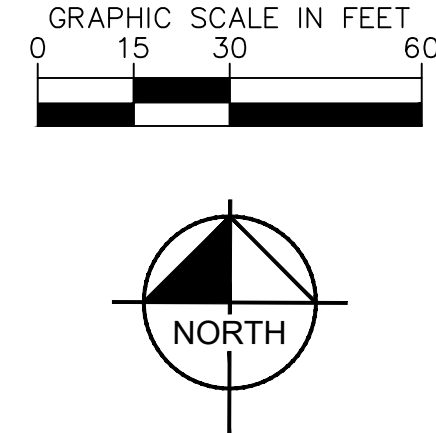
Drawing name: K:\CH\LDV\168974030_Culver's_Sussex_WI\2 Design\CAO\PlanSheets\Tommy's C1.0 - EXISTING CONDITIONS & DEMOLITION PLAN.dwg C1.0 Jun 04, 2025 11:53am By: Anthony Graziano
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DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING WSDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL DIGGERS HOTLINE® (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

- CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
 - COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE WSDOT APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



(800) 242-8511

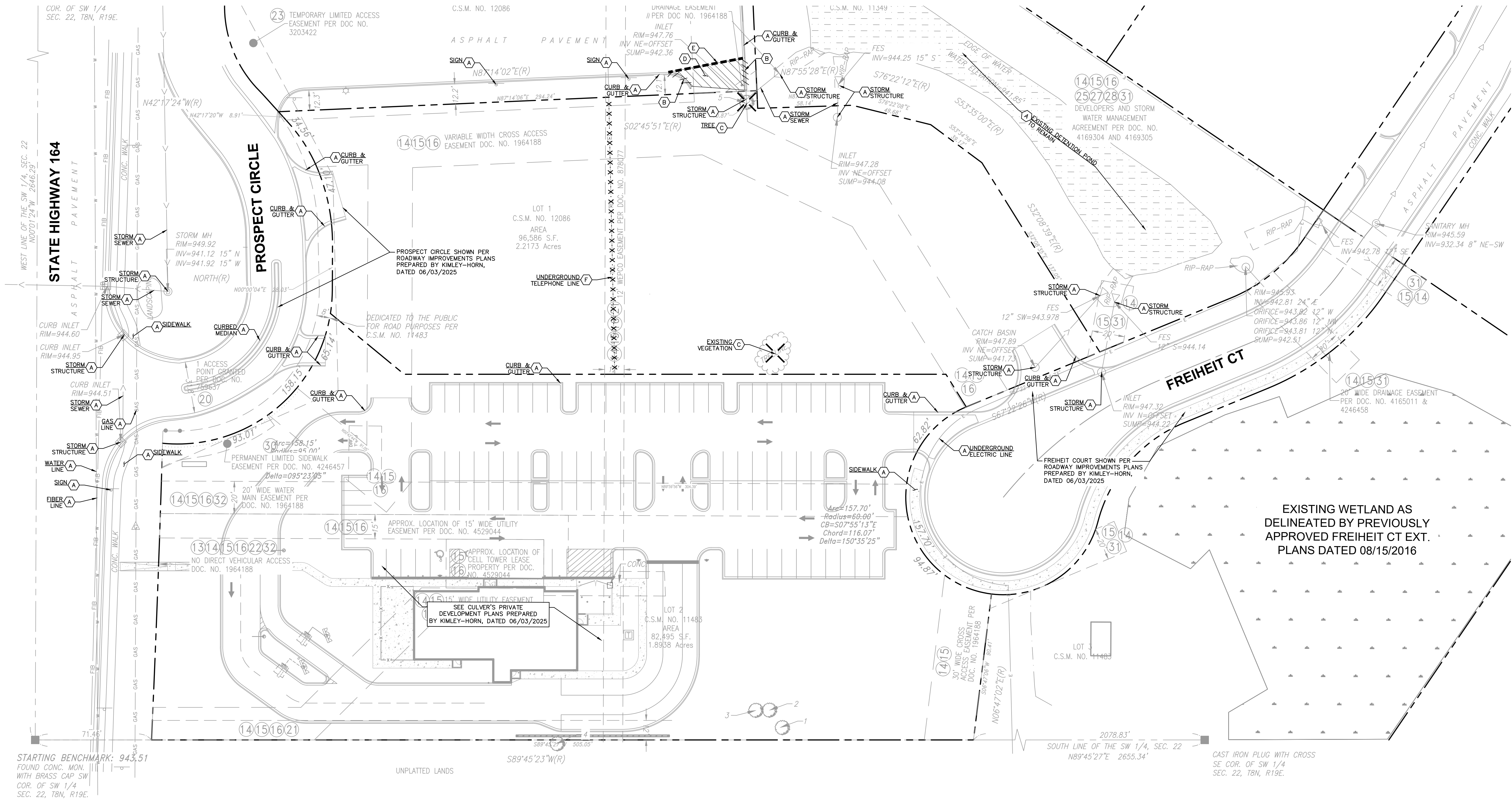
DEMOLITION LEGEND

- (A) ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B) Curb Removal
(C) ITEM TO BE REMOVED
(D) Full-Depth Asphalt Pavement Removal
(E) Sawcut Line
(F) X X X Utility Removal

Tree Number	Diameter	Tree Species	Tree Condition	Single / Multistem
1	19"	Tilia - Basswood / Linden	Good	Multi-Stem
2	30"	Tilia - Basswood / Linden	Good	Multi-Stem
5	8"	Tilia - Basswood / Linden	Good	Single Stem
3	18"	Tilia - Basswood / Linden	Good	Multi-Stem
4	7"	Populus - Poplar	Fair	Single Stem

NOTES

- ADDITIONAL TREES PRESENT ON SITE WERE IDENTIFIED AS EITHER BOX ELDER (*ACER NEGUNDO*), WHICH IS CONSIDERED AN INVASIVE SPECIES, OR TREES HAVING A DBH OF LESS THAN 5". THESE TREES WERE NOT INCLUDED IN TREE COUNT AS PER MUNICIPAL CODE 6.02(8).



Kimley»Horn

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111 WEST JACKSON BOULEVARD, STE 1200
PHONE: 312-728-9445
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SCALE: AS NOTED
DESIGNED BY: AMG
DRAWN BY: AMG
CHECKED BY: JPM

NOT FOR CONSTRUCTION



EXISTING CONDITIONS & DEMOLITION PLAN

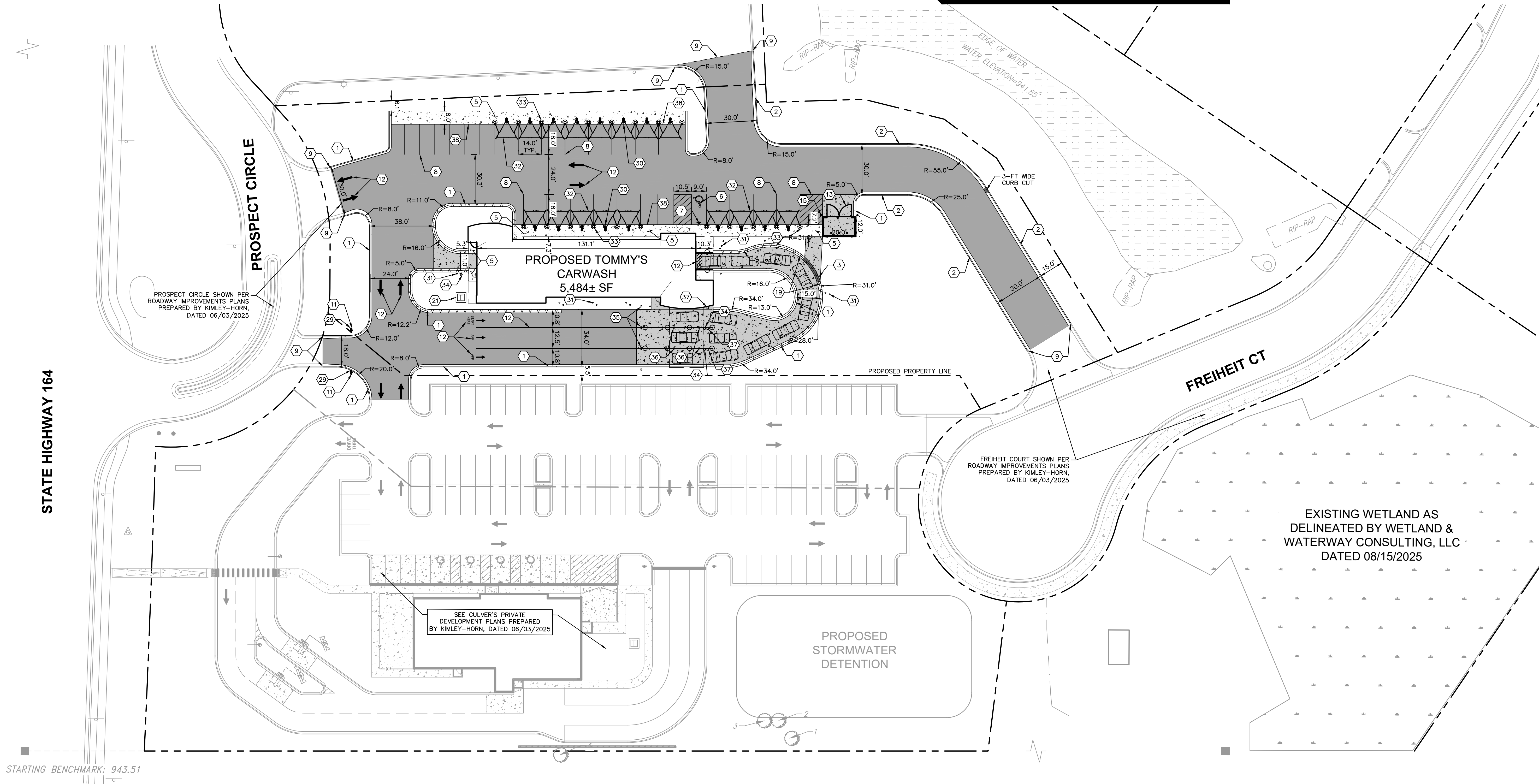
TOMMY'S

W249N6424 HIGHWAY 164
SUSSEX, WI 53089

ORIGINAL ISSUE:
04/30/2025
KHA PROJECT NO.
168974030
SHEET NUMBER

C1.0

Drawing name: K:\CH\DEV\168974030_Culver's_Sussex_WI2 Design\CA0\PlanSheets\Tommy's\Tommy's C2.0 - SITE PLAN.dwg C2.0 Jun 04, 2025 11:54am by: AnthonyGraziano
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KEY NOTES

- 6-INCH CONCRETE CURB & 12-INCH GUTTER, TYP.
- 6-INCH CONCRETE CURB & 24-INCH GUTTER, TYP.
- DEPRESSED CURB
- INTEGRAL CURB AND WALK (AROUND BUILDING) (NOT USED)
- CONCRETE SIDEWALK, TYP.
- ACCESSIBLE PAVEMENT MARKINGS, TYP.
- ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8)
- 4" WIDE PAINTED SOLID LINE, TYP.
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 24" WIDE STOP BAR, TYP. (NOT USED)
- "DO NOT ENTER" SIGN (SEE SIGNAGE PLANS FOR DETAILS)
- SITE DIRECTIONAL MARKINGS
- TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- MONUMENT SIGN (SEE SIGNAGE PLANS FOR DETAILS) (NOT USED)
- 6" BOLLARD, TYP. (NOT USED)
- VEHICULAR HEIGHT DETECTOR (VHD, SEE SIGNAGE PLANS FOR DETAILS) (NOT USED)
- PROPOSED MENU BOARD (SEE SIGNAGE PLANS FOR DETAILS) (NOT USED)
- PROPOSED ORDER CONFIRMATION SYSTEM (NOT USED)
- 3-FT TRANSITION CURB, TYP.
- SITE RETAINING WALL PER MANUFACTURER SPECS. (NOT USED)
- TRANSFORMER PAD (FOR REFERENCE ONLY)
- LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS) (NOT USED)
- PROPOSED FENCE (SEE ARCHITECTURAL PLANS FOR DETAILS) (NOT USED)
- 3-FT WIDE CURB CHANNEL WITH CONCRETE FLUME (NOT USED)
- ACCESSIBLE RAMP (NOT USED)
- ADA COMPLIANT HANDRAILS (NOT USED)
- 2' WIDE TACTILE WARNING STRIP (NOT USED)
- 5-FT WIDE PAINTED CROSSWALK (NOT USED)
- "YIELD" SIGN (SEE SIGNAGE PLANS FOR DETAILS)
- STAINLESS STEEL BOLLARD, TYP. (AT VACUUM STATIONS)
- U-SHAPED SNAP SIGN, TYP. (SEE ARCHITECTURAL PLANS FOR DETAILS)
- VACUUM STANCHION CANOPY AND CANISTER, TYP. (SEE ARCHITECTURAL PLANS FOR DETAILS)
- TOMMY PROVIDED RED BALL VACUUM HOSE HOLDER, TYP.
- SONITUBE WITH CONDUIT FOR RELAX/GO LIGHT (SEE ARCHITECTURAL PLANS FOR DETAILS)
- LICENSE PLATE READER (SEE ARCHITECTURAL PLANS FOR DETAILS)
- COLUMN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- GATE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- SIDEWALK FLUSH WITH PAVEMENT

PAVING AND CURB LEGEND

- CONCRETE SIDEWALK
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD PITCH CONCRETE CURB & GUTTER
- CONCRETE DEPRESSED CURB AND GUTTER
- REVERSE PITCH CONCRETE CURB AND GUTTER
- SAWCUT LINE

FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 55133C0088H, THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD

TOMMY'S SITE DATA TABLE

PROPERTY INFORMATION

PIN: SUXV0231989008
ADDRESS: W249N6438 HIGHWAY 164, SUSSEX, WI 53089
EXISTING TOMMY'S LOT AREA: 2.22 ACRES
PROPOSED TOMMY'S LOT AREA: 1.64 ACRES

PARKING SUMMARY:

PARKING SPACES REQUIRED (VILLAGE STANDARD)* = 8 SPACES
PROPOSED STANDARD PARKING SPACES PROVIDED = 9 SPACES
PROPOSED ACCESSIBLE PARKING SPACES PROVIDED = 1 SPACES
PROPOSED VACUUM SPACES PROVIDED = 17 SPACES
PROPOSED TOTAL PARKING SPACES PROVIDED = 27 SPACES

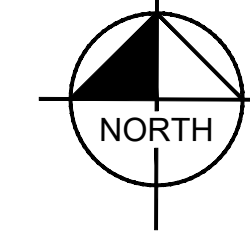
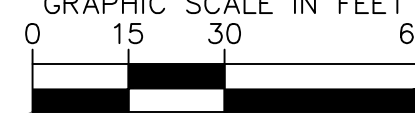
*1 SPACE PER 50 SF OF GENERAL FLOOR AREA + 1 SPACE PER EMPLOYEE FOR THE WORK SHIFT WITH LARGEST NUMBER OF EMPLOYEES (0 SF OF CUSTOMER AREA AND 8 EMPLOYEES ASSUMED FOR CALCULATION)

GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-Feet, TYPICAL.
- REFER TO SPRINGFIELD SIGN PLANS FOR MENU BOARD DETAILS AND ELECTRICAL SPECIFICATIONS
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.



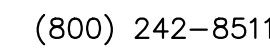
(800) 242-8511



JPM		BY	
6/3/25		DATE	
VILLAGE SUBMITTAL		REVISIONS	
No.			
Kimley»Horn			
© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 111 WEST JACKSON BOULEVARD, STE 1320 SPRINGFIELD, IL 62761 PHONE: 312-728-9445 WWW.KIMLEY-HORN.COM			
SCALE:	AS NOTED	DESIGNED BY: AMG	CHECKED BY: JPM
NOT FOR CONSTRUCTION			
TOMMY'S EXPRESS CARWASH			
SITE PLAN			
TOMMY'S W249N6424 HIGHWAY 164 SUSSEX, WI 53089			
ORIGINAL ISSUE: 04/30/2025 KHA PROJECT NO. 168974030			
SHEET NUMBER C2.0			

Drawing name: K:\CH_LDEV\168974030_Culiver_s_Sussex_WV.2 Design\CAD\PlanSheets\Tommya\C3.0 - EROSION CONTROL PLAN.dwg C3.0 Jun 04, 2025 11:54am
by: Anthony.Graziano
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared.

- CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
- STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
- ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 14 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER-FILLED DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
- SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
- 1.1. WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY COMMENCES OR BY THE 14TH DAY AFTER THE END OF A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 1.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITY WAS CEASED, STABILIZATION MEASURE PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.



III. PAVING

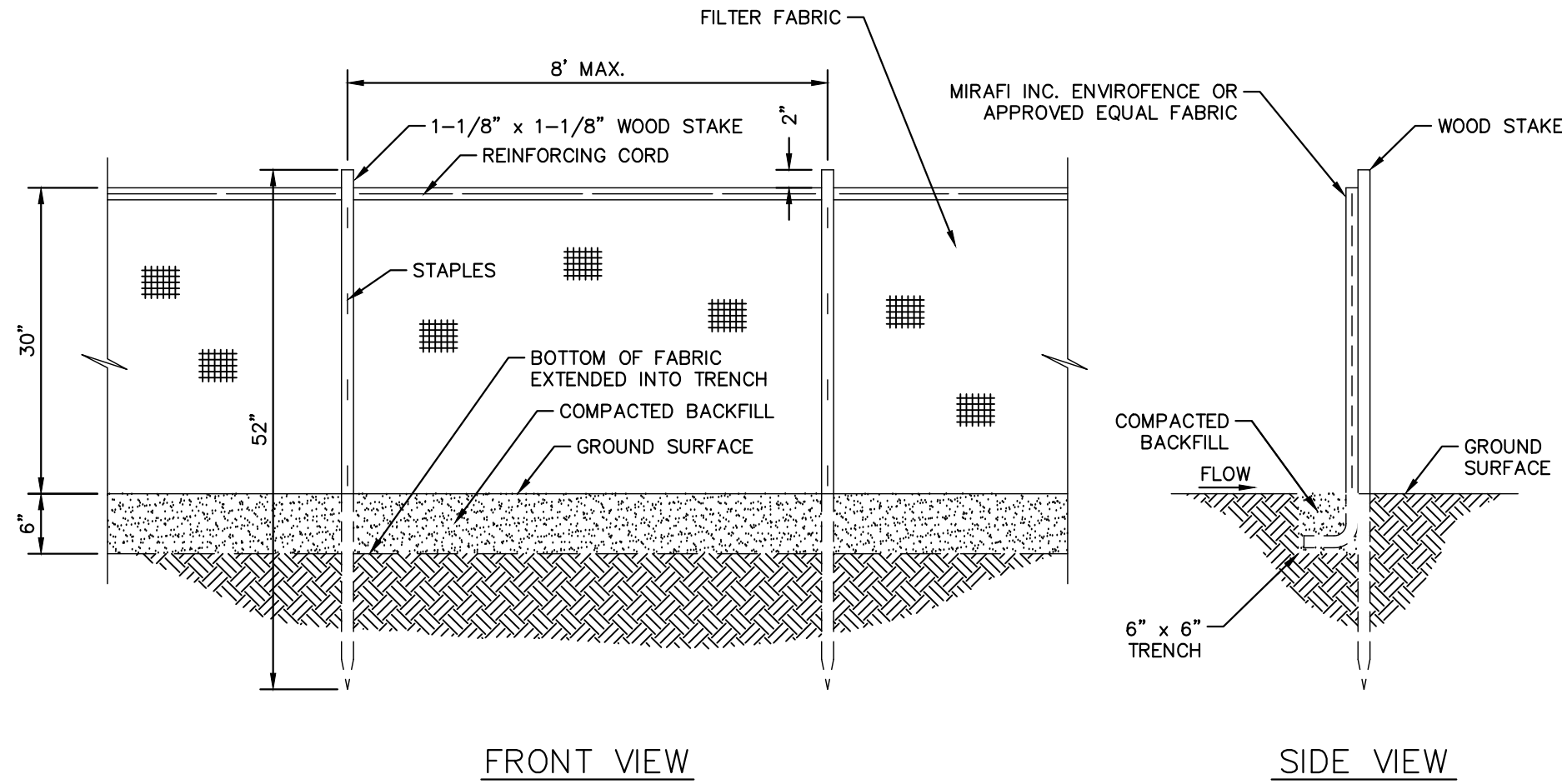
ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.

IV. FINAL GRADING/SOIL STABILIZATION/LANDSCAPING ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.

NOTE: THE SEQUENCE OF INSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING TO BE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF AN ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.



Drawing name: K:\CHI-LDEV\168974030_Sussex_WI\2 Design\CA0\PlanSheets\Tommy's\Tommy's C3.1 - Jun 04, 2025 11:54am By: Anthony Graziano
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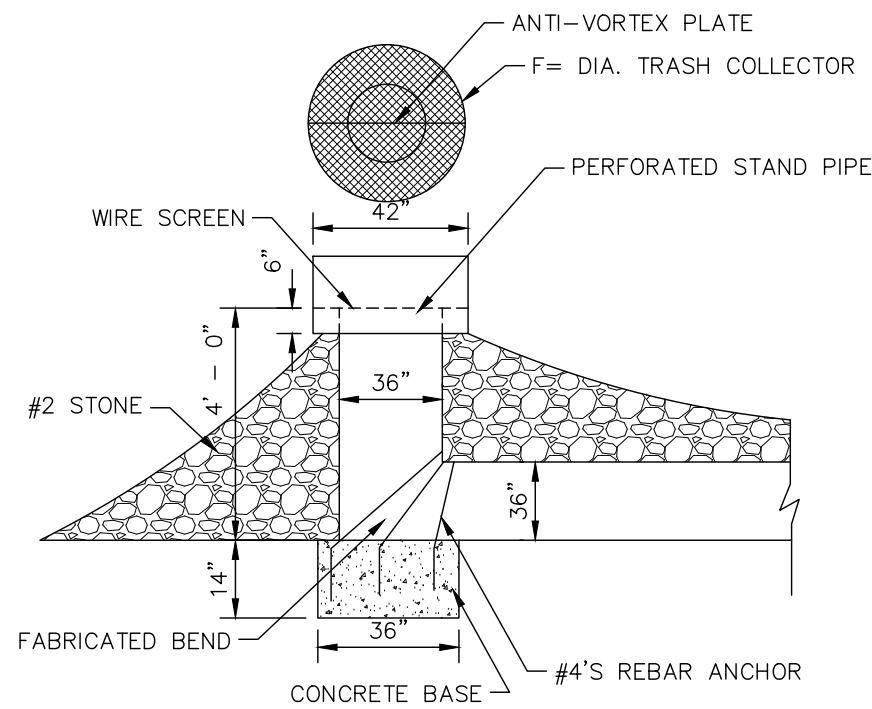


FRONT VIEW

SIDE VIEW

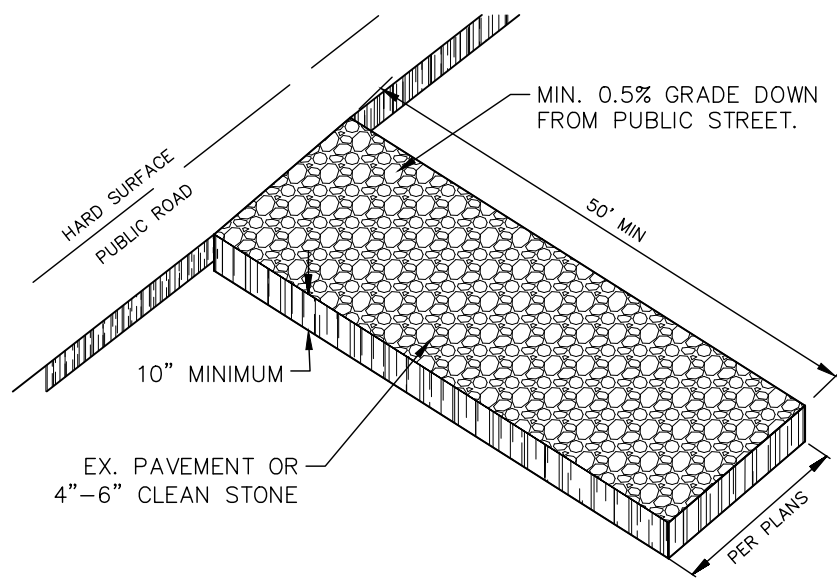
SEDIMENTATION/SILT FENCE

N.T.S.



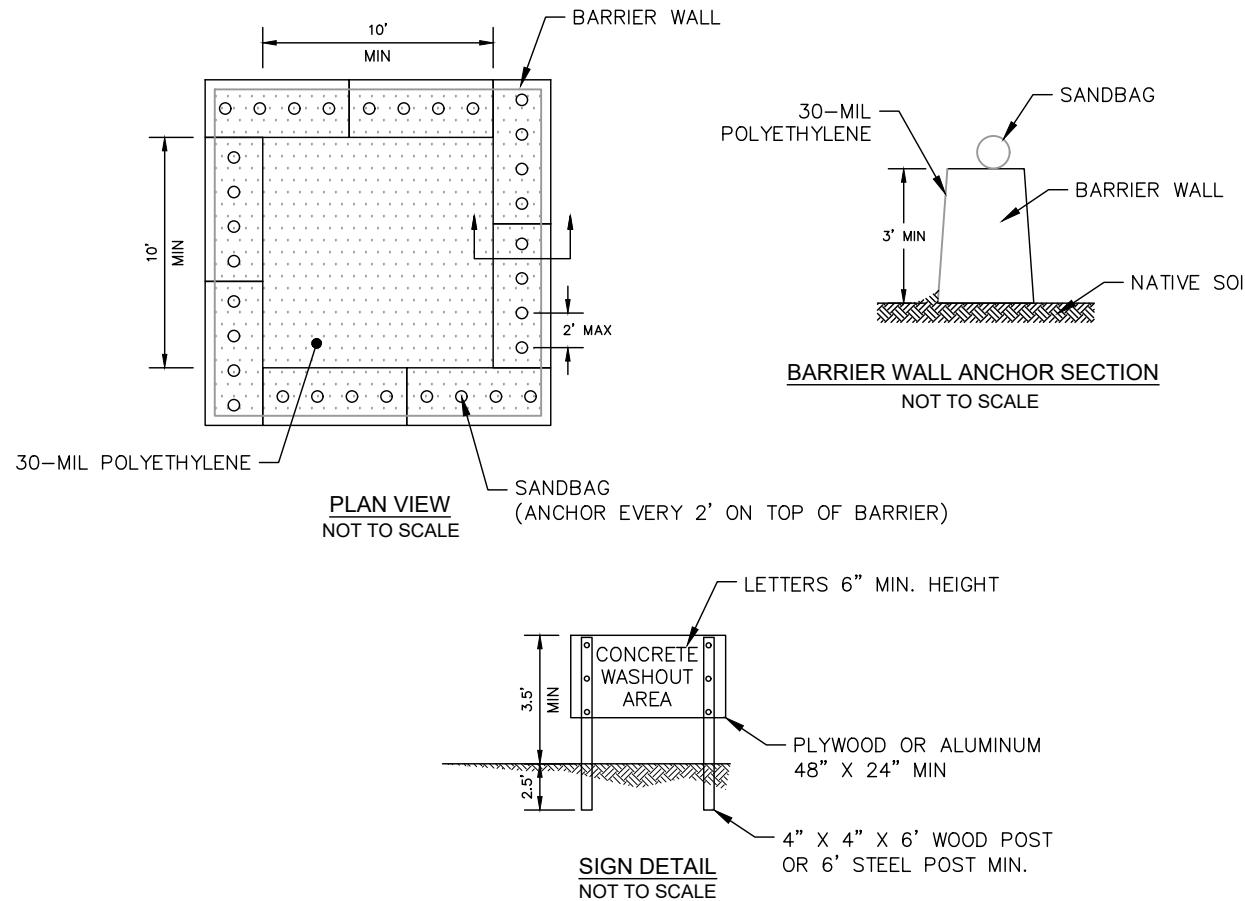
TEMPORARY STANDPIPE DETAIL

N.T.S.



CONSTRUCTION ENTRANCE

N.T.S.

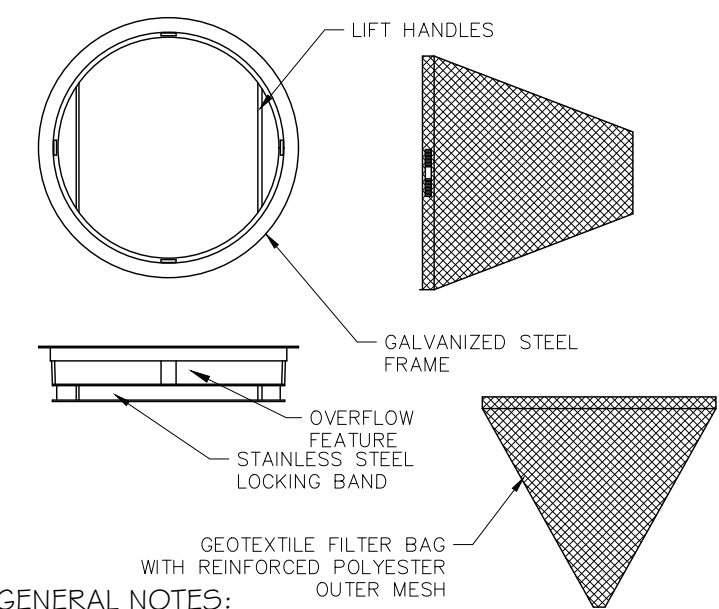


NOTES

1. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDEND CONCRETE AND/OR SLURRY AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION.
2. FACILITY SHALL BE CLEANED OR RECONSTRUCTED IN A NEW AREA ONCE WASHOUT BECOMES TWO-THIRDS FULL.

CONCRETE WASHOUT

N.T.S.

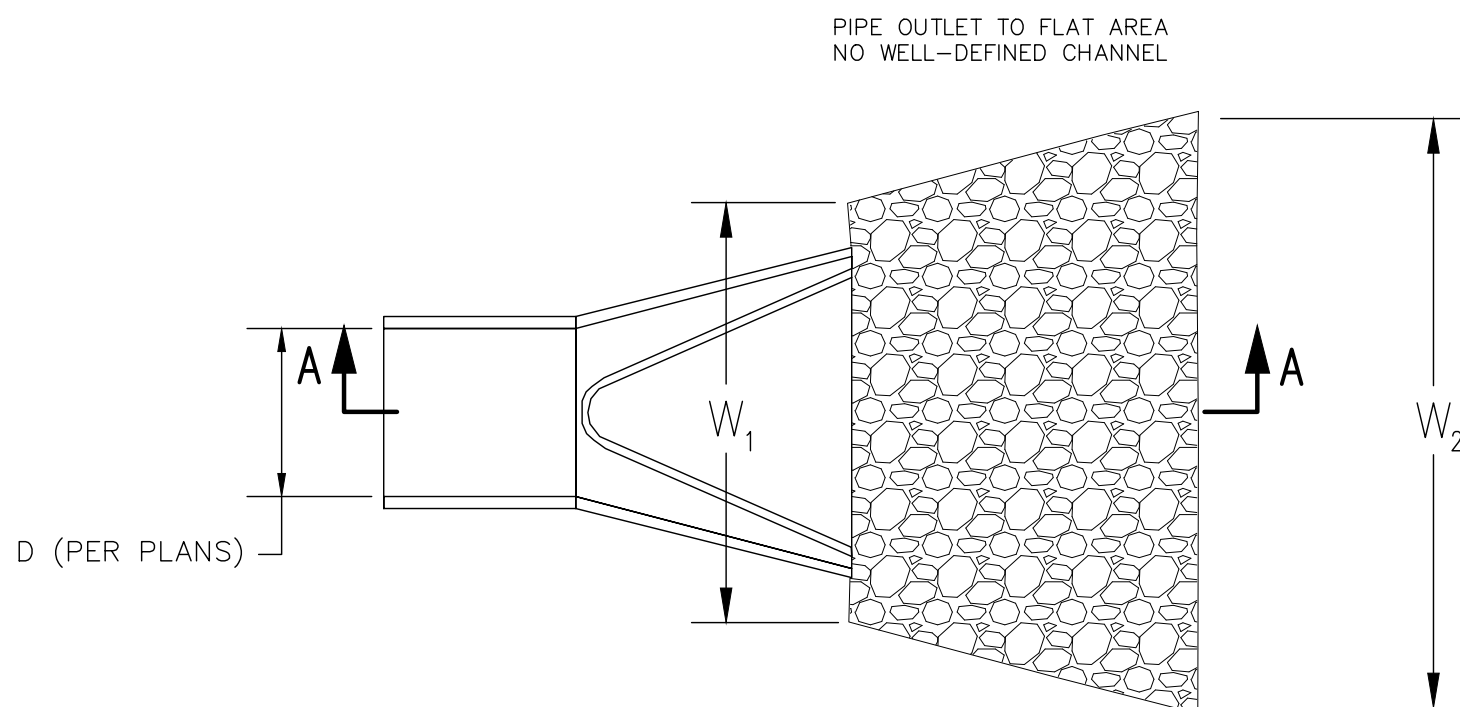
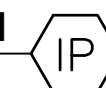


GENERAL NOTES:

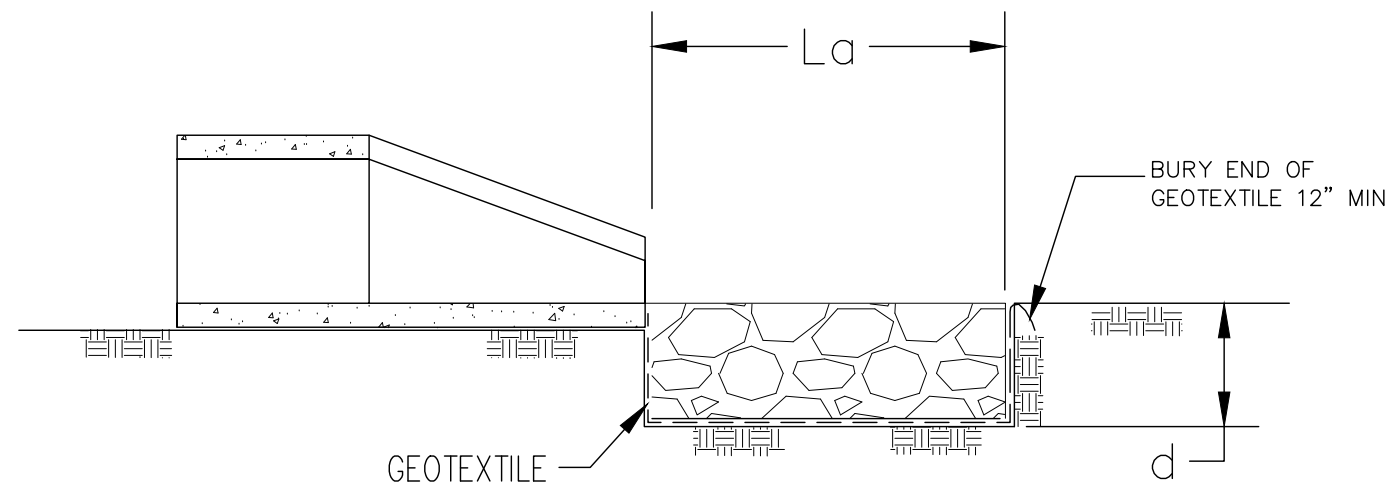
- ALL PRODUCTS MANUFACTURED BY INLET AND PIPE PROTECTION, INC OR APPROVED EQUAL.
- NOTE: INLET FILTERS ARE SLIGHTLY SMALLER THAN THE INLET GRATE SIZES. WHEN IDENTIFYING OR SPECIFYING FILTERS/CASTINGS PLEASE REFER TO THE DIAMETER "D" OR WIDTH "W" AND HEIGHT "H" OF FILTER FRAMES OR CASTING GRATES. YOU MAY ALSO REFER TO OUR CASTING CROSS REFERENCE GUIDE FOR IDOT STANDARDS
- IDOT TYPE 1 ROUND INLET FILTER DEPICTED
- NOTE: ROUND AND SQUARE INLET FILTERS AVAILABLE FOR MOST NEENAH AND EAST JORDAN BEEHIVE, ROLL CURB AND CURB BOX FRAME TYPES
- ALL IPP INLET FILTERS TO CONFORM TO IDOT SPECIFICATIONS AS OUTLINED IN ARTICLE 1081.15 OF IDOT'S STANDARD SPECIFICATIONS GUIDE.

INLET PROTECTION

N.T.S.



PLAN



SECTION A-A

- NOTES:
1. THE ROCK RIPRAP SHALL MEET IDOT REQUIREMENTS FOR GRADATION NO. RR-3 & RR-4, QUALITY DESIGNATION "A".
 2. GEOTEXTILE (NON-WOVEN) MINIMUM CRITERIA:
 - 2.1. WEIGHT OF GEOTEXTILE (OZ./SQ.YD.) 6
 - 2.2. TENSILE STRENGTH (LB) ASTM D 4632 180
 - 2.3. ELONGATION AT FAILURE (%) ASTM D 4632 ≥ 50
 - 2.4. PUNCTURE (LB) ASTM D 4833 80
 - 2.5. ULTRAVIOLET LIGHT (% RESIDUAL TENSILE STRENGTH) ASTM D 4355 MIN 70
 - 2.6. APPARENT OPENING SIZE (AOS) ASTM D 4751 MAX 40 SIEVE
 - 2.7. PERMITTIVITY SEC-1 ASTM D 4491 MIN 0.70
 3. ANY GEOTEXTILE SPLICES SHALL OVERLAP A MINIMUM OF 18 INCHES, WITH UPSTREAM OR UPSLOPE GEOTEXTILE OVERLAPPING THE ABUTTING DOWNSLOPE GEOTEXTILE.
 4. APRON WIDTH W1 SHALL BE 3 TIMES THE CULVERT PIPE DIAMETER. APRON WIDTH W2 SHALL BE EQUAL TO LA PLUS THE PIPE DIAMETER.
 5. ROCK THICKNESS D SHALL BE AT LEAST 1.5 TIMES THE RIPRAP D100 SIZE.
 6. APRON LENGTH LA AND ROCK RIPRAP HAS BEEN SIZED ACCORDING TO ILLINOIS URBAN MANUAL ROCK OUTLET PROTECTION STANDARD 910 BASED CALCULATED VELOCITY FOR THIS PROJECT SITE. PLEASE SEE TABLE 1 FOR DETAILS.

RIPRAP DIMENSION TABLE

INLET PIPE SIZE d (IN)	LENGTH OF APRON La (FT)	ROCK GRADATION (IDOT)	WIDTH OF APRON U/S FACE W1 (FT)	WIDTH OF APRON D/S FACE W2 (FT)	DEPTH OF RIPRAP d (IN)
12	12	RR-3	3.00	13.00	15
15	12	RR-3	3.75	13.25	15
18	16	RR-4	4.50	17.50	20
21	16	RR-4	5.25	17.75	20
24	20	RR-4	6.00	22.00	20
27	20	RR-4	6.75	22.50	20
30	22	RR-4	7.50	24.50	20
36	24	RR-5	9.00	27.00	28
42	24	RR-5	10.50	27.50	30
48	28	RR-6	12.00	32.00	32
54	28	RR-6	13.50	32.50	32
60	36	RR-6	15.00	41.00	32
72	44	RR-6	18.00	50.00	32

RIP RAP DETAIL OUTLET PROTECTION

N.T.S.

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E									
MULCHING	F		**									

- A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE
- B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE
- C SPRING OATS 100 LBS/ACRE
- D WHEAT OR CEREAL RYE 150 LBS/ACRE
- E SOD
- F STRAW MULCH 2 TONS/ACRE
- * WATERING NEEDED DURING JUNE AND JULY
- ** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

SEEDING CHART



(800) 242-8511

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SCALE: AS NOTED

DESIGNED BY: AMG

DRAWN BY: AMG

CHECKED BY: JPM

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EROSION CONTROL NOTES
& DETAILS

TOMMY'S

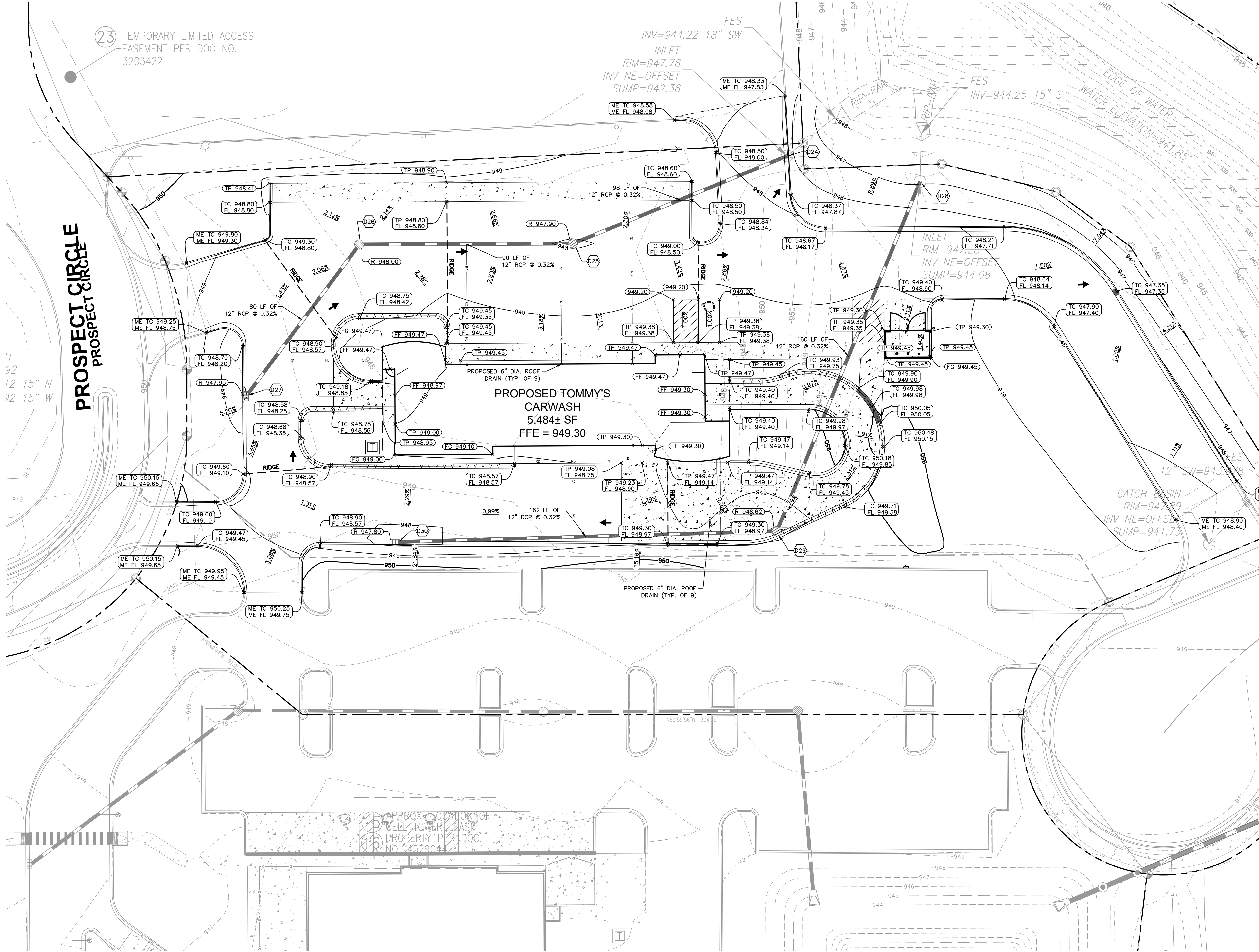
W249N6424 HIGHWAY 164
SUSSEX, WI 53089

ORIGINAL ISSUE:
04/30/2025
KHA PROJECT NO.
168974030

SHEET NUMBER

C3.1

Drawing name: K:\CHILDEV\168974030_Culver's_Sussex_WI\2 Design\CAO\PlanSheets\Tommy's\Tommy's C4.0 - GRADING & DRAINAGE PLAN.dwg C4.0 Jun 04, 2025 11:54am by AnthonyCraziano
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PROSPECT CIRCLE
PROSPECT CIRCLE

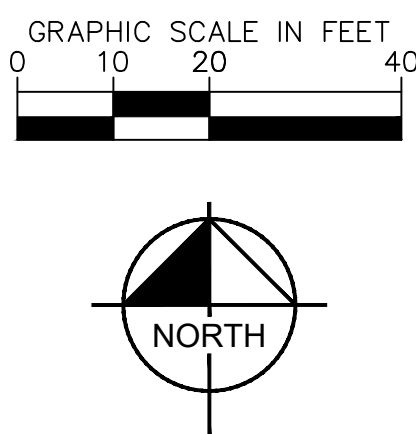
23 TEMPORARY LIMITED ACCESS
EASEMENT PER DOC NO.
3203422

INLET
RIM=947.76
INV NE=OFFSET
SUMP=942.36

FES
INV=944.25 15" S

PROPOSED TOMMY'S
CARWASH
5,484± SF
FFE = 949.30

APPROX. LOCATION OF
CELL TOWER LEASE
PROPERTY PER DOC.
NO. 24329044



GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

- TP = TOP OF PAVEMENT
FL = FLOW LINE
TC = TOP OF CURB
R = RIM ELEVATION
FG = FINISHED GRADE
ME = MATCH ELEVATION
TW = TOP OF WALL
- (CONTRACTOR TO VERIFY ALL MATCH EXISTING SPOT GRADE ELEVATIONS AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.)
- 950 PROPOSED CONTOUR
 - 950 EXISTING CONTOUR
 - RIDGE RIDGE LINE
 - X.XX% SLOPE AND FLOW DIRECTION
 - 100-YEAR OVERLAND OVERFLOW ROUTE
 - PROPOSED STORM SEWER LINE
 - PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
 - PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)
 - PROPOSED COMBINATION CURB INLET (B6.12 C&G USE NEENAH R-3281-A)
 - PROPOSED FLARED END SECTION
 - PROPOSED STORM CLEANOUT
 - PROPOSED ROOF DRAIN LINE

STORM STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
D24	CONNECT TO EXISTING STORM STRUCTURE RIM: 946.30 INV IN: 944.50 (W, 12") INV OUT: 944.50 (NE, 18")
D25	4' DIA. OPEN LID MANHOLE RIM: 947.90 INV IN: 944.81 (W, 12") INV OUT: 944.81 (E, 12")
D26	4' DIA. OPEN LID MANHOLE RIM: 948.00 INV IN: 945.10 (SW, 12") INV OUT: 945.10 (E, 12")
D27	4' DIA. STORM MANHOLE WITH CURB GRATE RIM: 947.95 INV OUT: 945.36 (NE, 12")
D28	CONNECT TO EXISTING STORM STRUCTURE RIM: 946.02 INV IN: 944.50 (S, 12") INV OUT: 944.50 (N, 15")
D29	4' DIA. OPEN LID MANHOLE IN CURB RIM: 948.62 INV IN: 945.01 (W, 12") INV OUT: 945.01 (N, 12")
D30	4' DIA. STORM MANHOLE WITH CURB GRATE RIM: 947.80 INV OUT: 945.53 (E, 12")

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DESIGNED BY: AMG
DRAWN BY: AMG
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GRADING &
DRAINAGE PLAN

TOMMY'S
W249N6424 HIGHWAY 164
SUSSEX, WI 53089

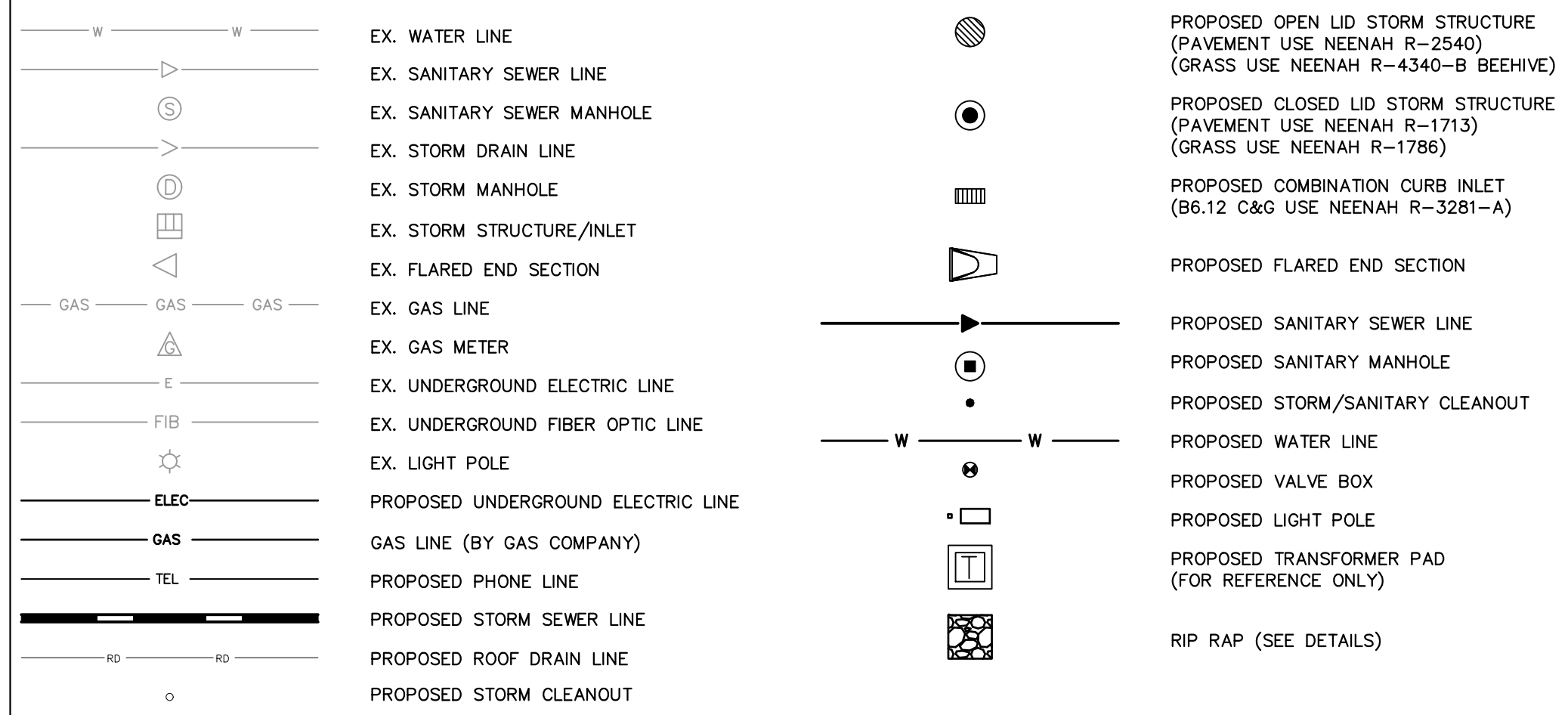
ORIGINAL ISSUE:
04/30/2025
KHA PROJECT NO.
168974030

SHEET NUMBER

C4.0

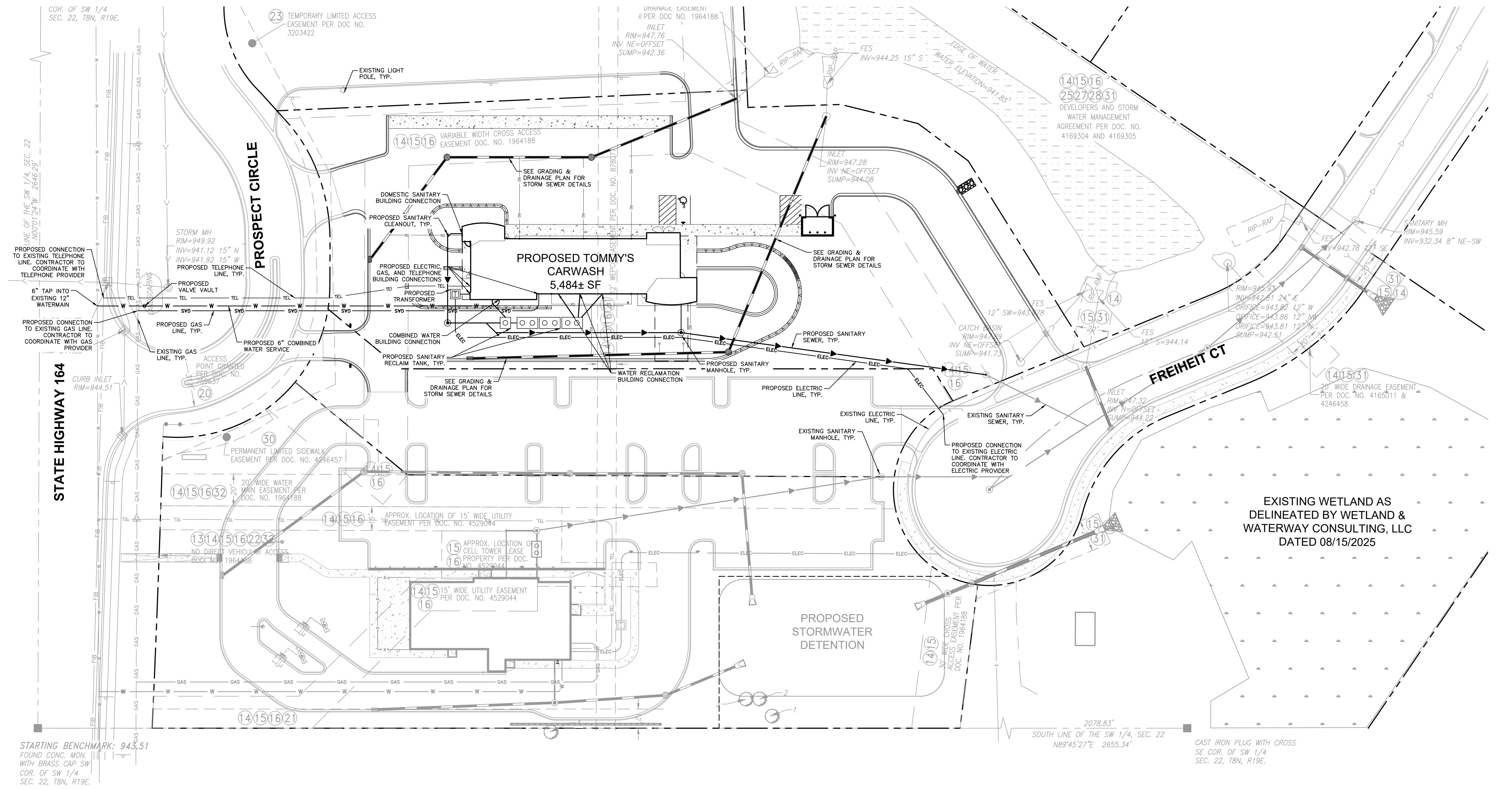
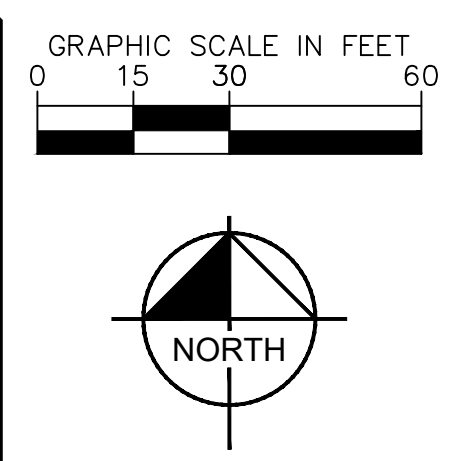
Drawing name: K:\CH\DEV\168974030_Sussex_WI2 Design\CA0\PlanSheets\Tommy's\C5.0 - UTILITY PLAN.dwg CS:0 Jun 04, 2025 11:54am by: Anthony/Goziano
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UTILITY LEGEND



UTILITY NOTES

- ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
- ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE VILLAGE OF SUSSEX SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.



JPM		DATE	
6/3/25		VILLAGE SUBMITTAL	
REVISIONS		No.	
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DRAWN BY:	AMG	CHECKED BY:	JPM
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TOMMY'S EXPRESS CAR WASH			
UTILITY PLAN			
TOMMY'S W249N6424 HIGHWAY 164 SUSSEX, WI 53089			
ORIGINAL ISSUE: 04/30/2025			
KHA PROJECT NO. 168974030			
SHEET NUMBER C5.0			

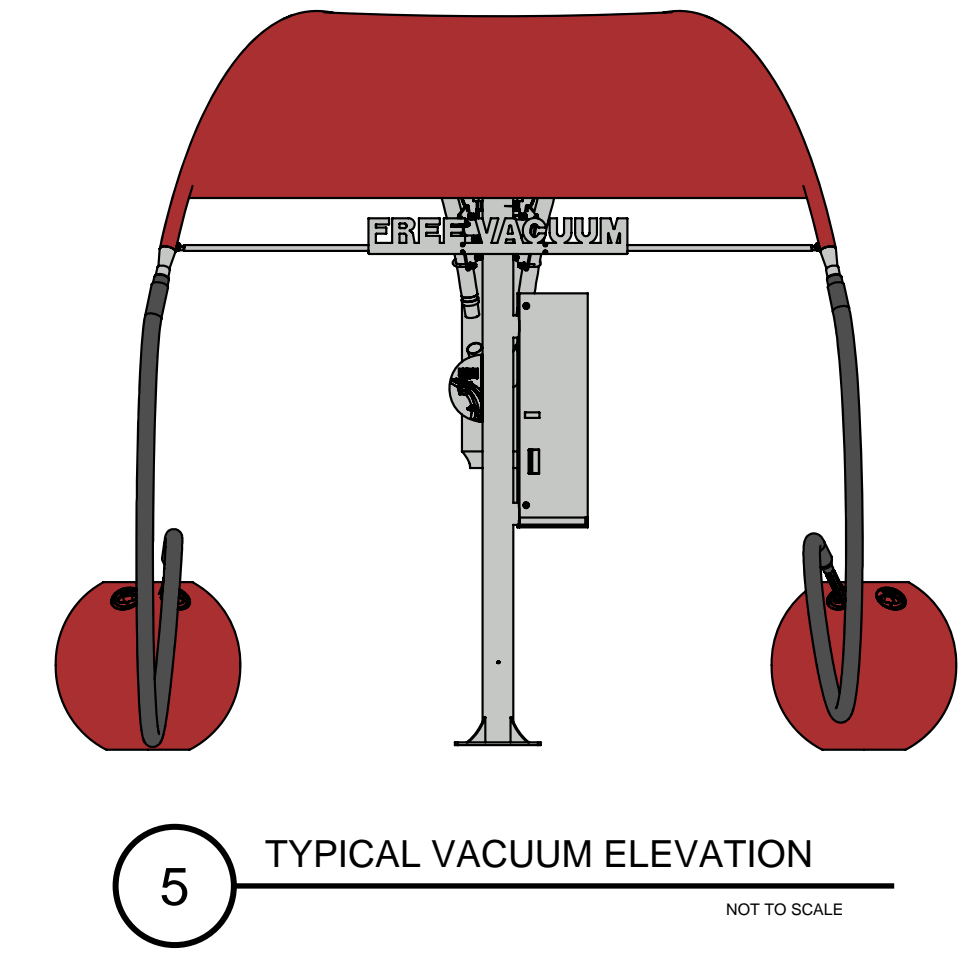
CONFIDENTIAL WARNING: THIS SHEET CONTAINS AND CONSTITUTES CONFIDENTIAL INFORMATION, IMAGES, AND TRADE SECRETS OF TOMMY CAR WASH SYSTEMS. ANY UNAUTHORIZED USE OR PORTION THEREOF IS STRICTLY PROHIBITED. THIS WORK IS THE EXCLUSIVE PROPERTY OF TOMMY CAR WASH SYSTEMS. ALL RIGHTS RESERVED.

REVISION SCHEDULE

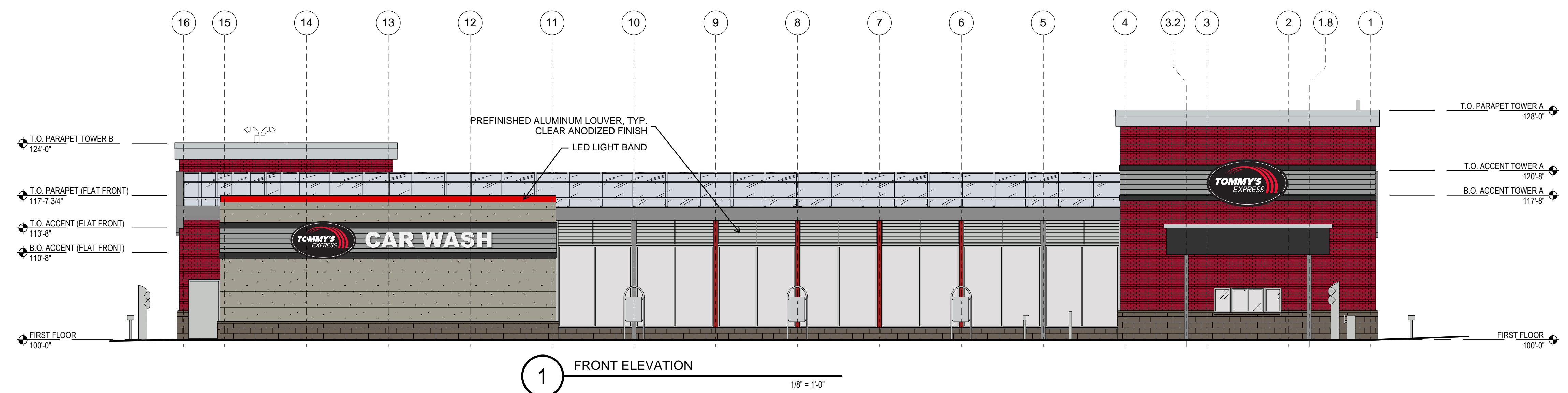
VERSION	DATE	DESCRIPTION



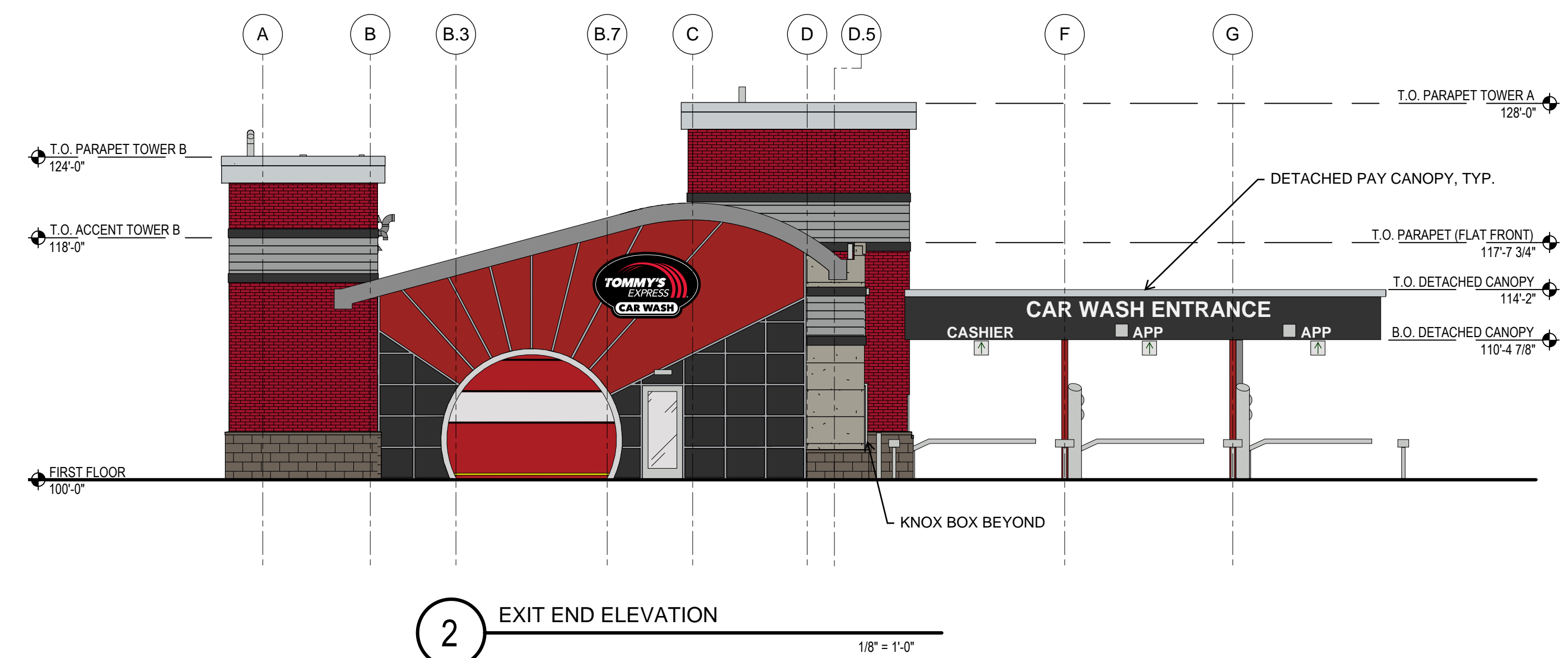
TOMMY'S EXPRESS CAR WASH
EXTERIOR ELEVATIONS
P0000 CITY, STATE



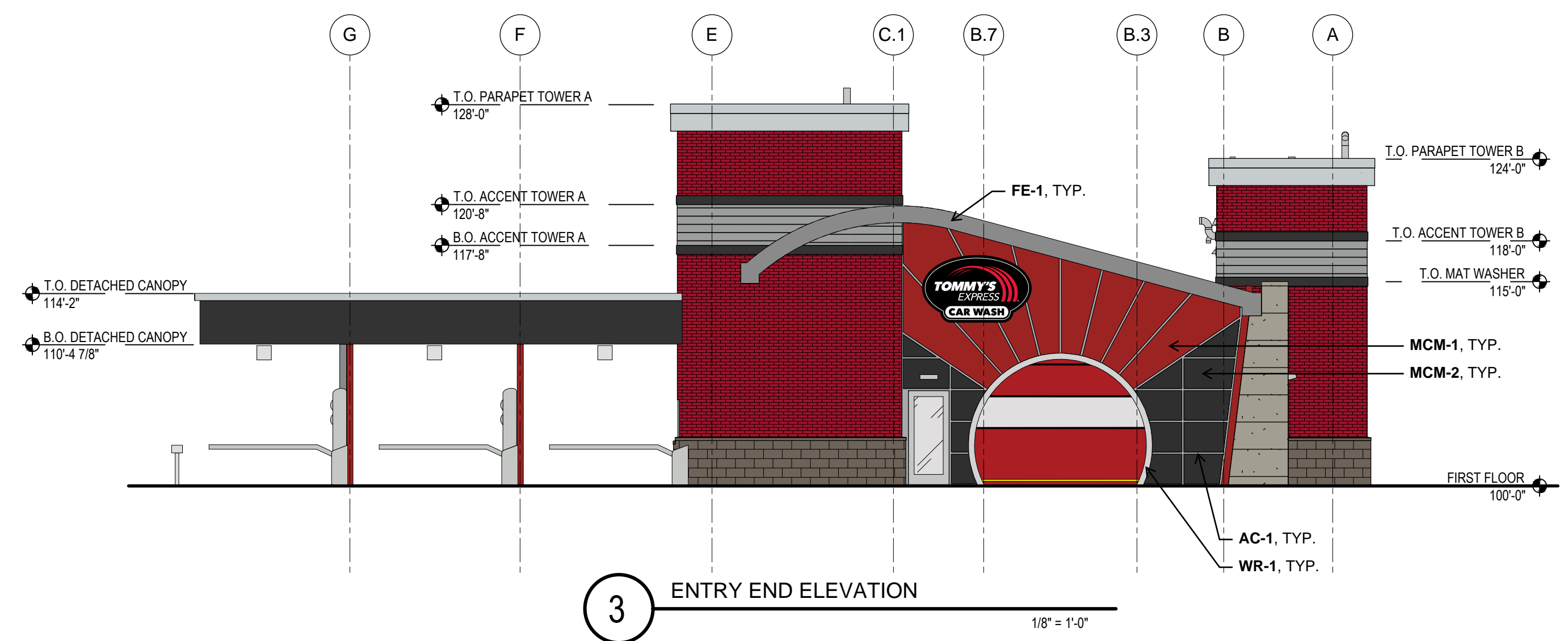
5 TYPICAL VACUUM ELEVATION
NOT TO SCALE



1 FRONT ELEVATION
1/8" = 1'-0"

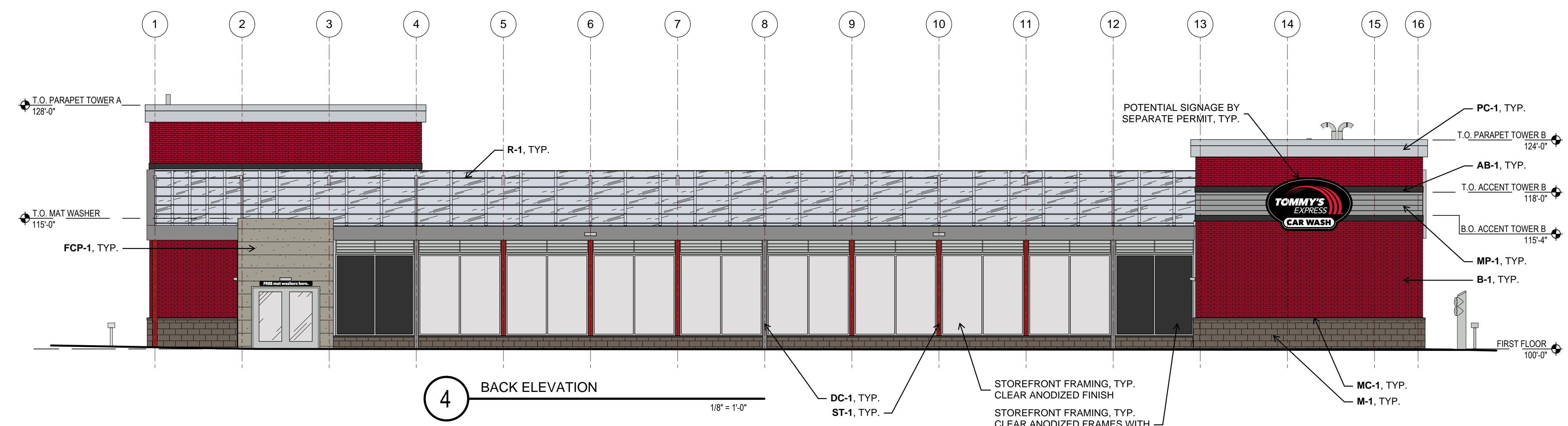


2 EXIT END ELEVATION
1/8" = 1'-0"



3 ENTRY END ELEVATION
1/8" = 1'-0"

TAG	MATERIAL	MFR.	DESCRIPTION	MFR. COLOR
ST-1	STRUCTURAL STEEL	PROSPANT	5-STAGE POWDER COATED	RAL 3001
MP-1	PREFINISHED PROFILED MCM, TOWER BANDING	ATAS	BELVEDERE 7.2" RIB PANEL	SILVERSMITH
B-1	BRICK, MAIN TOWER FINISH	ELGIN BUTLER	GLAZED BRICK	CLASSIC RED #8800
M-1	CMU BLOCK	CONSUMERS	4" SPLIT FACE VENEER	ASH (MORTAR COLOR TO MATCH)
MC-1	PRECAST STONE		MASONRY CAP	TO MATCH M-1
FCP-1	FIBER CEMENT PANEL	NICHIHA	AWP1818 - ARCH. BLOCK, MODERN SERIES	GRAY
AB-1	PREFINISHED MCM, TOWER BANDING	ATAS	FLAT SHEET AND COIL	BLACK
PC-1	PREFINISHED MCM, TOWER FASCIA	ARCONIC	REYNOBOND COMPOSITE PANEL	BRIGHT SILVER METALLIC
MCM-1	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	RAL 3001
MCM-2	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	EBONY
AC-1	PREFINISHED MCM, END WALL REVEALS	TUBELITE	200 SERIES CURTAINWALL	CLEAR ANODIZED
DC-1	PREFINISHED MCM, DOWNSPOUT COVERS	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
WR-1	PREFINISHED MCM, GARAGE DOOR WRAPS	CITADEL	ENVELOPE 2000 SYSTEM	CLEAR SATIN ANODIZED
FE-1	PREFINISHED MCM, ROOF FASCIA	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	HEATSTOP HIGH IMPACT MULTI-SKIN	WZO11 - COOL BLUE WHITE



4 BACK ELEVATION
1/8" = 1'-0"

NOT FOR CONSTRUCTION
FOR REFERENCE ONLY

The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0418 B-3 Highway Business District

17.0417**B-2 REGIONAL BUSINESS DISTRICT**

The B-2 Regional Business District is intended to provide for the orderly and appropriate development along the STH 164 Corridor, to provide services and retail for the community and surrounding region.

A. Permitted Uses

1. Accommodations and Food Service
 - (a) Hotels and motels
 - (b) Restaurants, snack stands. For a drive-through the Plan Commission must find that the vehicle stacking will not impact surrounding properties or any public roadway.
 - (c) Bars
 - (d) Food service contractors and caterers
2. Arts, Entertainment and Recreation Services
 - (a) Artists offices/studios
 - (b) Entertainment Facilities, such as arcades, bowling alleys, golf facilities, miniature golf facilities, pool and billiard halls, where the space of the use is under 30,000 square feet.
3. Educational, Health Services, and Social Services
 - (a) Fine arts and language schools and studios
 - (b) General medical services
 - (c) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
 - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
 - (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
 - (b) Financial investment, insurance offices, and similar financial products
 - (c) Real estate, appraisers, and developer offices
 - (d) Office equipment rental and leasing
 - (e) Rental Centers
5. General Services
 - (a) Barber, beauty, nail salons, spa treatment services
 - (b) Personal care and weight loss services
 - (c) Funeral home and funeral services
 - (d) Dry cleaning and laundry services (non-industrial)
 - (e) Travel and visitor services
6. Information Services
 - (a) Radio/TV/Cable network, stations, news syndicates excluding towers and dishes.

- (b) Motion picture theaters excluding drive-in.
- 7. Retail Trade
 - (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/packaged beverage and tobacco stores
 - (f) Pharmacy/drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing/shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Department stores, supercenters, warehouse clubs
 - (m) Vehicle parts sales, and vehicle maintenance if the use is less than 25% of the facility and is part of a larger retail operation.
- 8. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 9. Transportation and Warehousing
 - (a) Courier, delivery, postal service businesses
- 10. Parking Lots
 - (a) Off street parking lots, excluding multi-level parking garages, are allowed without a primary structure if the Plan Commission finds that the parking lot is part of a larger commercial development where the master plan calls for a building to be placed on the site in the future, but the parking lot is necessary for the overall development and cross access and parking agreements are required by the Plan Commission.
- 11. Housing
 - (a) Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.

B. Permitted Accessory Uses

- 1. Storage sheds for storage of ground maintenance equipment.
- 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 3. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508

D. Lot Area and Width

- 1. Lots shall be a minimum of 12,500 square feet in area and shall not be

- less than 80 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
 3. The requirements of Section (D)(2) above may be met in the district by including area from outlots that serve stormwater or other directly related purposes for the subject parcel, are owned in part by the parcel, and are reasonably expected to remain in open space for perpetuity as determined by the Administrator. If multiple lots are served by one or more outlot(s) in no case shall the greenspace area of the outlot(s) be counted more than once. Each lot which by this subsection is entitled to satisfy the requirements of Section D(2), in part, by land located on an outlot is entitled to use no more than the percentage of the qualifying outlot land that is equal to the percentage of the subject lot compared to the total area of the lands served by the outlot.
- E. Building Height and Area
1. No principal building or parts of a principal building shall exceed 45 feet in height.
 2. Buildings larger than 100,000 square feet in area shall have a deed restriction placed against the lot in a form approved by the Village to ensure the building, if it becomes vacant for more than 5 years to be removed from the site and the site returned to a buildable state.
- F. Setback and Yards
1. There shall be a minimum setback of 40 ft. from the road right-of-way.
 2. There shall be a rear yard of not less than 25 ft.
 3. There shall be a sideyard on each side of the buildings of not less than 25 ft., except as follows.
 4. The Plan Commission may reduce setbacks with-in this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction.
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards of the Village.
 5. No building or structure shall be located closer than 15 ft. to an F-1 Floodway District, F-2 Floodplain Conservancy District, or a LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.
- G. Erosion Control
1. See Chapter 14 of the Municipal Code of the Village.
- H. Development Design Guidelines
1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the

Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be Submitted to Plan Commission

To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscapes plans.

1. Pedestrian and Vehicle Access.

- (a) Property owners will provide cross access easements off-street where feasible.
- (b) Where feasible and desirable, pedestrian cross access from adjacent building will be encouraged.

17.0506**CONDITIONAL USES**

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

9. Retail Trade

- a) Vehicle sales, vehicle service, service of vehicle parts, vehicle parts sales including vehicle washing, vehicle repair stations, service of vehicle parts and vehicle parts sales in the B-2, B-3 and B-4 Districts No outside storage shall be permitted for vehicle parts sales even by issuance of a conditional use permit as set forth in 17.0506(A)(15)(e) of this Ordinance. All other outside storage that may be granted by CU shall be on a hard paved surface and shall be screened from view, or in the case of vehicle sales the landscaping shall be aesthetically pleasing to minimize the visual impact of a parking lot of vehicles.
- b) Gasoline service stations in the B-2 and B-3 districts provided that the use shall include traffic control measures to ameliorate-- traffic congestion; that lighting and glare shall not extend into adjacent residential neighborhoods; and that service islands shall comply with the minimum setback requirements of the district. Canopies over a gasoline service island may extend into front, side or rear yard areas, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-ofway in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.



Ordinance Amendment Application Village of Sussex

Submitted On:

Jun 30, 2025, 10:39AM CDT

Ordinance Amendment Petition

Address	N53W25374 Highlands Ct
Zoning Code Section:	BP-1
Amendment Purpose:	Conditional Use Permit - Equipment Rental Use
Upload File(s)	BP-1 Proposed Amendment - Equipment Storage.docx
Owner, Agent, or Attorney	Wangard Partners, LLC
Full Address	Street Address: 1200 N Mayfair Rd Suite 410 City: Milwaukee State: W Zip: 53226
Owner, Agent, or Attorney	
Full Address	
Contact Name:	Stephanie Rechner
Email	srechner@wangard.com
Phone Number	2629354013
Full Address	

ORDINANCE NO. ____

AN ORDINANCE TO REPEAL AND RECREATE SUB SECTION
17.0506(A)(5)(b) REGARDING EQUIPMENT RENTAL USES
AS A CONDITIONAL USE IN THE BP-1 BUSINESS PARK
ZONING DISTRICT OF THE VILLAGE OF SUSSEX MUNICIPAL CODE.

WHEREAS, the Village of Sussex has received a request for a municipal code amendment to repeal and recreate Section 17.0506(A)(5)(b) regarding equipment rental uses as a conditional use in the BP-1 Business Park District; and

WHEREAS, the Village Plan Commission discussed allowing equipment rental uses as a conditional use in the BP-1 Business Park Zoning District at its July 15, 2025 meeting; and

WHEREAS, the Village Board periodically reviews code sections for updates based upon requests from the public and to reflect modern times and practices; and

WHEREAS, the Village Board Members are committed to aligning the Village of Sussex Municipal Code with opportunities to support public desires without jeopardizing public safety or welfare; and

WHEREAS, upon receipt of the Village Plan Commission's recommendation, the Village Board held a public hearing on XXXXXXXX; and

WHEREAS, following the public hearing, and upon due consideration of the recommendation from the Plan Commission, the Village Board finds that the public necessity, convenience, welfare and good zoning practice requires that the amendment to the zoning ordinance be granted as recommended by the Plan Commission;

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1. THEREFORE, Section 17.0506(A)(5)(b) regarding equipment rental uses as a conditional use in the BP-1 Business Park District is hereby repealed and recreated to read as follows with the text addition in red and underlined:

- b) Car, truck, RV rental, and Construction, mining, and forestry machinery and equipment rental and leasing in the B-3 and BP-1 districts, if the following items are found that traffic from the use will not reduce the functionality grade of any nearby intersection(s) without the same being mitigated; and that noise standards of the operations shall be at least 10% lower at the property line than the Village Ordinance. The Plan Commission must find that the buildings are fully adhere to the design standards of the Village ~~and the lot is screened such that the parked vehicles or equipment are not visible from any residential district.~~ All outside storage areas shall meet the minimum requirements of Section 17.0506(A)(11)(b).

SECTION 2. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or

portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 3. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2025.

VILLAGE OF SUSSEX

Anthony LeDonne, Village President

ATTEST:

Jennifer Boehm, Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2025.

SCOOTER'S

COFFEE DRIVE-THRU

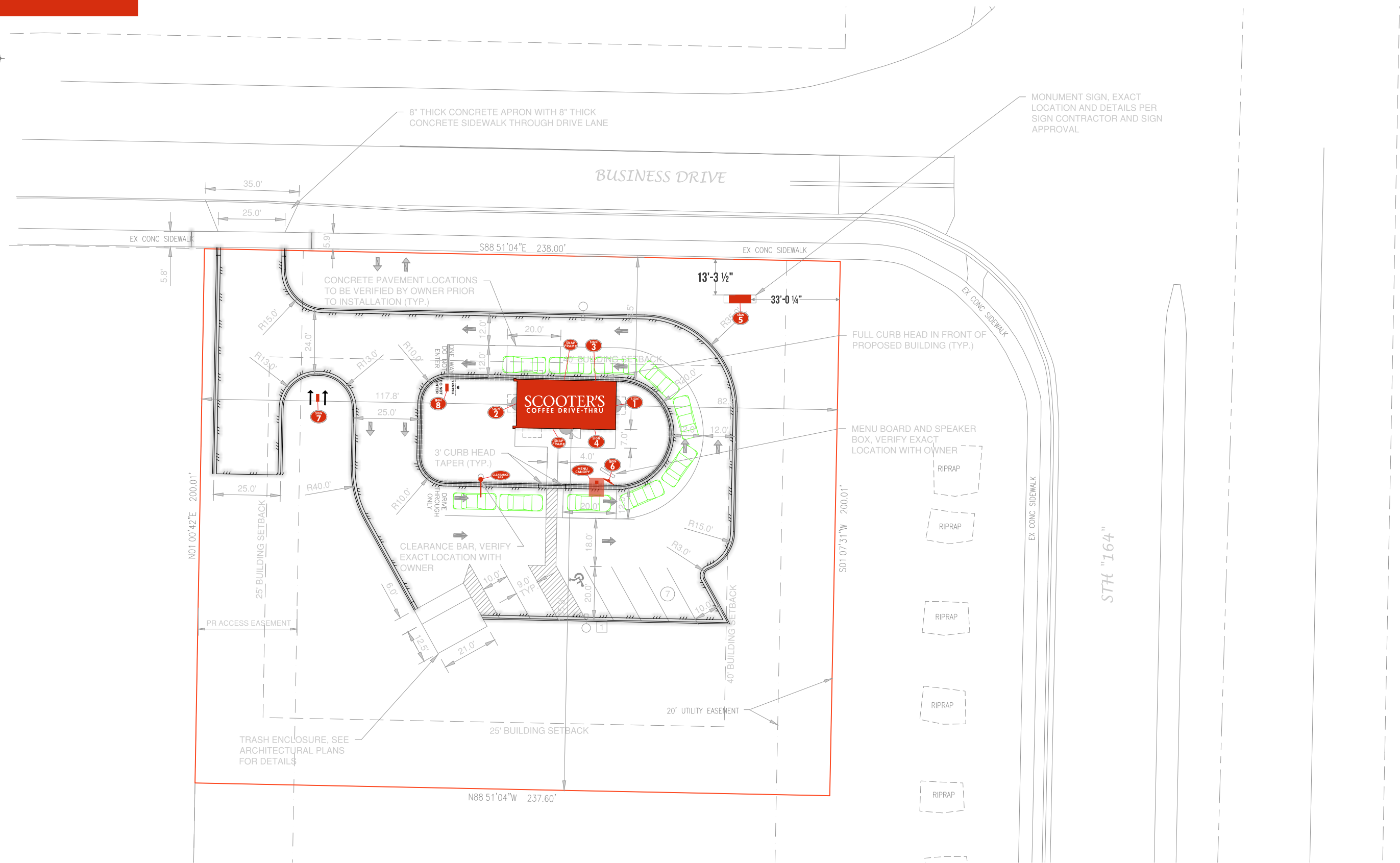
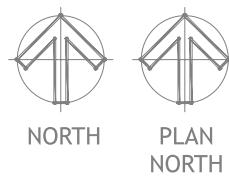


franchisee signs by



Omaha Neon
Sign Company

SITE PLAN



1120 N 18th Street • Omaha 68102
402.341.6077 • 402.341.7654 fax
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DRAWING # : 136878-1
PROJECT ID: 36868

SALES PERSON: pedro vargas
DRAWN BY: wes stephens

DATE: 06.26.25
Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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Signed _____ Date _____
Sales Rep. _____ Date _____

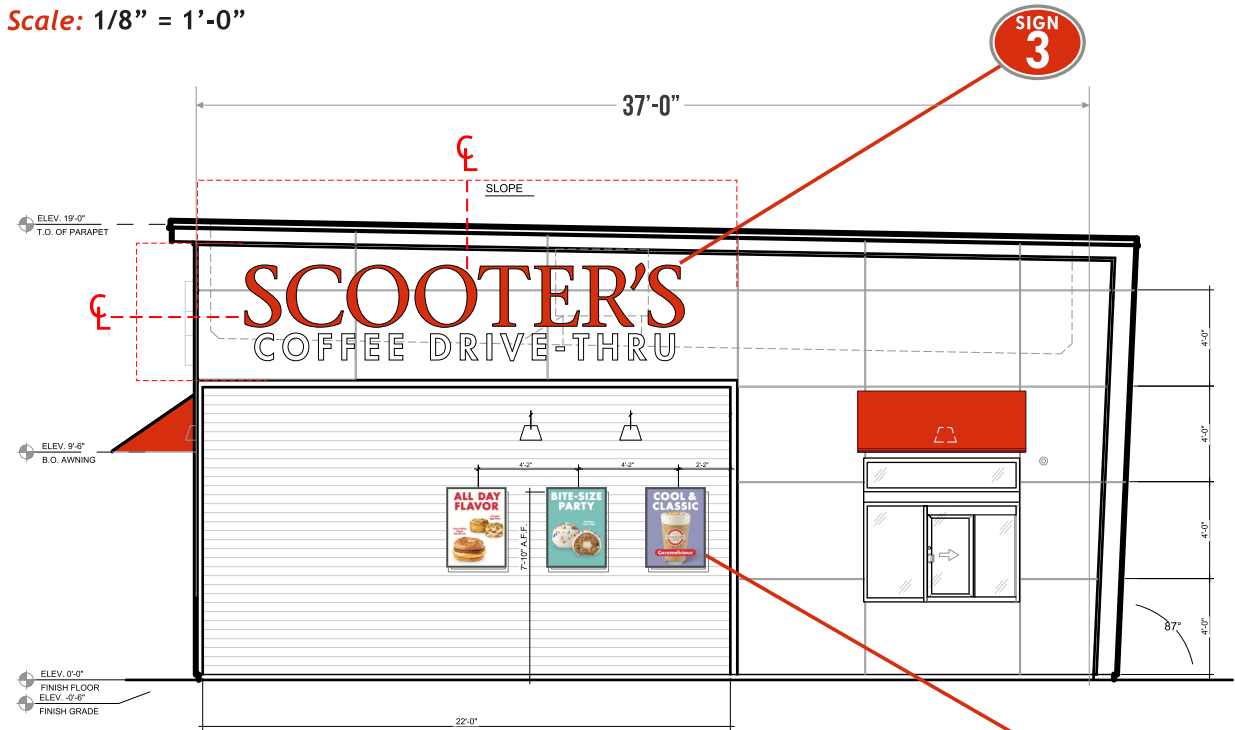
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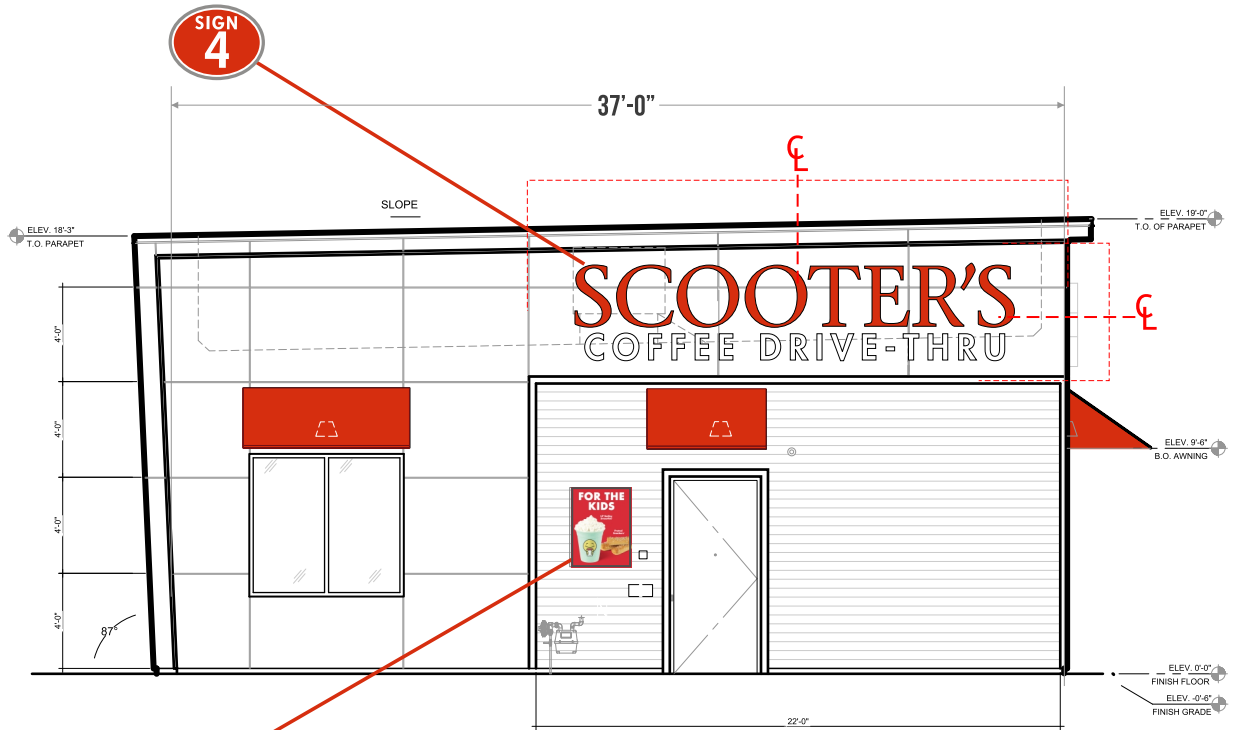
ELEVATIONS

AWNINGS BY OTHERS

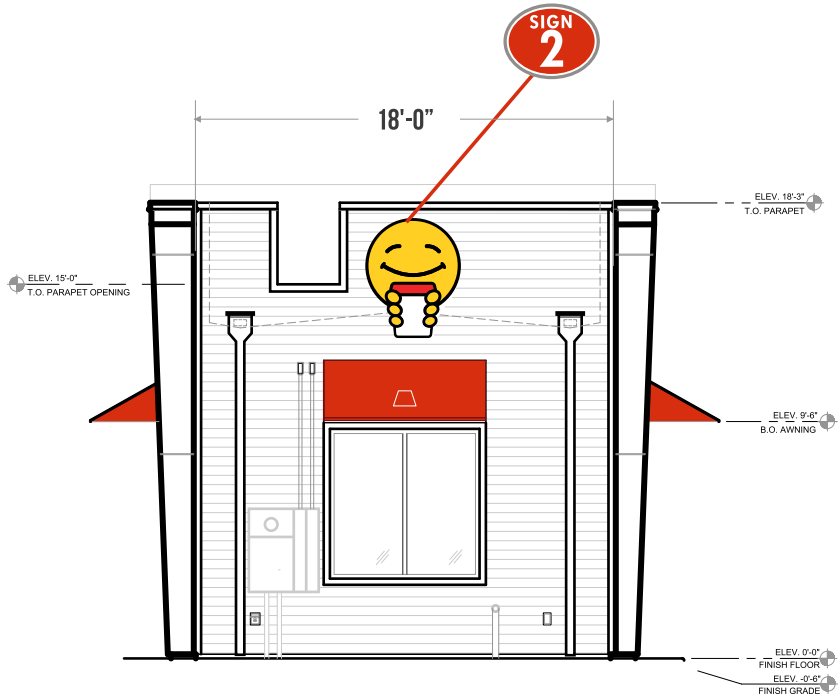
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ELEVATION - DRIVE THRU

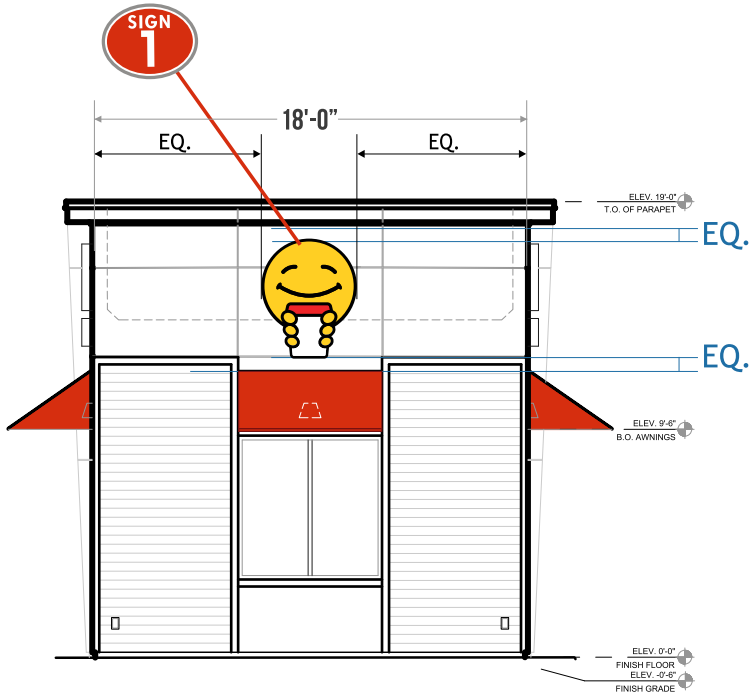


ELEVATION - SIDE



ELEVATION - BACK OF LOCATION

scooter's "SMILEY" logos are centered as shown, unless building design doesn't allow



ELEVATION - FRONT OF LOCATION



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DRAWING # : 136878-2
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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Signed _____ Date _____
Sales Rep. _____ Date _____

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CHANNEL LOGO

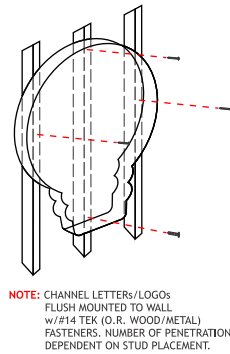
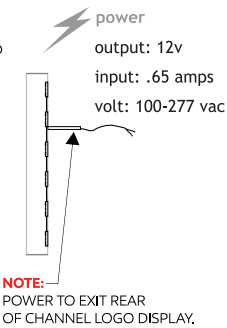
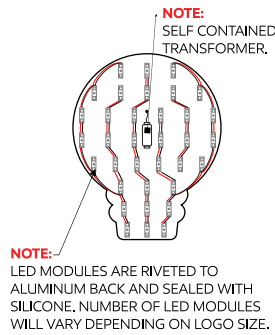
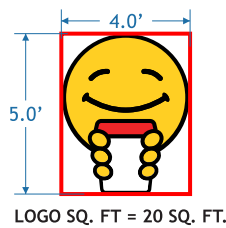
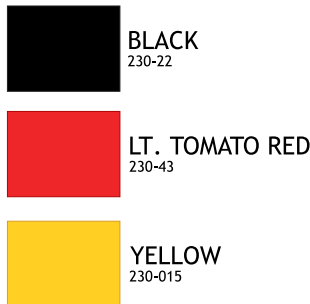
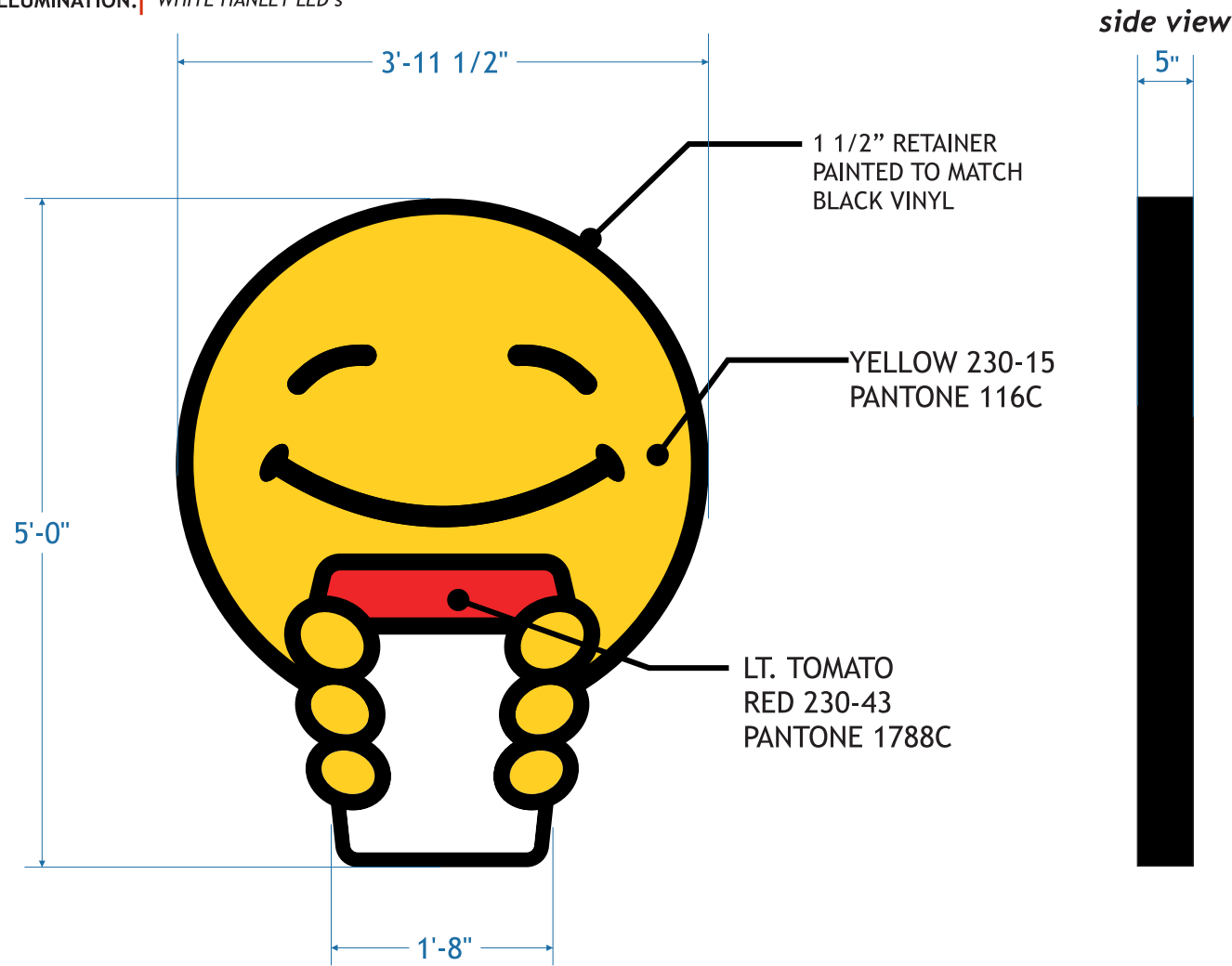


Scale: 3/4" = 1'-0"

SCOOTER'S
COFFEE DRIVE-THRU

S/S ILLUMINATED "SMILEY" CHANNEL LOGO

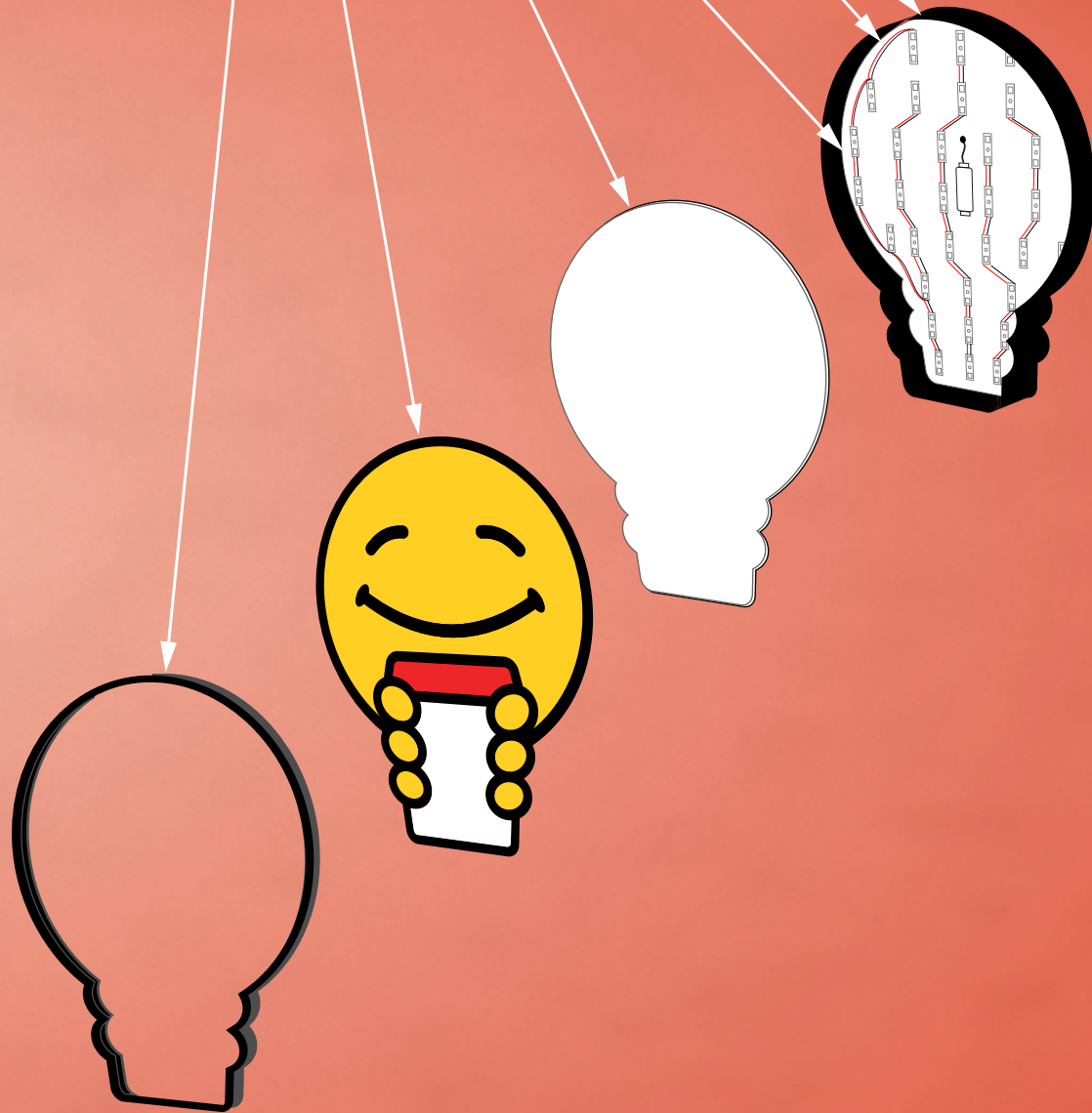
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BACKS: .063 WHITE PRE-FINISHED ALUMINUM
FACES: 3/16 INCH WHITE PLEX
FACE GRAPHICS: 1ST SURFACE VINYL (AS NOTED)
RETAINERS: 1 1/2" BLACK RETAINERS
ILLUMINATION: WHITE HANLEY LED's



SCOOTER'S
COFFEE DRIVE-THRU

S/S ILLUMINATED "SMILEY" CHANNEL LOGO

- RETURNS: 5 INCH DEEP, .050 BLK. PRE-FINISHED ALUMINUM CHANNEL COIL
BACKS: .063 WHITE PRE-FINISHED ALUMINUM
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DRAWING # : 136878-3
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
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Signed _____ Date _____
Sales Rep. _____ Date _____

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CHANNEL LETTERS

SIGN 3 SIGN 4

Scale: 3/8" = 1'-0"

SCOOTER'S

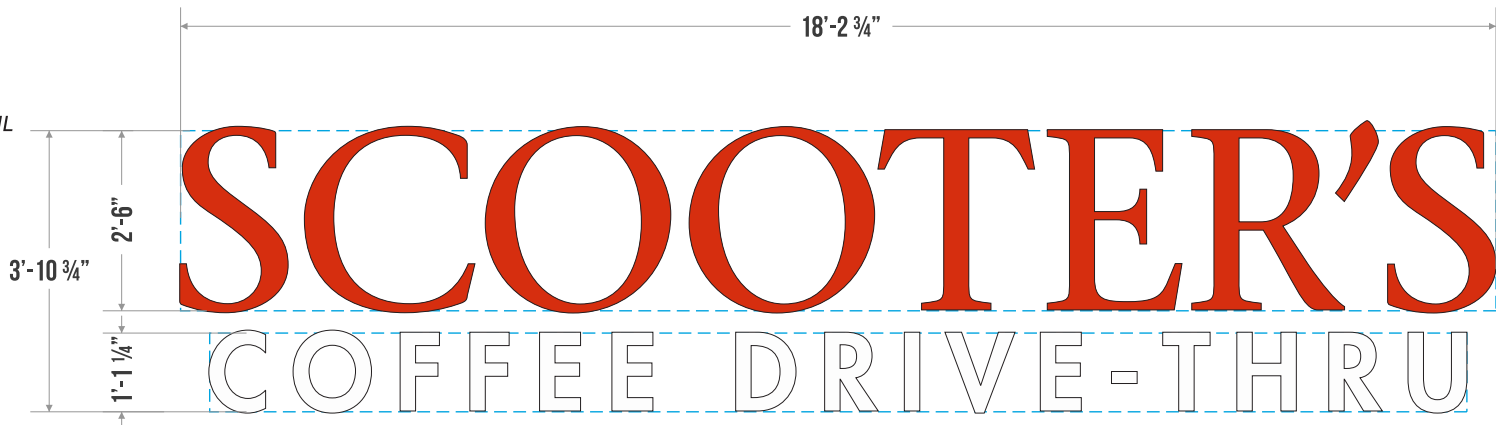
ILLUMINATED CHANNEL LETTERS

RETURNS: 3 INCH DEEP, .040 BLK. PRE-FINISHED ALUMINUM CHANNEL COIL
BACKS: .063 WHITE PRE-FINISHED ALUMINUM
FACES: .1875 WHITE PLEX
FACE GRAPHICS: 230-43 TOMATO RED - TRANSLUCENT
TRIM-CAP: 1 INCH BLACK
ILLUMINATION: RED HANLEY LED's

COFFEE DRIVE-THRU

ILLUMINATED CHANNEL LETTERS

RETURNS: 3 INCH DEEP, .040 BLK. PRE-FINISHED ALUMINUM CHANNEL COIL
BACKS: .063 WHITE PRE-FINISHED ALUMINUM
FACES: .1875 WHITE PLEX
FACE GRAPHICS: N/A
TRIM-CAP: 1 INCH BLACK
ILLUMINATION: WHITE HANLEY LED's

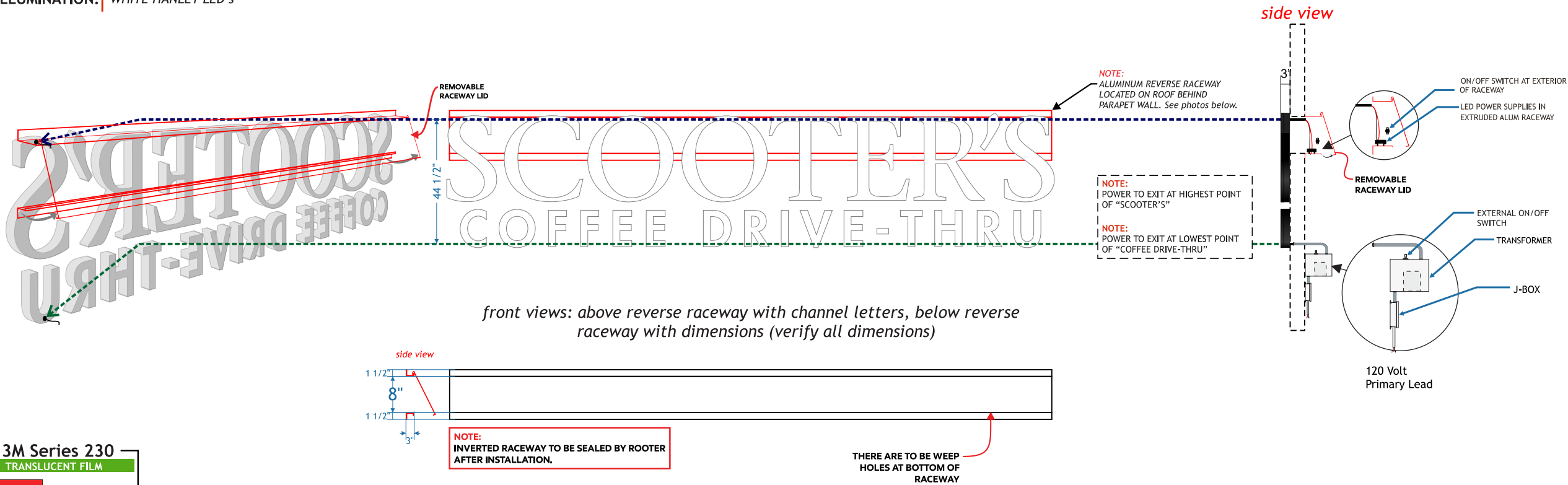


"SCOOTER'S" SQ. FT = 45.68 SQ. FT.

"COFFEE DRIVE-THRU" SQ. FT = 19.38 SQ. FT.

TOTAL: 65.06 SQ. FT.

NOTE: CHANNEL LETTERS MOUNTED TO A REVERSE RACEWAY ON NOTED ELEVATIONS. VERIFY ALL DIMENSIONS THE FOLLOWING DIAGRAMS ARE NOT TO SCALE.



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402.341.6077 • 402.341.7654 fax
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DRAWING # : 136878-4
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU

Store #2827 - 5490 Business Dr.
Sussex, WI

NOTICE:

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Signed _____ Date _____
Sales Rep. _____ Date _____

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



SCOOTER'S
ILLUMINATED CHANNEL LETTERS

RETURNS: 3 INCH DEEP, .040 BLK. PRE-FINISHED ALUMINUM CHANNEL COIL
BACKS: .063 WHITE PRE-FINISHED ALUMINUM
FACES: .1875 WHITE PLEX
FACE GRAPHICS: 230-43 TOMATO RED - TRANSLUCENT
TRIM-CAP: 1 INCH BLACK
ILLUMINATION: RED HANLEY LED's - not shown

COFFEE DRIVE-THRU
ILLUMINATED CHANNEL LETTERS

RETURNS: SEE ABOVE
BACKS: SEE ABOVE
FACES: SEE ABOVE
FACE GRAPHICS: N/A
TRIM-CAP: SEE ABOVE
ILLUMINATION: WHITE HANLEY LED's

SCOOTER'S
COFFEE DRIVE-THRU

SCOOTER'S
COFFEE DRIVE-THRU

SCOOTER'S

SCOOTER'S
COFFEE DRIVE-THRU



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DRAWING # : 136878-5
PROJECT ID: 36868

SALES PERSON: pedro vargas
DRAWN BY: wes stephens

DATE: 06.26.25
Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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Signed _____ Date _____
Sales Rep. _____ Date _____

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D/S MONUMENT SIGN

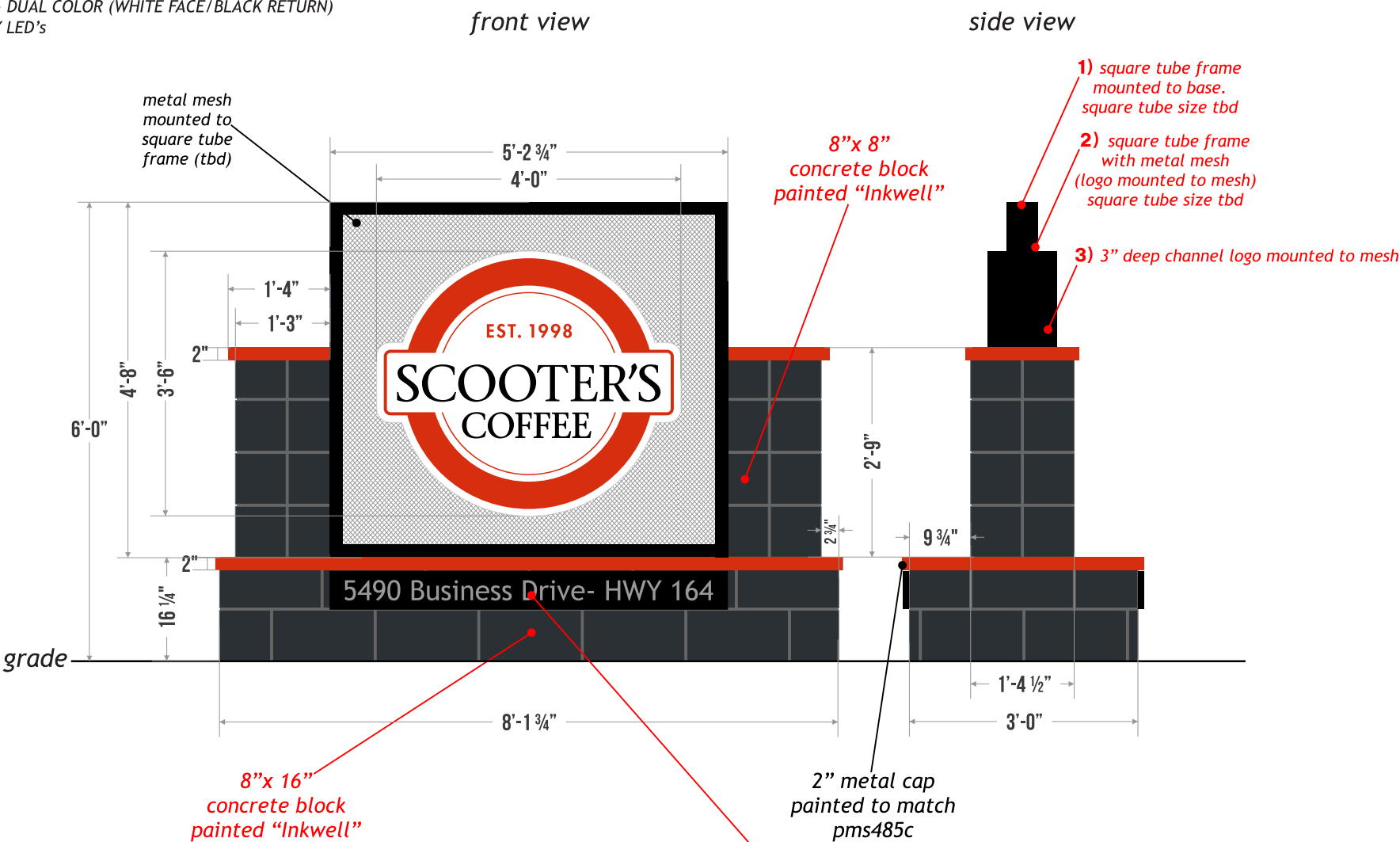
SIGN
5

Scale: 1/2" = 1'-0"

SCOOTER'S
COFFEE DRIVE-THRU

S/S CHANNEL LOGO - ILLUMINATED

RETURNS: 3 INCH DEEP, .050 BLK. PRE-FINISHED ALUMINUM CHANNEL COIL
BACKS: .063 WHITE PRE-FINISHED ALUMINUM
FACES: 3/16 INCH WHITE PLEX
FACE GRAPHICS: 1ST SURFACE VINYL (AS NOTED)
RETAINERS: 1" RETAINERS - DUAL COLOR (WHITE FACE/BLACK RETURN)
ILLUMINATION: WHITE HANLEY LED'S



16 total sq ft

power - logo cabinet
output: 24v
input: LAMP
volt: 115-277 vac

NOTE:
RETAINERS ARE TO BE
DUAL COLOR, WHITE ON
FACE AND BLACK ON THE
RETURN SIDES.

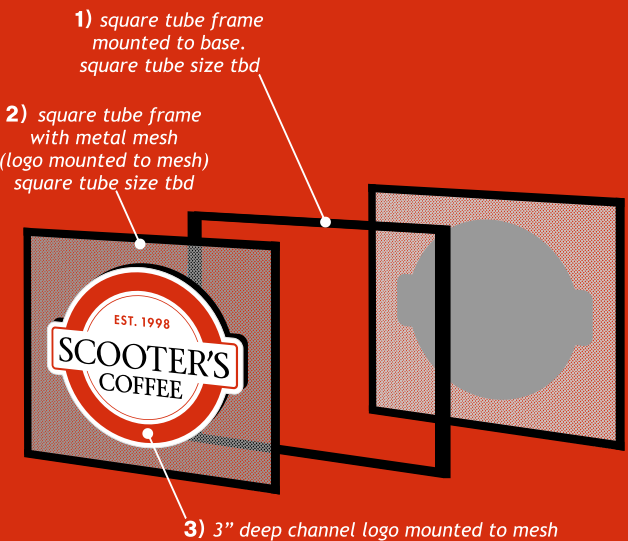
3M Series 230
TRANSLUCENT FILM

LT. TOMATO RED
230-43

BLACK
230-22

MONUMENT DETAIL

SQUARE TUBE FRAME W/METAL MESH,
LOGO MOUNTED TO MESH



TOP VIEW



1 panel hinges to center square tube frame for service access



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DRAWING # : 136878-6
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

NOTICE:

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Signed _____ Date _____
Sales Rep. _____ Date _____

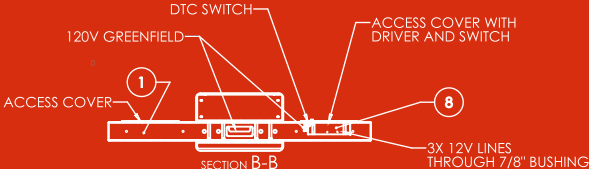
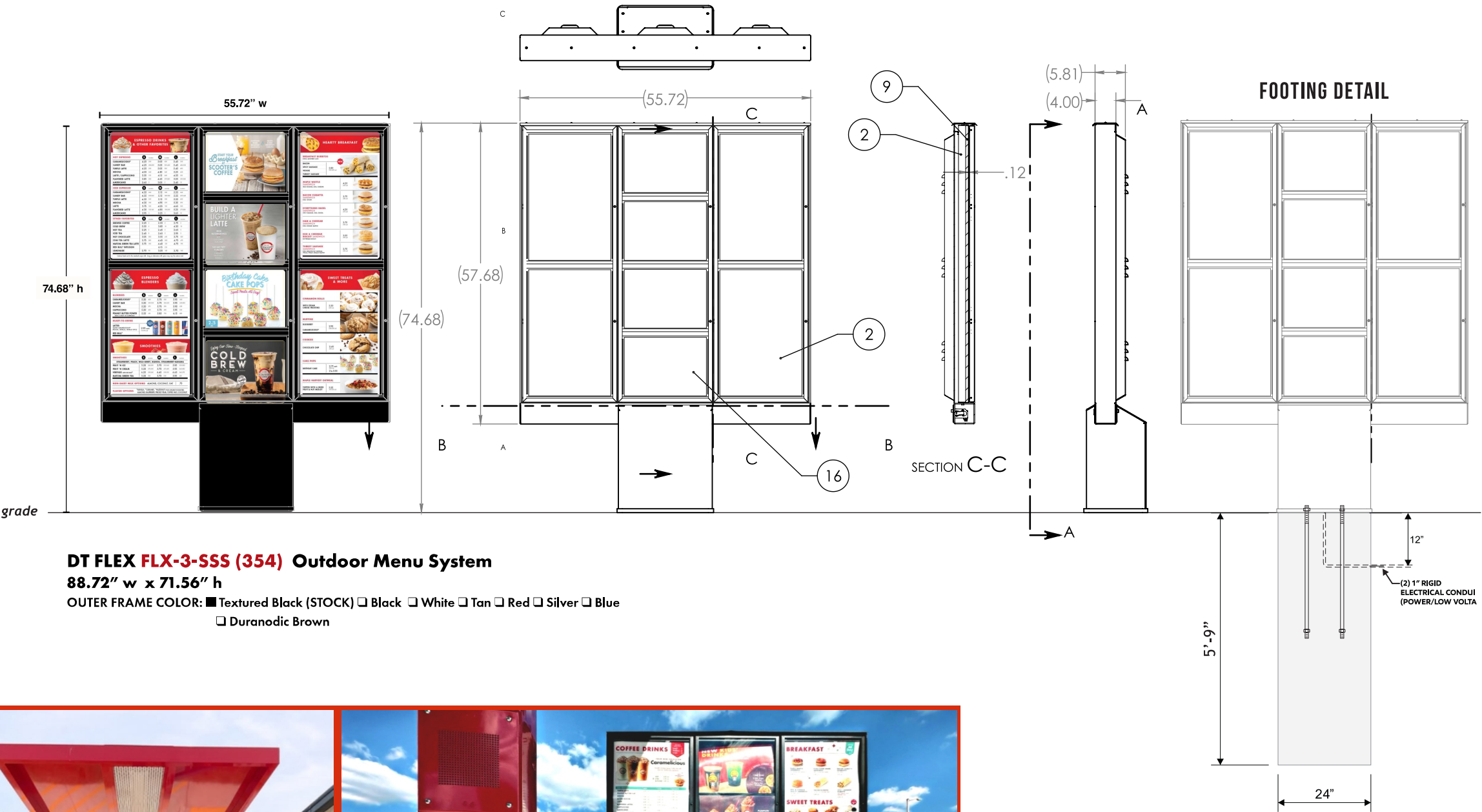
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



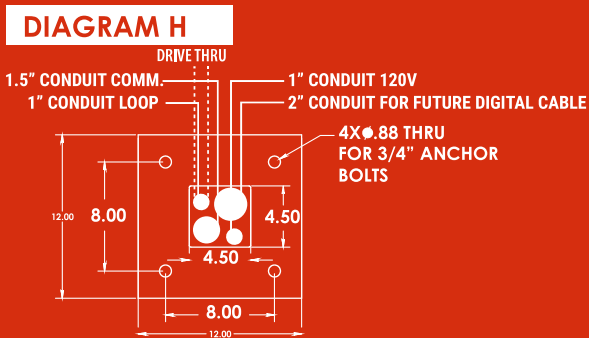
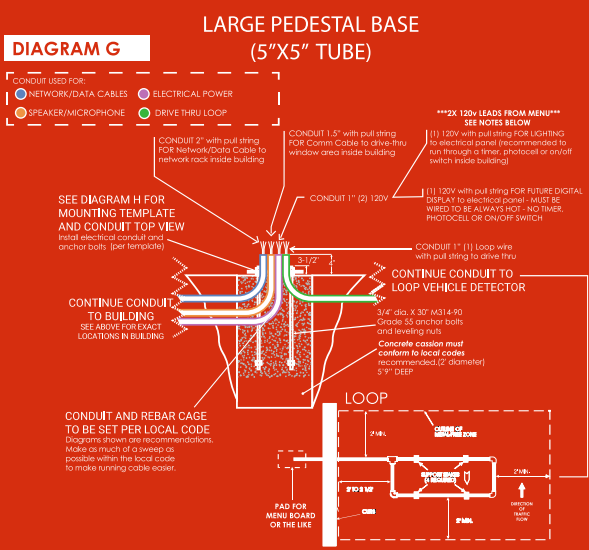
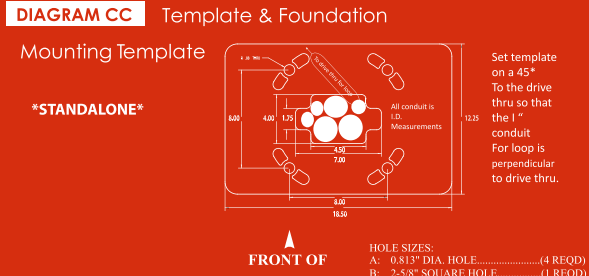
MENU BOARD

SIGN
6

Scale: 1/2" = 1'-0"



L100414-004 DRIVER,LED,MEANWEL,12V,150W,XLG-150-12-A



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DRAWING # : 136878-7
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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Signed _____ Date _____
Sales Rep. _____ Date _____

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DIRECTIONAL SIGNS

Scale: 3/4" = 1'-0"



D/S ILLUMINATED DIRECTIONAL

INTERIOR FRAME: 1 INCH ANGLE IRON
CABINET / COLOR: .063 SHEET ALUMINUM PAINTED: BLACK
TRIM-CAP: 1 INCH BLACK
FACE MATERIAL: 3/16" WHITE PLEX
GRAPHICS: APPLIED VINYL GRAPHICS (AS NOTED)
ILLUMINATION: WHITE HANLEY LED's

CABINET TO BE MOUNTED IN CUSTOMER SPECIFIED
LOCATION USING PROPER HARDWARE AND FASTENERS
(NON-CORROSIVE).

FOOTING DETAIL

DEPTH: 42 Inches
WIDTH: 12 Inches
TYPE: AUGURED.
STEEL SIZE: 3 Inch Std.

NOTE: TO BE VERIFIED.

3.1 sq ft



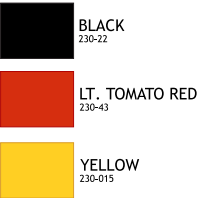
0.9 sq ft



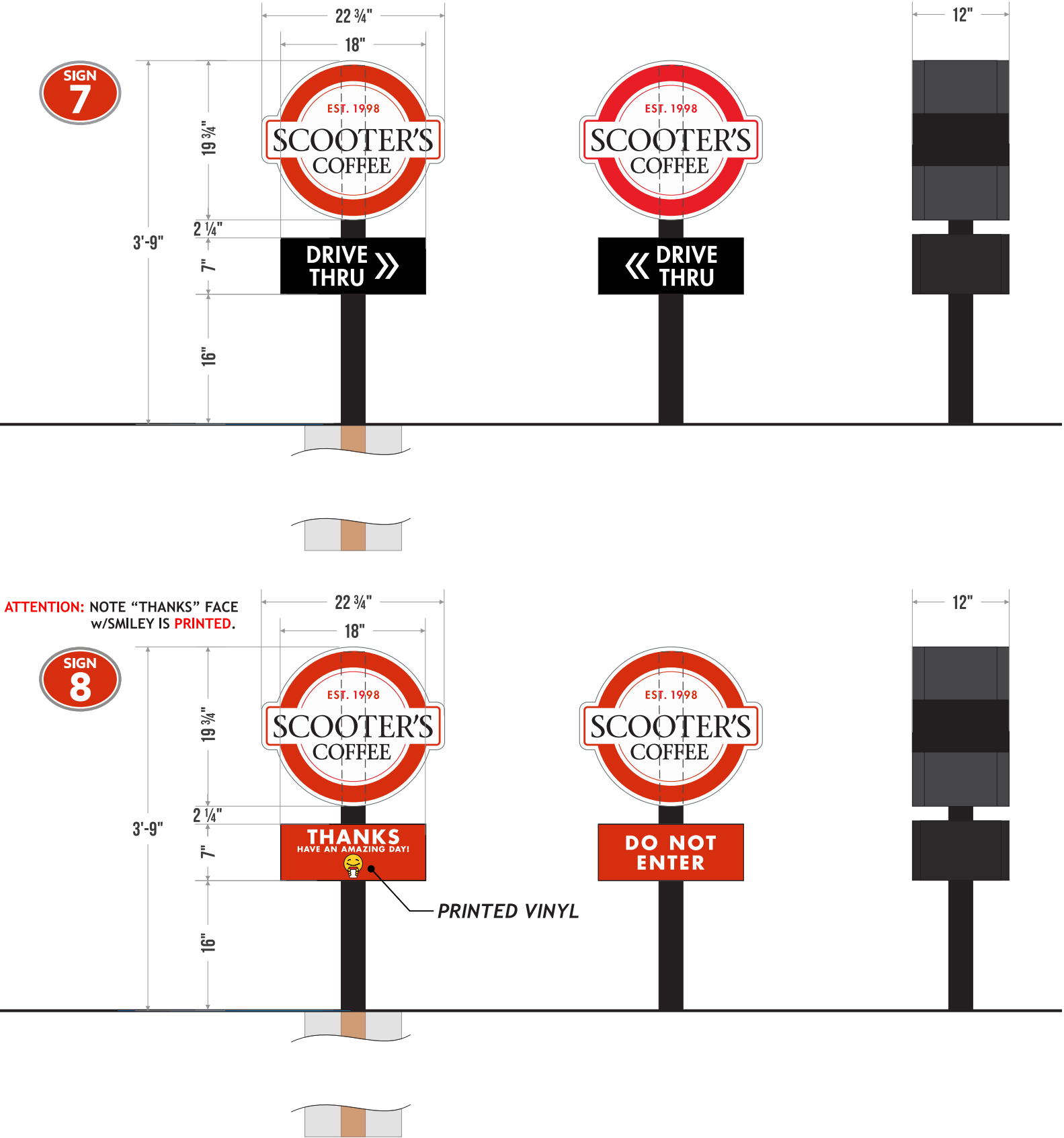
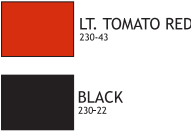
4 total sq ft

power
output: 12v
input: .65 amps
volt: 115 vac

3M Series 230
TRANSLUCENT FILM



3M Series 230
TRANSLUCENT FILM



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DRAWING # : 136878-8
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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PRIOR TO ANY FABRICATION OF PRODUCT.
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Signed _____ Date _____
Sales Rep. _____ Date _____

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requirements of Article 600 of the
National Electric Code and/or
other applicable local codes. This
includes proper grounding and
bonding of the sign.



DIRECTIONAL SIGNS

SIGN 7
SIGN 8

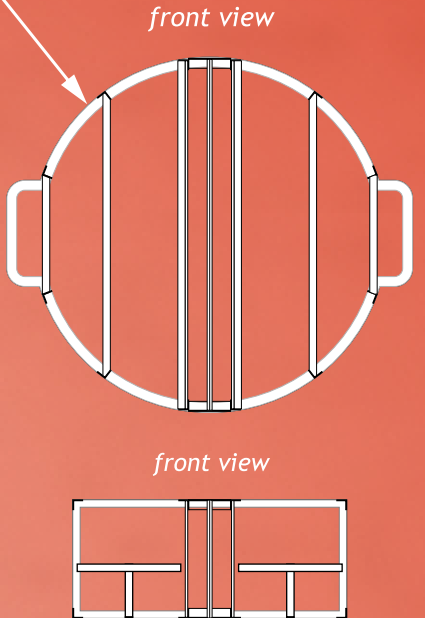
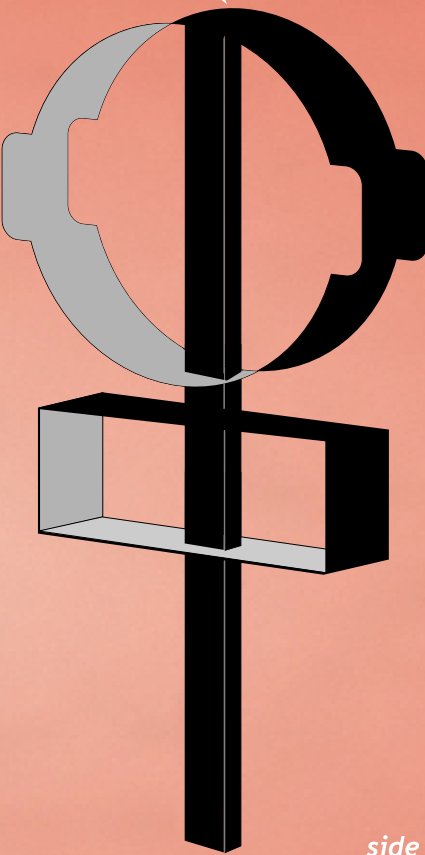
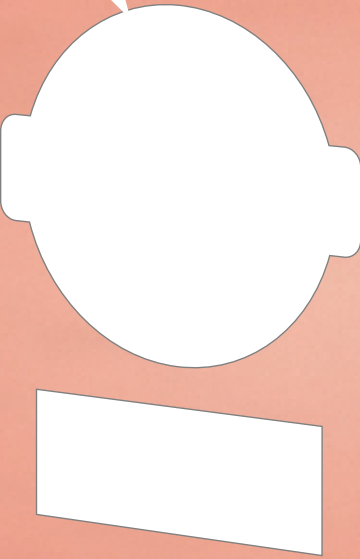
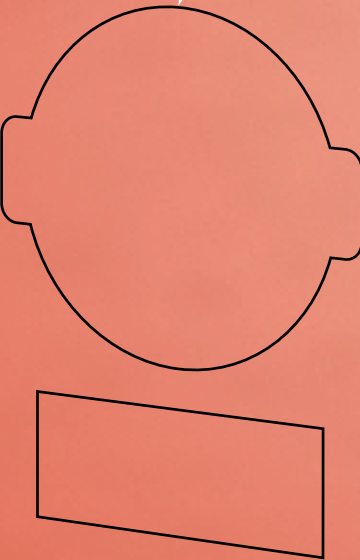
DIRECTIONAL SIGN FABRICATION

SCOOTER'S
COFFEE DRIVE-THRU

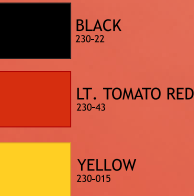
D/S ILLUMINATED DIRECTIONAL

- INTERIOR FRAME: 1 INCH ANGLE INTERIOR FRAME
CABINET / COLOR: .063 SHEET ALUMINUM PAINTED: BLACK
TRIM-CAP: 1 INCH BLACK
FACE MATERIAL: 3/16" WHITE PLEX
GRAPHICS: APPLIED VINYL GRAPHICS (AS NOTED)
ILLUMINATION: WHITE HANLEY LED's - not shown

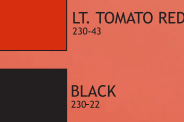
CABINET TO BE MOUNTED IN CUSTOMER SPECIFIED
LOCATION USING PROPER HARDWARE AND FASTENERS
(NON-CORROSIVE).



3M Series 230
TRANSLUCENT FILM



3M Series 230
TRANSLUCENT FILM



PRINTED VINYL

side A



side B



side A



side B



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DRAWING # : 136878-9
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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Signed _____ Date _____
Sales Rep. _____ Date _____

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National Electric Code and/or
other applicable local codes. This
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bonding of the sign.



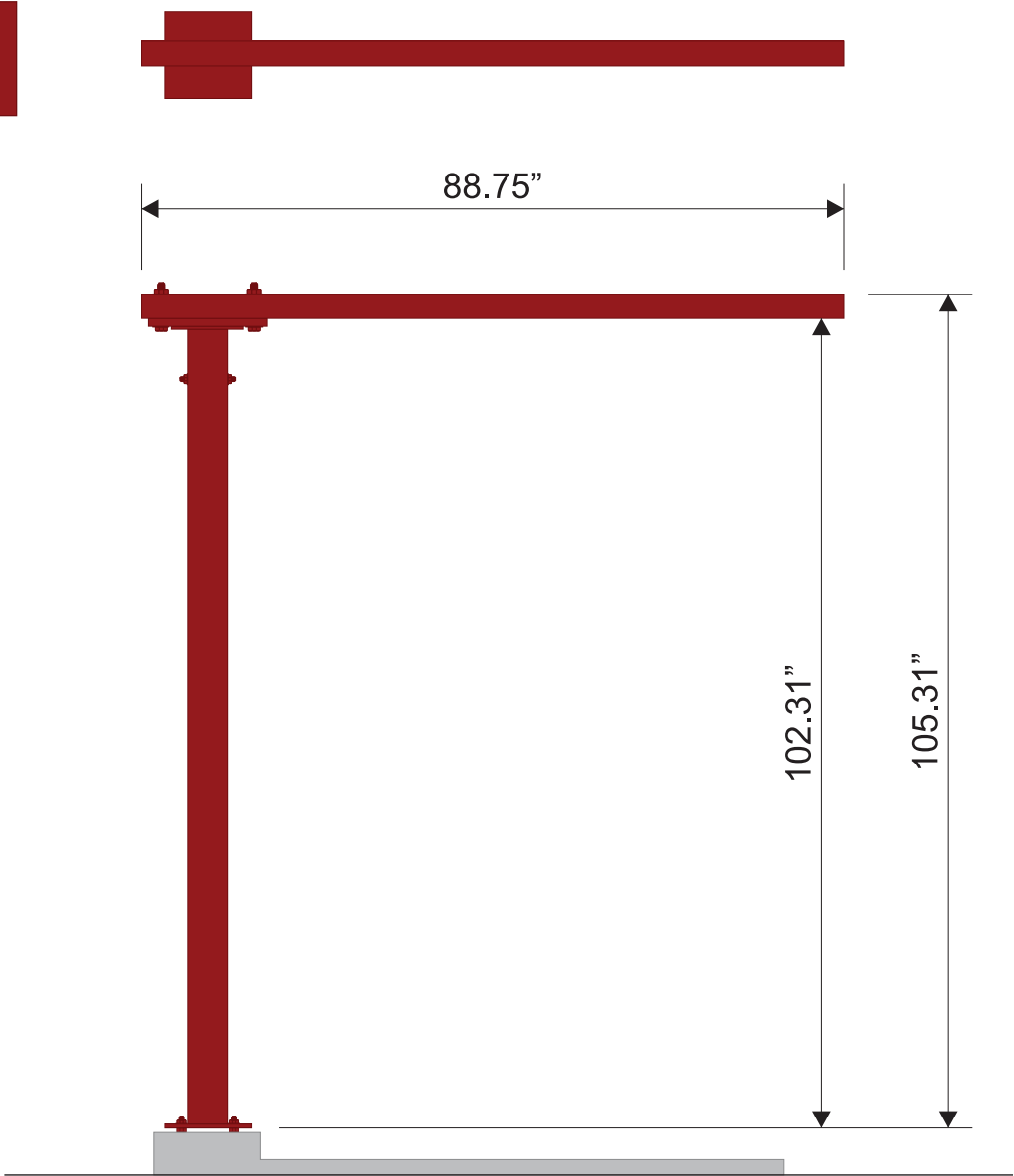
CLEARANCE BAR



Scale: 1/2" = 1'-0"

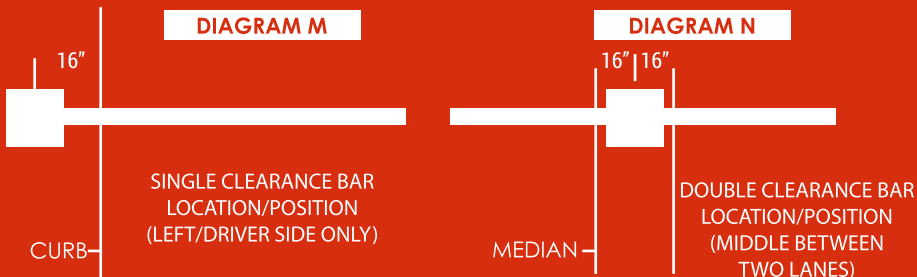


RED



CURB LEVEL

2 Foundation Placement



Toll Free Phone: 1-800-782-6222 • Website: www.howardcompany.com

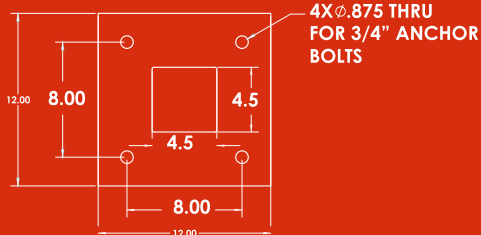
DELUXE CLEARANCE BAR

FOUNDATION INSTRUCTIONS

DIAGRAM C Template & Foundation

Mounting Template

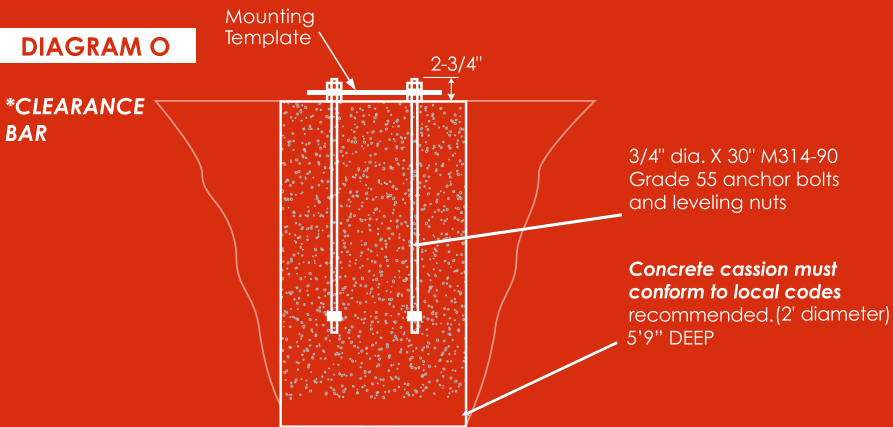
HOLE SIZES:
A: 0.813" DIA. HOLE.....(4 REQD)
B: 4.5" SQUARE HOLE.....(1 REQD)



Foundation

The high voltage conduit must be installed in place by a qualified contractor. It runs from the power source to the menu board location. A conduit stub should protrude 4" above the concrete slab (see Diagram O). Use the template supplied for the correct relation between the mounting bolts and the conduit location. Power and ground leads should be pulled through the conduit approximately 12" beyond the conduit stub, and be accessible at the time of final wiring. **Note: The 120VAC power lines run up the inside back of the pedestal base (see Diagram C, Mounting Template)** After the location is established, pour the concrete footing per local codes. While the concrete is still soft, insert the four (4) anchor bolts. Use the supplied template as a bolt and conduit locator. Anchor bolts should be 2-3/4" above grade (see Diagram C Foundation). **Note: Prior to placing the template down, one (1) nut must be threaded onto each anchor bolt and sunk into the concrete, flush with the top of the nut.** Place the template over the eight (4) anchor bolts and secure in place with four (4) more nuts.

DIAGRAM O



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P 2

C102412-009 05/21

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DRAWING # : 136878-10
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

NOTICE:

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Signed _____ Date _____
Sales Rep. _____ Date _____

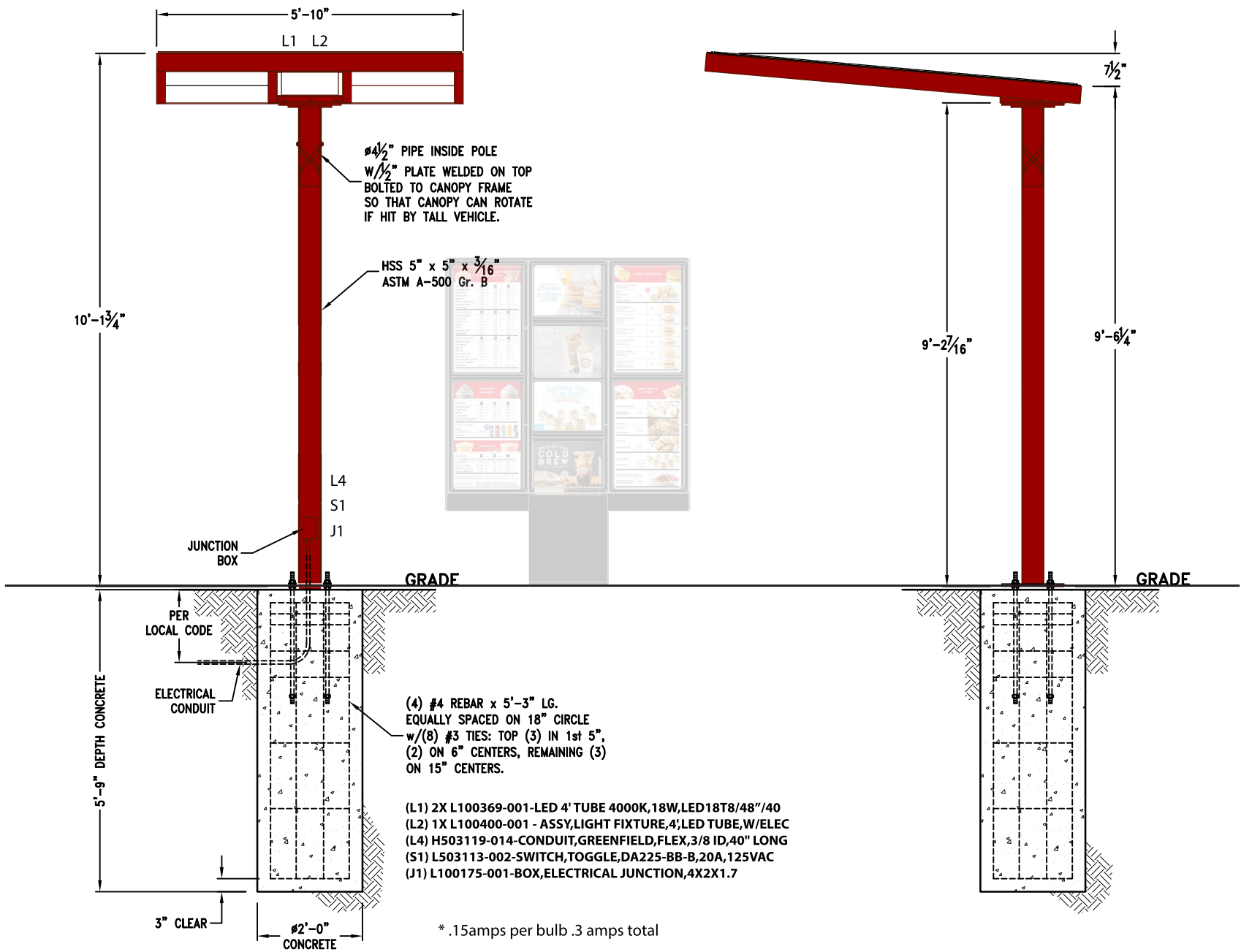
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MENU BOARD CANOPY



Scale: 3/8" = 1'-0"



CANOPY FLAT TOP INSTRUCTIONS

DIAGRAM C

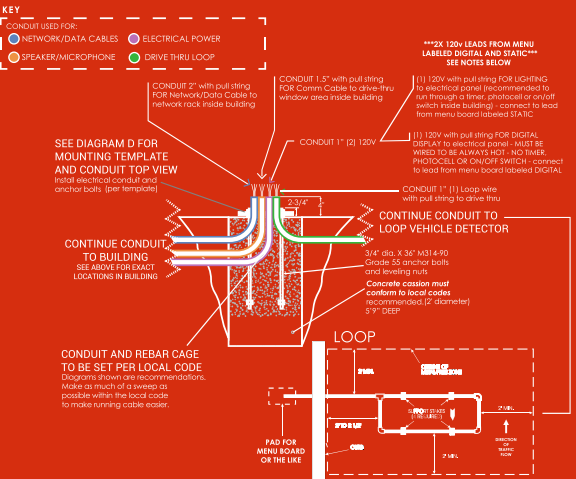
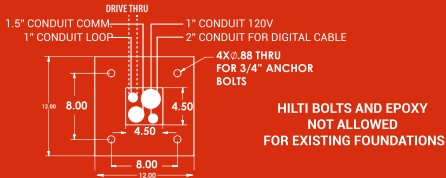


DIAGRAM D

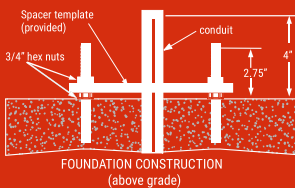


Phone: 1-262-782-6000 • Website: www.howardcompany.com
P.4 8-17-16 C102251-001

THE HOWARD COMPANY

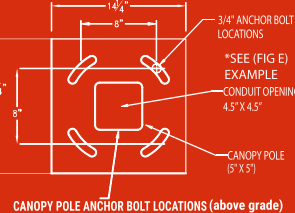
CANOPY FLAT TOP INSTRUCTIONS

DIAGRAM E



4. The high voltage conduit must be installed in place by a qualified contractor. It runs from the source power to the canopy location. A conduit stub should protrude 4" above the concrete slab. Power and ground leads should be pulled through the conduit approximately 30" beyond the conduit stub and accessible at the time of final wiring.

DIAGRAM F

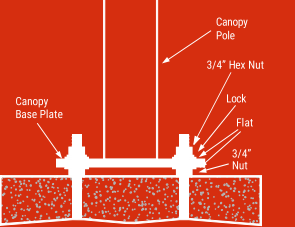


5. After the concrete has set, remove the template and discard.

6. The canopy is ready to be mounted. Remove any concrete residue from the threads of the anchor bolts. Thread one nut onto each bolt until it stops; then put a flat washer over each bolt. place the unit onto the foundation making sure all of the anchor bolts are positioned in the corresponding canopy pole holes. Secure the unit with flat washers, lock washers, and 3/4" hex nuts (see Diagram G).

7. Level the unit by adjusting the upper and lower hex nuts until the canopy pole is level and tighten the nuts.

DIAGRAM G



Phone: 1-262-782-6000 • Website: www.howardcompany.com
P.5 8-17-16 C102251-001

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DRAWING # : 136878-11
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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Signed _____ Date _____
Sales Rep. _____ Date _____

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SNAP FRAME(S)



Scale: 1" = 1'-0"

NOTE: STRUCTURE DICTATES NUMBER OF SNAP FRAMES, ARTWORK MAY VARY



S/S SNAP FRAME PANELS

SCOPE OF WORK: INSTALL CUSTOMER PROVIDED SIGN PANELS. PANELS ARE TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION(S) USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).

NOTE: SNAP FRAMES ARE TO BE INSTALLED BY ON SITE G.C.

mounting detail

SELF TAPPING
NON-CORROSIVE
FASTENERS AROUND
FRAME PERIMETER

FASCIA

SNAP STYLE
DISPLAY FRAME

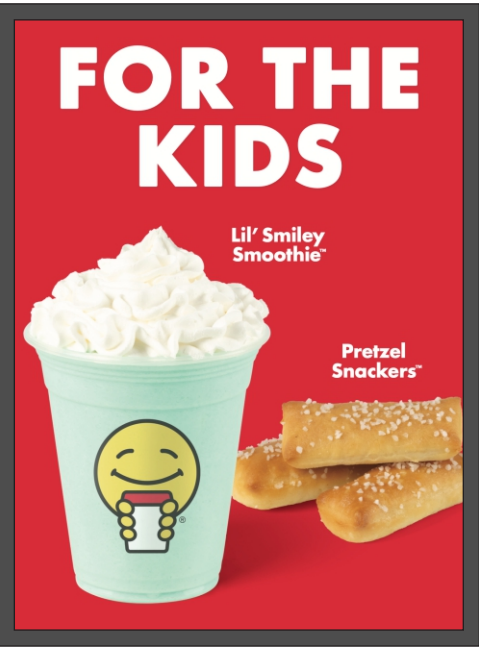
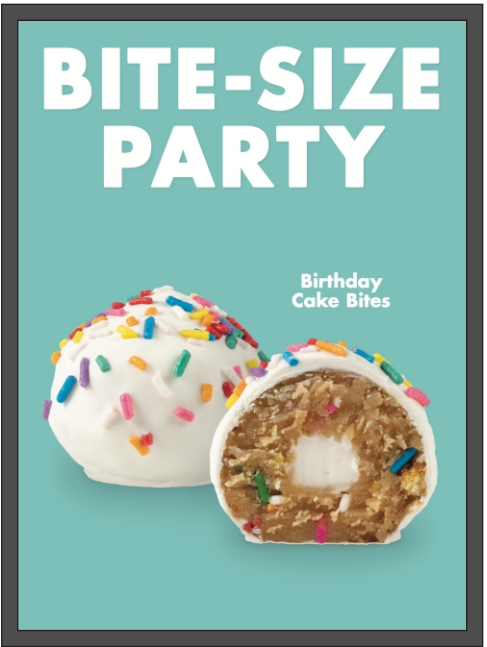


25.2 Total Sq. Ft. (DRIVE-THRU elevation)



8.4 Total Sq. Ft. (NORTH elevation)

33.6 Total Sq. Ft.



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DRAWING # : 136878-12
PROJECT ID: 36868

SALES PERSON: pedro vargas

DRAWN BY: wes stephens

DATE: 06.26.25

Revised:
DATE: 000000

INSPECTED BY:

SCOOTER'S
COFFEE DRIVE-THRU
Store #2827 - 5490 Business Dr.
Sussex, WI

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Signed _____ Date _____
Sales Rep. _____ Date _____

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LAND USE MAP AMENDMENT PETITION

TO: The Honorable President and Members of the Village Board for the Village of Sussex

I (we), the undersigned, being the owner(s) of all the area herein described, hereby petitions the Village Board of the Village of Sussex, Wisconsin, to amend the Land Use Map for the following described property:

Address: Outlot 6 Vista Run Rediv Lot 4 #12082

(Please attach a legal description)

Current Land Use: Placeholder Open Land

Requested Land Use: Single-Family Attached and Two-Family Residential, recreational, secondary environmental corridor

Purpose of amendment: Allow for Single-Family Attached/Two-Family Residential Use

Please provide the following:

Site Plan: submit a proposal of the land and identify the areas to be amended using the legend from the current Land Use Map. Provide estimated acreage of the proposed site.

Vista Run, LLC
Owner, Agent or Attorney
N27W24025 Paul Court Suite 100
Pewaukee, WI 53072
Address

Neumann Developments, Inc.
Owner, Agent or Attorney
N27W24025 Paul Court Suite 100
Pewaukee, WI 53072
Address

Contact Name: Bryan Lindgren Address: N27W24025 Paul Court Suite 100 Pewaukee, WI 53072

Phone #: 262-542-9200 E-mail: blindgren@neumanncompanies.com

Needed at time of submittal:

Land Use Map Amendment fee of \$500.00

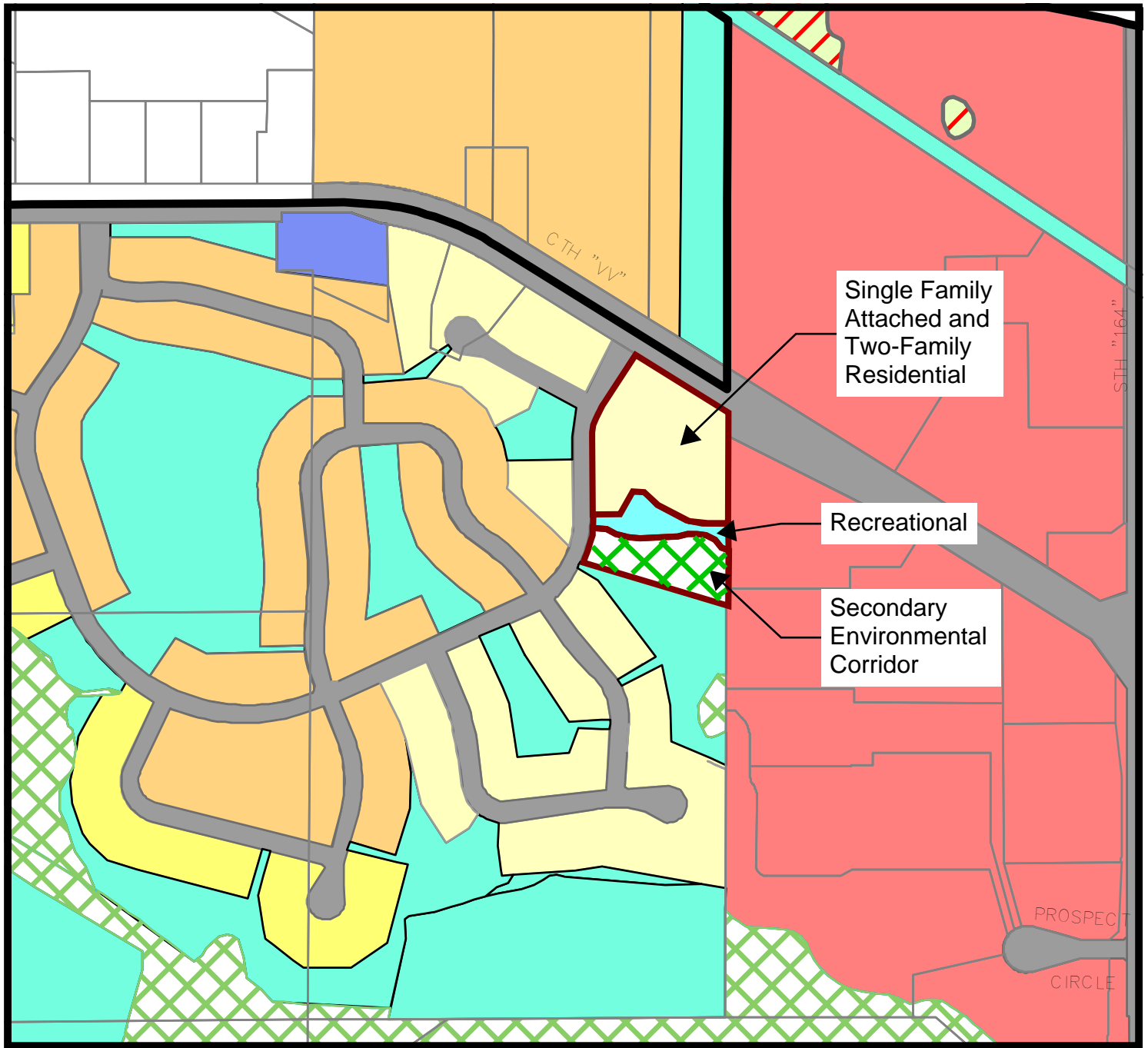
For office use only

Plan Commission recommendation: _____

Date filed with Village Clerk: _____ Publish dates: _____

Public Hearing date: _____ Village Board date: _____

PROPOSED LAND USE



Legend

- Open Land
- Single-Family Attached and Two-Family Residential
- Low Density Single-Family Residential
- Medium Density Single-Family Residential
- Multi-Family Residential
- Commercial
- Commerce Center
- Industrial
- Quarry
- Government and Institutional
- Recreational
- Publicly Owned Open Space
- Streets and Highways
- Railway, Communications and Utilities
- Surface Water

OUTLOT 6 VISTA RUN REDIV LOT 4

DATE: 06/16/2025



0 300 600 1,200



Feet

LEGAL DESCRIPTION

Abbreviated Legal Description: OUTLOT 6 VISTA RUN REDIV LOT 4 CSM #12082 BEING PT NE1/4 SE1/4 OF SW1/4 & NW1/4 SW1/4 OF SE1/4 SEC 21 & NE1/4 OF NW1/4 SEC 28 T8N R19E
 Property Address: Alpine Drive, Sussex, Wisconsin 53089
 Property Tax Key Identification Number: SUXV0227036

RESOLUTION NO. _____

AMENDMENT TO THE
2040 COMPREHENSIVE PLAN
FOR THE VILLAGE OF SUSSEX, WISCONSIN
AND SPECIFICALLY THE LAND USE MAP
A COMPONENT OF THE COMPREHENSIVE PLAN

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1002(2) of the Wisconsin Statutes; and

WHEREAS: The Village Board adopted a comprehensive plan on March 25, 2003 and updated to the 2040 Comprehensive Plan on May 22, 2018 and on occasion amendments will be made; and

WHEREAS: The Sussex Plan Commission has received a petition to amend the Land Use Map and finds it to be acceptable; and

WHEREAS: The Village desires to amend the adopted 2040 Comprehensive plan, specifically the Land Use Plan Map component of the same, based on a request by the petitioner, Neumann Development, specifically the property identified by Tax Key Number 0227.036 as follows:

FROM: The approximately 6.632 acres of the subject property that are currently classified on the Land Use Map as Open Space.

TO: The approximately 6.632 acres of the subject property would be classified on the Land Use Map as Single-Family Attached and Two-Family Residential, Recreational, and Secondary Environmental Corridor.

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Sussex, adopts this resolution and recommends that the Village Board of the Village of Sussex adopt an ordinance entitled AMENDMENT to the 2040 COMPREHENSIVE PLAN OF THE VILLAGE OF SUSSEX, WISCONSIN AND SPECIFICALLY THE LAND COMPONENT OF THE SAME to accomplish the following:

Amend the Land Use classification for the property identified by Tax Key Number 0227.036 containing approximately 6.632 acres on the Land Use Map as shown on the exhibit to the Single-Family Attached and Two-Family Residential, Recreational, and Secondary Environmental Corridor Land Use Classifications.

Exhibit A legal description attached hereto and incorporated herein.

ADOPTED THIS _____ DAY OF _____ 2025

Approved by a vote of ____ ayes ____ nays.

By: _____
Anthony LeDonne, Chairman

Attest: _____
Jennifer Boehm, Village Clerk

STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. _____

AMENDMENT TO THE 2040 COMPREHENSIVE PLAN
OF THE VILLAGE OF SUSSEX, WISCONSIN
AND SPECIFICALLY THE LAND COMPONENT OF THE SAME

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes; and

WHEREAS: the Village Board for the Village of Sussex is authorized to make changes to the adopted Comprehensive Plan upon recommendation of the Village Plan Commission; and

WHEREAS: the Plan Commission reviewed the amendment to the land use map, a component of the comprehensive plan, to change the Land Use classification for the property located at the southeast corner of Silver Spring Dr and Alpine Dr, more specifically the property identified by Tax Key Number 0227.036 as follows:

FROM: The approximately 6.632 acres of the subject property that are currently classified on the Land Use Map as Open Space.

TO: The approximately 6.632 acres of the subject property would be classified on the Land Use Map as Single-Family Attached and Two-Family Residential, Recreational, and Secondary Environmental Corridor.

WHEREAS: the Plan Commission made a finding the proposed amendment is consistent with the spirit and intent of the comprehensive plan; and

WHEREAS: the Village Plan Commission, by a majority vote, adopted resolution #_____, a copy of which is on file with the Village Clerk's office, recommending to the Village Board an amendment to the land use map which is a component of the comprehensive plan; and

WHEREAS: the Village Board conducted a public hearing on _____, 2025 regarding the proposed amendment in compliance with the requirements of section 66.1001(4)(d) of the Wisconsin Statutes; and

WHEREAS: the Village Board of the Village of Sussex, having carefully reviewed the recommendation of the Village Plan Commission, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration of the plan components, as may be herein amended, relating to issues and opportunities, housing transportation, utilities and community facilities, agricultural, natural

and cultural resources, economic development, inter governmental cooperation, land-use, and implementation has determined that the comprehensive plan dated March 25, 2003, as herein amended, will serve the general purposes of guiding and accomplishing a coordinated, adjusted and harmonious development of the Village of Sussex which will, in accordance with existing and future need, best promote public health, safety, morals, order convenience, prosperity and general welfare, as well as efficiency and economy in the process of development.

NOW THEREFORE, the Village Board of the Village of Sussex, do ordain as follows:

SECTION 1. FINDINGS

The Village Board makes the following findings relating to the plan amendment:

1. The subject property to be reclassified on the land use map is appropriate to be reclassified to the proposed land use classification due complimentary existing land uses adjacent to the property.
2. The proposed amendment is consistent with the spirit and intent of the comprehensive plan.

SECTION 2. AMENDMENT

The Village of Sussex's comprehensive plan is hereby amended to change the land use classification of property located at the southeast corner of Silver Spring Dr and Alpine Dr, more specifically the property identified by Tax Key Number 0227.036 as follows:

FROM: The approximately 6.632 acres of the subject property that are currently classified on the Land Use Map as Open Space.

TO: The approximately 6.632 acres of the subject property would be classified on the Land Use Map as Single-Family Attached and Two-Family Residential, Recreational, and Secondary Environmental Corridor.

SECTION 3. DISTRIBUTION OF RECOMMENDED AMENDMENT

1. The Village Administrator is directed to send a copy of this ordinance to the following along with an explanatory cover letter:
 - a. Clerk of each adjoining municipality;
 - b. County Clerk of the Waukesha County Administration Center, 1320 Pewaukee Road, Room 120; Waukesha, WI 53188;
 - c. Executive Director of the Southeast Wisconsin Regional Planning Commission; P.O. Box 1607
Waukesha, WI 53188;
 - d. Director; Waukesha County Department of Parks and Land Use; 515 W. Moreland Blvd Waukesha, WI 53188;
 - f. Wisconsin Department of Administration, Comprehensive Planning Program, 101 E. Wilson Street, 9th Floor Madison, WI 53703;
 - g. Pauline Haass Public Library N64W23820 Main Street, Sussex, WI 53089

SECTION 4. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2025.

VILLAGE OF SUSSEX

Anthony J. LeDonne, Village President

ATTEST:

Jennifer Boehm, Village Clerk-Treasurer

Approved by a vote of _____ ayes _____ nays.



REZONING PETITION

TO: The Honorable President and Members of the Village Board for the Village of Sussex

I (we), the undersigned, being the owner(s) of all the area herein described, hereby petitions the Village Board of the Village of Sussex, Wisconsin, to rezone the following described property:

Address: Outlot 6 Vista Run Rediv Lot 4 #12082

(Please attach a legal description)

Current zoning: A-1 Agricultural Requested zoning: SFRD-3, P-1, INRA with PDO Overlay

Purpose of rezoning:

Construction of a new public road and utilities to serve 13 proposed two-unit townhomes within the existing Vista Run development.

Please provide the following:

Site Plan/Survey/Plot Plan, drawn to scale of one inch equals one hundred (100) feet, showing the area to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts and the location and existing use of all properties within two hundred (200) feet of the area proposed to be rezoned.

Needed at time of submittal:

Rezoning application fee of \$500.00

Vista Run, LLC

Owner, Agent or Attorney
N27W24025 Paul Court, Suite 100
Pewaukee, WI 53072
Address, City, St & Zip

Neumann Developments, Inc

Owner, Agent or Attorney
N27W24025 Paul Court, Suite 100
Pewaukee, WI 53072
Address, City, St & Zip

Contact Name : Bryan Lindgren

N27W24025 Paul Court, Suite 100
Address: Pewaukee, WI 53072

Phone #: 262-542-9200

E-mail: blindgren@neumanncompanies.com

For office use only

Payment received: _____

Plan Commission recommendation: _____

Date filed with Village Clerk: _____

Publish dates: _____

Public Hearing date: _____

Village Board date: _____



6/18/2025

Village of Sussex
C/O Gabe Gilbertson
N64W23760 Main Street
Sussex, WI 53089

Dear Gabe,

Neumann Developments, Inc. is submitting for consideration a rezoning petition with a Planned Development Overlay (P.D.O.) for approximately 6.6 acres located south County HWY VV, east of Alpine Drive, in the Village of Sussex, tax key SUXV0227036.

Planned Development Overlay Overview

This petition carefully considers existing adjacent land uses by applying the Single Family Attached and Two-Family Residential land use category of the Village's Comprehensive Plan. By designating this parcel as such, the proposed use is consistent with properties both to the south and west of the subject property, and it remains compatible with the overall Vista Run development. Single Family Attached and Two-Family Residential land use correlates with the SF-RD-3 zoning district, generally applied in the plan as shown. Minor deviations from traditional zoning require a P.D.O. application and permits a condominium form of ownership while clustering residential units in a manner leading to the preservation of site-specific environmental features:

	Existing SF-RD-3 Zoning	Proposed SF-RD-3 P.D.O. Zoning
Minimum Lot Size	20,000sf	N/A
Minimum Lot Width	120'	N/A
Front Setback	30'	20'
Side Setback	30'	20' (bldg. to bldg.)
Rear Setback	25'	25'

The proposed zoning characteristics allow for flexibility to provide a housing option meeting the expectations of today's homebuyers. Variations with the applied P.D.O. are consistent with "The Towns at Vista Run" immediately to the west of the subject property. Furthermore, the proposed characteristics help maximize lands to be permanently protected, including delineated wetlands (denoted as an Isolated Natural Resource Area, INRA) and future stormwater facilities (denoted as Park, P-1). Both P-1 and INRA designated zoning areas are intended to be placed within outlots ultimately dedicated to the Village for public benefit and preservation:



	Area (Acres)
SF-RD-3	4.16
P-1	.79
INRA	1.67
Total:	<u>6.62</u>

Layout and Design

Right-of-way to be dedicated to the public is depicted in the general development plan and applies the Village's standard roadway specifications and engineering design standards, providing sufficient access for public safety. The roadway profile extends off Alpine Drive, continuing Breckenridge Court eastward, terminating at the property line with a temporary turnaround. Proposed improvements include municipal sanitary sewer, water, and storm sewer systems. Additional sidewalk is planned both on the southern side of the new roadway and on the east side of the existing Alpine Drive, connecting the existing HWY VV trail to the southernmost unit proposed. The sidewalk increases pedestrian flow and safety for both current and future residents. Stormwater will be managed primarily on-site, discharging into a planned retention basin accounting for capacity and water quality. Installation of private utilities would be coordinated with We Energies.

Thirteen buildings each with two townhome units, for a total of twenty-six units, are planned. Architectural elements would continue the theme set forth by The Towns at Vista Run. Example elevations may be found on the following page. Condominium form of fee-simple ownership is an applicable use for attached townhome-style units and would create common elements to be managed through a condominium association. Maintenance responsibilities and association organizational structure, as well as architectural standards and review practices, would be defined within condominium declarations and bylaws.

Outcome

After carefully studying the demand in the Sussex area, the product presented allows for delivering expected price points in mid \$400s for owner-occupied units, a financially attainable offering in today's market that expands the housing variety available in Sussex.

Groundbreaking is anticipated to occur in spring of 2026, with occupied units by spring of 2027. The total assessed valuation is projected to reach \$12 million upon completion of construction.

Thank you for your consideration. We look forward to continuing our partnership with the Village of Sussex.

Sincerely,

Bryan Lindgren

Bryan Lindgren

Neumann Developments, Inc.

NEUMANN DEVELOPMENTS, INC. * N27 W24025 PAUL CT. SUITE 100 * PEWAUKEE, WI 53072
262-542-9200 * FAX: 262-349-9324 * NEUMANNDEVELOPMENTS.COM

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH
501 MAPLE AVE
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

RE-ZONING EXHIBIT

BEING ALL OF OUTLOT 6 VISTA RUN LOCATED IN
THE NW 1/4 OF THE SE 1/4 OF SECTION 21 T.8N.,
R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY,
WISCONSIN

LEGEND

● - 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)

— G — - GAS LINE / VALVE

— TV-BUR — - BURIED TELEPHONE

— P-BUR — - BURIED ELECTRIC

— P-OH — - OVERHEAD ELECTRIC POWER POLE / GUY ANCHOR

— TREELINE DRIP EDGE

— << [Symbol] — - STORM MAIN LINE/ CULVERT / STORM CATCH BASIN / MANHOLE

— [Symbol] — - WATER LINE / FIRE HYDRANT / VALVE

★ - LIGHT POLE

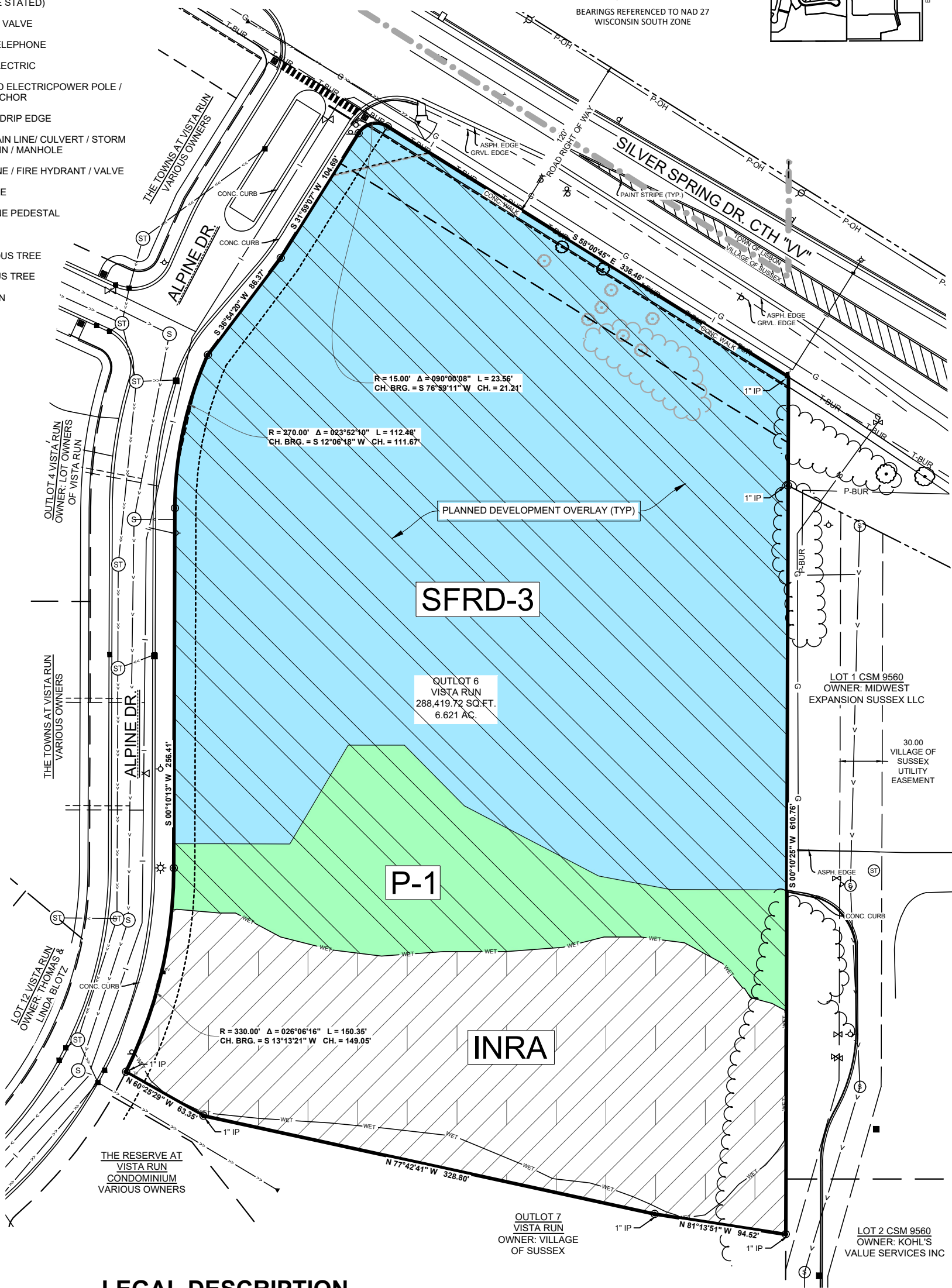
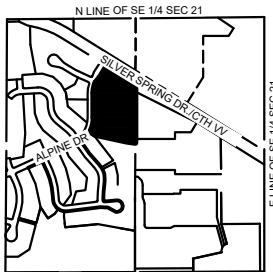
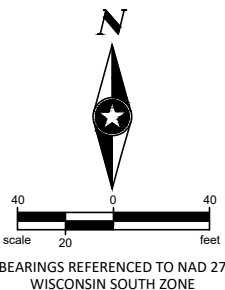
■ - TELEPHONE PEDESTAL

△ - SIGN

✱ - CONIFEROUS TREE

○ - DECIDUOUS TREE

- EXCEPTION



LEGAL DESCRIPTION

PER COMMITMENT NO: 24000030450

LEGAL DESCRIPTION PER "EXHIBIT A"

Outlot 6, Vista Run, a Redivision of Lot 4 of Certified Survey Map No. 12082, being a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 and the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 21, and the Northeast 1/4 of the Northwest 1/4 of Section 28, Township 8 North, Range 19 East, Village of Sussex, Waukesha County, State of Wisconsin.



SEH PROJECT: NEUMA 149103
DRAWN BY: KGB
CHECKED BY: KAK

REZONING EXHIBIT

BEING ALL OF OUTLOT 6 VISTA RUN LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 21 T.8N., R.19E.,
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH
501 MAPLE AVE
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

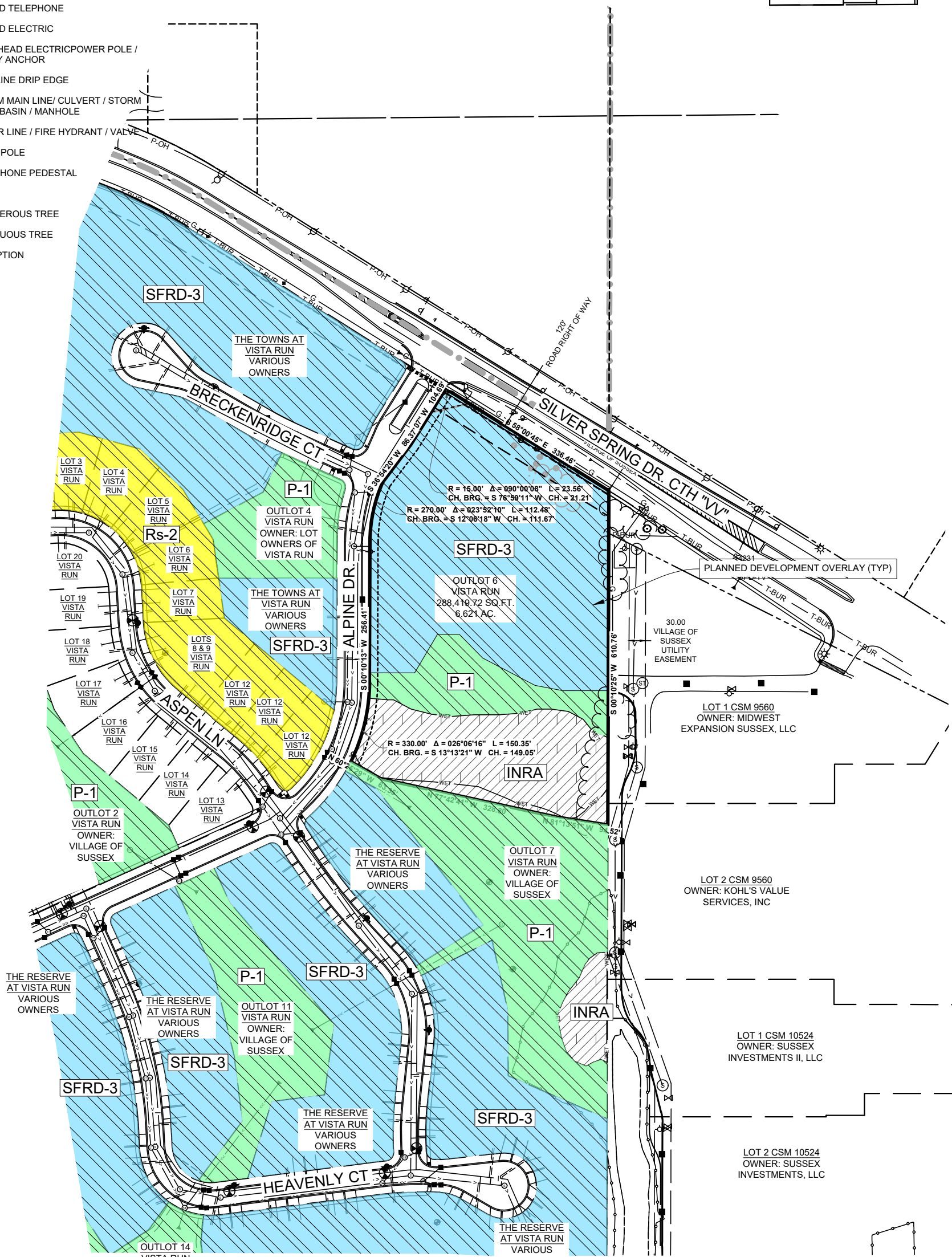
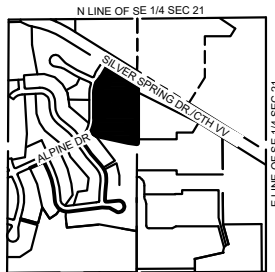
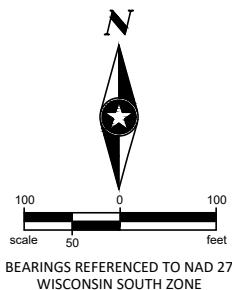
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BEING ALL OF OUTLOT 6 VISTA RUN LOCATED IN
THE NW 1/4 OF THE SE 1/4 OF SECTION 21 T.8N.,
R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY,
WISCONSIN

LEGEND

- 2" IRON PIPE FOUND (UNLESS
OTHERWISE STATED)

- G — GAS LINE / VALVE
- TV-BUR — TV-BUR — BURIED TELEPHONE
- P-BUR — P-BUR — BURIED ELECTRIC
- P-OH — OVERHEAD ELECTRIC POWER POLE / GUY ANCHOR
- TREELINE DRIP EDGE
- STORM MAIN LINE/ CULVERT / STORM CATCH BASIN / MANHOLE
- WATER LINE / FIRE HYDRANT / VALVE
- * — LIGHT POLE
- — TELEPHONE PEDESTAL
- △ — SIGN
- * — CONIFEROUS TREE
- — DECIDUOUS TREE
- ## — EXCEPTION



LEGAL DESCRIPTION

PER COMMITMENT NO: 24000030450

LEGAL DESCRIPTION PER "EXHIBIT A"

Outlot 6, Vista Run, a Redivision of Lot 4 of Certified Survey Map No. 12082, being a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 and the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 21, and the Northeast 1/4 of the Northwest 1/4 of Section 28, Township 8 North, Range 19 East, Village of Sussex, Waukesha County, State of Wisconsin.

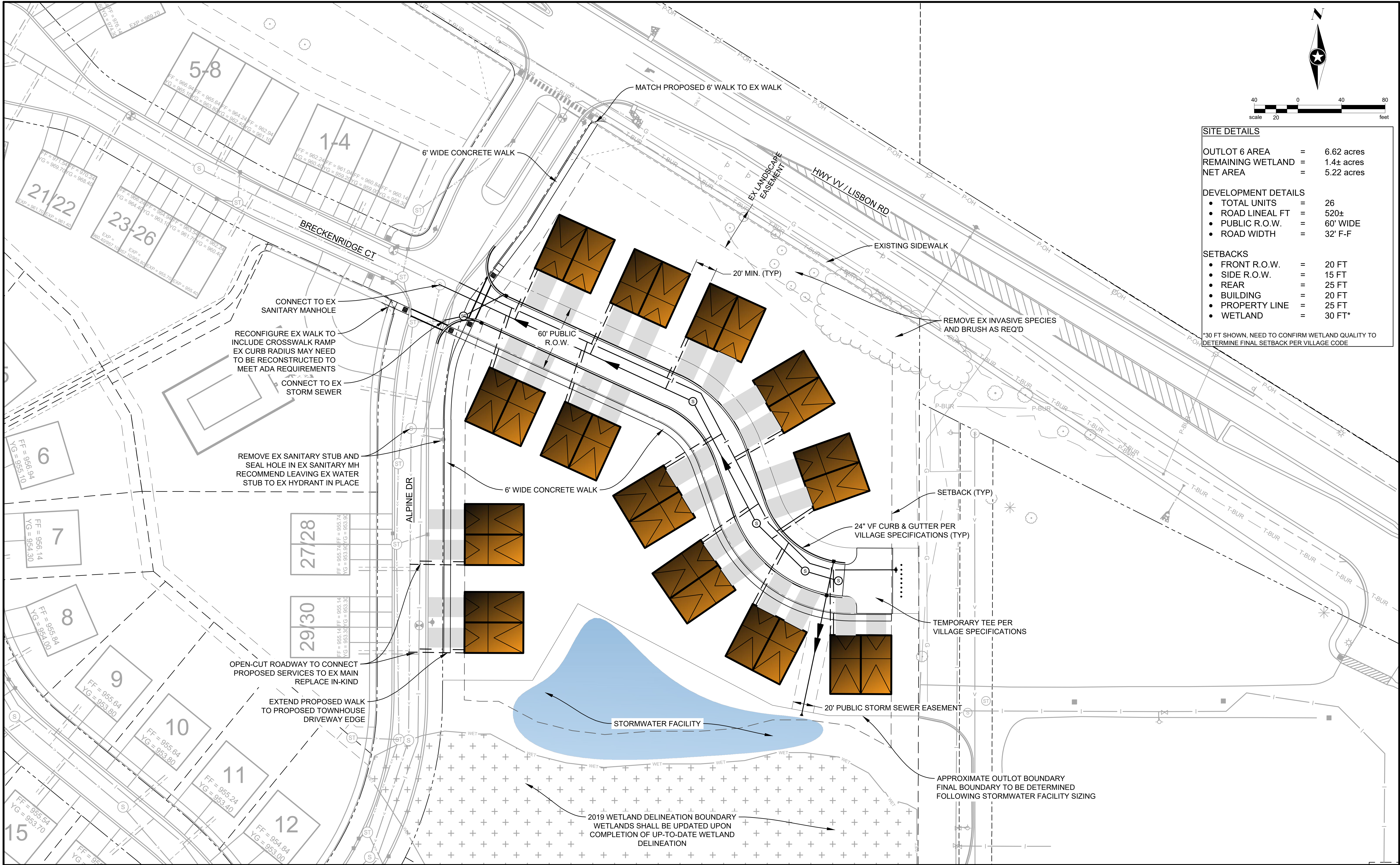


SEH PROJECT: NEUMA 149103
DRAWN BY: KGB
CHECKED BY: KAK

REZONING EXHIBIT

BEING ALL OF OUTLOT 6 VISTA RUN LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 21 T.8N., R.19E.,
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

Save: 5/27/2025 5:04 PM zhochevar Plot: 5/27/2025 5:08 PM X:\KONNEUMA149\035-final-cdsh\51-drawings\10-Civil\cd\wg1_Outlot 6 Townhomes\NU149103_GM_OL6.dwg



SEH Project		149103	Rev. #	Plan Revision Issue Description		Date	Rev. #	Sheet Revision Issue Description		Date	VISTA RUN OUTLOT 6 RESIDENTIAL DEVELOPMENT VILLAGE OF SUSSEX, WI		PRELIMINARY SITE PLAN		1
Drawn By		ZJH	#	#		#	#	#		#					of 1
Designed By		MAM	#	#		#	#	#		#					
Checked By		ZJH	#	#		#	#	#		#					



NEUMANN DEVELOPMENTS, INC. * N27 W24025 PAUL CT. SUITE 100 * PEWAUKEE, WI 53072
262-542-9200 * FAX: 262-349-9324 * NEUMANNDEVELOPMENTS.COM

STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. _____

AN ORDINANCE TO REZONE
CERTAIN LANDS IN THE VILLAGE OF SUSSEX FROM THE
A-1 AGRICULTURAL ZONING DISTRICT
TO
SFRD-3 SINGLE FAMILY ATTACHED, P-1 PARK, AND P-2 PARK
WITH AN ISOLATED NATURAL RESOURCE AREA OVERLAY

WHEREAS: A petition has been filed by Neumann Development (“Petitioner”) for the Rezoning of certain lands in the Village of Sussex to rezone said properties as described in Exhibit A attached hereto and incorporated herein (“Subject Properties”); and

WHEREAS: Said rezoning petition was submitted to rezone the subject property to the A-1 Agricultural Zoning District to the SFRD-3 Single Family Attached, P-1 Park, and P-2 Park with an Isolated Natural Resource Area Overlay as described on Exhibit A-1; and

WHEREAS: The Petitioner has supplied all required data pursuant to the Village of Sussex Zoning Code; and

WHEREAS: Upon due notice as required by Section 17.1300 and 17.1400 of the Village Code, the Village Board held a public hearing on _____, as required by Section 17.1305 of the Village Code; and

WHEREAS: The Plan Commission has reviewed the basis for approval described in Section 17.1300 of the Village Code and has found that the proposed rezoning is in keeping with the general welfare and good zoning practice of the Village of Sussex, subject to all terms and conditions of this zoning ordinance being satisfied; and

WHEREAS: The subject property is currently vacant and a developer has a potential user for the site that would require the subject property to be rezoned; and

WHEREAS: Adjacent properties to the west and south are also Zoned SFRD-3 and similarly developed; and

WHEREAS: The Village Plan Commission of the Village of Sussex has recommended to the Village Board of the Village of Sussex that said zoning change be made upon certain conditions; and

WHEREAS: The Village of Sussex has reviewed the basis for approval of the petition described in Section 17.1300, and concurs with the Village Plan Commission, and makes the same findings, subject to all terms and conditions of this zoning ordinance being duly satisfied as required herein; and

WHEREAS: The Village Board of the Village of Sussex having carefully reviewed the recommendation of the Plan Commission of the Village of Sussex, having determined that all

procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the health, safety and welfare of the community, immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved as well as the impact on the surrounding properties as to noise, dust, smoke and odor, and others hereby determine that the rezoning will not violate the spirit or intent of the Zoning Code for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be hazardous, harmful, noxious, offensive and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the operation is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendation found in the Village of Sussex master plan.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1: The subject property as described on **Exhibit A** is hereby rezoned to the SFRD-3 Single Family Attached, P-1 Park, and P-2 Park with an Isolated Natural Resource Area Overlay and the Zoning Map of the Village of Sussex is hereby amended, subject to the terms and conditions described herein.

SECTION 2: The above rezoning and zoning map amendment is conditioned upon the following conditions, which must be complied with or this ordinance is null and void:

1. Presentation Compliance. The subject property must be developed as a senior living facility following the approval and compliance of a Conditional Use Permit for a senior living facility on the subject property.
2. Special Assessment. The payment of outstanding special assessments owed on this property must be paid in full prior to starting any site work.
3. Professional Fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this rezoning petition, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional rezoning ordinance due to a violation of these conditions.
4. Payment of Charges. Any unpaid bills owed to the Village by the owner of subject lands or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village: shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of billing by the Village, pursuant to Section 66.0627. Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional rezoning ordinance that is subject to

all remedies available to the Village, including possible cause for termination of the conditional rezoning ordinance.

5. Acceptance. Subject to the petitioner approving in writing the issuance of the conditional rezoning ordinance, and that the petitioner understands and accepts the same, and that upon failure to satisfy these conditions, this conditional rezoning ordinance is void, and the same is deemed not to have been approved, and the Petitioner will therefore need to re-commence the application process for rezoning of the property.
6. One Year to Satisfy Conditions. Subject to the petitioner satisfying all of the aforementioned conditions within one year of the Village Board adopting this conditional rezoning ordinance. The Village Board may grant additional time solely at the discretion of the Village Board upon request for an extension by the Lot owner.

SECTION 3: The Village Engineer is hereby authorized and directed to note this rezoning on the Official Zoning Map of the Village of Sussex upon successful development of the property and satisfaction of all conditions in Section 2 of this Ordinance.

SECTION 4. SEVERABILITY. The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE. This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2025.

VILLAGE OF SUSSEX

Anthony LeDonne
Village President

ATTEST: _____
Jennifer Boehm
Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2025.

STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. _____

AN ORDINANCE TO CONDITIONALLY REZONE
CERTAIN LANDS IN THE VILLAGE OF SUSSEX FROM
CR-1 AND RS-3 SINGLE FAMILY RESIDENTIAL DISTRICT
TO

RS-2 SINGLE FAMILY RESIDENTIAL DISTRICT,
SFRD-3 SINGLE FAMILY ATTACHED DISTRICT, PARK, WITH ENVIRONMENTAL
OVERLAYS ~~AND AGRICULTURAL~~ WITH A
PLANNED DEVELOPMENT OVERLAY DISTRICT

WHEREAS: A petition has been filed by Neumann Development Inc. on behalf of the property owners Hickory Hill Farms Inc. ("Petitioner") of certain lands in the Village of Sussex to rezone said properties as described in Exhibit A attached hereto and incorporated herein ("Subject Properties"); and

WHEREAS: Said rezoning petition was submitted to rezone the subject properties to RS -2 Single Family Residential District, SFRD-3 Single Family Attached District, Park, with Environmental Overlays, and Agricultural with a Planned Development Overlay District described on Exhibit A-1; and

WHEREAS: The Petitioner has supplied all required data pursuant to the Village of Sussex Zoning Code; and

WHEREAS: Upon due notice as required by Section 17.1300 of the Village Code, the Village Board held a public hearing on March 24, 2020, as required by Section 17.0435(C)(4) of the Village Code; and

WHEREAS: Upon due notice as required by Section 17.1300 of the Village Code, the Village Board held a public hearing on _____, as required by Section 17.0435(C)(4) of the Village Code to amend the PDO Planned Development Overlay Ordinance; and

WHEREAS: The Plan Commission has reviewed the basis for approval described in Section 17.0435(D) of the Village Code and has made the following findings, subject to all terms and conditions of this zoning ordinance being satisfied:

1. That the petitioners for the proposed Planned Development Overlay District have indicated that they intend to begin the physical development of the PDO within nine (9) months following the approval of the petition and that the development will be carried out according to a reasonable construction schedule satisfactory to the Village.
2. That the proposed Planned Development Overlay District is consistent in all respects to the purpose of this Section and to the spirit and intent of this Ordinance; is in conformity with the adopted master plan or any adopted component thereof; and, that the development would not be contrary to the

general welfare and economic prosperity of the community.

3. The proposed site shall be provided with adequate drainage facilities for surface and storm waters.
4. The proposed site shall be accessible from public roads that are adequate to carry the traffic that can be expected to be generated by the proposed development.
5. No undue constraint or burden will be imposed on public services and facilities, such as fire and police protection, street maintenance, and maintenance of public areas by the proposed development.
6. The streets and driveways on the site of the proposed development shall be adequate to serve the residents of the proposed development and shall meet the minimum standards of all applicable ordinances or administrative regulations of the Village.
7. Public water and sewer facilities shall be provided.
8. The entire tract or parcel of land to be included in a Planned Development Overlay District is held under single ownership.
9. Such development will create an attractive residential environment of sustained desirability and economic stability, including structures in relation to terrain, consideration of safe pedestrian flow, ready access to recreation space, and coordination with overall plans for the community.
10. The total net residential density within the Planned Development Overlay District will be compatible with the Village master plan or component thereof.
11. Provision has been made for the installation of adequate public facilities and the continuing maintenance and operation of such facilities.
12. Adequate, continuing fire and police protection is available.
13. The population composition of the development will not have an adverse effect upon the community's capacity to provide needed school or other municipal service facilities.

14. Adequate guarantee is provided for permanent preservation of open space areas as shown on the approved site plan either by private reservation and maintenance or by dedication to the public.

WHEREAS: The Village Plan Commission of the Village of Sussex has recommended to the Village Board of the Village of Sussex that said zoning change be made upon certain conditions; and

WHEREAS: The Village of Sussex has reviewed the basis for approval of the petition described in Section 17.0435(D) of the Village Code, and concurs with the Village Plan Commission, and makes the same findings, subject to all terms and conditions of this zoning ordinance being duly satisfied as required herein; and

WHEREAS: The Village Board of the Village of Sussex having carefully reviewed the recommendation of the Plan Commission of the Village of Sussex, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the health, safety and welfare of the community, immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved as well as the impact on the surrounding properties as to noise, dust, smoke and odor, and others hereby determine that the rezoning will not violate the spirit or intent of the Zoning Code for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be hazardous, harmful, noxious, offensive and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the operation is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendation found in the Village of Sussex master plan.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1: The subject property as described on **Exhibit A** is hereby rezoned to Rs-2 Single Family Residential District (Approximately 63 acres), SFRD-3 Single Family Attached District (Approximately ~~18-22~~ acres), ~~Agricultural/Open Space (Approximately 6.5 Acres)~~ Park (Approximately ~~62-63~~ Acres), with Approximately ~~2.2-54~~ acres of Isolated Natural Resources Overlay and 16.5 acres of Secondary Environmental Overlay and within a Planned Development Overlay District, and the Zoning Map of the Village of Sussex is hereby amended, subject to the terms and conditions described herein.

SECTION 2: The above rezoning and zoning map amendment is conditioned upon the following conditions, which must be complied with or this ordinance is null and void:

1. Presentation Compliance. The subject property must be developed in substantial conformity with the plans presented to the Plan Commission on June 18, 2019, ~~and~~ November 19, 2019, ~~and~~ February 18, 2020, ~~and~~ July 15, 2025 in substantial conformity with the presentation at the public hearing at the Village Board on March 24, 2020 ~~and~~ XXXXXX, 2025 as presented shall be attached hereto and incorporated

herein as **Exhibit B**.

2. Preliminary and Final Plat Conditions. The Petitioner shall submit and receive all necessary approvals for a preliminary plat and a final plat, and shall satisfy all conditions of the same.

3. Lot Sizes and Setbacks.

A. There will be 3 single family detached style areas within the PDO RS-2 zoning:

1. Estate Lots (38 lots), lot sizes will not be less than 15,000 square feet with a minimum lot width not less than 90 feet. The setbacks for this lot style shall be 25 feet front yard, 12.5 feet side yard and 25 feet rear yard.
2. Residential Lots (70 lots), lot sizes will not be less than 12,000 square feet with a minimum lot width not less than 75 feet. The setbacks for this lot style shall be 25 feet front yard, 10 feet side yard and 25 feet rear yard.
3. Villa Lots (98 lots), lot sizes will not be less than 10,000 square feet with a minimum lot width not less than 65 feet. The setbacks for this lot style shall be 20 feet front yard, 7.5 feet side yard and 20 feet rear yard.

The location of these lot styles shall remain consistent with the plans presented, but the number of the exact lots in each type may be adjusted with permission of the Village Administrator (which may or may not be granted) by not more than 3 lots of any one type (Estate, Residential, or Villa).

B. There will be 2 single family attached style areas within the PDO SFRD-3 zoning:

1. Two- Family Condominium (58 condo units and a condo clubhouse) with shared common areas where the lots are greater than an acre and the building setbacks are 20 feet front yard, 20 feet building to building and 25 feet rear yard.
2. Townhomes (30 home units in 3 buildings of 4 townhome units each and ~~9~~²² buildings of 2 townhome units each) with shared common area, and setbacks of 20 feet front yard, 20 feet building to building and 25 feet rear yard.

C. All of these home/unit locations and layouts as presented shall be attached hereto and incorporated herein as **Exhibit B**.

3. Phasing Plan. For purposes of the Village's Phasing Ordinance under 18.0902

Outlots 4, 5, and 7 shall be considered one development, Outlots 10, 11, 12, 14, and 15 shall be considered one development, , and the remaining single family detached lots shall be considered a development such that each may develop in conjunction with each other without limiting each other groups development capabilities.

4. Road Width and Length. The Public Road widths shall be 33' measured back of curb to back of curb. The Plan Commission and Village Board find that this width is appropriate to provide safe and convenient access in accordance with this neighborhood plan, 18.0701 18.0703 of the Village Code.
5. Special Assessment. The payment of outstanding special assessments owed on this property must be paid in full prior to starting any site work.
6. Construction Sequencing Plan. Subject to the Developer submitting to and receiving approval from the Village Engineer a construction sequencing plan to ensure safe and adequate construction development of the site for public safety access, utility development, and customer access at all times. Because of the size of this development and the requirement to preserve public safety while this development is phased in there shall be established in the first phase of development a roadway pattern that has two access points to the existing public roadway system.
7. Housing Monotony Clause. As required in the Village Design Standards and Chapter 17 Section 17.1002 (B)(2), no single family detached building shall be permitted that design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates monotony or drabness.
8. Required Plans and Engineer Satisfaction. Subject to the Petitioner submitting to and receiving written approval from the Village Plan Commission of all of the following plans for the entire subject property, prior to the rezoning ordinance taking effect. Said plans shall satisfy all comments, conditions, and concerns of the Village Engineer.
 - A. Utility Plans for the entire site including any necessary utility extensions or oversizing necessary to properly connect the development site's utilities with the Village system. Including, but not limited to:
 1. Sewer System Plans
 2. Water System Plans including the water loop along Main Street looping into Big Sky Drive.
 3. Storm water Management Plans with the appropriate maintenance requirements and outlots. The outlots for the stormwater ponds shall be owned by the Village.
 - B. Master Street Lighting Plan for the entire site.
 - C. Sidewalk and Path Plan for the entire site shown on the plat including location, width, and materials of the sidewalks. Sidewalk shall be established

along the entirety of Silver Spring/CTH VV/Main Street and along Maryhill Road to the UnNamed Creek Crossing to the point where it connects with the path along said Creek. Developer shall establish a path along the length of Outlots 16. Sidewalks shall be on one side of all non cul-de sac roads internal to the subdivision.

D. Street Tree Plan for the entire site, which shall be planted by the Developer per each phase no later than 12 months from the date of approval of that corresponding Final Plat/Condo Plat within the optimal spring or fall planting season.

E. Landscape plan for common areas including necessary easements for ongoing maintenance by homeowners association as may be appropriate. In particular a specific plan for buffering the homes/units along Main Street.

F. Tree Mitigation and Preservation Plan and payment of any fees associated with said plan, and the proper deed restriction in a form approved by the Village Attorney being placed against said lots where the trees and soil are to be left preserved according to said plan.

G. Street plans including Highway VV Plans and any necessary approvals from Waukesha County for the access points and improvements necessary to gain access for the same.

10. Developer's Agreement. Prior to development of the Subject Property or any portion thereof, the Developer of the Subject Lands or portion thereof is required to enter into a Developer's Agreement as approved by the Village prior to the approval of permits for grading and start of construction.
11. Professional Fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this rezoning petition, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional rezoning ordinance due to a violation of these conditions.
12. Payment of Charges. Any unpaid bills owed to the Village by the owner of subject lands or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village: shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of billing by the Village, pursuant to Section 66.0627. Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional rezoning ordinance that is subject to all remedies available to the Village, including possible cause for termination of the conditional

rezoning ordinance.

13. Acceptance. Subject to the petitioner approving in writing the issuance of the conditional rezoning ordinance, and that the petitioner understands and accepts the same, and that upon failure to satisfy these conditions, this conditional rezoning ordinance is void, and the same is deemed not to have been approved, and the Petitioner will therefore need to re-commence the application process for rezoning of the property.
14. One Year to Satisfy Conditions. Subject to the petitioner satisfying all of the aforementioned conditions within one year of the Village Board adopting this conditional rezoning ordinance. The Village Board may grant additional time solely at the discretion of the Village Board upon request for an extension by the Developer.

SECTION 3: The Village Engineer is hereby authorized and directed to note this rezoning on the Official Zoning Map of the Village of Sussex upon successful development of the property and satisfaction of all conditions in Section 2 of this Ordinance.

SECTION 4. SEVERABILITY. The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof of the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE. This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, ~~2020~~2025.

VILLAGE OF SUSSEX

~~Gregory L. Goetz~~ Anthony LeDonne
Village President

ATTEST: _____
~~Sam Liebert~~ Jennifer Boehm
Village Clerk-Treasurer

Published and/or posted this _____ day of _____, ~~2020~~2025.

June 30, 2025

Gabe Gilbertson
Community Development Director
Village of Sussex
VIA Email: ggilbertson@sussexwi.gov

RE: W220N5603 TOWN LINE RD- Ordinance 18.0811 (c) Waiver

Mr. Gilbertson,

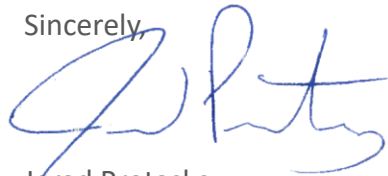
I am writing to request a hearing with the Village of Sussex Plan Commission related to a request for waiver of Village Ordinance 18.0811 (c) for our proposed development of the property located at W220N5603 Town Line Rd.

Ordinance 18.0811(c) states; Utilities, new and existing overhead, shall be installed underground to serve all lands unless otherwise approved by the Plan Commission by a $\frac{3}{4}$ vote.

In order to comply with this ordinance, roughly 975lf of high voltage, overhead electrical lines, and communications lines would need to be relocated underground, including 125lf that would require an open cut trench across, or boring beneath, Town Line Rd. Based on historic costs and estimates from WE Energies, the preliminary estimate to complete this work is between \$250,000-\$350,000, and that assumes no rock is encountered and the road can be open cut.

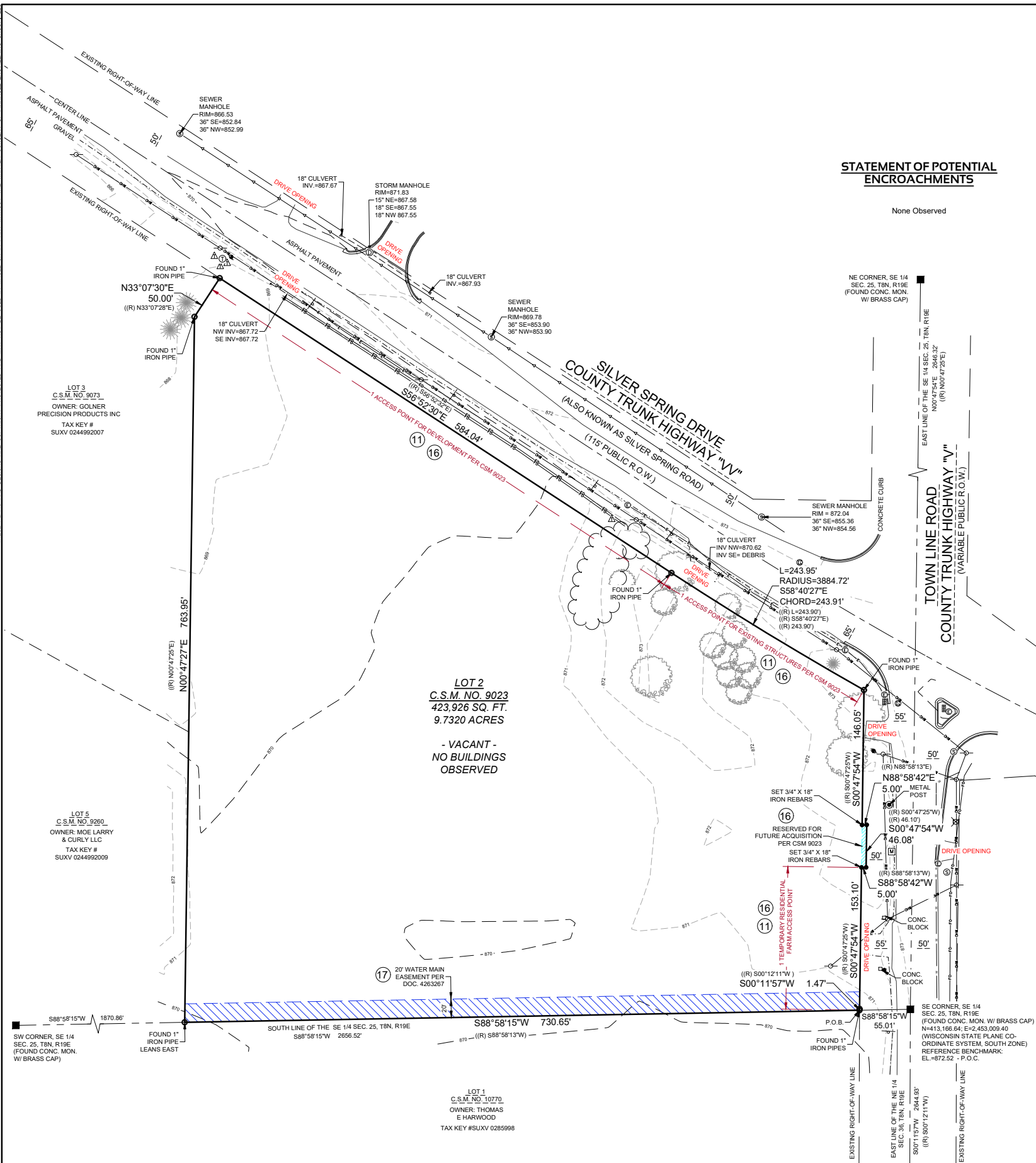
This Ordinance imposes an extraordinary cost on this property, which makes the financials of development unfeasible. We are seeking a waiver from the Plan Commission for compliance with Ordinance 18.0811(c) as we believe it unfairly burdens this parcel in a location where the intent is unlikely to be realized.

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Protaskey", is written over the word "Sincerely,".

Jerad Protaskey
ICAP Development LLC

Attachment- Property ALTA Survey dated 02/18/2025



LEGAL DESCRIPTION:

AS DESCRIBED IN EXECUTIVE TITLE INSURANCE COMPANY COMMITMENT FILE NUMBER 2311957
DATED DECEMBER 11, 2024 - REVISED DECEMBER 26, 2024.

Property Address: W220N5603 Town Line Rd, Sussex, WI 53089
Tax Key Number: SUXV 0244-993

NOTES CORRESPONDING TO SCHEDULE B - II

1 - 4, 9 - 10, 19 NOT SURVEY RELATED
5 - 8, 18 VISIBLE EVIDENCE SHOWN IF ANY

1. Limitations imposed upon access and other matters contained in the instrument recorded as Document No. 769791. Access
Limitations per Certified Survey Map No. 9023 shown.
2. Utility Easements and other matters contained in the instruments recorded as Document Nos. 1629680 and 1629681. 10'
Wisconsin Bell Easement lies entirely within the road right of way of Silver Spring Road - location is not shown.
3. Easement and other matters contained in the instrument recorded as Document No. 1673795. Permanent Limited Easement
for a Drainage Ditch is not on and does not touch the surveyed property.
4. Easement and other matters contained in the instrument recorded as Document No. 2089150. Permanent Sanitary Sewer
Easement and Temporary Sanitary Sewer Construction Easement is not on and does not touch the surveyed property.
5. Ordinance and other matters contained in the instrument recorded as Document No. 2190147. Annexation Ordinance to the
Village of Sussex cannot be plotted.
6. Easements, restrictions and other matters shown on Certified Survey Map No. 9023 recorded July 27, 2000 as Document
No. 2579102, and any amendments thereto. Access Restrictions and Reservation for Future Acquisition shown.
7. Easement and other matters contained in the instrument recorded as Document No. 4263267. 20' Water Main Easement
location is shown.

TABLE A

- Monuments found/placed at all corners of the surveyed property boundary.
- Address (as disclosed in title commitment): W220N5603 Town Line Rd, Sussex, WI 53089
- Flood Zone Classification: The property lies within in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0206H ANO 55133C0202H with an effective date of OCTOBER 19, 2023. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- Gross Land Area: 423,926 Square Feet (9,7320 Acres).
- Vertical datum: North American Vertical Datum of 1988 (12), (NAVD88). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the southeast corner of the Southeast 1/4 Section 25, Town 8 North, Range 19 East, Elevation = 872.52.
- Letter / Zoning Report not supplied by client at time of survey.
- The subject property is vacant - No Buildings Observed.
- Substantial features observed in the process of conducting the survey graphically shown on survey.
- There are no designated parking spaces on the subject property.
- Evidence of underground utilities existing or serving the property as determined by plans and/or reports not provided by the client at the time of the survey.
- Names according to current public records. Shown on Survey.
- The surveyed property is located at the southwest corner of the intersection of Silver Spring Drive and Town Line Road.
- No evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.
- No evidence of changes in street right of way lines and street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- Offsite easements, if any, shown on Survey.

GENERAL NOTES

1. Right of Way widths and locations are based on previous surveys of record.
2. The property depicted on the survey has direct physical ingress and egress via Silver Spring Drive - County Truck Highway "VV", a publicly dedicated right of way and via a recorded easement to the adjacent property.
3. Utilities on or above the surface of the surveyed property observed in the process of conducting the fieldwork graphically shown on the survey. Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20250404700 with a clear date of FEBRUARY 03, 2025. The location and size of underground structures and utilities shown herein have been located based on a reasonable visual observation and are not intended to be a warranty of accuracy.
4. Pinnacle Engineering Group, LLC, does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.

CERTIFICATION

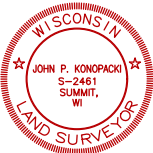
To: Executive Title LLC; Matthew Mehring; Oliviero Developments Ltd, a foreign corporation and Oliviero Investments LLC:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS LAND TITLE SURVEYS, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 7(c), 8, 9, 11(a), 13, 14, 16, 17 & 18 of Table A thereof. The fieldwork was completed on JANUARY 31, 2025.

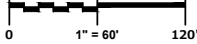
John P. Konopacki, PLS
License No. S-2461

Date of Plat or Map: FEBRUARY 17, 2025

PINNACLE ENGINEERING GROUP, LLC.
20725 WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53186
Phone: 262-754-8888
Fax: 262-754-8850



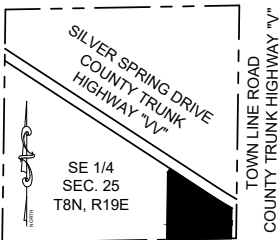
GRAPHICAL SCALE (FEET)



Coordinates referenced to the Wisconsin State Plane
Coordinate System, South Zone (N.A.D. 1983/2011).
Bearings referenced to the south line of the Southeast 1/4
of Section 25, Township 8 North, Range 19 East which
has a bearing of S88°58'15"W.

VICINITY MAP

SCALE 1":1000'



LEGEND OF SYMBOLS & ABBREVIATIONS

	SANITARY MANHOLE		FIBER OPTIC MARKER		SIGN
	STORM MANHOLE		FIBER OPTIC MANHOLE/VAULT		MAIL BOX
	STORM INLET		TELEPHONE PEDESTAL		FLAG POLE
	CLEANOUT		TELEPHONE MANHOLE/VAULT		BASKETBALL HOOP
	CATCH BASIN		TELEPHONE MARKER		BOLLARD
	LATERAL		TRANSFORMER		CROSS CURB
	UNKNOWN MANHOLE		ELECTRIC METER/PEDESTAL		IRON PIPE
	WELL		ELECTRIC MANHOLE/VAULT		IRON REBAR/ROD
	HYDRANT		CABLE TV RISE/BOX CABLE		MAG NAIL
	WATER VALVE		TV MANHOLE/VAULT		SECTION MONUMENT
	DOWN SPOUT		GAS VALVE		BENCH MARK
	SPRINKLER VALVE		GAS METER		CONIFER TREE
	WATER SHUT OFF		GAS MARKER		DECIDUOUS TREE
	STANDPIPE		AIR CONDITIONING UNIT		BUSH
	WATER MANHOLE		POST		WETLAND SYMBOL
	FLOOD LIGHT		DIRECTIONAL ARROW	CL.	=CENTERLINE
	LIGHT POLE		DUMPSTER	CONC.	=CONCRETE
	TRAFFIC SIGNAL POLE		HANDICAP STALL	EL.	=ELEVATION
	UTILITY POLE		SPOT ELEVATION	EXT.	=EXISTING
	GUY WIRE			INV.	=INVERT
	SANITARY SEWER			MON.	=MONUMENT
	STORM SEWER			P.O.B.	=POINT OF BEGINNING
	WATER MAIN			P.O.C.	=POINT OF COMMENCEMENT
	FIBER OPTIC LINE			R.O.W.	=RIGHT OF WAY
	TELEPHONE LINE			SEC.	=SECTION
	ELECTRIC LINE			SQ. FT.	=SQUARE FEET
	OVERHEAD WIRES			W/	=WITH
	CABLE TELEVISION			(R)	=RECORDED AS
	GAS MAIN			(D)	=DEEDED AS
	WETLANDS				
	TREE LINE				
	NO ACCESS				

REVISIONS

REG JOB No. 2593.00A

DATE 02/18/2025
SCALE 1"=60'

SHEET
1
OF
1

 www.pinnacle-engr.com

SURVEY