



N64W23760 Main Street  
Sussex, Wisconsin 53089  
Phone (262) 246-5200  
FAX (262) 246-5222  
Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
Website: [www.villagesussex.org](http://www.villagesussex.org)

## AGENDA

VILLAGE OF SUSSEX  
PLAN COMMISSION MEETING  
6:30 PM TUESDAY, FEBRUARY 18, 2025  
SUSSEX CIVIC CENTER – BOARD ROOM 2<sup>nd</sup> FLOOR  
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of January 21, 2025.
3. Consideration and possible action on Permitted Uses and Plans.
  - a. Consideration and possible action on a plan of operation for WI Buildings Supply located at W251N5490 Business Dr in the BP-1 Business Park District.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
  - a. Consideration and possible action on a Conditional Use Permit for Drexel Building Supply for an outdoor lumber yard located at W232N5700 Waukesha Ave in the B-3 Highway Business District.
  - b. Consideration and possible action on a Conditional Use Permit for Lake Country Wines, LLC for a wine processing facility located at N53W24880 S Corporate Cr in the BP-1 Business Park District.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
  - a. Consideration and possible action on a building addition to the home located at N64W23420 Main Street in the B-4 Central Mixed-Use District.
  - b. Consideration and possible action on a Resolution recommending the Village Board adopt an Ordinance to amend the Land Use component of the Comprehensive Plan for the property identified by Tax Key Number 244.993 from the Commercial Land Use Classification to the Industrial Land Use Classification.
  - c. Consideration and possible action on a recommendation to the Village Board to adopt an Ordinance to Rezone the property identified by Tax Key Number 244.993 from the B-3 Highway Zoning District to the BP-1 Business Park Zoning District.
  - d. Consideration and possible action on a recommendation to the Village Board to adopt an Ordinance to repeal and recreate Section 17.0420(A) regarding permitted uses in the BP-1 Business Park Zoning District and Section 17.0506(B)(3) regarding residential conditional uses.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne  
Chairperson

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Jeremy J. Smith  
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**VILLAGE OF SUSSEX  
PLAN COMMISSION - DRAFT  
6:30PM TUESDAY, JANUARY 21, 2025  
SUSSEX CIVIC CENTER – BOARD ROOM 2<sup>ND</sup> FLOOR  
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:32pm at the Sussex Civic Center – Board Room 2<sup>nd</sup> Floor N64W23760 Main Street, Sussex, WI.

Members present: Commissioners Kasey Fluett, Roger Johnson, Debbie Anderson, Trustee Greg Zoellick, and Village President Anthony LeDonne

Members excused: Commissioners Jim Muckerheide and Mike Knapp

Others present: Village Attorney John Macy, Village Administrator Jeremy Smith, Community Development Director Gabe Gilbertson, Deputy Clerk Jen Boehm, applicants, and members of the public.

A quorum of the Village Board was not present at the meeting.

**Consideration and possible action to approve the minutes for the Plan Commission meeting of December 17, 2024.**

A motion by Johnson, seconded by Fluett to approve the minutes of the Plan Commission meeting of December 17, 2024.

Motion carried 5-0

**Consideration and possible action on a Conditional Use Permit for Caretta Senior Living Sussex, LLC for a senior living facility at the property identified by Tax Key Number 227.036 in the Vista Run Subdivision.**

Commissioner Johnson requests a plan overview for transportation for residents without vehicles, the meal program, and the elevator capacity.

A motion by LeDonne, seconded by Anderson to direct Staff to schedule the public hearing for the February 18, 2025 meeting.

Motion carried 5-0

**Reconvene the Public Hearing and consideration and possible action on a Conditional Use Permit amendment for Bubbles Foam Farm car wash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.**

No one from the public spoke.

Cameron McFarland, W215 E Wisconsin Ave, Nashotah, was present and accepted the Conditional Use Permit.

A motion by LeDonne, seconded by Anderson to close the public hearing.

Motion carried 5-0

**Discussion and possible action on a Conditional Use Permit for Bubbles Foam Farm car wash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.**

**Policy Questions:**

Has the Petitioner provided substantial evidence proving they meet the standards/regulations of the Ordinance, the conditions and standards of the Conditional Use Permit, and the other conditions as set forth by the Plan Commission? Yes

Has the Petitioner provided substantial evidence with regards to the following Standards/Regulations?

**The Application is complete and consistent with 17.0502:** Yes

**The use(s) and plans are compliant with 17.0503 (Review of CU's):** Yes

**The use(s) and plans are compliant with 17.0200 (General Conditions):** Yes

**The uses(s) and plans are compliant with 17.0418 B-3 Highway Business District:** Yes

**The uses(s) and plans are compliant with 17. 1000 (Site Plan Review):** Yes

**Has the Petitioner provided substantial evidence and adequately addressed the findings of the impact report per 17.0506.A.** Yes

Has the Petitioner provided substantial evidence with regards to the Conditional Use Permit as follows:

**A.3.A. Site Plan Standards compliance:** Yes

**A.3.B. Plan of Operation compliance:** Yes

**A.3.C. Various Plan(s) compliance:** Yes

**A.4.-16. CU condition compliance:** Yes

**B-L. Administrative CU Condition compliance:** Yes

A motion by LeDonne, seconded by Anderson for the Plan Commission to approve the Conditional Use Permit for the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District subject to the standard conditions of Exhibit A, and the following conditions:

1. Recording the Declaration of Restrictions with the Waukesha County Register of Deeds and providing a copy of the recorded document to Village Staff.
2. Providing staff with updated anticipated annual water usage and recording an executed RCA Sewer Agreement with the Waukesha County Register of Deeds and providing a copy of the recording document to Village Staff.
3. Submitting a Stormwater Management Plan and Stormwater Management Agreement for review and approval by the Village Engineer.



Motion carried 5-0

**Discussion and possible action on an exception from the Sussex Design Guidelines for a reduction in the window openings from 33% to 16% on the Hwy 164 elevation of the Bubble Foam Farm Car Wash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.**

A motion by Johnson, seconded by LeDonne to approve the requested exception from the Sussex Design Guidelines for a reduction in the window openings from 33% to 16% on the Hwy 164 elevation of the Bubble Foam Farm Car Wash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.

Motion carried 5-0

**Consideration and possible action on a sign permit application for Club Car Wash to allow three wall signs at the property located at W248N5221 Executive Dr.**

Michael Leidig, W284N5221 Executive Dr, Sussex, was present. He stated that Club Carwash sees having 3 signs as a huge benefit. All cars coming in and out of the carwash will see them and it creates brand recognition.

A motion by Anderson, seconded by Fluet to approve the request for three wall signs for Club Car Wash located at W248N5221 Executive Dr.

Motion carried 5-0

**Other Items for Future Discussion**

**Adjournment**

A motion by LeDonne, seconded by Fluet to adjourn the meeting at 7:02pm.

Motion carried 5-0

Respectfully submitted,  
Jen Boehm  
Deputy Clerk



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## MEMORANDUM

TO: Plan Commission  
FROM: Gabe Gilbertson, Community Development Director  
RE: Plan Commission meeting of February 18, 2025  
DATE: Thursday, February 13, 2025

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. **Minutes of the Plan Commission meeting of January 21, 2025.**
03. **Consideration and possible action on Permitted Uses and Site Plans.**
  - A. **Consideration and possible action on a plan of operation for WI Buildings Supply located at W251N5490 Business Dr in the BP-1 Business Park District.**

Wisconsin Buildings Supply has moved their operations from their location on Waukesha Avenue into the remaining 25,000 square foot tenant space in the building occupied by Adron. This location will be strictly warehousing for window and cabinet orders until they are ready to be delivered to the job site. Section 17.0420(A)(10) allows for warehousing uses in the BP-1 District as long as they are under 50,000 square feet.

The property has 73 parking stalls. The Code requires a total of 11 parking spaces for Wisconsin Buildings Supply. Adron requires 50 parking stalls for a total of 61 required spaces. The site meets the minimum parking requirements. The applicant stated there would be no outdoor storage as part of their operations at this location and all material would be stored inside.

### **Policy Question:**

1. Are there any concerns the Plan Commission has with the Plan of Operation?

### **Action Items:**

1. Act on the Plan of Operation

**Staff Recommendation:** Staff recommends the Plan Commission approve the Plan of Operation for WI Buildings Supply located at W251N5490 Business Dr in the BP-1 Business Park District, subject to the standard conditions of Exhibit A.

**04. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans.**

**A. Consideration and possible action on a Conditional Use Permit for Drexel Building Supply for an outdoor lumber yard located at W232N5700 Waukesha Ave in the B-3 Highway Business District.**

Drexel Building Supply has moved into the building previously occupied by WI Buildings Supply. The use of the property is remaining the same, however, because it is a new owner and the outdoor storage layout is changing, a new Conditional Use Permit is required. The applicant stated the site will be used to staging and storing materials to be delivered to job sites.

Building supply stores are a permitted use under Section 17.0418(A)(8)(m), however Section 17.0506(A)(11)(a) states that outdoor storage for a commercial use is a conditional use permit in the B-3 Zoning District. The proposed use requires a total of 16 parking stalls and there are 38 parking stalls on site. The site meets the minimum parking requirements.

The Petitioner will need to prove the standards/conditions found in the Conditional Use section of the Zoning Code during the Public Hearing process. These standards/conditions are attached to this memo.

**Policy Question:**

1. Are there any concerns the Plan Commission has that they may want the applicant to address at the public hearing.

**Action Items:**

1. Direct staff to schedule the public hearing.

**Staff Recommendation:** Staff recommends the Plan Commission schedule the public hearing for the March 18, 2025 meeting.

**B. Consideration and possible action on a Conditional Use Permit for Lake Country Wines, LLC for a wine processing facility located at N53W24880 S Corporate Cr in the BP-1 Business Park District.**

Lake Country Wines, LLC is proposing to occupy one of the tenant spaces at the multi-tenant industrial building at the subject property to process and package wine. Section 17.0506(A)(7) states that manufacturing/processing of alcoholic beverages in the BP-1 Zoning District is a Conditional Use Permit. The site has 54 parking stalls and 27 of those stalls are allocated to existing businesses. This business would require 3 stalls. The use would meet the minimum parking requirements.

The Petitioner will need to prove the standards/conditions found in the Conditional Use section of the Zoning Code during the Public Hearing process. These standards/conditions are attached to this memo.

**Policy Question:**

1. Are there any concerns the Plan Commission has that they may want the applicant to address at the public hearing.
2. The Plan Commission will need to consider three reports on the following items and ultimately include any conditions of these reports into their final motion:
  - a. A report from the Fire Chief that the proposed use and its plan of operation are sufficiently designed to prevent life safety issues to the public, first responders, and those operating in the facility, including sprinklering of the building.
  - b. A report highlighting what if any odors and noise, intensity, duration and or times, and general area of odor(s) and noise from the proposed operations and what if any dangers to the public exist from said operation, and ways to mitigate the same.
  - c. A report from the Wastewater Utility/Water Utility on impacts to these services from stated operations including any necessary treatment systems required.

**Action Items:**

1. Direct staff to schedule the public hearing.

**Staff Recommendation:** Staff recommends the Plan Commission schedule the public hearing for the March 18, 2025 meeting.

**05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.**

**A. Consideration and possible action on a building addition to the home located at N64W23420 Main Street in the B-4 Central Mixed-Use District.**

A building permit was submitted to the Village for a home addition and garage at the property located at N64W23420 Main Street. The Code requires building permits be reviewed and approved by the Plan Commission before being issued in the B-4 Central Mixed Use District. The submitted plans are consistent with the Village of Sussex Design Standards.

**Policy Question:**

1. Are there any concerns the Plan Commission has that they may want the applicant to address at the public hearing.

**Action Items:**

1. Act on the submitted building permit.

**Staff Recommendation:** Staff recommends the Plan Commission approved the proposed home addition and garage at the property located at N64W23420 Main Street, subject to the standard conditions of Exhibit A.

**B. Consideration and possible action on a Resolution recommending the Village Board adopt an Ordinance to amend the Land Use component of the Comprehensive Plan for the property identified by Tax Key Number 244.993 from the Commercial Land Use Classification to the Industrial Land Use Classification.**

The property owner has applied to amend the Land Use component of the Comprehensive Plan from the Commercial Land Use Classification to the Industrial Land Use Classification of the subject property to accommodate a proposed development for the subject property.

**Policy Question:**

Are there any concerns with the proposed Land Use Amendment?

**Action Items:**

Act on a Resolution recommending the Village Board to adopt an Ordinance to amend the Land Use component of the Comprehensive Plan.

**Staff Recommendation:** Staff recommends the Plan Commission adopt a Resolution recommending the Village Board adopt an Ordinance to amend the Land Use component of the Comprehensive Plan for the property identified by Tax Key Number 244.993 from the Commercial Land Use Classification to the Industrial Land Use Classification.

**C. Consideration and possible action on a recommendation to the Village Board to adopt an Ordinance to Rezone the property identified by Tax Key Number 244.993 from the B-3 Highway Zoning District to the BP-1 Business Park Zoning District.**

The property owner has applied to Rezone the subject property from the B-3 Highway Zoning District to the BP-1 Business Park Zoning District to accommodate a potential development at the property.

**Policy Question:**

Are there any concerns with the proposed Rezoning?

**Action Items:**

Make a recommendation to the Village Board to act on the Rezoning Ordinance.

**Staff Recommendation:** Staff recommends the Plan Commission recommend the Village Board to approve the Ordinance rezoning the property identified by Tax Key Number 244.993 from the B-3 Highway Zoning District to the BP-1 Business Park Zoning District.

**D. Consideration and possible action on a recommendation to the Village Board to adopt an Ordinance to repeal and recreate Section 17.0420(A) regarding permitted uses in the BP-1 Business Park Zoning District and Section 17.0506(B)(3) regarding residential conditional uses.**

The Village is proposing a text amendment to the BP-1 Business Park section of the Zoning Code to allow B-2 Regional Business permitted and conditional uses in the BP-1 District. This type of flexibility is already allowed in the Highlands Business Park as part of the development's Planned Development Overlay. The Village is also proposing to amend the residential conditional uses section of 17.0506 of the Zoning Code to allow for housing for the elderly as a conditional use in the BP-1 Business Park District.

**Policy Question:**

Are there any concerns with the proposed text amendments?

**Action Items:**

Make a recommendation to the Village Board to act on the text amendment Ordinance.

**Staff Recommendation:** Staff recommends the Plan Commission recommend the Village Board adopt an Ordinance to repeal and recreate Section 17.0420(A) regarding permitted uses in the BP-1 Business Park Zoning District and Section 17.0506(B)(3) regarding residential conditional uses.

**06. Other Items for future discussion.**

**07. Adjournment.**



Project Name \_\_\_\_\_

Tax Key # \_\_\_\_\_

## VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to [ggilbertson@villagesussex.org](mailto:ggilbertson@villagesussex.org).

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: \_\_\_\_\_ Phone # \_\_\_\_\_

E-mail: \_\_\_\_\_

For office use only:

Met with staff on: \_\_\_\_\_

Paid fees on: \_\_\_\_\_

To be on the Plan Commission Agenda for: \_\_\_\_\_

Original forms to the following:

Plan of Operation to Jeremy \_\_\_\_\_

Service reimbursement \_\_\_\_\_

Emergency Contact to Sheriff Dept \_\_\_\_\_

Wastewater Permit to WWTP \_\_\_\_\_

Any outstanding fees owed on the property? \_\_\_\_\_



## PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? \_\_\_\_\_ If yes, is this a new CU? \_\_\_\_\_

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? \_\_\_\_\_

Tax Key # \_\_\_\_\_

Zoning: \_\_\_\_\_

Address of Tenant Space: \_\_\_\_\_

### 1. Name of Business:

Business \_\_\_\_\_

Address \_\_\_\_\_ City, State, Zip \_\_\_\_\_ Phone # \_\_\_\_\_

Fax # \_\_\_\_\_ Email address \_\_\_\_\_

### 2. Business owner contact information:

Contact \_\_\_\_\_

Address \_\_\_\_\_ City, State, Zip \_\_\_\_\_ Phone # \_\_\_\_\_

Fax # \_\_\_\_\_ Email address \_\_\_\_\_

### 3. Building/Land owner contact information:

Contact \_\_\_\_\_

Address \_\_\_\_\_ City, State, Zip \_\_\_\_\_ Phone # \_\_\_\_\_

Fax # \_\_\_\_\_ Email address \_\_\_\_\_

4. Number of Employees/Shifts: \_\_\_\_\_

Employees

Shifts

### 5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday



6. Is this an extension of an existing operation? \_\_\_\_\_
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? \_\_\_\_\_ Do you need an Outdoor Establishment Permit? \_\_\_\_\_  
If yes, explain: \_\_\_\_\_  
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? \_\_\_\_\_
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? \_\_\_\_\_ If yes, explain: \_\_\_\_\_
11. Dimension of area to be occupied \_\_\_\_\_ Total square footage \_\_\_\_\_  
If applicable list square footage according to 1<sup>st</sup> floor \_\_\_\_\_ 2<sup>nd</sup> floor \_\_\_\_\_

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:  
Total Number of Parking Spaces \_\_\_\_\_ Number of spaces needed per code \_\_\_\_\_  
Number of spaces allocated for employee parking \_\_\_\_\_  
Dimensions of parking lot \_\_\_\_\_ Is parking lot paved? \_\_\_\_\_

13. Signage: What type of signage are you proposing for your business?

\_\_\_\_\_  
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title or Position

I am aware and approve of the business to be operating in the building  
owned by \_\_\_\_\_.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title or Position



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**VILLAGE OF SUSSEX  
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

**PLEASE PRINT LEGIBLY**

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

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Business Name: \_\_\_\_\_

Name of Owner and Address of the Property involved in the Request (if different from above):

---

---

Tax Key No. of the Property involved in the Request: SUXV\_\_\_\_\_

\_\_\_\_\_  
Signature of Property Owner and /or Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Village Official Accepting Form

\_\_\_\_\_  
Date

*A copy of this completed form shall be provided to the Village Clerk for billing purposes.*



## WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: \_\_\_\_\_

Address: \_\_\_\_\_

Owner/Operator: \_\_\_\_\_

Standard Industrial Classification #: \_\_\_\_\_

How many people do you employ? \_\_\_\_\_

What are your businesses hours of work? \_\_\_\_\_

Who is responsible for water quality? ( List job titles)

\_\_\_\_\_

Time and Duration of Discharge: \_\_\_\_\_

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

\_\_\_\_\_

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please list each product your business produces. (Include type, amount and rate of production):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

What are the constituents and characteristics of your wastewater?

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



**Village of Sussex Fire Department**  
**N63 W24335 Main Street**  
**Sussex, Wisconsin 53089**

Fire Station - *PHONE*  
262-246-5197  
Fire Station - *FAX*  
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

**Business Name:** \_\_\_\_\_

**Business Address:** \_\_\_\_\_

**Business Phone #:** \_\_\_\_\_

**Business**  
**Email:** \_\_\_\_\_

**Business Emergency Contacts**

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

**Building Owner Name:** \_\_\_\_\_

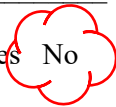
**Building Owner Email:** \_\_\_\_\_

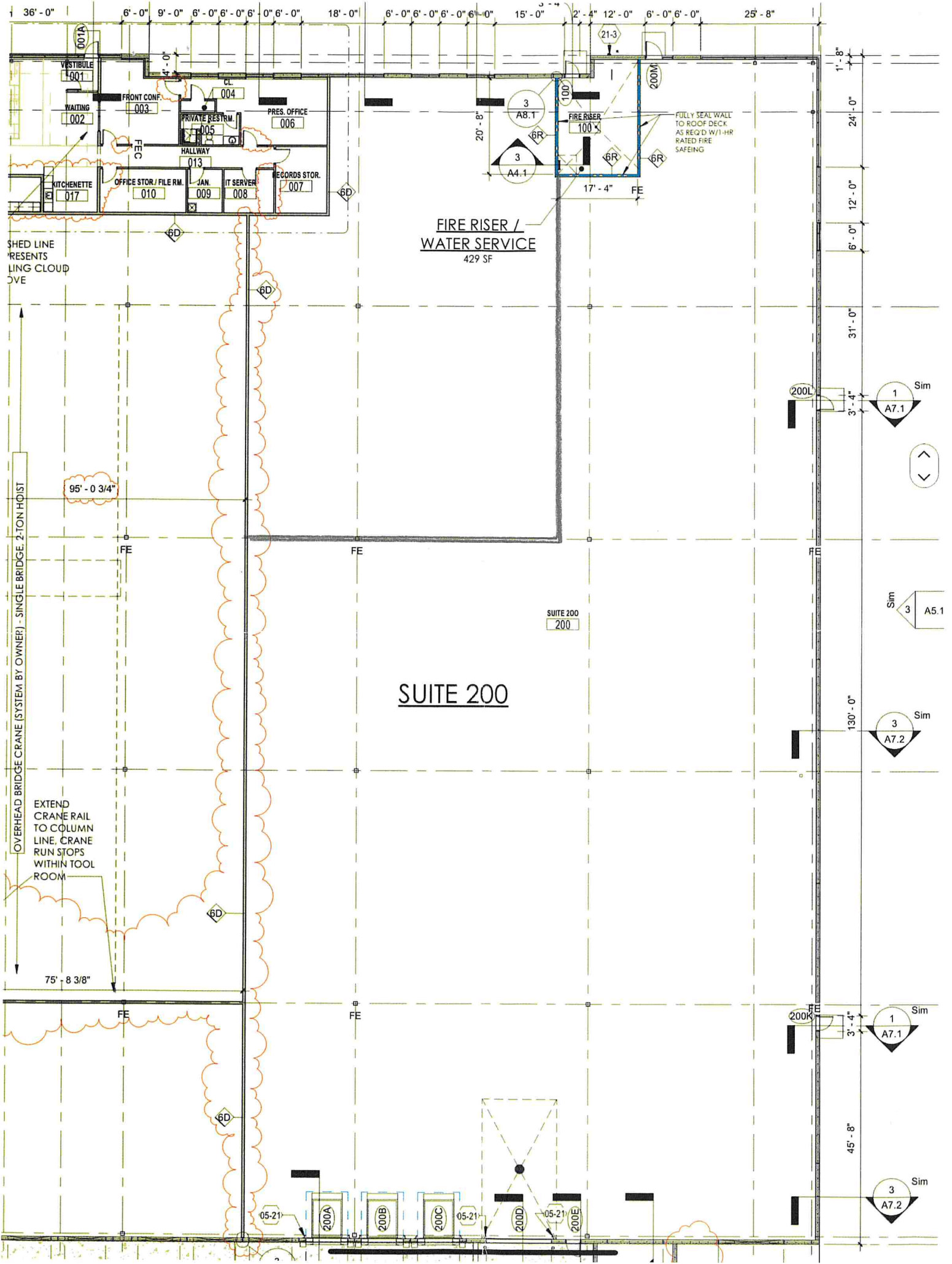
**Building Owner Emergency Contacts**

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No







Project Name \_\_\_\_\_

Tax Key # \_\_\_\_\_

## VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to [ggilbertson@villagesussex.org](mailto:ggilbertson@villagesussex.org).

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: \_\_\_\_\_ Phone # \_\_\_\_\_

E-mail: \_\_\_\_\_

For office use only:

Met with staff on: \_\_\_\_\_

Paid fees on: \_\_\_\_\_

To be on the Plan Commission Agenda for: \_\_\_\_\_

Original forms to the following:

Plan of Operation to Jeremy \_\_\_\_\_

Service reimbursement \_\_\_\_\_

Emergency Contact to Sheriff Dept \_\_\_\_\_

Wastewater Permit to WWTP \_\_\_\_\_

Any outstanding fees owed on the property? \_\_\_\_\_



## PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? NO If yes, is this a new CU? N?A

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? N?A

Tax Key # SUXV 0248 979

Zoning: B-3

Address of Tenant Space: W232N5700 STATE HIGHWAY 74

### 1. Name of Business:

110 E. Main Street, Campbellsport, WI, 53010

Business

W232N5700 STATE HIGHWAY 74 Campbellsport, WI, 53010

Address City, State, Zip Phone #

Fax # Email address

### 2. Business owner contact information:

W232N5700 STATE HIGHWAY 74

Contact

110 E. Main Street Campbellsport, WI, 53010 (920)-948-8452

Address City, State, Zip Phone #

tony.steger@drexelteam.com

Fax # Email address

### 3. Building/Land owner contact information:

Tony Steger- Contact

Contact

110 E. Main Street Campbellsport, WI, 53010 (920)-948-8452

Address City, State, Zip Phone #

tony.steger@drexelteam.com

Fax # Email address

4. Number of Employees/Shifts: 4 1st

Employees

Shifts

### 5. Days of Operation:

Put an X in box that applies:

Hours  
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X		
6am-5pm	6am-5pm	6am-5pm	6am-5pm	6am-5pm		



6. Is this an extension of an existing operation? Yes
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No  
If yes, explain: N/A  
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: N/A
11. Dimension of area to be occupied 12.5 acres Total square footage 60,000 SF  
If applicable list square footage according to 1<sup>st</sup> floor \_\_\_\_\_ 2<sup>nd</sup> floor \_\_\_\_\_

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:  
Total Number of Parking Spaces 38 Number of spaces needed per code \_\_\_\_\_  
Number of spaces allocated for employee parking 20  
Dimensions of parking lot 457' x 65' Is parking lot paved? Yes

13. Signage: What type of signage are you proposing for your business?  
N/A

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Tony Steger  
Name  
Infrastructure Coordinator  
Title or Position

1/21/2025  
Date

I am aware and approve of the business to be operating in the building owned by J Fleischman Solutions LLC.

Tony Steger  
Name  
Infrastructure Coordinator  
Title or Position

1/21/2025  
Date





N64W23760 Main Street  
Sussex, Wisconsin 53089  
Phone (262) 246-5200  
FAX (262) 246-5222  
Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
Website: [www.villagesussex.org](http://www.villagesussex.org)

**VILLAGE OF SUSSEX  
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

**PLEASE PRINT LEGIBLY**

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

J Fleischman Solutions LLC

110 E. Main Street, Campbellsport, WI, 53010

Business Name: Drexel Building Supply

Name of Owner and Address of the Property involved in the Request (if different from above):

Tony Steger- Contact

W232N5700 STATE HIGHWAY 74

Tax Key No. of the Property involved in the Request: SUXV 0248 979

Signature of Property Owner and /or Authorized Agent

1/21/2025

Date

Signature of Village Official Accepting Form

1/21/2025

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



## WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Drexel Building Supply

Address: W232N5700 STATE HIGHWAY 74

Owner/Operator: Tony Steger- Contact

Standard Industrial Classification #: \_\_\_\_\_

How many people do you employ? 4-10

What are your businesses hours of work? 6am-5pm

Who is responsible for water quality? ( List job titles)  
N/A

Time and Duration of Discharge: Business Hours

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):  
N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Bathrooms Only  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please list each product your business produces. (Include type, amount and rate of production):  
N/A

What are the constituents and characteristics of your wastewater?  
N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



**Village of Sussex Fire Department**  
**N63 W24335 Main Street**  
**Sussex, Wisconsin 53089**

Fire Station - *PHONE*  
262-246-5197  
Fire Station - *FAX*  
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

**Business Name:** Drexel Building Supply  
**Business Address:** W232N5700 STATE HIGHWAY 74  
**Business Phone #:** \_\_\_\_\_  
**Business**  
**Email:** \_\_\_\_\_

**Business Emergency Contacts**

Name and Phone #: Mike Nolan- (920)-948-1680  
Name and Phone #: Tony Steger- (920)-948-8452  
Name and Phone #: \_\_\_\_\_

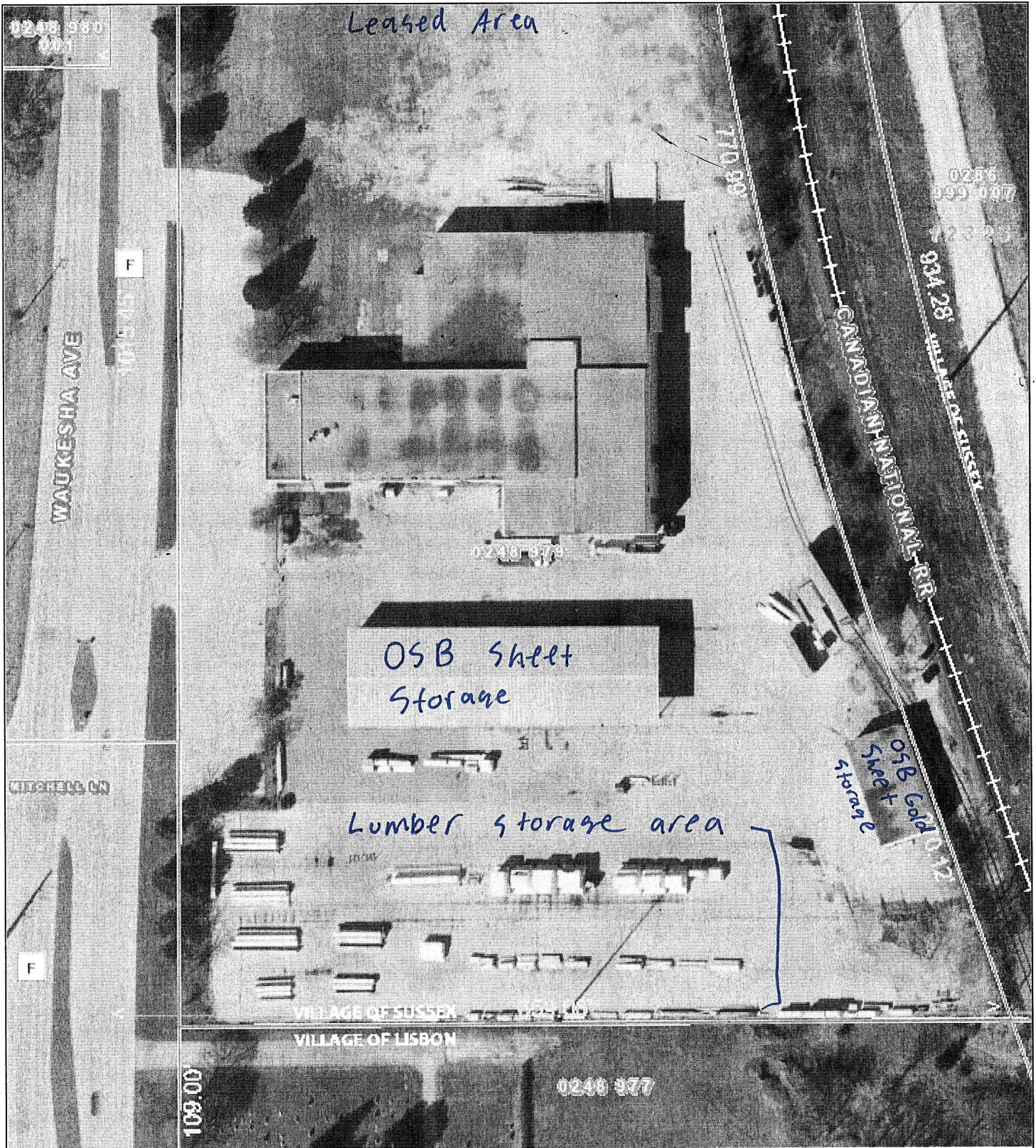
**Building Owner Name:** J Fleischman Solutions LLC  
**Building Owner Email:** \_\_\_\_\_

**Building Owner Emergency Contacts**

Name and Phone #: Mike Nolan- (920)-948-1680  
Name and Phone #: Tony Steger- (920)-948-8452

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No





## Village of Sussex



**Village of Sussex**  
 N64 W23760 Main Street  
 Sussex, WI 53089  
 262-246-5200

### DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Sussex does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 100'

Print Date: 1/23/2025





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**Re: Plan of Operation- J Fleischman Solutions LLC**

---

**From** Anthony Steger <anthony.steger@drexelteam.com>

**Date** Tue 2/11/2025 2:37 PM

**To** Gabe Gilbertson <ggilbertson@sussexwi.gov>

External (anthony.steger@drexelteam.com)

[Report This Email](#) [FAQ](#) [Skout Email Protection](#)

Hey Gabe,

Here is the impact report. Let me know if you need anything else.

## **Impact Report**

### **Traffic, Parking, and Overflow Parking:**

The proposed use is expected to have minimal impact on traffic flow, with adequate parking spaces provided on-site to prevent overflow into neighboring properties.

### **Noise:**

Operations will comply with local noise ordinances, and no excessive noise levels are anticipated beyond standard business activities.

### **Odor:**

No significant odors are expected from the proposed use. Any potential concerns will be managed in accordance with local environmental standards.

### **Safety and Crime:**

The business will maintain appropriate security measures, including lighting and surveillance, to ensure safety for employees and visitors. No significant crime-related impacts are anticipated.

### **Hours of Operation:**

Regular business hours will align with local guidelines, minimizing disruption to neighboring properties.

### **Health and Sanitation:**

All activities will adhere to health and sanitation regulations, with proper waste disposal and maintenance of clean facilities.

### Property Maintenance Issues:

The property will be regularly maintained to uphold structural integrity, ensuring it remains in compliance with local codes and does not negatively impact surrounding properties.

Thanks



Drexel - Supply.  
Happiness.

Tony Steger  
**Infrastructure Coordinator**  
Drexel Building Supply – Downtown  
110 E. Main St. Campbellsport, WI 53010  
C: (920) 948-8452  
[www.drexelteam.com](http://www.drexelteam.com)

On Tue, Feb 11, 2025 at 10:11 AM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:

Tony:

Could I get one more thing from you. It's an "Impact Report" that we need with all CUP applications. This doesn't have to be long, just a line or two addressing each part:

***all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues.***

If you can put something together and get it back to me in the next couple days, that would be great.

Thanks,

Gabe Gilbertson  
Community Development Director



Main Line: (262) 246-5200  
Direct Line: (262) 246-5215  
Fax: (262) 246-5222  
Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

**Sussex Civic Center**  
[N64W23760 Main Street](#)  
[Sussex, WI 53089](#)

***Coming soon: New online building permits portal!***

*The Village of Sussex will soon be transitioning to an online building permits portal. Residents and contractors will have 24/7 access to submit applications and plans, pay for permit fees, and get inspection results all in one convenient online portal. Stay tuned for more information!*



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---

**From:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>  
**Sent:** Tuesday, February 4, 2025 1:36 PM  
**To:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>  
**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Great. Thanks, Tony!

Gabe Gilbertson  
Community Development Director



Main Line: (262) 246-5200  
Direct Line: (262) 246-5215  
Fax: (262) 246-5222  
Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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---

**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>

**Sent:** Tuesday, February 4, 2025 1:21 PM

**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>

**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Hello Gabe,

As of right now, we don't see it being a regular retail operation with customer traffic. It will be for purely staging and storing materials to be delivered to jobs.



Drexel - Supply.  
Happiness.

Tony Steger

**Infrastructure Coordinator**

Drexel Building Supply – Downtown

110 E. Main St. Campbellsport, WI 53010

C: (920) 948-8452

[www.drexelteam.com](http://www.drexelteam.com)

On Tue, Feb 4, 2025 at 11:12AM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:

Thanks, Anthony. Quick question: is this use going to have a retail component? Is it open to the public to come in and shop for lumber, or is this purely staging and storage of material to be delivered to jobsites?

Thanks,

Gabe Gilbertson

Community Development Director



Main Line: (262) 246-5200

Direct Line: (262) 246-5215

Fax: (262) 246-5222

Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>

**Sent:** Thursday, January 23, 2025 12:36 PM

**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>

**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Here is your map with the full scope layout. We plan to store OSB sheets, OSB Gold sheets, and various lumber materials in these areas.



Drexel - Supply.  
Happiness.

Tony Steger

**Infrastructure Coordinator**

Drexel Building Supply – Downtown

110 E. Main St. Campbellsport, WI 53010

C: (920) 948-8452

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On Thu, Jan 23, 2025 at 10:03 AM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:

Anthony:

It looks like you're missing a fair amount of the outdoor storage area. I'm attaching a new map that shows the entire property. Can you mark up this one so we have a full scope of what is being stored outside?

Thanks,

Gabe Gilbertson

Community Development Director



Main Line: (262) 246-5200

Direct Line: (262) 246-5215

Fax: (262) 246-5222

Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>

**Sent:** Thursday, January 23, 2025 6:10 AM

**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>

**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Gabe,

Attached is the map of the outdoor storage layout along with what type of material will be in which location. Check is being today. When is February's PC agenda meeting?

Thanks

Tony Steger

**Infrastructure Coordinator**



Drexel - Supply.  
Happiness.

Drexel Building Supply – Downtown  
110 E. Main St. Campbellsport, WI 53010  
C: (920) 948-8452  
[www.drexelteam.com](http://www.drexelteam.com)

On Wed, Jan 22, 2025 at 4:00 PM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:  
Yes, that is correct.

Gabe Gilbertson  
Community Development Director



Main Line: (262) 246-5200  
Direct Line: (262) 246-5215  
Fax: (262) 246-5222

Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>

**Sent:** Wednesday, January 22, 2025 3:26 PM

**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>

**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Just to clarify, we are only sending a check for \$210 to the village of Sussex for the conditional use permit, correct?



Drexel - Supply.  
Happiness.

Tony Steger

**Infrastructure Coordinator**

Drexel Building Supply – Downtown

110 E. Main St. Campbellsport, WI 53010

C: (920) 948-8452

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On Wed, Jan 22, 2025 at 12:44 PM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:

I think that would be all we need. The application is the same and a layout using a map view works.

Once I get it all and I think of anything else I will let you know.

Thanks,

Gabe Gilbertson  
Community Development Director



Main Line: (262) 246-5200  
Direct Line: (262) 246-5215  
Fax: (262) 246-5222  
Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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---

**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>

**Sent:** Wednesday, January 22, 2025 12:37 PM

**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>

**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Okay understood. We will send in the \$210 rather than \$175. I will draw up the storage layout using a map view showing what and where things will be stored outside and send your way.

Other than those few tasks, is there anything else you will need from me for the time being? Please let me know.

Thanks

On Wed, Jan 22, 2025, 12:29 PM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:  
Anthony:

I WFH on Wednesday afternoons watching my daughter. Conditional Use Permits state that a new Permit is required when there is a change of ownership. It should be pretty straightforward, but does need to be done.

Thanks,

Gabe Gilbertson  
Community Development Director



Main Line: (262) 246-5200  
Direct Line: (262) 246-5215  
Fax: (262) 246-5222  
Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>  
**Sent:** Wednesday, January 22, 2025 12:16 PM  
**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>  
**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Gabe,

Tried calling you. Just want to verify why a conditional use permit is needed when the outdoor storage area will be used like the previous owners? Please verify and get back to me as soon as possible.

Thanks

On Wed, Jan 22, 2025, 8:51 AM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:

OK. Because this is a new business and using the outdoor storage area, I'll have to take it through as a Conditional Use Permit. I can put it on the February PC agenda. I will need a couple more things though. The CUP fee is \$210. Either a new check be issued for the difference be sent over and a site plan that shows how the outdoor storage area is going to function; where things will be stored, what will be stored, etc.

Let me know if you have any questions.

Thanks,

Gabe Gilbertson  
Community Development Director



Main Line: (262) 246-5200  
Direct Line: (262) 246-5215  
Fax: (262) 246-5222  
Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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---

**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>  
**Sent:** Wednesday, January 22, 2025 8:28 AM  
**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>  
**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

That is correct



Drexel - Supply.  
Happiness.

Tony Steger  
**Infrastructure Coordinator**

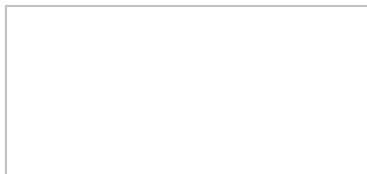
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110 E. Main St. Campbellsport, WI 53010  
C: (920) 948-8452  
[www.drexelteam.com](http://www.drexelteam.com)

On Wed, Jan 22, 2025 at 8:26 AM Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)> wrote:  
Anthony:

Yes, I received everything. Are you using the yard for outdoor storage of building supplies?

Thanks,

Gabe Gilbertson  
Community Development Director



Main Line: (262) 246-5200  
Direct Line: (262) 246-5215  
Fax: (262) 246-5222  
Email: [ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)

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---

**From:** Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)>

**Sent:** Wednesday, January 22, 2025 7:46 AM

**To:** Gabe Gilbertson <[ggilbertson@sussexwi.gov](mailto:ggilbertson@sussexwi.gov)>

**Subject:** Re: Plan of Operation- J Fleischman Solutions LLC

Gabe,

Just want to verify that you received all of the paper work and are able to submit everything. Please let me know.

Thanks!



Drexel - Supply.  
Happiness.

Tony Steger

**Infrastructure Coordinator**

Drexel Building Supply – Downtown  
110 E. Main St. Campbellsport, WI 53010  
C: (920) 948-8452  
[www.drexelteam.com](http://www.drexelteam.com)

On Tue, Jan 21, 2025 at 8:55 AM Anthony Steger <[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)> wrote:

Here is the completed front page. This should be everything you need

Tony Steger

**Infrastructure Coordinator**



Drexel - Supply.  
Happiness.

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C: (920) 948-8452  
[www.drexelteam.com](http://www.drexelteam.com)

On Tue, Jan 21, 2025 at 6:49 AM Anthony Steger

<[anthony.steger@drexelteam.com](mailto:anthony.steger@drexelteam.com)> wrote:

Morning Gabe,

Attached are the filled out forms. The check for \$175 is being sent from accounts payable to your email as well. Please let me know if you have any questions.

Thanks!



Drexel - Supply.  
Happiness.

Tony Steger

**Infrastructure Coordinator**

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**The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.**

**The Conditional Use Standards:**

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

**The Zoning District Standards Section 17.0418 B-3 Highway Business District**

## **17.0418 B-3 HIGHWAY BUSINESS DISTRICT**

The B-3 Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such traffic.

### **A. Permitted Uses**

#### **1. Accommodations and Food Service**

- (a) Hotels and motels
- (b) Bed and breakfast establishments
- (c) Restaurants, snack stands, and mobile food services. For a drivethrough the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (d) Bars
- (e) Food service contractors and caterers

#### **2. Arts, Entertainment, and Recreation Services**

- (a) Promoter, agent, artists offices/studio
- (b) Theater companies and dinner theaters, dance, musical groups, and performing arts companies.

#### **3. Educational, Health Services, and Social Services**

- (a) Fine arts and language schools and studios
- (b) Sports and recreation instruction
- (c) Automobile driving school
- (d) General medical services
- (e) Vocational rehabilitation services
- (f) Religious facilities
- (g) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
- (h) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 7.0603(K)(6)(h)(3) of this Ordinance.

#### **4. Finance, Insurance, Real Estate, and Leasing**

- (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
- (e) Office equipment rental and leasing
- (f) Rental Centers

#### **5. General Services**

- (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Personal care and weight loss services

- (d) Funeral home and funeral services
- (e) Coin operated laundries and drycleaners
- (f) Dry cleaning and Laundry Services (non-industrial)
- (g) Photo finishing laboratories
- (h) General business offices
- (i) Travel and visitor services
- (j) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)
- (k) Animal Boarding in the B-3 district provided that the animals are domestic pets including (dogs, cats, hamsters or similar pet rodents, pet fish, reptiles and pet birds). In no way shall the operation be allowed to board wild animals or any pets not included in the list above. The boarding shall be for limited periods of time with no animal allowed to be continually boarded for longer than 3 weeks in row. No boarding facility may sell, trade, or in any other way exchange animals. The Plan Commission when determining the appropriateness of the site for animal boarding shall take into account the available space for outside animal activity and the impact the noise of such a facility will have on adjacent properties. An animal boarding operation shall be at least 1,000 feet from a residential zoned property, measured from the closest point where any boarded animal may be located to the closest residential zoning district property line.

The Plan Commission recognizes that customer's demands of animal boarding services and the culture related to taking care of pets is regularly evolving. These changes make it improbable to list all of the accessory uses of an animal boarding operation in the Code; therefore, the Plan Commission may consider accessory uses to the animal boarding operation such as, but not limited to; animal grooming, animal physical rehab, animal photography studios, retail sales of animal related products, if the Plan Commission finds the following:

- 1) The accessory use is consistent with the intent of the zoning district.
- 2) The accessory use is clearly established by the petitioner to be interrelated to and an accessory use of the principal animal boarding operation.
- 3) The site and or building are appropriately designed and located, or will be made so, to accommodate the accessory use and any impacts thereof.

#### 6. Information Services

- (a) Radio/TV/Cable network, stations, news syndicates, excluding towers and dishes.
- (b) Telecommunications services
- (c) Motion picture and video production
- (d) Newspaper, printers, paper and software publishers, recording studio record production, telecommunications services and data processing.
- (e) Libraries and archives.

#### 7. Professional, Technical, Scientific, and Administrative Services

- (a) Legal, notaries, and title services
- (b) Accountants, tax preparation, payroll, and other accounting services
- (c) Architects, landscape architects, engineering, surveying services
- (d) Interior, industrial, graphic, and fashion design services
- (e) Private investigators, locksmiths, security, and armored car services
- (f) Janitorial services
- (g) Pest control services
- (h) Packaging and labeling service

- (i) Veterinary Offices
- (j) Offices of holding companies and regional managing offices
- 8. Retail Trade
  - (a) Furniture, flooring, and home furnishing stores
  - (b) Appliances, electronics, camera, office supply and copying stores
  - (c) Home improvement and hardware stores
  - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
  - (e) Liquor/packaged beverage and tobacco stores
  - (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
  - (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
  - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
  - (i) Gift shops, florists, variety stores, antiques, used merchandise
  - (j) Pet and pet supply stores
  - (k) Art dealers/store
  - (l) Internet sales shopping/mail order business and vending machine sales
  - (m) Building supply stores and general sales of industrial products, such as building materials, electrical supplies, heating supplies, lighting supplies, paint and painting supplies, plumbing supplies, roofing supplies, wallpaper and wallpaper supplies, and windows and doors.
  - (n) Outdoor Power Equipment
  - (o) Garden Centers
  - (p) Manufactured/mobile home sales
- 9. Manufacturing/Assembly
  - (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.
- 10. Public Administration and Government Services
  - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 11. Transportation and Warehousing
  - (a) Courier, delivery, postal service businesses
- 12. Parking Lots
  - (a) Parking lots are permitted without a principal structure, provided that the property owner submits a parking plan to the Plan Commission, and the Plan Commission approves the parking plan. The parking plan shall indicate whether the private parking area described in the parking plan may be used by the general public when the parking spots are not needed for the private use. If the plan so indicates, and if the plan is approved, then general public parking uses may be permitted upon such terms and conditions as are agreed upon in writing between the Village Board and the property owner, in a form approved by the Village Attorney. The Plan Commission shall approve the parking plan only if it finds all of the following:
    - (1) The lot where the proposed parking is located must be immediately adjacent to a lot that is zoned B-4 Central Mixed Use District that is proposed for development or change of use; and
    - (2) The adjacent B-4 Central Mixed Use District lot must have inadequate parking available on the lot to serve the new development or change of use, per the requirements of Section 17.0603 of this Code; and
    - (3) The parking plan must demonstrate that the parking lot will be in full compliance with all applicable requirements of this Code, except as to any

modifications that may be granted pursuant to Section 17.0603(L) of this Code;

and

- (4) Deed restrictions must be imposed and agreements must be entered between the adjacent lot owners, to the satisfaction of the Village Attorney, to allow the parking area to be used by the adjacent lot owner in compliance with the parking plan; and
- (5) Subject to such reasonable conditions as the Plan Commission may deem to be necessary or appropriate.

13. Housing. Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.

**B. Permitted Accessory Uses**

1. Accessory garages for storage of vehicles used in conjunction with the operation of the business or for occupants of the premises.
2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
3. Residential quarters for the owner or proprietor located in the same building as the business.
4. Rental efficiency and one-bedroom apartments on a non-ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

**C. Conditional Uses**

1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

**D. Lot Area and Width**

1. Lots shall have a minimum area of 10,000 square feet and shall be not less than 75 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

**E. Building Height**

1. No principal building or parts of a principal building shall exceed 30 feet in height.

**F. Setback and Yards**

1. There shall be a minimum building setback of 30 feet from the right-of-way of all streets.
2. There shall be a side yard on each side of all buildings not less than 15 feet in width.
3. There shall be a rear yard of not less than 25 feet.
4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

**G. Erosion Control**

1. See Chapter 14 of the Village Municipal Code.

**H. Development Design Guidelines**

1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve

as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

**I. Plans and Specifications to be submitted to Plan Commission**

1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

**17.0506**

**CONDITIONAL USES**

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

**11. Miscellaneous Items (Towers/Antenna and Outside Storage)**

- a) Commercial Use Outside Storage. Outside storage maybe permitted for commercial uses in the B-1, B-2, B-3, B-4, BP-1, and OP-1, districts. All outside storage areas shall be at least 100 feet from residential, park, and institutional districts located in the Village or adjacent community. In all cases, outside storage shall be screened from all sides. All screening plans are subject to Plan Commission review and approval. Screening shall be a permanent opaque wall matching the materials of the building and may include fencing as deemed appropriate by the Plan Commission. The Plan Commission may allow vegetative screening in part or in whole, where it determines the vegetative screening shall provide sufficient and aesthetically pleasing screening and said screening is appropriate for the type of items being screened from view. The height of the wall necessary shall be sufficient to screen the product(s) in the outside storage area. The Plan Commission shall set the appropriate height of any fencing based upon the site conditions and the types of outdoor storage to be screened. Outside Storage shall not be construed 17.0500 Page 11 of 21 01/28/2020 Ord. 862 17.0506 A.6.(a) 02/23/2021 Ord. 873 17.0506 A.2.C 01/10/2023 Ord. 886 to include the temporary or seasonal outdoor sales or services allowed as part of a Village approved outdoor sales and services permit.

**Site Plan Review Standards 17.1000**

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.



1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-ofway in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

**Any other standards from Chapter 17 that may be relevant.**



Project Name \_\_\_\_\_

Tax Key # \_\_\_\_\_

VILLAGE OF SUSSEX  
PLAN OF OPERATION  
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to [ggilbertson@villagesussex.org](mailto:ggilbertson@villagesussex.org).

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: John Bowler Phone # 262.352.8297  
E-mail: johnbowler386@gmail.com

For office use only:

Met with staff on: \_\_\_\_\_  
Paid fees on: \_\_\_\_\_  
To be on the Plan Commission Agenda for: \_\_\_\_\_  
Original forms to the following:  
Plan of Operation to Jeremy \_\_\_\_\_  
Service reimbursement \_\_\_\_\_  
Emergency Contact to Sheriff Dept \_\_\_\_\_  
Wastewater Permit to WWTP \_\_\_\_\_  
  
Any outstanding fees owed on the property? \_\_\_\_\_



## PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? X If yes, is this a new CU? X

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? \_\_\_\_\_

Tax Key # \_\_\_\_\_

Zoning: BP-2

Address of Tenant Space: N53W24880 S. Corp. Circle

1. Name of Business:

Lake Country Wines LLC

Business

P O Box 548 Merton, WI 53056 262.533.3041

Address

City, State, Zip

Phone #

Fax #

johnbowler386@gmail.com

Email address

2. Business owner contact information:

John Bowler

Contact

P O Box 548 Merton, WI 53056 262.533.3041

Address

City, State, Zip

Phone #

Fax #

johnbowler386@gmail.com

Email address

3. Building/Land owner contact information:

Nick Wrbanatz

Contact

N53 W24880 S. Corp. Cir Sussex, WI 53089 262.677.3400

Address

City, State, Zip

Phone #

Fax #

lanah@whmaching.com

Email address

4. Number of Employees/Shifts: 2-3

Employees

1

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

No public hours of operation

6. Is this an extension of an existing operation? no
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? yes Do you need an Outdoor Establishment Permit? no  
If yes, explain: We are working through Williams compliance on obtaining the licensing  
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? None
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? no If yes, explain: \_\_\_\_\_
11. Dimension of area to be occupied \_\_\_\_\_ Total square footage 3000 feet  
If applicable list square footage according to 1<sup>st</sup> floor 3000 feet 2<sup>nd</sup> floor \_\_\_\_\_

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:  
Total Number of Parking Spaces 5 Number of spaces needed per code \_\_\_\_\_  
Number of spaces allocated for employee parking 3  
Dimensions of parking lot \_\_\_\_\_ Is parking lot paved? yes
13. Signage: What type of signage are you proposing for your business?  
none

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

John P Bowler  
Name Owner  
Title or Position

1/28/25  
Date

I am aware and approve of the business to be operating in the building owned by \_\_\_\_\_.

\_\_\_\_\_  
Name  
\_\_\_\_\_  
Title or Position

\_\_\_\_\_  
Date

### **Lake Country Wines LLC Production**

We are interested in using this warehouse as a wine production facility. We would produce approximately 100 cases of wine per week. We would be at the facility for wine production, fermentation, bottling, and shipping around 5 hours per day Monday-Saturday. The only potential odors would be the fruit flavors of the wine, but it will not affect anything. There will be no sparkling wine or liquor produced. The wine production, bottling, and shipping would take place in the warehouse area, where the fermentation would be in the adjacent room with the temperature at a minimum of 57 degrees. This is a temperature-controlled environment. We have a three section sink to wash the necessary equipment. We will have a refrigerator to keep various ingredients cold and an oven to heat ingredients for the fermentation.

The only projected “noise” would be from the motors that are sent up to handle the bottling, which would be for 4-5 hours once per week.

We will install an alarm/security system that can monitor 24/7.

There will be up to five employees at the site, but many times it will be between 1-3.

We will be moving the cases of wine to a “to be determined” retail site.





**Village of Sussex Fire Department**  
**N63 W24335 Main Street**  
**Sussex, Wisconsin 53089**

Kristopher Grod  
Fire Chief  
Fire Station - *Business*  
262-246-5235  
Fire Station - *FAX*  
262-246-5196

February 10, 2025

Reference: Lake Country Wines LLC

I have reviewed the operational plan for the proposed Lake Country Wines LLC, located at N53 W24880 South Corporate Circle, and discussed the production and storage practices with John Bowler, the business owner.

The facility will not store large quantities of highly flammable alcohol. The fermentation process will be conducted in metal or glass containers instead of wooden barrels. Additionally, all electrical systems in the production area will be properly maintained. The facility will maintain 36-inch-wide aisles to ensure unobstructed escape routes. It will also be included in our fire inspection schedule, allowing us to conduct pre-fire inspections twice a year.

Based on my discussions with Mr. Bowler and my review of the operational plan, I believe that the proposed uses and procedures are adequately designed to prevent safety issues for the public, first responders, and employees. The building is equipped with an automatic fire sprinkler system and 24/7 alarm monitoring to ensure prompt detection of any fire emergencies.

Respectfully submitted,

A handwritten signature in black ink that reads "Kristopher Grod".

Kristopher Grod  
Fire Chief

**The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.**

**The Conditional Use Standards:**

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any

part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

## **The Zoning District Standards Section 17.0420 BP-1 Business Park District**

### **17.0420 BP-1 BUSINESS PARK DISTRICT**

The BP-1 Business Park District is intended to provide for the orderly and attractive grouping of diverse office, retail, and customer service uses, mixed with industrial uses of limited intensity where the appearance of such mixed uses is enhanced by pleasing building architecture and generously landscaped



sites free of outside storage and outside display of products. The district is intended to be located in highly visible locations adjacent to arterial highways, and should be buffered by means of landscaping and berms from residential uses.

#### A. Permitted Uses

##### 1. Accommodations and Food Service

- (a) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (b) Food service contractors and caterers
- (c) Hotels and Motels

##### 2. Educational, Health Services, and Social Services

- (a) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.

##### 3. General Services

- (a) Repair and Maintenance of consumer electronics, electronic and precision equipment commercial and Industrial machinery and equipment, appliances, furniture/reupholsters.
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Dry cleaning and laundry services (non-industrial)
- (d) Photo finishing laboratories
- (e) General Business Offices.
- (f) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)

##### 4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial Service Institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Monetary Authority
- (c) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, and developer offices
- (e) Office equipment rental and leasing

##### 5. Information Services

- (a) Newspapers and Publishers
- (b) Computer programming, software publishers and data/system processing
- (c) Video, film, sound, photo production and studios
- (d) Media station and distribution center, excluding towers and dishes
- (e) Telecommunications services, excluding towers and dishes

##### 6. Manufacturing: The manufacture, fabrication, assembly, and/or processing of the following products; or parts, supplies, or sub-assemblies of the same:

- (a) Fabrics and Textile Products
  - (1) Yarn, felt, and fabric
  - (2) Carpet, rugs, drapes, canvas, and rope
  - (3) Clothing, hosiery, hats, gloves, shoes

- (4) Packing and assembly of fur and leather products, no tanning
    - (5). Upholstery of furniture and automotive
  - (b) Wood and Paper Products
    - (1) Wood furniture and wood products
    - (2) Paper products (non pulp)
    - (3) Printing, binding, and associated printing services
  - (c) Home, health, beauty, and cleaning Products
    - (1) Toiletries
    - (2) Medical, botanical, and pharmaceutical processing (non hazardous)
    - (3) Cosmetic manufacturing
    - (4) China, pottery, porcelain, clay, ceramics, silverware
    - (5) Glass and glass products
    - (6) Jewelry
    - (7) Home décor items of art, lamps, furniture, wallpaper.
    - (8) Brooms and brushes
  - (d) Machinery and Metal Products
    - (1) Rolled wire, metal product manufacturing
    - (2) Tool and die, and machining
    - (3) Machinery for of farming, construction, mining, woodworking, paper, textile, printing, food products, commercial or industrial uses, service industry, mechanical, crane, elevator, pumps, and motors.
  - (e) General manufacturing
    - (1) Electronics, telecommunications, medical instruments, scientific and laboratory equipment, measuring and recording devices.
    - (2) Electrical appliances, switches, cable, and components
    - (3) Vehicles, vehicle parts, and equipment
    - (4) Sporting goods, hobby products, musical instruments, and marking devices
    - (5) Signage and advertising products
- 7. Professional, Technical, Scientific, and Administrative Services
  - (a) Legal, notaries, and title services
  - (b) Accountants, tax preparation, payroll, and other accounting services
  - (c) Architects, landscape architects, engineering, surveying services
  - (d) Interior, industrial, graphic, and fashion design services
  - (e) Consulting/professional services of advertising, management, HR, marketing, IT.
  - (f) Laboratories, research, and development facilities
  - (g) Translation and interpretation services
  - (h) Employment placement and provider services
  - (i) Private investigators, locksmiths, security, and armored car services
  - (j) Janitorial services
  - (k) Pest control services
  - (l) Business service centers and telemarketers
  - (m) Building maintenance services
  - (n) Packaging and labeling services
  - (o) Veterinary Services
  - (p) Offices of holding companies and regional managing offices
- 8. Retail Trade
  - (a) Internet sales shopping/mail order business and vending machine sales
  - (b) Factory Outlets and retail sales of products made onsite in the principal industrial operation.
- 9. Public Administration and Government Services

(a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.

10. Transportation and Warehousing, as follows:

(a) Courier, delivery, postal service businesses

(b) Limited wholesaling, warehousing and storage facilities for distributors, provided that such warehousing and storage does not exceed 50,000 square feet.

B. Permitted Accessory Uses

1. Garages for storage of vehicles used in conjunction with the principal business park operation.

2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.

3. Office, storage, power supply, distribution, warehousing, and other uses normally auxiliary to permitted business park uses.

4. Indoor storage and sale of machinery and equipment associated with the permitted business park uses.

5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.

6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

1. Conditional uses as allowed in Section 17.0500 Conditional Uses.

2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Certain Incompatible Uses Prohibited The following uses are considered to be incompatible with the residential characteristics of the Village and surrounding area and are herewith prohibited:

1. Manufacturing/processing of ammonia, asbestos, asphalt, cabbage, chlorine, coal tar, creosote, explosives, fertilizer, fish, glue, grease, gypsum, insecticide, lampblack, offal, poison, pulp, pyroxylin, and radioactive materials.

2. Storage of bulk fertilizer, explosives, gasoline in excess of 50,000 gallons, grease, and radioactive materials.

3. Forges, foundries, garbage incinerators, animal reduction, rubbish storage, slaughter houses, smelters, stockyards, and tanneries.

E. Lot Area and Width

1. Lots shall have a minimum of 40,000 square feet in area and shall be not less than 150 feet in width.

2. To achieve a campus-like appearance, lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

F. Building Height

1. No building or parts of a building shall exceed 60 feet in height.

G. Setback and Yards

1. There shall be a minimum building setback of 40 feet from the street right-of-way.

2. There shall be a side yard of 25 feet on each side of all structures not exceeding 45 feet in height. Buildings in excess of 45 feet in height shall increase the minimum side yards one (1) foot for each additional one (1) foot of building height over 45 feet up to a maximum height of 60 feet.

3. There shall be a rear yard of not less than 25 feet.

4. The Plan Commission may reduce setbacks within this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:

(a) The Site is masterplanned and provides an efficient use of land,

(b) The health, welfare, and safety of the public is not jeopardized by the setback reduction,

(c) The setback change will encourage pedestrian interaction between buildings.

(d) The reduced setback serves to implement the Design Standards of the Village.

5. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

6. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

#### H. Erosion Control

1. See Chapter 14 of the Village Municipal Code.

#### I. Development Design Standards

1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

#### J. Plans and Specifications to be Submitted to Plan Commission

1. To encourage a business park environment that is compatible with the residential character of the Village, and that will maintain a campus like setting, building permits for permitted uses in the BP-1 Business Park District shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, architectural plans, ingress and egress, parking, loading and unloading, landscaping, and open space utilization.

### **17.0506 CONDITIONAL USES**

A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

#### 7. Manufacturing

The following manufacturing Conditional Uses have a significant potential for impacts to adjacent properties and in addition have the potential for significant public safety challenges. In order to grant approval the Plan Commission will review and add the conditions found from:

a) A report from the Fire Chief that the proposed use and its plan of operation are sufficiently designed to prevent life safety issues to the public, first responders, and those operating in the facility, including sprinklering of the building.

b) A report highlighting what if any odors and noise, intensity, duration and or times, and general area of odor(s) and noise from the proposed operations and what if any dangers to the public exist from said operation, and ways to mitigate the same.

c) A report from the Wastewater Utility/Water Utility on impacts to these services from stated operations including any necessary treatment systems required. The Plan Commission must also find the following items: that traffic from the use will not reduce the functionality grade of any nearby intersection(s) without the same being mitigated; and that noise standards of the operations shall be at least 10% lower at the property line than the Village Ordinance.

The Plan Commission must find that the buildings fully adhere to the design standards of the Village and the lot is screened such that the parked vehicles or equipment are not visible from any residential district and the street.

a) Manufacturing/Processing of abrasives, acetylene, acid, alkalies, batteries, beverages (alcoholic, coffee, soda, tea, water), biological products, bleach, bone, building materials, candles, celluloid, cement and brick products, charcoal, chemicals, coke, cordage, dog and cat food, dextrin, disinfectants, dry ice, dye and pigment, excelsior, flammables, food products, fuel, furs, gasoline, gelatin, glucose, hair products, ice, ink, lard, lime, linoleum, matches, meat, oil cloth, paint, perfume, plaster of paris, plastics, polish, potash, rubber, shellac, soap, starch, stove polish, turpentine, varnish, vinegar and yeast in the M-1 district.

b) Manufacturing/Processing of bakery and flour products, beverages (alcoholic, coffee, soda, tea, water), biological products, candles, celluloid, disinfectants, dry ice, excelsior, food products, furs, gelatin, glucose, grain, seed and plant oil, cereal, chocolate confections, fruit, vegetable, and nut, dairy products, snack food, syrups, flavorings, extracts, spices and dressings, hair products, ice, ink, lard, linoleum, matches, meat, paper (non pulp), perfume, polish, potash, plastics, shellac, soap, starch, stove polish, textiles, toiletries, turpentine, varnish, vinegar and yeast in the BP-1 district.

## **Site Plan Review Standards 17.1000**

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet

along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

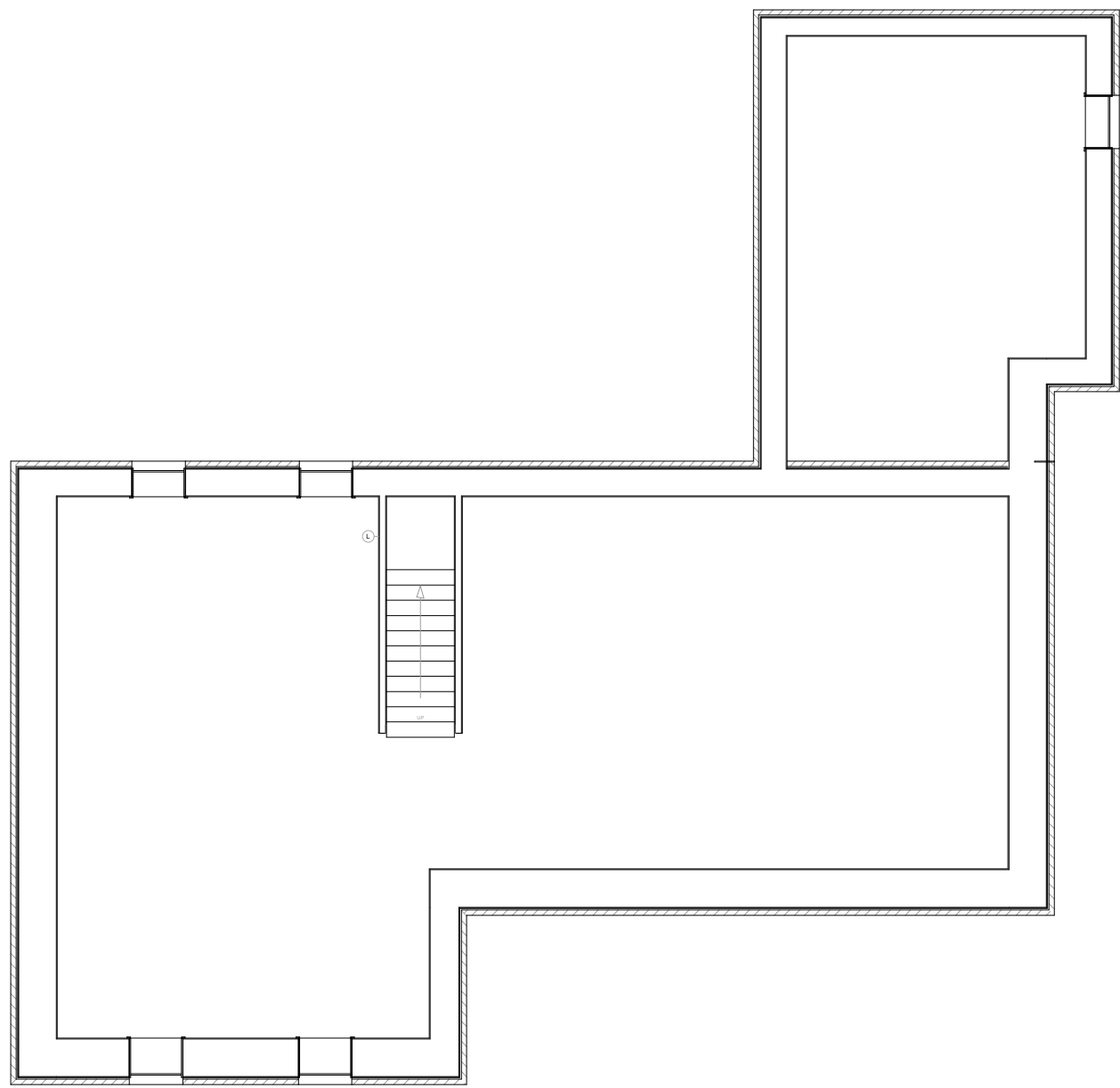
G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

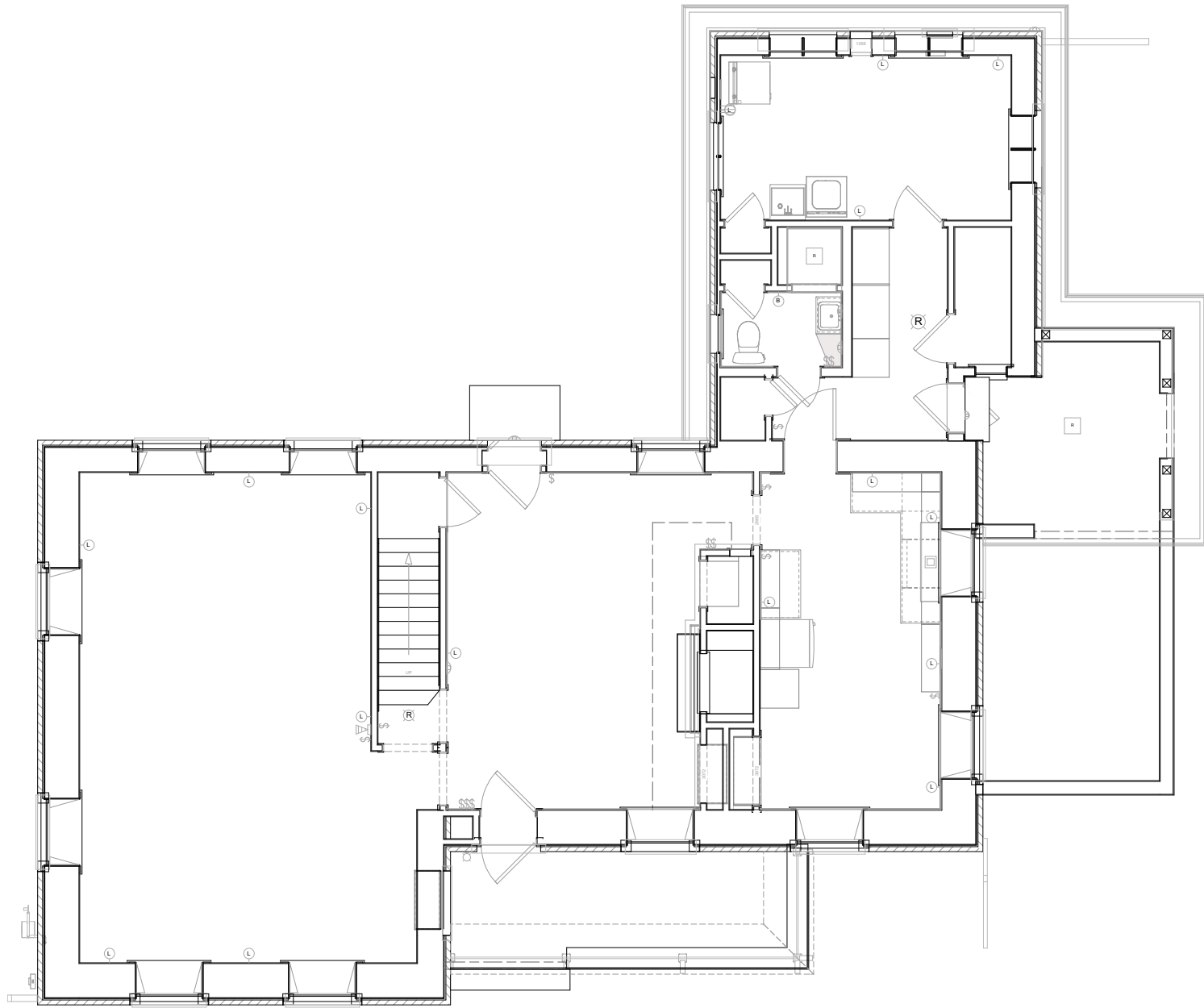
2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

**Any other standards from Chapter 17 that may be relevant.**



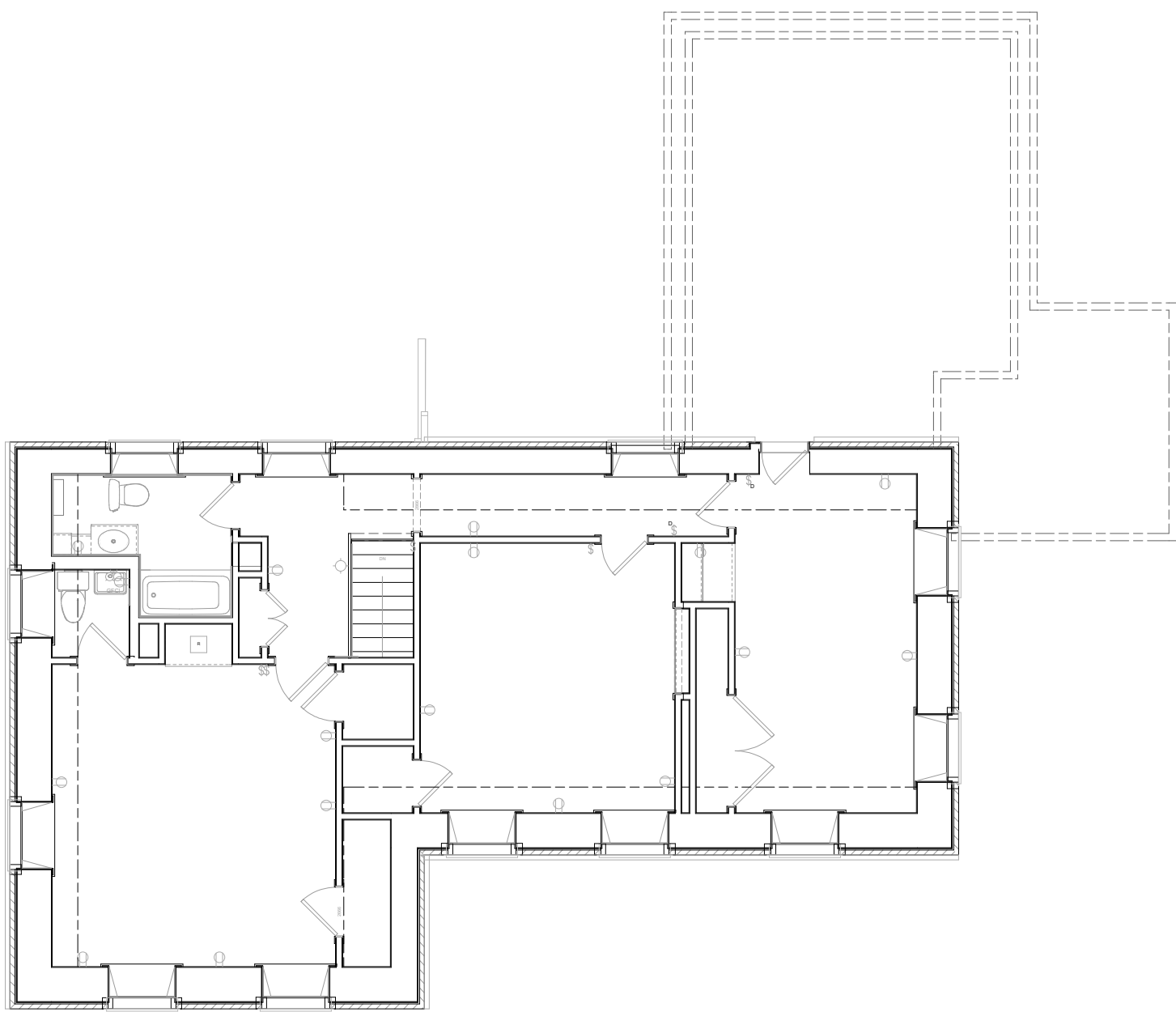
EXIST. FOUNDATION PLAN

1/8"=1'-0"



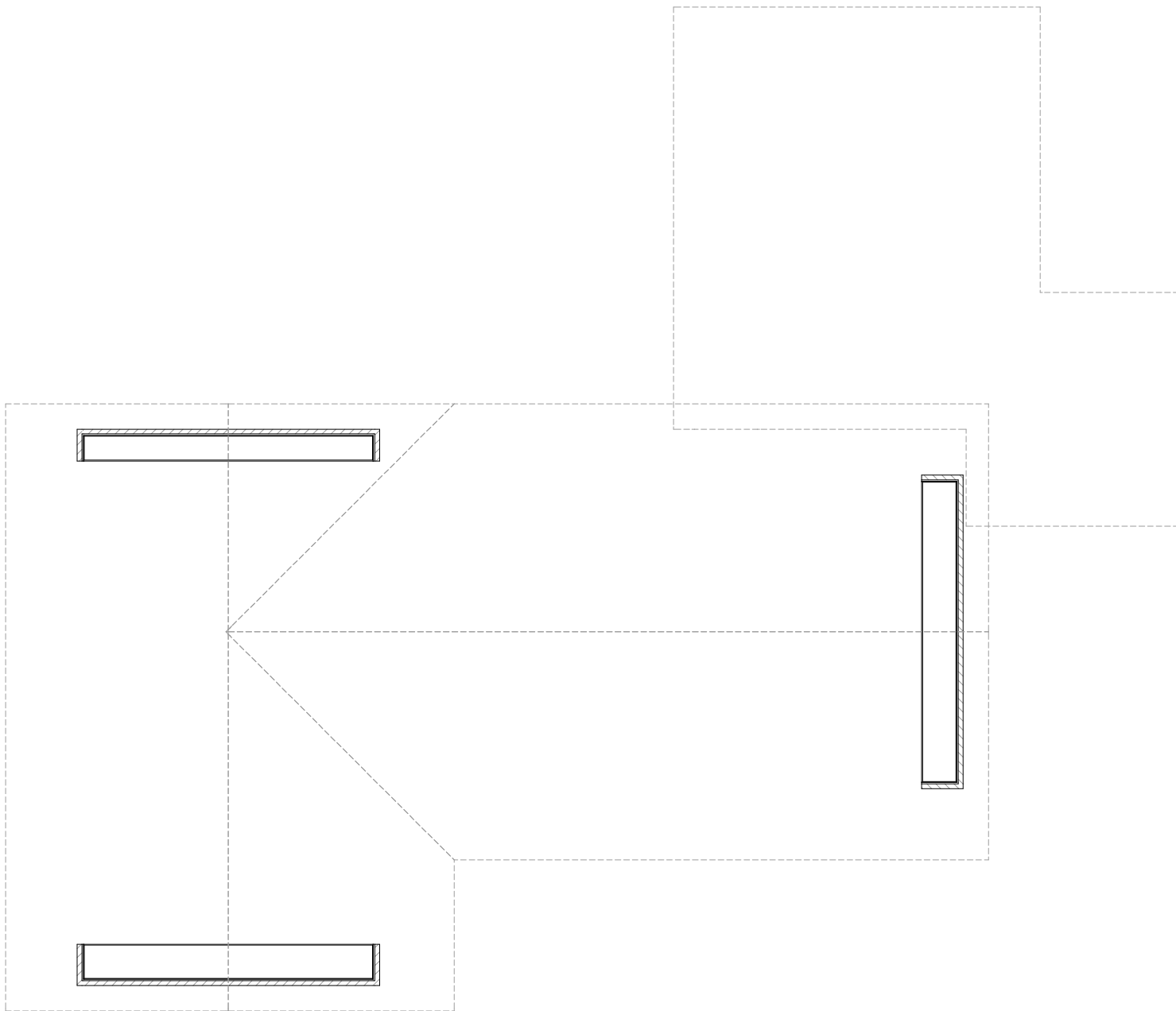
EXIST. MAIN FLOOR PLAN

1/8"=1'-0"



EXIST. SECOND FLOOR PLAN

1/8"=1'-0"



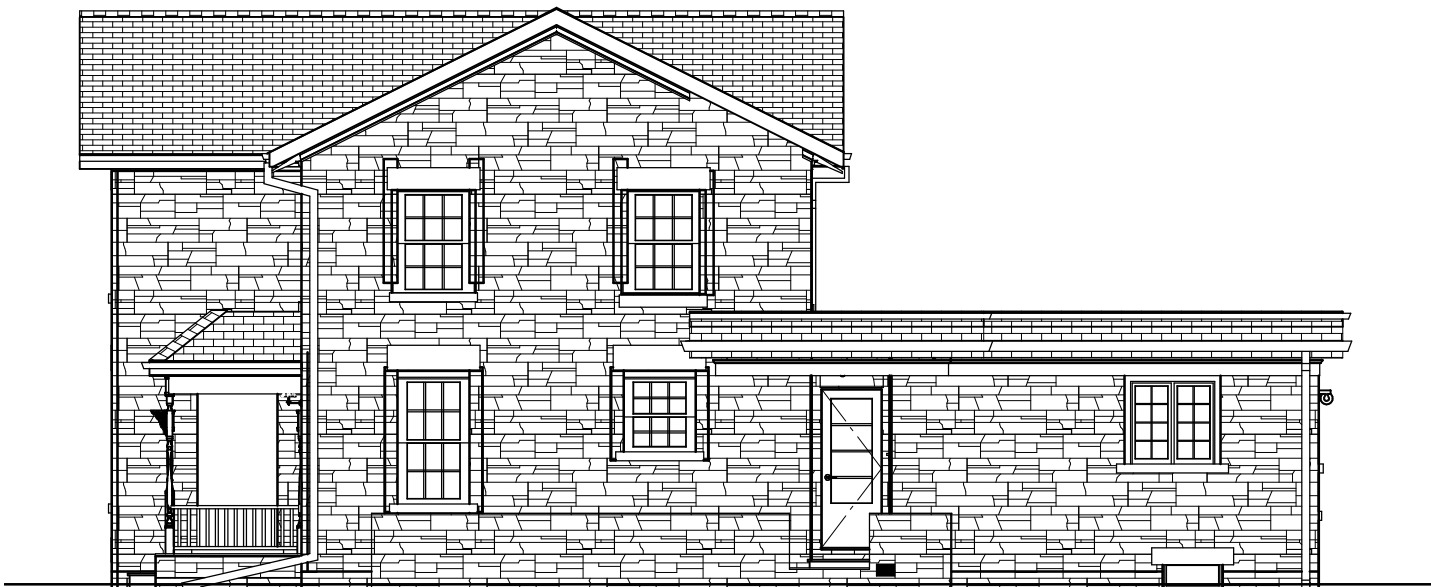
EXIST. ROOF PLAN

1/8"=1'-0"



EXIST. FRONT ELEVATION

1/8"=1'-0"



EXIST. RIGHT ELEVATION

1/8"=1'-0"



EXIST. REAR ELEVATION

1/8"=1'-0"



EXIST. LEFT ELEVATION

1/8"=1'-0"

EXIST. FIRST FLOOR: 1,602 SQ. FT.  
EXIST. SECOND FLOOR: 1,133 SQ. FT.  
PROP. SECOND FLOOR ADD.: 362 SQ. FT.  
T/COND. SPACE 3,097 SQ. FT.  
PROP. GARAGE: 1,033 SQ. FT.  
EXIST. FRONT PORCH: 135 SQ. FT.  
EXIST. SIDE PORCH: 100 SQ. FT.  
PROP. PORCH: 158 SQ. FT.  
PROP. BREEZEWAY: 52 SQ. FT.  
TOTAL UNDER ROOF: 4,575 SQ. FT.  
PROP. SIDE PATIO 135 SQ. FT.

GENERAL NOTES:  
-Area is taken to outside edge of sheathing.  
-FIRST FLOOR WALL HEIGHT IS +/-0'-0"  
-SECOND FLOOR HEIGHT IS +/-7'-10"  
-NEW FROST WALLS ARE 4'-0" BELOW GRADE  
-VERIFY TYPE & LOCATION OF ALL MECHANICALS & METERS  
-ADJUST AS NEEDED FOR FINAL GRADING PLANS  
-ALL DOORS ARE 6'-8" TALL  
-NOTE: PLEASE ADJUST WALLS/CLG. AS NEEDED FOR EXIST. CONDITIONS  
-ELECTRICAL NOTE: PLUGS WILL BE PLACED PER CODE  
-BATH: EXHAUST FAN ON (1) SWITCH, VENTED TO EXTERIOR TO COMPLY WITH 323.02(3)(d).  
-ROOF: VERIFY EXIST. ROOF PITCHES, BEFORE ORDERING MATERIALS

WALL TYPES:  
-ADJUST EXISTING WALL S AS NEEDED TO BRING TO CURRENT CODE  
-EXIST. 2x STUD WALL, ADJUST AS NEEDED  
-NEW 2x STUD WALL @ 16" O.C. W/ 1/2" DRYWALL

WALL BRACING NOTE:  
-CONTINUOUS SHEATHING (CS-WSP TABLE 321.25 G): ALL EXTERIOR WALLS TO BE 1/2" OSB SHEATHING FASTENED W/ 6d COMMON OR 8d BOX NAILS @ 6" EDGES & 12" FIELD.

STRUCTURAL NOTES:  
-ALL HEADERS, UNLESS CALLED OUT, ARE TO BE (2) 2x12s W/ 1/2" PLYWOOD IN BETWEEN  
-VERIFY W/ LUMBER FRAMING PLAN, AS IT SUPERSEDES THIS PLAN  
H-1 (2) 1 3/4" x 9 1/4" 2.0E MICROLAM HEADER, PER CODE, OR EQUAL  
H-2 (3) 1 3/4" x 14" 2.0E MICROLAM HEADER, PER CODE, OR EQUAL

DIMENSION NOTES:  
-ALL DIMENSIONS ARE FINISH DIMENSIONS AND PULLED TO THE FINISHED DRYWALL  
-PLEASE NOTE THE ARROWS, TO SEE WHICH SIDE OF THE WALL THE DIMENSIONS ARE DRAWN TO.

WINDOW SCHEDULE

#	Q	W	H	HD	DESCRIPTION
W01	1	20"	38"	86"	SINGLE HUNG
W02	1	24"	36"	82"	SINGLE HUNG
W04	1	42"	38"	86"	SINGLE HUNG
W05	4	42"	42"	84"	MULLED UNIT
W06	6	42"	52"	64"	SINGLE HUNG
W07	10	42"	64"	86"	SINGLE HUNG
W08	9	42"	52"	70"	SINGLE HUNG
W10	4	24"	24"	96"	FIXED GLASS

DOOR SCHEDULE

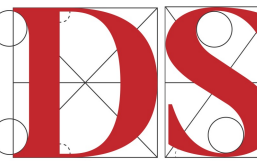
#	Q	W	H	DESCRIPTION
D01	1	12"	80"	EXT. HINGED-SLAB
D02	1	120"	96"	O.H. GARAGE
D03	1	216"	96"	O.H. GARAGE
D04	1	30"	80"	SHOWER DOOR
D06	1	36"	80"	EXT. HINGED
D07	4	32"	80"	INT. HINGED

MINOR RESIDENCE  
N64 W23420 MAIN STREET  
SUSSEX, WISCONSIN 53089



DRAWINGS PROVIDED BY:  
DRAFTSMITH SHAWNA DUNCAN, CPBD  
3380 N 129TH ST BROOKFIELD, WI 53005  
262.707.9293 DRAFTSMITH@GMAIL.COM

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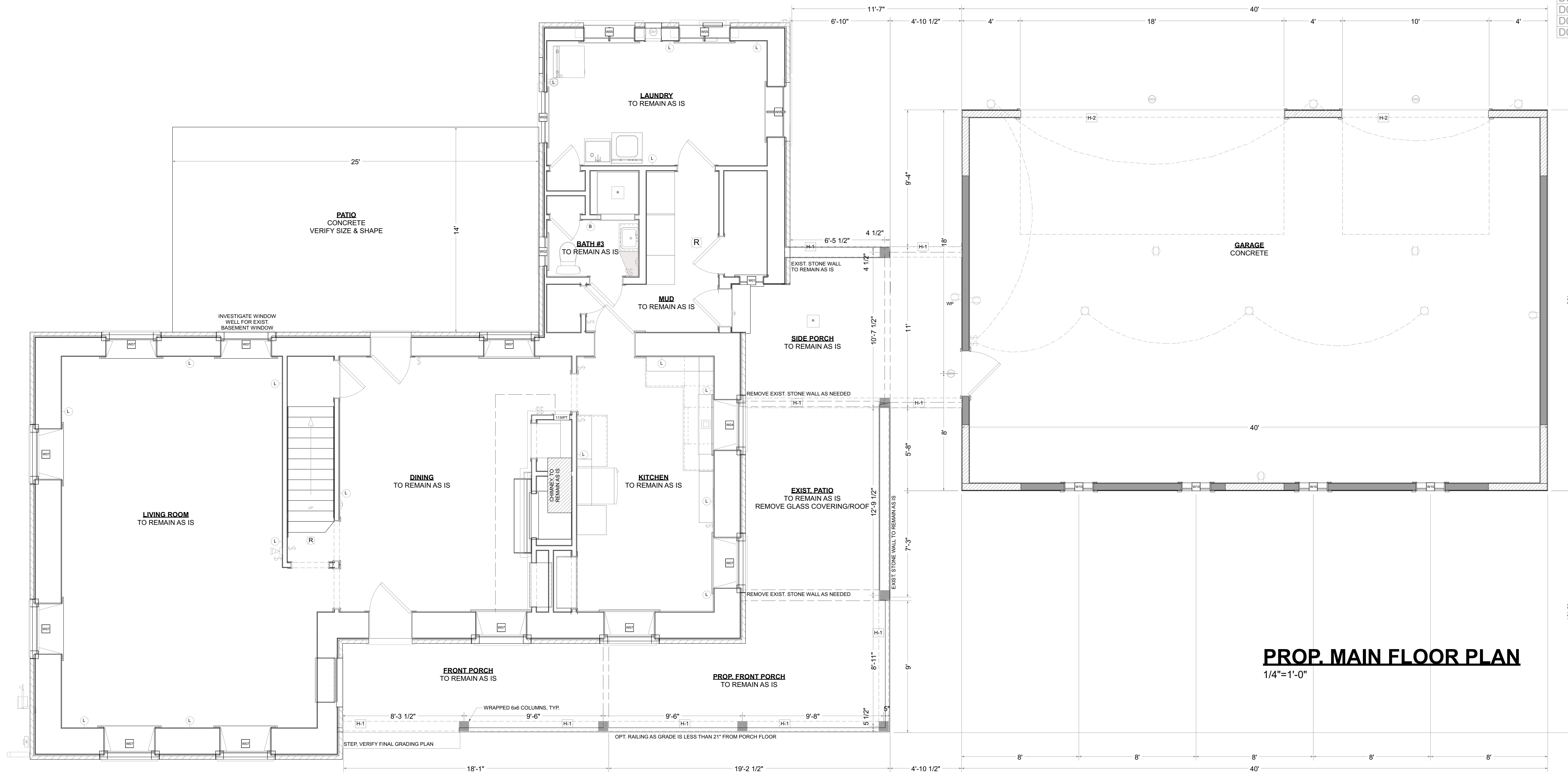




- EXIST. FIRST FLOOR: 1,602 SQ. FT.  
EXIST. SECOND FLOOR: 1,133 SQ. FT.  
PROP. SECOND FLOOR ADD.: 362 SQ. FT.  
**TOTAL COND. SPACE: 3,097 SQ. FT.**  
PROP. GARAGE: 1,033 SQ. FT.  
EXIST. FRONT PORCH: 135 SQ. FT.  
EXIST. SIDE PORCH: 100 SQ. FT.  
PROP. PORCH: 158 SQ. FT.  
PROP. BREEZEWAY: 52 SQ. FT.  
**TOTAL UNDER ROOF: 4,575 SQ. FT.**  
PROP. SIDE PATIO: 135 SQ. FT.
- GENERAL NOTES:**  
-AREA IS TAKEN TO OUTSIDE EDGE OF SHEATHING.  
-FIRST FLOOR WALL HEIGHT IS +/-0'-0"  
-SECOND FLOOR HEIGHT IS +/-7'-10"  
-NEW FROST WALLS ARE 4'-0" BELOW GRADE  
-VERIFY TYPE & LOCATION OF ALL MECHANICALS & METERS  
-ADJUST AS NEEDED FOR FINAL GRADING PLANS  
-ALL DOORS ARE 6'-8" TALL  
-NOTE: PLEASE ADJUST WALLS/CLG. AS NEEDED FOR EXIST. CONDITIONS  
-ELECTRICAL NOTE: PLUGS WILL BE PLACED PER CODE  
-BATH: EXHAUST FAN ON (1) SWITCH, VENTED TO EXTERIOR TO COMPLY WITH 323.02(3)(d).  
-ROOF: VERIFY EXIST. ROOF PITCHES, BEFORE ORDERING MATERIALS
- WALL TYPES:**  
-ADJUST EXISTING WALL S AS NEEDED TO BRING TO CURRENT CODE  
-EXIST. 2x STUD WALL, ADJUST AS NEEDED  
-NEW 2x STUD WALL @ 16" O.C. W/ 1/2" DRYWALL
- WALL BRACING NOTE:**  
-CONTINUOUS SHEATHING (CS-WSP TABLE 321.25 G): ALL EXTERIOR WALLS TO BE 1/2" OSB SHEATHING FASTENED W/ 6d COMMON OR 8d BOX NAILS @ 6" EDGES & 12" FIELD.
- STRUCTURAL NOTES:**  
-ALL HEADERS, UNLESS CALLED OUT, ARE TO BE (2) 2x12s W/ 1/2" PLYWOOD IN BETWEEN  
-VERIFY W/ LUMBER FRAMING PLAN, AS IT SUPERSEDES THIS PLAN  
-H-1 (2) 1 3/4" x 9 1/4" 2.0E MICROLAM HEADER, PER CODE, OR EQUAL  
-H-2 (3) 1 3/4" x 14" 2.0E MICROLAM HEADER, PER CODE, OR EQUAL
- DIMENSION NOTES:**  
-ALL DIMENSIONS ARE FINISH DIMENSIONS AND PULLED TO THE FINISHED DRYWALL  
-PLEASE NOTE THE ARROWS, TO SEE WHICH SIDE OF THE WALL THE DIMENSIONS ARE DRAWN TO.

WINDOW SCHEDULE					
#	Q	W	H	HD	DESCRIPTION
W01	1	20"	38"	86"	SINGLE HUNG
W02	1	24"	36"	82"	SINGLE HUNG
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W06	6	42"	52"	64"	SINGLE HUNG
W07	10	42"	64"	86"	SINGLE HUNG
W08	9	42"	52"	70"	SINGLE HUNG
W10	4	24"	24"	96"	FIXED GLASS

DOOR SCHEDULE				
#	Q	W	H	DESCRIPTION
D01	1	12"	80"	EXT. HINGED-SLAB
D02	1	120"	96"	O.H. GARAGE
D03	1	216"	96"	O.H. GARAGE
D04	1	30"	80"	SHOWER DOOR
D06	1	36"	80"	EXT. HINGED
D07	4	32"	80"	INT. HINGED



**PROP. MAIN FLOOR PLAN**  
1/4"=1'-0"



EXIST. FIRST FLOOR: 1,602 SQ. FT.  
EXIST. SECOND FLOOR: 1,133 SQ. FT.  
PROP. SECOND FLOOR ADD.: 362 SQ. FT.  
**TOTAL COND. SPACE: 3,097 SQ. FT.**  
PROP. GARAGE: 1,033 SQ. FT.  
EXIST. FRONT PORCH: 135 SQ. FT.  
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**TOTAL UNDER ROOF: 4,575 SQ. FT.**  
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**GENERAL NOTES:**  
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-VERIFY TYPE & LOCATION OF ALL MECHANICALS & METERS  
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-ALL DOORS ARE 6'-8" TALL  
-NOTE: PLEASE ADJUST WALLS/CLG. AS NEEDED FOR EXIST. CONDITIONS  
-ELECTRICAL NOTE: PLUGS WILL BE PLACED PER CODE  
-BATH: EXHAUST FAN ON (1) SWITCH, VENTED TO EXTERIOR TO COMPLY WITH 323.02(3)(d)  
-ROOF: VERIFY EXIST. ROOF PITCHES, BEFORE ORDERING MATERIALS

**WALL TYPES:**  
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-EXIST. 2x STUD WALL, ADJUST AS NEEDED  
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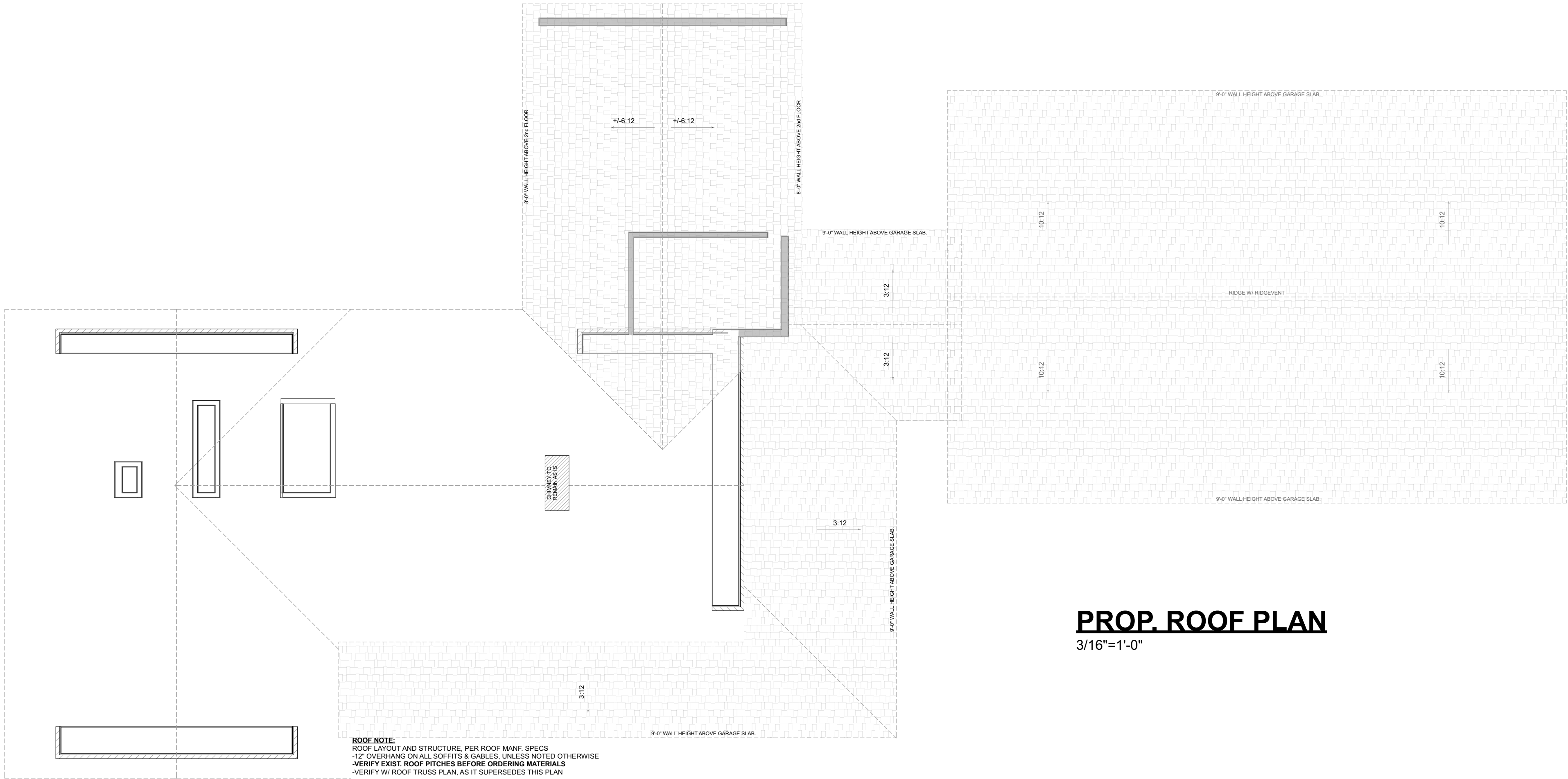
**WALL BRACING NOTE:**  
-CONTINUOUS SHEATHING (CS-WSP TABLE 321.25 G): ALL EXTERIOR WALLS TO BE 1/2" OSB SHEATHING FASTENED W/ 6d COMMON OR 8d BOX NAILS @ 6" EDGES & 12" FIELD.

**STRUCTURAL NOTES:**  
-ALL HEADERS, UNLESS CALLED OUT, ARE TO BE (2) 2x12s W/ 1/2" PLYWOOD IN BETWEEN  
-VERIFY W/ LUMBER FRAMING PLAN, AS IT SUPERSEDES THIS PLAN  
-H-1 (2) 1 3/4" x 9 1/4" 2.0E MICROLAM HEADER, PER CODE, OR EQUAL  
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**DIMENSION NOTES:**  
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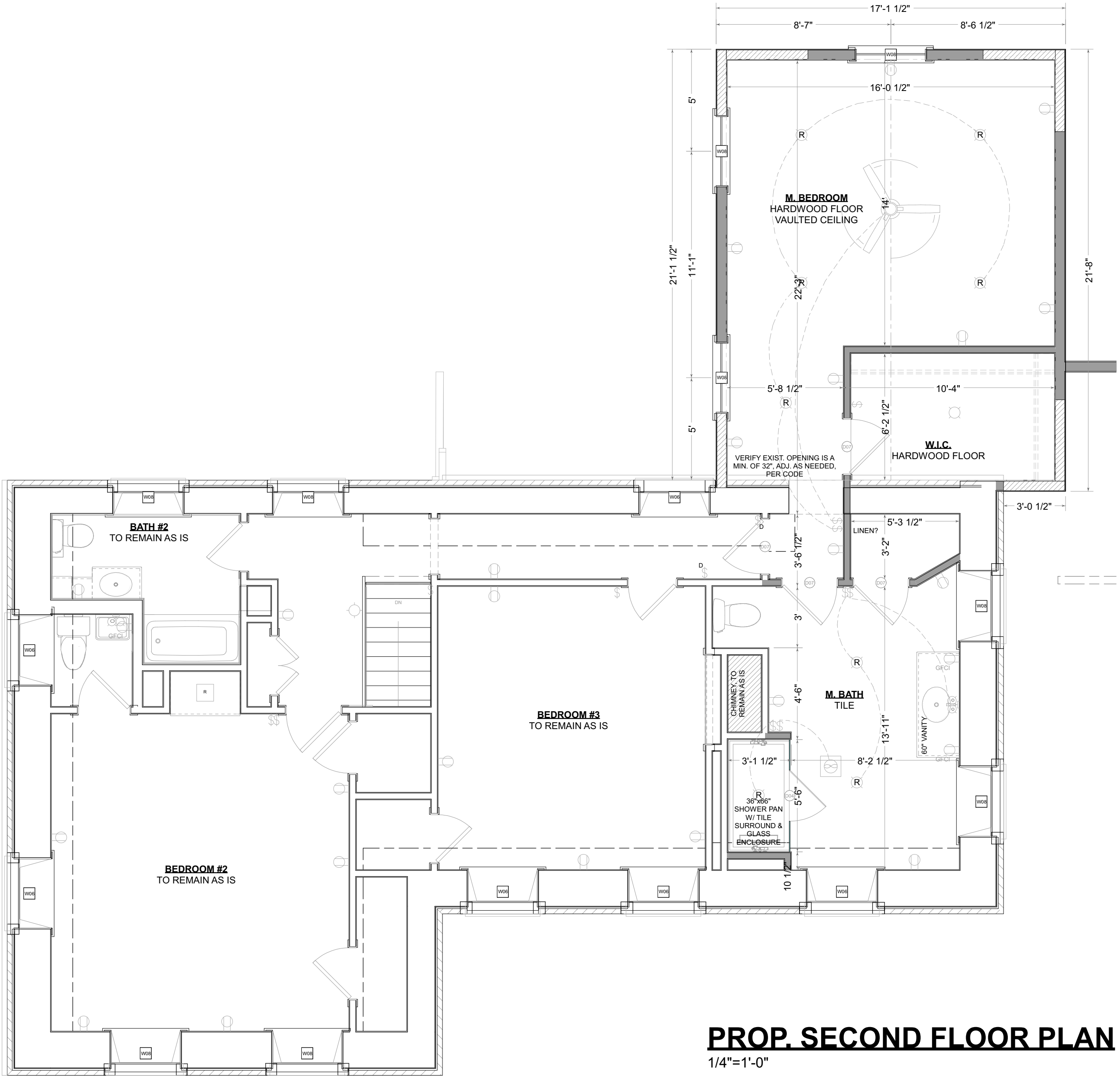
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### PROP. ROOF PLAN

3/16"=1'-0"



### PROP. SECOND FLOOR PLAN

1/4"=1'-0"



MINOR RESIDENCE  
N64 W23420 MAIN STREET  
SUSSEX, WISCONSIN 53089



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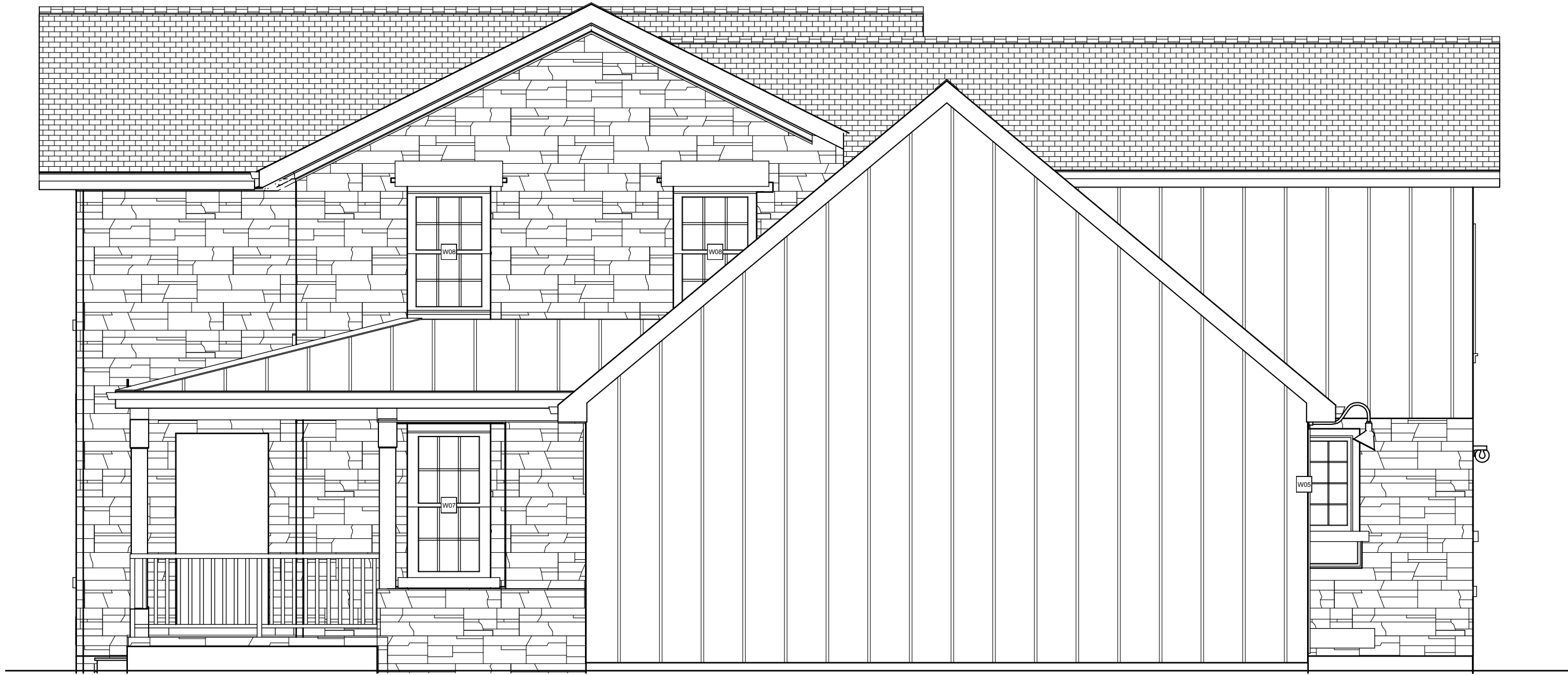
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9/12/2024

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2024.209

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PROP. RIGHT ELEVATION

1/4"=1'-0"



PROP. FRONT ELEVATION

1/4"=1'-0"

EXIST. FIRST FLOOR: 1,602 SQ. FT.  
EXIST. SECOND FLOOR: 1,133 SQ. FT.  
PROP. SECOND FLOOR ADD.: 362 SQ. FT.  
**TOTAL COND. SPACE: 3,097 SQ. FT.**  
PROP. GARAGE: 1,033 SQ. FT.  
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EXIST. SIDE PORCH: 100 SQ. FT.  
PROP. PORCH: 158 SQ. FT.  
PROP. BREEZEWAY: 52 SQ. FT.  
**TOTAL UNDER ROOF: 4,575 SQ. FT.**  
PROP. SIDE PATIO: 135 SQ. FT.

**GENERAL NOTES:**  
-Area is taken to outside edge of sheathing.  
-FIRST FLOOR WALL HEIGHT IS +/-0'-0"  
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-VERIFY TYPE & LOCATION OF ALL MECHANICALS & METERS  
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-NEW 2x STUD WALL @ 16" O.C. W/ 1/2" DRYWALL

**WALL BRACING NOTE:**  
-CONTINUOUS SHEATHING (CS-WSP TABLE 321.25 G); ALL EXTERIOR WALLS TO BE 1/2" OSB SHEATHING FASTENED W/ 6d COMMON OR 8d BOX NAILS @ 6" EDGES & 12" FIELD.

**STRUCTURAL NOTES:**  
-ALL HEADERS, UNLESS CALLED OUT, ARE TO BE (2) 2x12s W/ 1/2" PLYWOOD IN BETWEEN  
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W06	6	42"	52"	64"	SINGLE HUNG	
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D07	4	32"	80"	INT. HINGED

MINOR RESIDENCE  
N64 W23420 MAIN STREET  
SUSSEX, WISCONSIN 53089



DRAWINGS PROVIDED BY:  
SHAWN A. DUNCAN, CPBD  
DRAFTSMITH  
3380 N 129TH ST BROOKFIELD, WI 53005  
262.707.9293  
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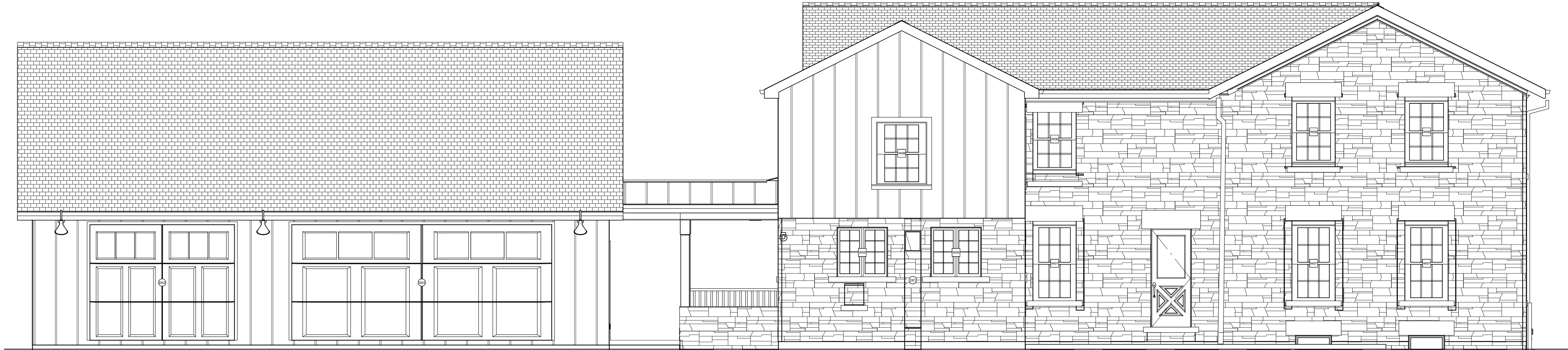
4





**PROP. LEFT ELEVATION**

1/4"=1'-0"



**PROP. REAR ELEVATION**

1/4"=1'-0"

EXIST. FIRST FLOOR: 1,602 SQ. FT.  
EXIST. SECOND FLOOR: 1,133 SQ. FT.  
PROP. SECOND FLOOR ADD.: 362 SQ. FT.  
**TOTAL COND. SPACE: 3,097 SQ. FT.**  
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EXIST. SIDE PORCH: 100 SQ. FT.  
PROP. PORCH: 158 SQ. FT.  
PROP. BREEZEWAY: 52 SQ. FT.  
**TOTAL UNDER ROOF: 4,575 SQ. FT.**  
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D07	4	32"	80"	INT. HINGED

MINOR RESIDENCE  
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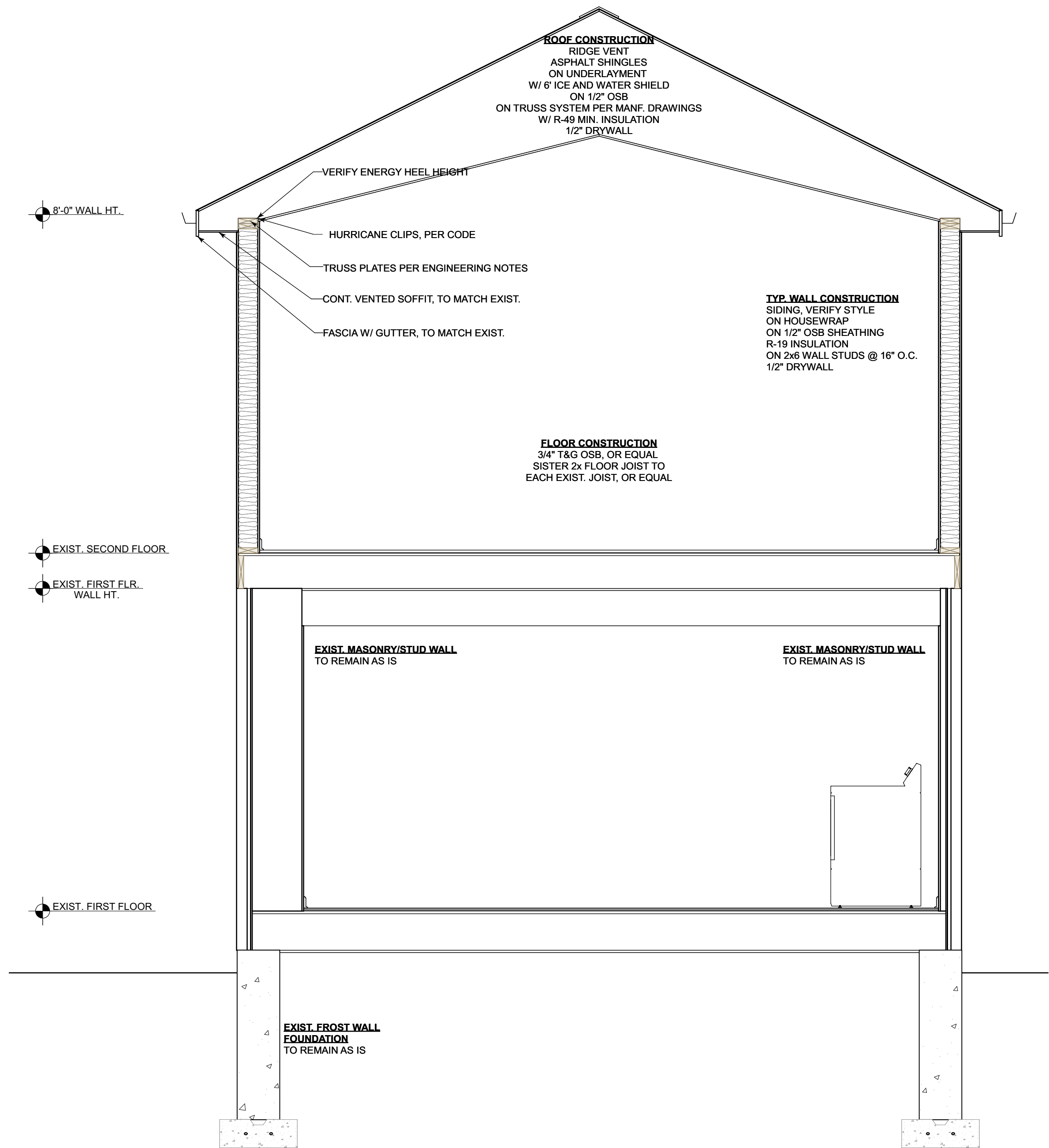
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PROJECT:  
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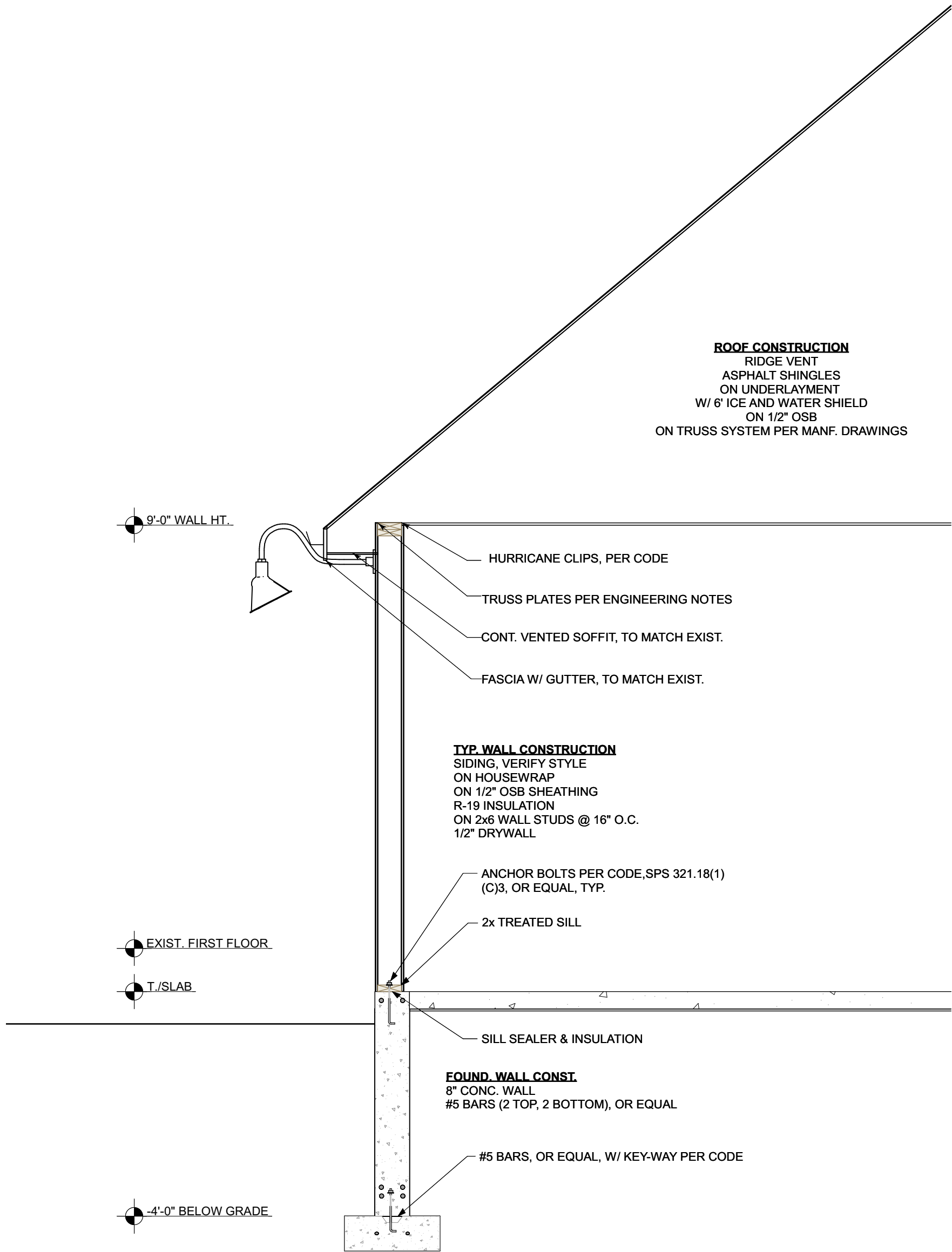
FINAL CONSTRUCTION DOCUMENTS





**SECOND STORY ADDITION SECTION**

1/2"=1'-0"



**TYP. GARAGE SECTION**

1/2"=1'-0"

EXIST. FIRST FLOOR: 1,602 SQ. FT.  
EXIST. SECOND FLOOR: 1,133 SQ. FT.  
PROP. SECOND FLOOR ADD.: 382 SQ. FT.  
**TOTAL COND. SPACE: 3,097 SQ. FT.**  
PROP. GARAGE: 1,033 SQ. FT.  
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PROP. PORCH: 158 SQ. FT.  
PROP. BREEZEWAY: 52 SQ. FT.  
**TOTAL UNDER ROOF: 4,575 SQ. FT.**  
PROP. SIDE PATIO: 135 SQ. FT.

**GENERAL NOTES:**  
-Area is taken to outside edge of sheathing.  
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**WALL BRACING NOTE:**  
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**STRUCTURAL NOTES:**  
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D04	1	30"	80"	SHOWER DOOR
D06	1	36"	80"	EXT. HINGED
D07	4	32"	80"	INT. HINGED

LEGEND

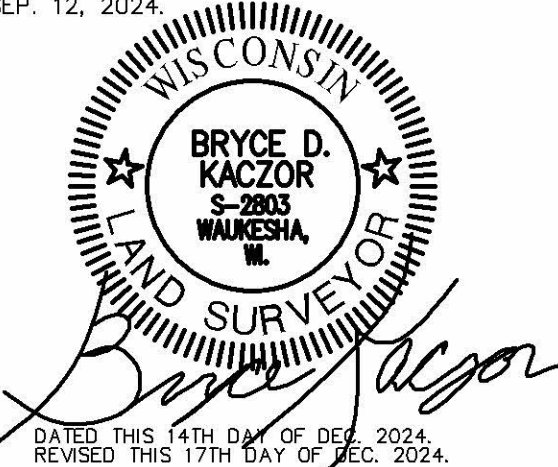
- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - 1" DIA. IRON PIPE SET, 18" LONG
- ▽ - MAG NAIL SET
- - FIELD INLET
- - UTILITY BOX
- E - ELECTRIC BOX
- OHU - OVERHEAD UTILITY WIRE
- UTILITY POLE W/ GUY WIRE
- CONCRETE
- ASPHALT
- ⊙ - MANHOLE
- ⊗ - WATER VALVE

SURVEYOR NOTES:

THE NORTHERLY AND WESTERLY LINES OF CERTIFIED SURVEY MAP NO. 3322 HAS BEEN CORRECTED BY AFFIDAVIT DOC. NO. 1059878. SAID CERTIFIED SURVEY MAP CORRECTED BY AFFIDAVIT ALSO AGREES WITH STONEFIELD SUBDIVISION LINE.

NOTES:

- EASEMENTS, IF ANY, ARE NOT SHOWN.
- THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION.
- THE PURPOSE OF THE SURVEY IS FOR A PROPOSED GARAGE AND PATIO.
- THE FIELD WORK WAS COMPLETED ON NOV. 25, 2024.
- PROPOSED GARAGE PLANS BY DRAFTSMITH DATED SEP. 12, 2024.



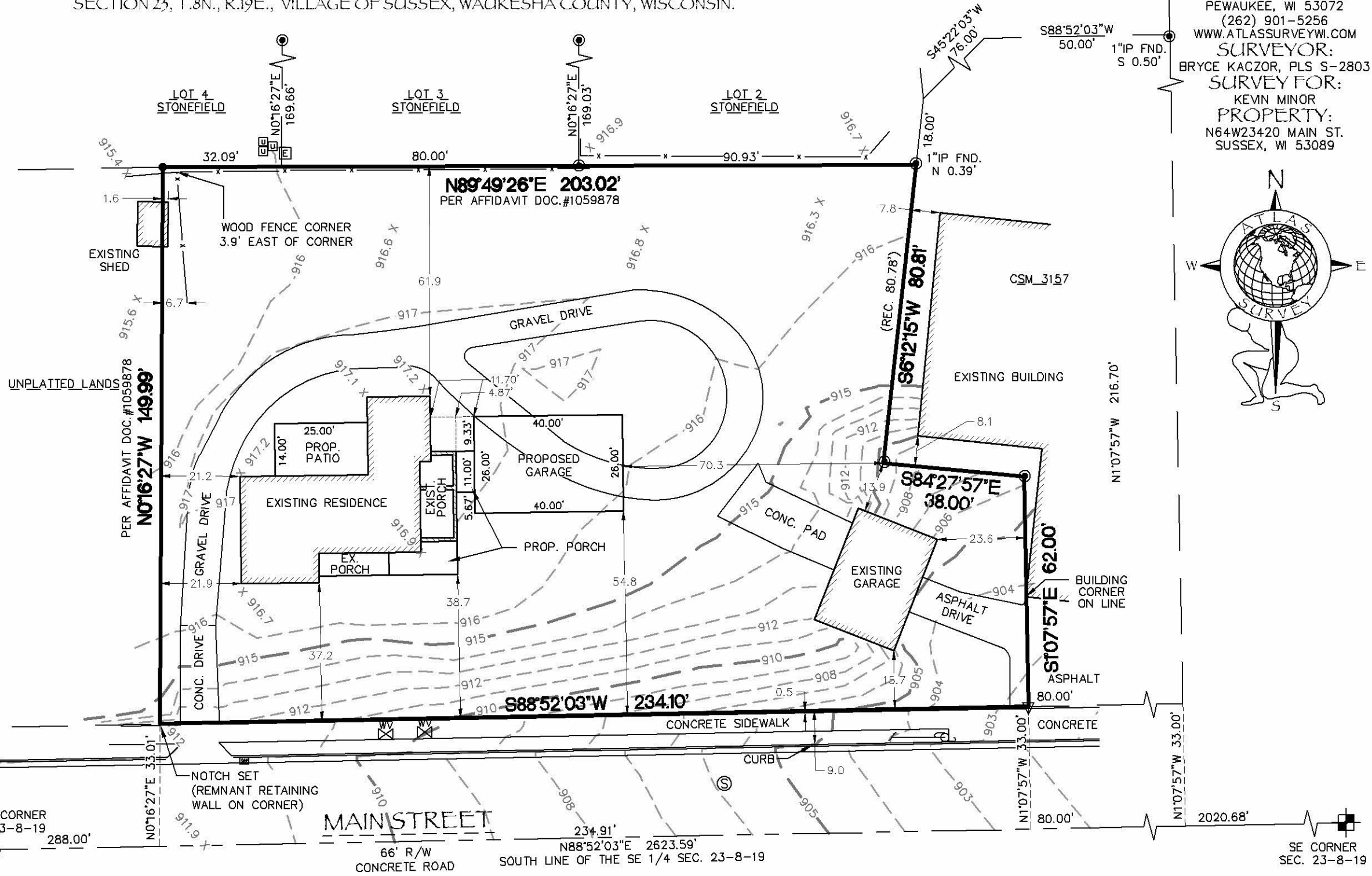
SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND, IN MY PROFESSIONAL OPINION, THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF. PROJECT # 24944

PLAT OF SURVEY

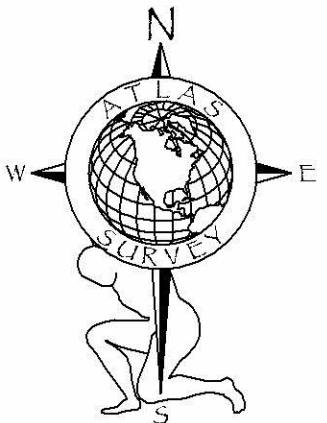
LEGAL DESCRIPTION:

CERTIFIED SURVEY MAP NO. 3322 LOCATED IN THE SW. 1/4 OF THE SE. 1/4 OF SECTION 23, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

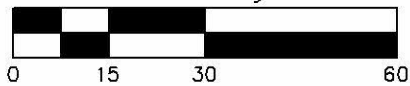


ATLAS SURVEY

N28W23000 ROUNDY DR. #102  
PEWAUKEE, WI 53072  
(262) 901-5256  
WWW.ATLASSURVEYWI.COM  
SURVEYOR:  
BRYCE KACZOR, PLS S-2803  
SURVEY FOR:  
KEVIN MINOR  
PROPERTY:  
N64W23420 MAIN ST.  
SUSSEX, WI 53089



SCALE: 1" = 30'



BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SE 1/4 OF SECTION 23-8-19 AS N88°52'03"E.



## LAND USE MAP AMENDMENT PETITION

TO: The Honorable President and Members of the Village Board for the Village of Sussex

I (we), the undersigned, being the owner(s) of all the area herein described, hereby petitions the Village Board of the Village of Sussex, Wisconsin, to amend the Land Use Map for the following described property:

Address: 9.7 Acres at SW Corner of Silver Spring Drive and Townline Road  
(Please attach a legal description)

Current Land Use: Commercial - Vacant Field

Requested Land Use: Requested Change of Land Use from Commercial to Industrial to match adjacent areas

Purpose of amendment: Update Village Land Use Map as part of Re-zoning Request

Please provide the following:

**Site Plan:** submit a proposal of the land and identify the areas to be amended using the legend from the current Land Use Map. Provide estimated acreage of the proposed site.

Eric J Neumann, Anderson Ashton Agent

Owner, Agent or Attorney

2746 South 166th Street  
New Berlin, WI 53151

Address

Owner, Agent or Attorney

Address

2746 South 166th Street  
New Berlin, WI 53151

Contact Name : Eric J Neumann

Address: New Berlin, WI 53151

Phone #: 414-333-6800

E-mail: eneumann@andersonashton.com

**Needed at time of submittal:**

Land Use Map Amendment fee of \$500.00

For office use only

Plan Commission recommendation: \_\_\_\_\_

Date filed with Village Clerk: \_\_\_\_\_

Publish dates: \_\_\_\_\_

Public Hearing date: \_\_\_\_\_

Village Board date: \_\_\_\_\_



LEGAL DESCRIPTION:

LOT 2 CSM #9023 VOL 81/83 REC AS DOC #2579102 PT  
SE1/4 SEC 25 & PT NE1/4 SEC 36 T8N R19E  
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

TOTAL ACREAGE: 9.7 ACRES

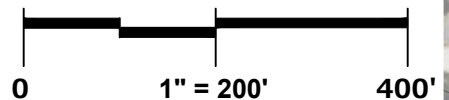
SILVER SPRING DRIVE

PROJECT  
LOCATION

TOWN LINE ROAD



GRAPHICAL SCALE (FEET)



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**LAND USE AMMENDMENT EXHIBIT**

01-29-2025

**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

**PLAN | DESIGN | DELIVER**  
WWW.PINNACLE-ENGR.COM

PEG JOB #2593.00A

LEGAL DESCRIPTION:

LOT 2 CSM #9023 VOL 81/83 REC AS DOC #2579102 PT  
SE1/4 SEC 25 & PT NE1/4 SEC 36 T8N R19E  
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

TOTAL ACREAGE: 9.7 ACRES

SILVER SPRING DRIVE

PROJECT  
LOCATION

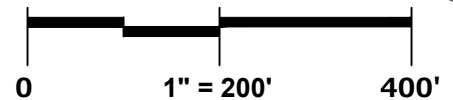
REQUEST CURRENT  
LAND USE FROM  
COMMERCIAL TO  
INDUSTRIAL

TOWN LINE ROAD

CURRENT LAND  
USE: INDUSTRIAL



GRAPHICAL SCALE (FEET)



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# LAND USE CHANGE EXHIBIT

PINNACLE ENGINEERING GROUP  
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

PLAN | DESIGN | DELIVER  
WWW.PINNACLE-ENGR.COM

01-31-2025

PEG JOB #2593.00A

RESOLUTION NO. 25-04

AMENDMENT TO THE  
2040 COMPREHENSIVE PLAN  
FOR THE VILLAGE OF SUSSEX, WISCONSIN  
AND SPECIFICALLY THE LAND USE MAP  
A COMPONENT OF THE COMPREHENSIVE PLAN

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1002(2) of the Wisconsin Statutes; and

WHEREAS: The Village Board adopted a comprehensive plan on March 25, 2003 and updated to the 2040 Comprehensive Plan on May 22, 2018 and on occasion amendments will be made; and

WHEREAS: The Sussex Plan Commission has received a petition to amend the Land Use Map and finds it to be acceptable; and

WHEREAS: The Village desires to amend the adopted 2040 Comprehensive plan, specifically the Land Use Plan Map component of the same, based on a request by the petitioner, Anderson Ashton, specifically a portion of Tax Key Number 0244.993 as follows:

FROM: The approximately 9.68 acres of the subject property that are currently classified on the Land Use Map as Commercial.

TO: The approximately 9.68 acres of the subject property would be classified on the Land Use Map as Industrial.

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Sussex, adopts this resolution and recommends that the Village Board of the Village of Sussex adopt an ordinance entitled AMENDMENT to the 2040 COMPREHENSIVE PLAN OF THE VILLAGE OF SUSSEX, WISCONSIN AND SPECIFICALLY THE LAND COMPONENT OF THE SAME to accomplish the following:

Amend the Land Use classification for the property identified by Tax Key Number 0244.993 containing approximately 9.68 acres on the Land Use Map as shown on the exhibit to the Industrial Land Use Classification.

Exhibit A legal description attached hereto and incorporated herein.

ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2025

Approved by a vote of \_\_\_\_ ayes \_\_\_\_ nays.

By: \_\_\_\_\_  
Anthony LeDonne, Chairman

Attest: \_\_\_\_\_  
Jennifer Moore, Village Clerk

STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. 899

AMENDMENT TO THE 2040 COMPREHENSIVE PLAN  
OF THE VILLAGE OF SUSSEX, WISCONSIN  
AND SPECIFICALLY THE LAND COMPONENT OF THE SAME

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes; and

WHEREAS: the Village Board for the Village of Sussex is authorized to make changes to the adopted Comprehensive Plan upon recommendation of the Village Plan Commission; and

WHEREAS: the Plan Commission reviewed the amendment to the land use map, a component of the comprehensive plan, to change the Land Use classification for the property located at the southwest corner of Silver Spring Dr and Town Line Rd, more specifically the property identified by Tax Key Number 0244.993 as follows:

FROM: The approximately 9.68 acres of the subject property that are currently classified on the Land Use Map as Commercial.

TO: The approximately 9.68 acres of the subject property would be classified on the Land Use Map as Industrial.

WHEREAS: the Plan Commission made a finding the proposed amendment is consistent with the spirit and intent of the comprehensive plan; and

WHEREAS: the Village Plan Commission, by a majority vote, adopted resolution #\_\_\_\_\_, a copy of which is on file with the Village Clerk's office, recommending to the Village Board an amendment to the land use map which is a component of the comprehensive plan; and

WHEREAS: the Village Board conducted a public hearing on \_\_\_\_\_, 2025 regarding the proposed amendment in compliance with the requirements of section 66.1001(4)(d) of the Wisconsin Statutes; and

WHEREAS: the Village Board of the Village of Sussex, having carefully reviewed the recommendation of the Village Plan Commission, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration of the plan components, as may be herein amended, relating to issues and opportunities, housing transportation, utilities and community facilities, agricultural, natural and cultural resources, economic development, inter governmental cooperation, land-use, and

implementation has determined that the comprehensive plan dated March 25, 2003, as herein amended, will serve the general purposes of guiding and accomplishing a coordinated, adjusted and harmonious development of the Village of Sussex which will, in accordance with existing and future need, best promote public health, safety, morals, order convenience, prosperity and general welfare, as well as efficiency and economy in the process of development.

NOW THEREFORE, the Village Board of the Village of Sussex, do ordain as follows:

#### **SECTION 1. FINDINGS**

The Village Board makes the following findings relating to the plan amendment:

1. The subject property to be reclassified on the land use map is appropriate to be reclassified to the proposed land use classification due complimentary existing land uses adjacent to the property.
2. The proposed amendment is consistent with the spirit and intent of the comprehensive plan.

#### **SECTION 2. AMENDMENT**

The Village of Sussex's comprehensive plan is hereby amended to change the land use classification of property located at the southwest corner of Silver Spring Dr and Town Line Rd, more specifically the property identified by Tax Key Number 0244.993 as follows:

FROM: The approximately 9.68 acres of the subject property that are currently classified on the Land Use Map as Commercial.

TO: The approximately 9.68 acres of the subject property would be classified on the Land Use Map as Industrial.

#### **SECTION 3. DISTRIBUTION OF RECOMMENDED AMENDMENT**

1. The Village Administrator is directed to send a copy of this ordinance to the following along with an explanatory cover letter:
  - a. Clerk of each adjoining municipality;
  - b. County Clerk of the Waukesha County Administration Center, 1320 Pewaukee Road, Room 120; Waukesha, WI 53188;
  - c. Executive Director of the Southeast Wisconsin Regional Planning Commission; P.O. Box 1607
  - d. Waukesha, WI 53188;
  - e. Director; Waukesha County Department of Parks and Land Use; 515 W. Moreland Blvd Waukesha, WI 53188;
  - f. Wisconsin Department of Administration, Comprehensive Planning Program, 101 E. Wilson Street, 9<sup>th</sup> Floor Madison, WI 53703;
  - g. Pauline Haass Public Library N64W23820 Main Street, Sussex, WI 53089

#### **SECTION 4. SEVERABILITY**

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

**SECTION 5. EFFECTIVE DATE**

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

VILLAGE OF SUSSEX

\_\_\_\_\_  
Anthony J. LeDonne, Village President

ATTEST:

\_\_\_\_\_  
Jennifer Moore, Village Clerk-Treasurer

Approved by a vote of \_\_\_\_\_ ayes \_\_\_\_\_ nays.



## REZONING PETITION

TO: The Honorable President and Members of the Village Board for the Village of Sussex

I (we), the undersigned, being the owner(s) of all the area herein described, hereby petitions the Village Board of the Village of Sussex, Wisconsin, to rezone the following described property:

Address: \_\_\_\_\_  
(Please attach a legal description)

Current zoning: \_\_\_\_\_ Requested zoning: \_\_\_\_\_

Purpose of rezoning:

Development of the Parcel for new multi tenant light industrial and office uses similar to those to the west of this parcel and the land zoning to the south of this parcel.

Please provide the following:

**Site Plan/Survey/Plot Plan**, drawn to scale of one inch equals one hundred (100) feet, showing the area to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts and the location and existing use of all properties within two hundred (200) feet of the area proposed to be rezoned.

**Needed at time of submittal:**

Rezoning application fee of \$500.00

\_\_\_\_\_  
Owner, Agent or Attorney

\_\_\_\_\_  
Owner, Agent or Attorney

\_\_\_\_\_  
Address, City, St & Zip

\_\_\_\_\_  
Address, City, St & Zip

Contact Name : \_\_\_\_\_ Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

For office use only

Payment received: \_\_\_\_\_ Plan Commission recommendation: \_\_\_\_\_

Date filed with Village Clerk: \_\_\_\_\_ Publish dates: \_\_\_\_\_

Public Hearing date: \_\_\_\_\_ Village Board date: \_\_\_\_\_



LEGAL DESCRIPTION:

LOT 2 CSM #9023 VOL 81/83 REC AS DOC #2579102 PT  
SE1/4 SEC 25 & PT NE1/4 SEC 36 T8N R19E  
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

TOTAL ACREAGE: 9.7 ACRES

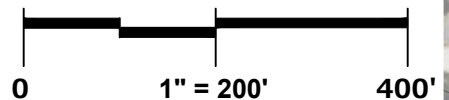
SILVER SPRING DRIVE

PROJECT  
LOCATION

TOWN LINE ROAD



GRAPHICAL SCALE (FEET)



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LEGAL DESCRIPTION:

LOT 2 CSM #9023 VOL 81/83 REC AS DOC #2579102 PT  
SE1/4 SEC 25 & PT NE1/4 SEC 36 T8N R19E  
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

TOTAL ACREAGE: 9.7 ACRES

SILVER SPRING DRIVE

PROJECT  
LOCATION

B-3

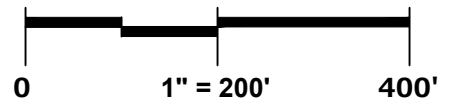
ZONING: HIGHWAY  
BUSINESS (B-3)

TOWN LINE ROAD

ZONING: BUSINESS  
PARK DISTRICT (BP-1  
WITH EXCEPTIONS)



GRAPHICAL SCALE (FEET)



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# REZONING EXHIBIT

PINNACLE ENGINEERING GROUP  
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

PLAN | DESIGN | DELIVER  
WWW.PINNACLE-ENGR.COM

01-29-2025

PEG JOB #2593.00A

LEGAL DESCRIPTION:

LOT 2 CSM #9023 VOL 81/83 REC AS DOC #2579102 PT  
SE1/4 SEC 25 & PT NE1/4 SEC 36 T8N R19E  
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

TOTAL ACREAGE: 9.7 ACRES

SILVER SPRING DRIVE

PROJECT  
LOCATION

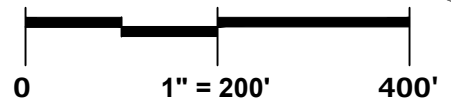
PARCEL REQUESTED  
REZONE TO BP-1  
CURRENTLY B-3

TOWN LINE ROAD

ZONING: BUSINESS  
PARK DISTRICT (BP-1  
WITH EXCEPTIONS)



GRAPHICAL SCALE (FEET)



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# REZONING EXHIBIT

PINNACLE ENGINEERING GROUP  
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

PLAN | DESIGN | DELIVER  
WWW.PINNACLE-ENGR.COM

01-31-2025

PEG JOB #2593.00A

STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. 900

AN ORDINANCE TO REZONE  
CERTAIN LANDS IN THE VILLAGE OF SUSSEX FROM  
B-3 HIGHWAY BUSINESS DISTRICT  
TO  
BP-1 BUSINESS PARK DISTRICT

WHEREAS: A petition has been filed by Anderson Ashton (“Petitioner”) for the Rezoning of certain lands in the Village of Sussex to rezone said properties as described in Exhibit A attached hereto and incorporated herein (“Subject Properties”); and

WHEREAS: Said rezoning petition was submitted to rezone the subject property to the BP-1 Business Park Zoning District described on Exhibit A-1; and

WHEREAS: The Petitioner has supplied all required data pursuant to the Village of Sussex Zoning Code; and

WHEREAS: Upon due notice as required by Section 17.1300 and 17.1400 of the Village Code, the Village Board held a public hearing on \_\_\_\_\_, as required by Section 17.1305 of the Village Code; and

WHEREAS: The Plan Commission has reviewed the basis for approval described in Section 17.1300 of the Village Code and has found that the proposed rezoning is in keeping with the general welfare and good zoning practice of the Village of Sussex, subject to all terms and conditions of this zoning ordinance being satisfied; and

WHEREAS: The subject property is currently vacant and a developer has a potential user for the site that would require the subject property to be rezoned; and

WHEREAS: Adjacent properties to the west and south are currently zoned BP-1 Business Park and the properties to the west are developed with light industrial; and

WHEREAS: The Village Plan Commission of the Village of Sussex has recommended to the Village Board of the Village of Sussex that said zoning change be made upon certain conditions; and

WHEREAS: The Village of Sussex has reviewed the basis for approval of the petition described in Section 17.1300, and concurs with the Village Plan Commission, and makes the same findings, subject to all terms and conditions of this zoning ordinance being duly satisfied as required herein; and

WHEREAS: The Village Board of the Village of Sussex having carefully reviewed the recommendation of the Plan Commission of the Village of Sussex, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the

health, safety and welfare of the community, immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved as well as the impact on the surrounding properties as to noise, dust, smoke and odor, and others hereby determine that the rezoning will not violate the spirit or intent of the Zoning Code for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be hazardous, harmful, noxious, offensive and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the operation is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendation found in the Village of Sussex master plan.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1: The subject property as described on **Exhibit A** is hereby rezoned to the BP-1 Business Park Zoning District and the Zoning Map of the Village of Sussex is hereby amended, subject to the terms and conditions described herein.

SECTION 2: The above rezoning and zoning map amendment is conditioned upon the following conditions, which must be complied with or this ordinance is null and void:

1. Presentation Compliance. The subject property must be developed as a senior living facility following the approval and compliance of a Conditional Use Permit for a senior living facility on the subject property.
2. Special Assessment. The payment of outstanding special assessments owed on this property must be paid in full prior to starting any site work.
3. Professional Fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this rezoning petition, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional rezoning ordinance due to a violation of these conditions.
4. Payment of Charges. Any unpaid bills owed to the Village by the owner of subject lands or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village: shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of billing by the Village, pursuant to Section 66.0627. Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional rezoning ordinance that is subject to all remedies available to the Village, including possible cause for termination of the conditional rezoning ordinance.

5. Acceptance. Subject to the petitioner approving in writing the issuance of the conditional rezoning ordinance, and that the petitioner understands and accepts the same, and that upon failure to satisfy these conditions, this conditional rezoning ordinance is void, and the same is deemed not to have been approved, and the Petitioner will therefore need to re-commence the application process for rezoning of the property.
6. One Year to Satisfy Conditions. Subject to the petitioner satisfying all of the aforementioned conditions within one year of the Village Board adopting this conditional rezoning ordinance. The Village Board may grant additional time solely at the discretion of the Village Board upon request for an extension by the Lot owner.

SECTION 3: The Village Engineer is hereby authorized and directed to note this rezoning on the Official Zoning Map of the Village of Sussex upon successful development of the property and satisfaction of all conditions in Section 2 of this Ordinance.

SECTION 4. SEVERABILITY. The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE. This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

VILLAGE OF SUSSEX

\_\_\_\_\_  
Anthony LeDonne  
Village President

ATTEST: \_\_\_\_\_  
Jennifer Moore  
Village Clerk-Treasurer

Published and/or posted this \_\_\_\_\_ day of \_\_\_\_\_, 2025.