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Architectural Review Board Agenda  
4:00 PM Thursday, February 5, 2025  
Sussex Civic Center – Committee Room Second Floor

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Sussex Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. (If a Quorum is present the Chairperson shall announce, "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during any Public Hearing(s) or if the rules are suspended to allow them to do so.)

1. Roll call.
2. Consideration and possible action on the minutes of January 9, 2025 ARB meeting.
3. Discuss and possible action on the site and architectural plans for Parks Department shop building located in Village Park at N63W24459 Main St in the P-1 Park Zoning District.
4. Discuss and possible action on the site and architectural plans for The Ridge pavilion located in Village Park at N63W24459 Main St in the P-1 Park Zoning District.
5. Adjournment.

Anthony LeDonne  
Chairperson

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Jeremy Smith  
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Jeremy Smith at 246-5200.

VILLAGE OF SUSSEX  
SUSSEX, WISCONSIN

Minutes of the Architectural Review Board (ARB) meeting held on January 9, 2025.

Village Staff called the meeting to order at 4:11 p.m.

Motion by Member Foxe, Seconded by Smith to appoint Member Knapp as chairperson.

All ayes, motion carried.

Members present: Mike Knapp, Gary Foxe, Mike Smith

Members absent: Anthony LeDonne and Stacey Reidel

Others present: Gabe Gilbertson, Community Development Director

**Consideration and possible action on the minutes of December 4, 2024.**

A motion by Smith, seconded by Foxe to approve the minutes of the meeting held on December 4, 2024.

All ayes, motion carried.

**Consideration and possible action on the site plan, architectural plan, lighting plan, landscape plan for Bubbles Foam Farm car wash and possible exception from the Design Guidelines for a reduction in window and door openings on the street facing elevation located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.**

A motion by Smith, second by Foxe to approve the site plan, architectural plan, lighting plan, and landscape plan for Bubbles Foam Farm car wash and a reduction of the 33% window and door opening requirement for the street facing elevation to a 16% window and door opening for the building located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.

All ayes, motion carried.

A motion by Foxe, seconded by Smith to adjourn the meeting at 4:23 pm.

All ayes, motion carried.

Respectfully submitted,  
Jeremy Smith, Village Administrator



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## MEMORANDUM

TO: Architectural Review Board  
FROM: Gabriel Gilbertson, Community Development Director  
RE: February 5, 2025 Architectural Review Board  
DATE: Monday, February 3, 2025

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The following is background information for the ARB agenda items (Design Standards 3-25-2014)

- I. **Roll call.**
- II. **Consideration and possible action on the ARB minutes of January 9, 2025.**
- III. **Review the site and architectural plans for Parks Department shop building located in Village Park at N63W24459 Main St in the P-1 Park Zoning District.**

The Village is proposing to construct a new park shop in Village Park to replace the current building that is in dire need of replacement. The new park shop would allow for more efficient operations of the Parks crew while providing space to store vehicles and equipment indoors, flex space for employees to eat and work, lockers with bathrooms and showers, and space for maintenance of Parks related equipment.

### **Action Items:**

1. Act on the various plans.

**Staff Recommendation:** Staff recommends the Architectural Review Board approve architectural plans for Parks Department shop building located in Village Park at N63W24459 Main St in the P-1 Park Zoning District.

- IV. **Review the site and architectural plans for The Ridge pavilion located in Village Park at N63W24459 Main St in the P-1 Park Zoning District.**

The Village is constructing a new pavilion in the Village Park to replace the outdated Lion's open air pavilion. The new structure will include a covered outdoor area and an indoor component with a kitchen, a large space that can be rented, and bathrooms. A stage would be located at the east end of the pavilion with a separate canopy that will extend over the pavilion's canopy.

### **Action Items:**

1. Act on the various plans.

**Staff Recommendation:** Staff recommends the Architectural Review Board approve The Ridge pavilion located in Village Park at N63W24459 Main St in the P-1 Park Zoning District.



BIDDING AND CONSTRUCTION DOCUMENTS

# SUSSEX PARKS MAINTENANCE FACILITY

VILLAGE OF SUSSEX  
W244N6125 Weaver Dr.  
Sussex, WI 53089  
KAHLER SLATER PROJECT: 224008.01

NOT UPDATED PER THIS SET

GENERAL SHEET INDEX	
SHEET NUMBER	SHEET NAME
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G090	GENERAL NOTES, ABBREVIATIONS, PARTITION SCHEDULE AND LEGEND
G090	TYPICAL MOUNTING HEIGHTS
G100	LIFE SAFETY FLOOR PLAN

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A700	INTERIOR DETAILS

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S101	ROOF FRAMING PLAN
S400	STRUCTURAL DETAILS
S401	STRUCTURAL DETAILS

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MECHANICAL SHEET INDEX	
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M100	MECHANICAL PLANS
M101	MECHANICAL PLANS
M600	MECHANICAL SCHEDULES

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E530	SYSTEMS DETAILS
E531	SYSTEMS DETAILS
E610	LIGHTING SCHEDULES
E620	ELECTRICAL SCHEDULES
E700	PANEL SCHEDULES
E800	ELECTRICAL DIAGRAMS

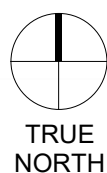
AUDIOVISUAL SHEET INDEX	
SHEET NUMBER	SHEET NAME



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PROJECT LOCATION MAP  
SCALE: NTS



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Revisions

BIDDING AND CONSTRUCTION  
DOCUMENTS

SCOPE DOCUMENTS

Drawing Date  
12/20/24

SUSSEX PARKS  
MAINTENANCE  
FACILITY

W244N6125 Weaver Dr.  
Sussex, WI 53089

Project No. VILLAGE OF SUSSEX  
224008.01

Sheet Title  
COVER SHEET

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Sheet No.  
G000

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Mechanical Engineer:  
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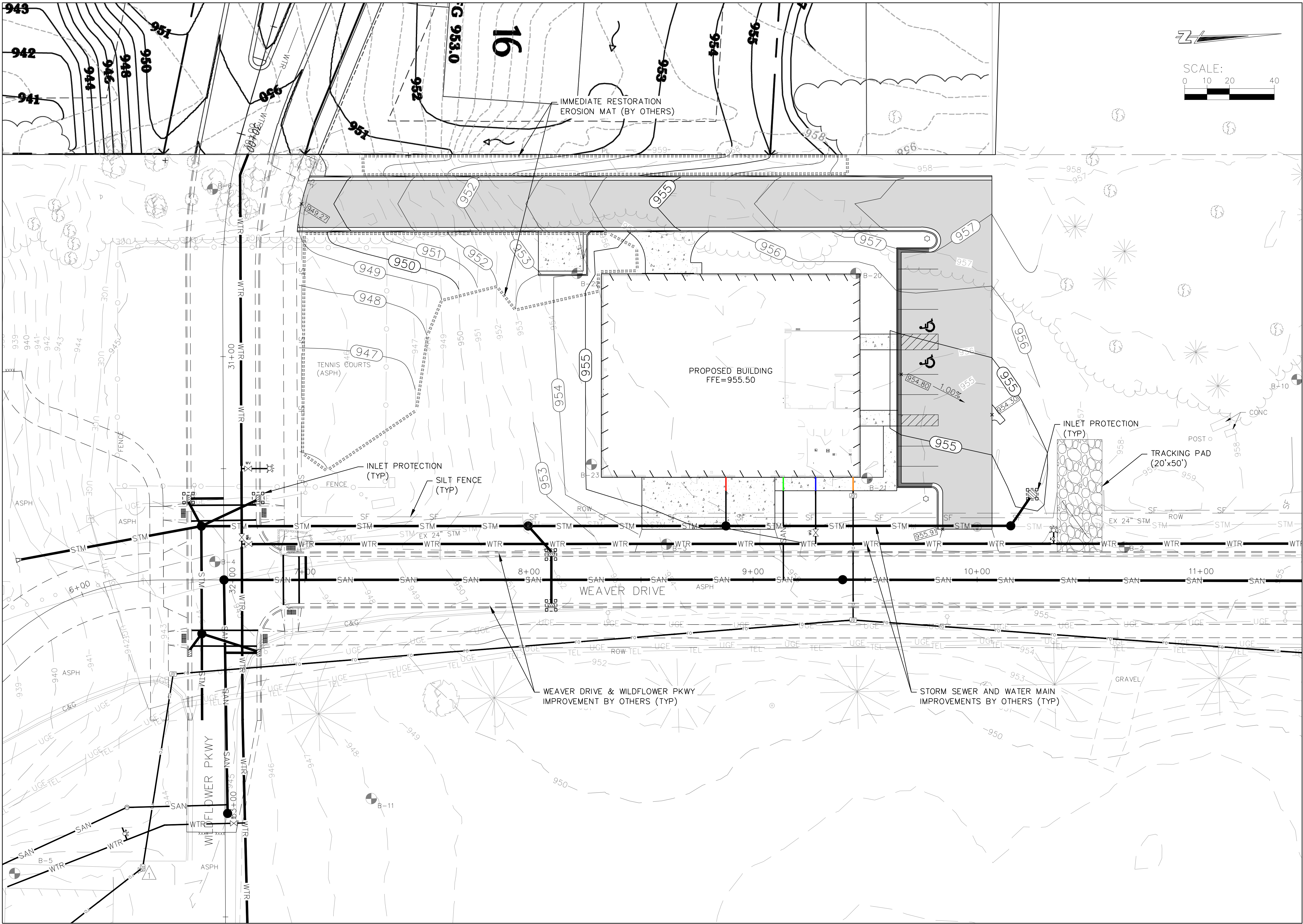
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Revisions

PROGRESS SET

SCOPE DOCUMENTS

Drawing Date  
12/20/24

PARKS AND  
FORESTRY BUILDING

W244N6125 WEAVER DRIVE  
SUSSEX, WI, 53809

Project No. VILLAGE OF SUSSEX  
224008.01

Sheet Title  
GRADING &  
EROSION CONTROL  
PLAN

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C104



## KEYNOTES - ASSEMBLIES &amp; COMPONENTS

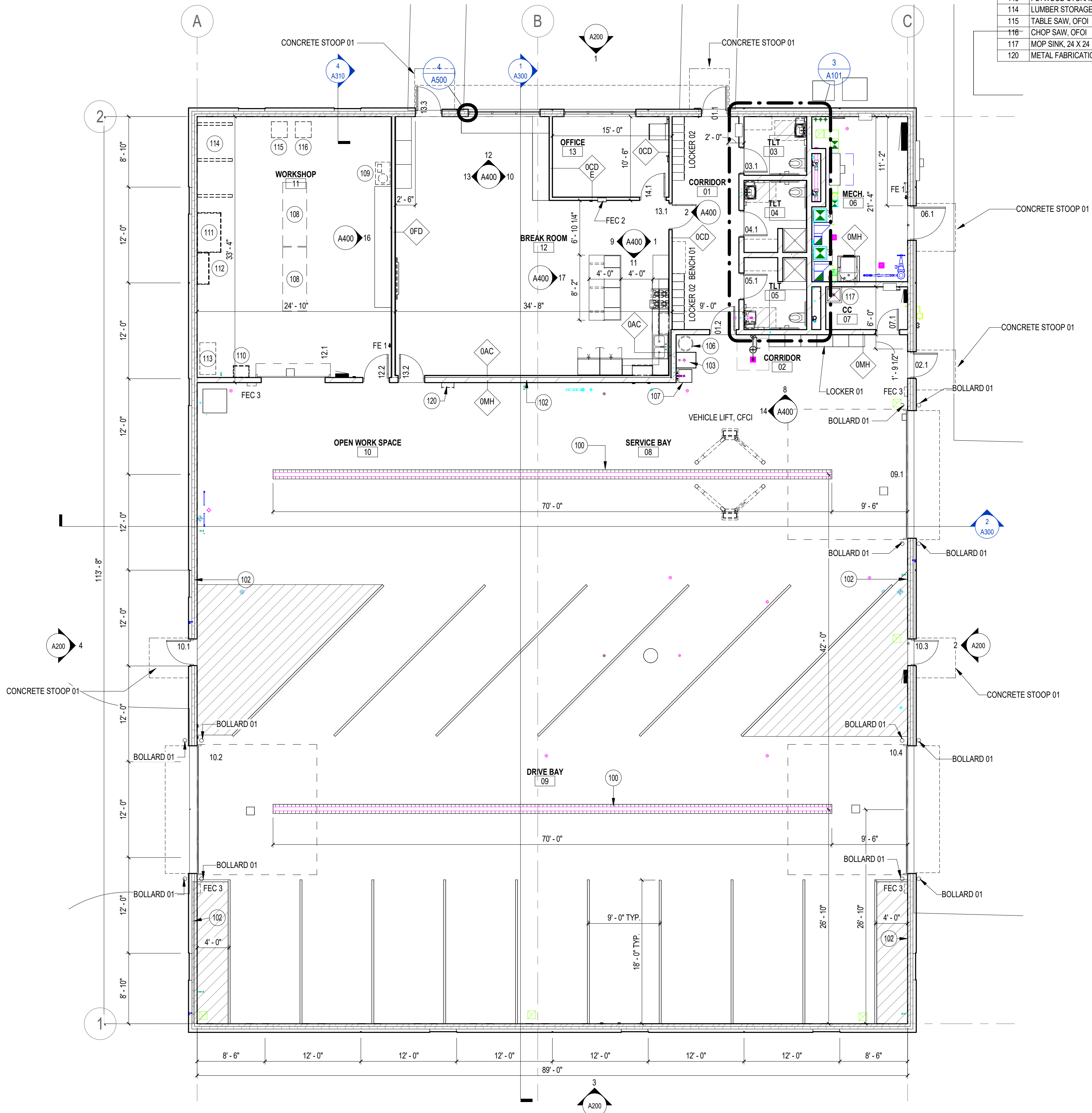
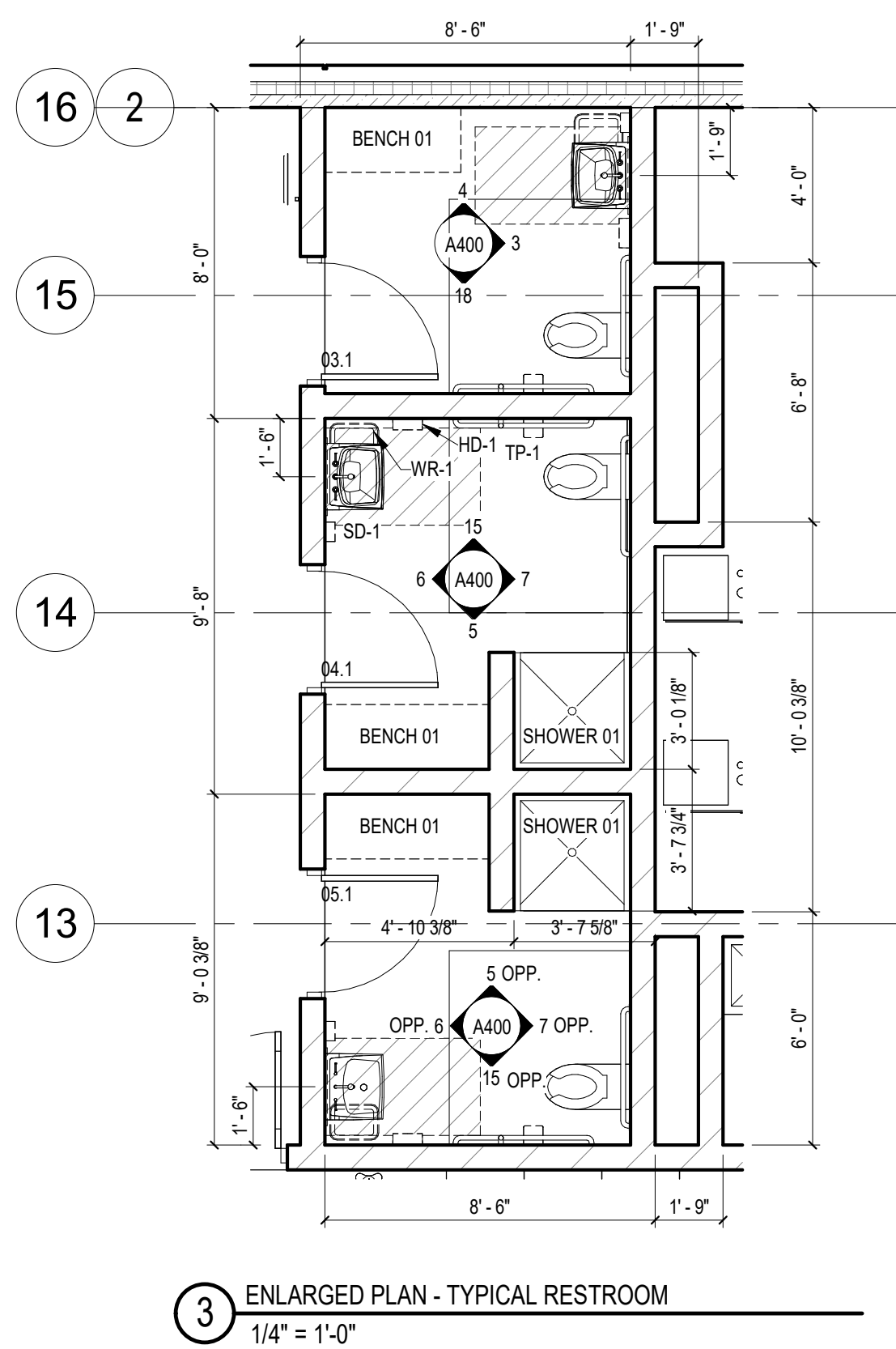
BENCH 01	WOOD BENCH, OFCI
BOLLARD 01	6 IN. DIAMETER, CONCRETE FILLED, PAINTED STEEL PIPE BOLLARD - 48 ABOVE FINISH FLOOR
CONCRETE STOOP 01	CONCRETE STOOP - SLOPE 1/4" 1'-0" AWAY FROM BUILDING
FE 1	TYPE ABC FIRE EXTINGUISHER, SURFACE MOUNTED W/ BRACKET
FEC 2	SEMI RECESSED FIRE PROTECTION CABINET, TYPE ABC FIRE EXTINGUISHER
FEC 3	SURFACE MOUNTED FIRE PROTECTION CABINET, TYPE ABC FIRE EXTINGUISHER
HD-1	ELECTRIC HAND DRYER
LOCKER 01	METAL GEAR LOCKER, 24W x 18D x 72H
LOCKER 02	PLASTIC HDPE LOCKERS
SD-1	SOAP DISPENSER
SHOWER 01	FIBERGLASS SHOWER INSERT
TP-1	TOILET PAPER DISPENSER, OFCI
WR-1	WASTE RECEPTACLE, OFCI

## FLOOR PLAN GENERAL NOTES

- REFER TO THE REFERENCE, AREA, AND LIFE SAFETY DRAWINGS FOR LOCATIONS OF FIRE-RESISTANCE RATED PARTITIONS AND NON-FIRE RESISTANCE RATED SMOKE PARTITIONS.
- REFER TO G SERIES DRAWINGS FOR TYPICAL INTERIOR PARTITION TYPES AND DETAILS, INCLUDING LG FRAMING PARTITION CONTROL, JOINT PLACEMENT REQUIRED AND MASONRY PARTITION CONTROL, JOINT PLACEMENT REQUIREMENTS.
- REFER TO G SERIES FOR TYPICAL MOUNTING LOCATIONS AND HEIGHTS FOR TOILET ACCESSORIES, EQUIPMENT, WALLS, SPECIALTY DESIGNATIONS, ETC. AND TYPICAL TOILET ROOM ELEVATIONS.
- ALIGN PARTITIONS WITH COLUMN OR MILLION CENTERLINE, UNLESS NOTED OTHERWISE. DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH (I.E. FACE OF GYPSUM BOARD, TILE OR MASONRY) OR FROM FACE OF EXISTING CONDITION OR FROM COLUMN CENTERLINE, UNLESS NOTED OTHERWISE (U.N.O.)
- DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISH FACE TO FINISH FACE (I.E. FACE OF CERAMIC TILE TO FACE OF CERAMIC TILE) VERIFY ALL EXISTING DIMENSIONS IN FIELD.
- PROVIDE FIRE-TREATED WOOD BLOCKING OR STEEL FLAT STRAP PER SPECIFICATIONS AND DETAILS FOR WALL MOUNTED EQUIPMENT OR DEVICES.
- ALL EXPOSED STRUCTURAL STEEL MEMBERS, INCLUDING BUT NOT LIMITED TO: DECKING, COLUMNS, BEAMS, AND JOISTS AND MEP SYSTEMS ARE TO BE PAINTED PER REFLECTED CEILING PLANS AND FINISH LEGEND.
- ALL STAIRS, RAILINGS, HANDRAILINGS, AND COLD FORMED FRAMING WALLS ARE DELEGATED DESIGN PER SPECIFICATION REQUIREMENTS.
- ALL MEP ITEMS ARE SHOWN FOR REFERENCE. REFER TO SPECIFIC TRADES DOCUMENTS FOR MORE INFORMATION.
- ACCESS PANELS SHOWN IN GENERAL LOCATIONS ON PLANS. GPC TO COORDINATE AND CONFIRM FINAL ACCESS PANEL LOCATIONS WITH MECHANICAL TRADES AND SUBMIT PROPOSED LOCATIONS TO ARCHITECTS FOR APPROVAL. PAINT TO MATCH SURROUNDINGS.
- FILL CONTROL JOINTS IN EXPOSED CONCRETE FLOOR WITH JOINT SEALANTS PER SPECIFICATIONS.
- OUTSIDE OF DOOR FRAME TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.N.O.
- ALL EXPOSED STEEL WELDS ARE TO BE GROUND SMOOTH.
- ALL METAL STUD AND GYP WALL PARTITIONS ARE TO BE TYPE 0DD, METAL STUD FURRING TO BE TYPE 0BC U.N.O.
- ALL CMU WALLS ARE TO BE TYPE 0MH U.N.O.
- ANY DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WORK.
- IT IS THE RESPONSIBILITY OF THE GPC TO COORDINATE WITH ALL SUB-CONTRACTORS AND FP & MEP CONTRACTORS TO FIELD VERIFY ALL SYSTEMS.
- BUILT-IN MILLWORK INCLUDING COUNTERTOPS, CABINETS, BENCHES, ETC. SHOWN ON 1/8" FLOOR PLANS ARE TO BE INCLUDED IN THE CONSTRUCTION WORK (U.N.O.)
- ALL FURNITURE, FILE CABINETS, SHELVING AND OTHER OFFICE EQUIPMENT IS SHOWN FOR REFERENCE ONLY, U.N.O.

## KEYNOTES - FLOOR PLAN

100	TRENCH DRAIN WITH FLUSHING SYSTEM
101	VEHICLE LIFT, CFCI
102	HOSE BIB AND COMPRESSED AIR
103	BOOT WASH
106	WASTE BIN, OFCI
107	SLOP SINK
108	PORTABLE WORK BENCH, 96x36, OFCI
109	PORTABLE DUST COLLECTOR, OFCI
110	CHAINSAW STORAGE CABINET, OFCI
111	OIL STORAGE CABINET, OFCI
112	SPRAY PAINT STORAGE CABINET, OFCI
113	PLYWOOD STORAGE RACK, OFCI
114	LUMBER STORAGE RACK, OFCI
115	TABLE SAW, OFCI
116	CHOP SAW, OFCI
117	MOP SINK, 24 X 24
120	METAL FABRICATION - ROOF ACCESS LADDER



Revisions

BIDDING AND CONSTRUCTION  
DOCUMENTS

## SCOPE DOCUMENTS

Drawing Date  
12/20/24SUSSEX PARKS  
MAINTENANCE  
FACILITYW244N6125 Weaver Dr.  
Sussex, WI 53089Project No. VILLAGE OF SUSSEX  
224008.01

Sheet Title

## FLOOR PLANS

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A101

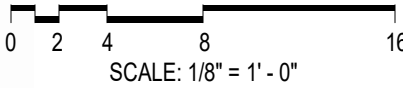
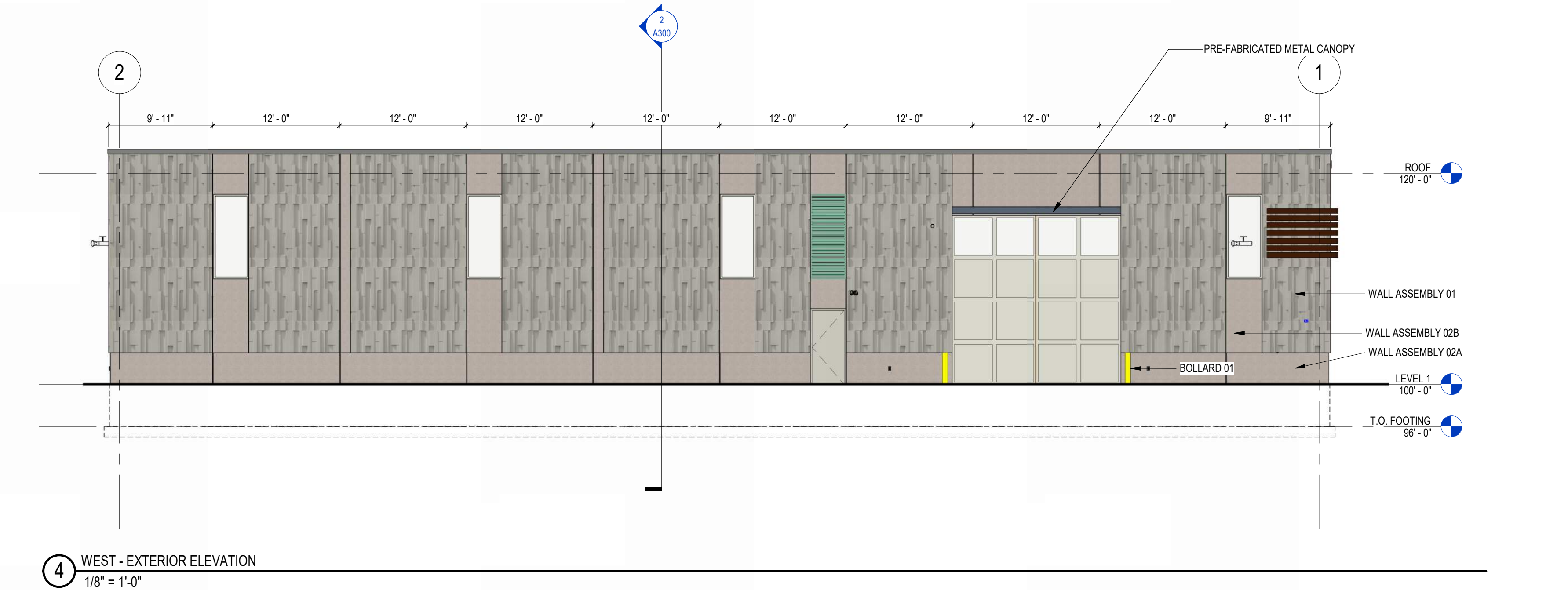
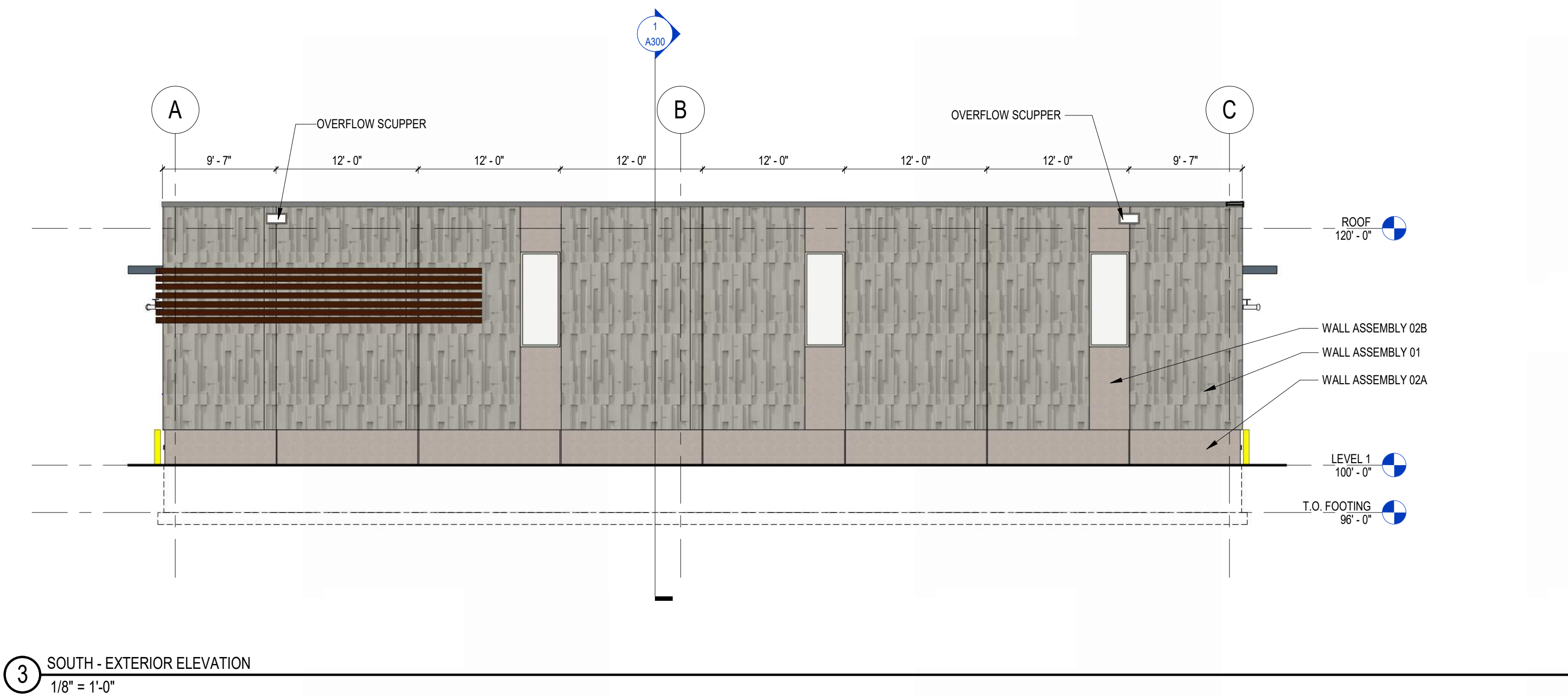
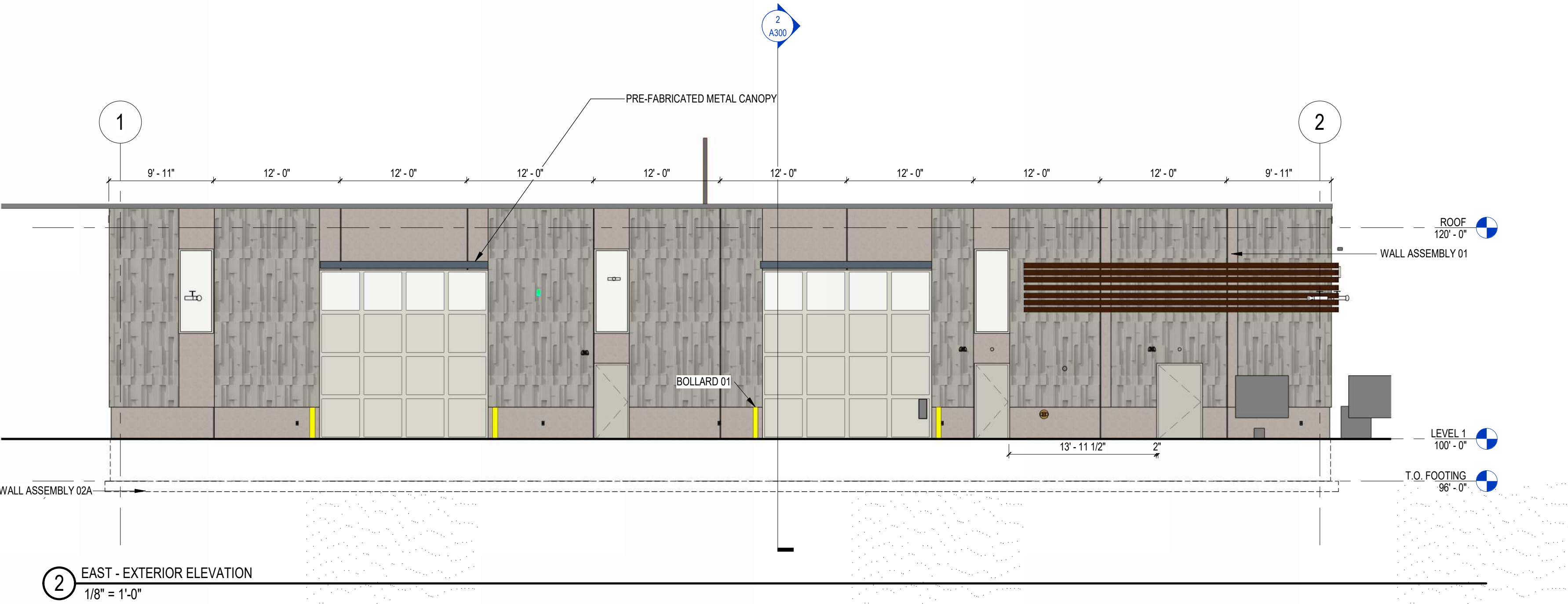
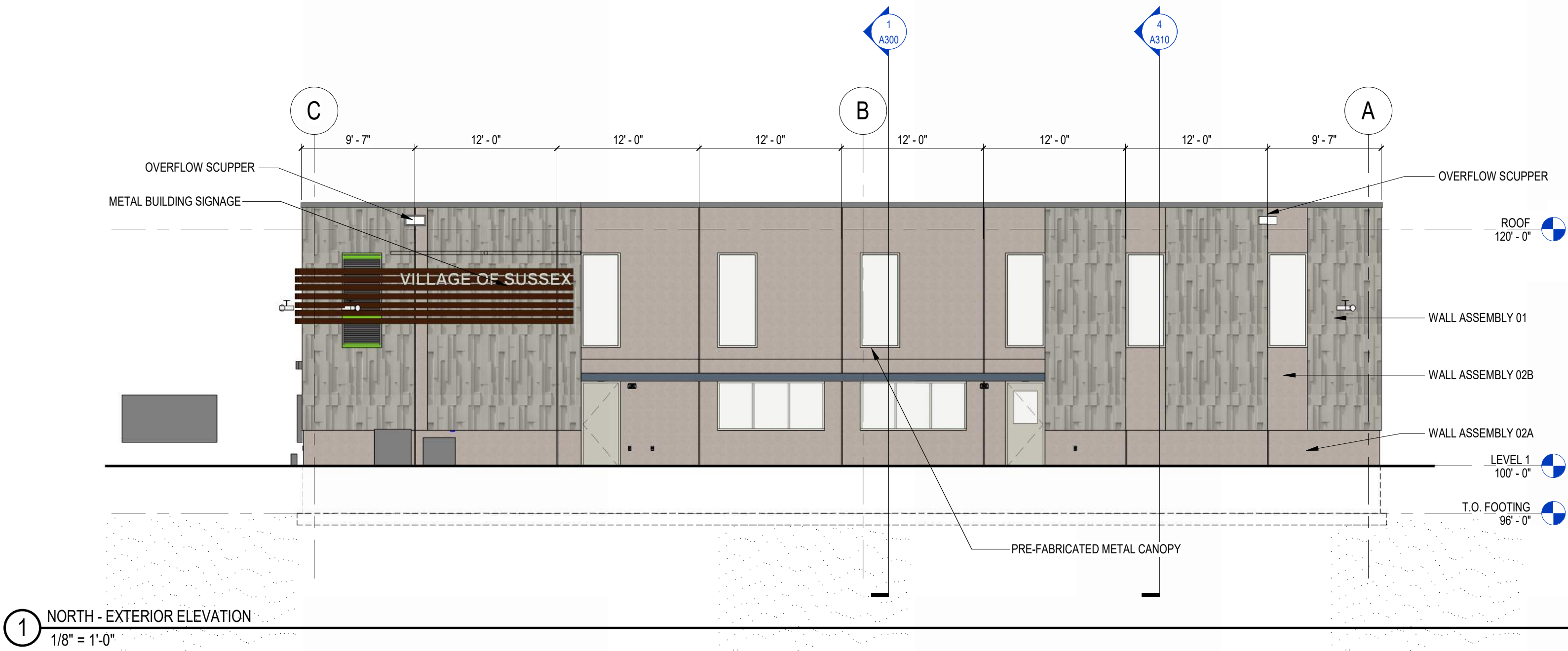
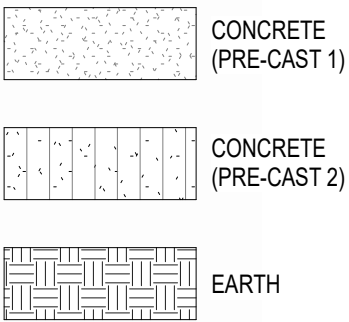


KEYNOTES - ASSEMBLIES & COMPONENTS	
BOLLARD 01	6 IN. DIAMETER, CONCRETE FILLED, PAINTED STEEL PIPE BOLLARD - 48 ABOVE FINISH FLOOR
OVERFLOW SCUPPER	SHEET METAL OVERFLOW SCUPPER
WALL ASSEMBLY 01	PRECAST CONCRETE SANDWICH PANEL, ACID ETCH FINISH WITH FORMLINER
WALL ASSEMBLY 02A	PRECAST CONCRETE SANDWICH PANEL, ACID ETCH FINISH
WALL ASSEMBLY 02B	PRECAST CONCRETE SANDWICH PANEL, ACID ETCH FINISH

EXTERIOR ELEVATION GENERAL NOTES

1. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
2. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.

EXTERIOR ELEVATION LEGEND



EXTERIOR ELEVATIONS



BIDDING AND CONSTRUCTION DOCUMENTS

# THE RIDGE AT VILLAGE PARK

VILLAGE OF SUSSEX  
W244N6125 WEAVER DRIVE  
SUSSEX, WI, 53809  
KAHLER SLATER PROJECT: 224008.01

NOT UPDATED PER THIS SET

GENERAL SHEET INDEX

SHEET NUMBER	SHEET NAME
G000	COVER SHEET
G000	GENERAL NOTES, ABBREVIATIONS, PARTITION SCHEDULE AND LEGEND
G090	TYPICAL MOUNTING HEIGHTS
G100	LIFE SAFETY FLOOR PLANS

CIVIL SHEET INDEX

SHEET NUMBER	SHEET NAME
C100	EXISTING CONDITIONS
C101	REMOVAL PLAN
C102	SITE PLAN
C103	GRADING & EROSION CONTROL PLAN

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A100	ARCH. SITE PLAN AND OVERALL PLAN
A101	FLOOR PLANS
A102	ROOF PLAN
A120	REFLECTED CEILING PLANS
A130	FINISH FLOOR PLANS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A300	BUILDING SECTIONS
A310	WALL SECTIONS
A400	ENLARGED PLANS, SECTIONS, ELEVATIONS
A500	DETAILS
A501	DETAILS
A502	DETAILS
A600	ROOM FINISH SCHEDULE, DOOR SCHEDULE, DOOR AND FRAME TYPES
A601	DOOR DETAILS

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S002	STRUCTURAL SCHEDULES
S100	FOUNDATION PLAN
S101	ROOF FRAMING PLAN
S102	WALL SECTIONS
S400	STRUCTURAL DETAILS
S401	STRUCTURAL DETAILS

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P100	PLUMBING OVERALL PLANS
P101	PLUMBING UNDERGROUND PLANS
P102	PLUMBING PLANS

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M100	MECHANICAL OVERALL PLANS
M102	MECHANICAL PLANS

ELECTRICAL SHEET INDEX

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E002	ELECTRICAL SITE PLAN
E100	LIGHTING PLAN
E200	POWER PLAN
E300	SYSTEMS PLAN
E401	ENLARGED SYSTEMS PLANS
E500	ELECTRICAL DETAILS
E530	SYSTEMS DETAILS
E531	SYSTEMS DETAILS
E610	LIGHTING SCHEDULES
E620	ELECTRICAL SCHEDULES
E621	SYSTEMS SCHEDULES
E700	PANEL SCHEDULES
E701	PANEL SCHEDULES
E800	ELECTRICAL DIAGRAMS

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AV211	FIRST FLOOR AV PLAN
AV212	FIRST FLOOR AV PLAN - STAGE
AV311	FIRST FLOOR AV RCP
AV312	FIRST FLOOR AV RCP - STAGE
AV401	AV ELEVATIONS & SECTIONS
AV402	AV ELEVATIONS & SECTIONS
AV481	STANDARD AV DETAILS
AV482	STANDARD AV DETAILS
AV483	ADA DETAILS
AV501	EQUIPMENT RACK ELEVATIONS
AV601	PANEL ELEVATIONS & DETAILS
AV602	PANEL ELEVATIONS & DETAILS
AV700	AUDIO TERMINATIONS WIRING
AV900	AUDIOVISUAL TECHNICAL POWER DETAIL
AV901	AV POWER, DATA & BOX SCHEDULES
AV910	AV CONDUIT SPECIFICATIONS & DETAILS

FOOD SERVICE SHEET INDEX

SHEET NUMBER	SHEET NAME
FS000	COVER SHEET
FS100	FOOD SERVICE EQUIPMENT PLAN
FS300	FOOD SERVICE ELECTRICAL ROUGH-IN PLAN
FS300	FOOD SERVICE PLUMBING ROUGH-IN PLAN
FS400	FOOD SERVICE SPECIAL CONDITIONS PLAN

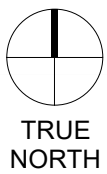


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PROJECT LOCATION MAP

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BIDDING AND CONSTRUCTION  
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Drawing Date  
12/20/24

THE RIDGE AT  
VILLAGE PARK

W244N6125 WEAVER DRIVE  
SUSSEX, WI, 53809

Project No. VILLAGE OF SUSSEX  
224008.01

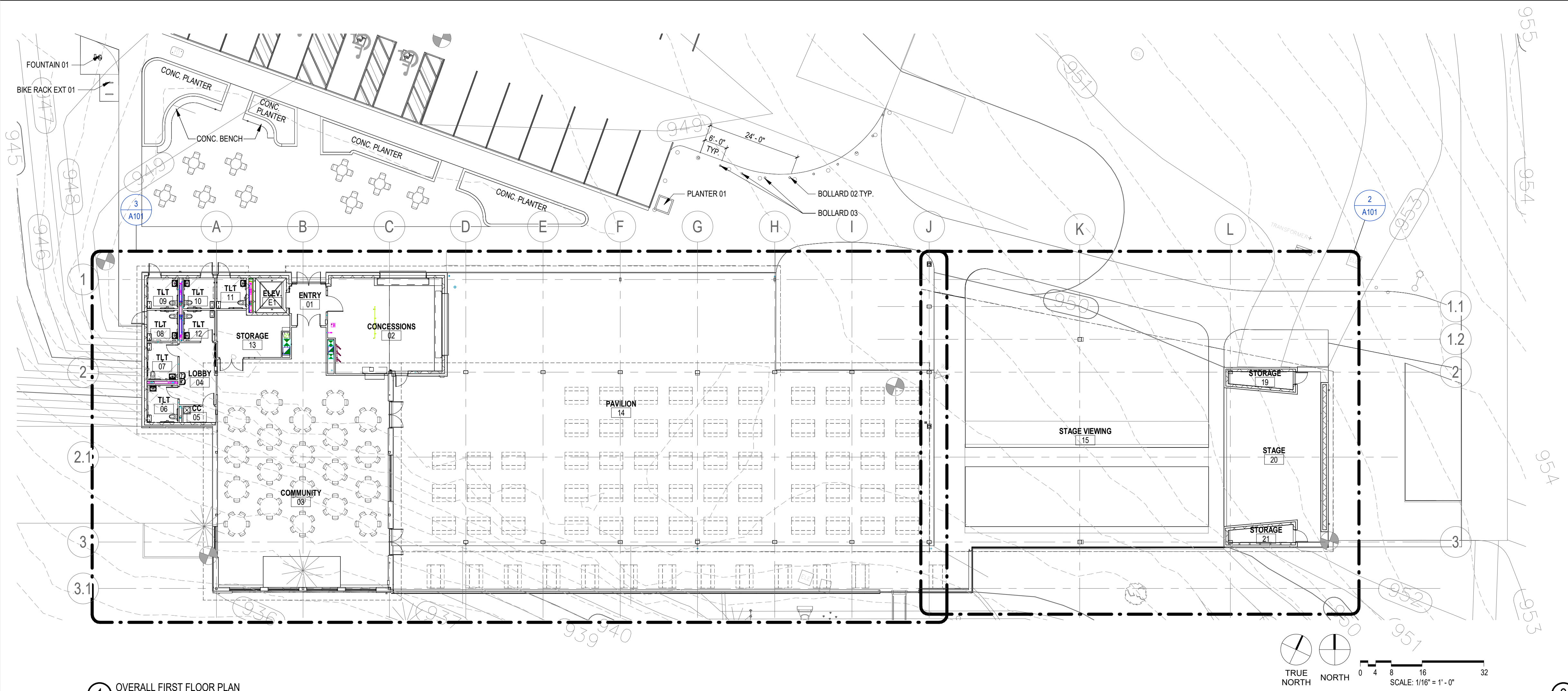
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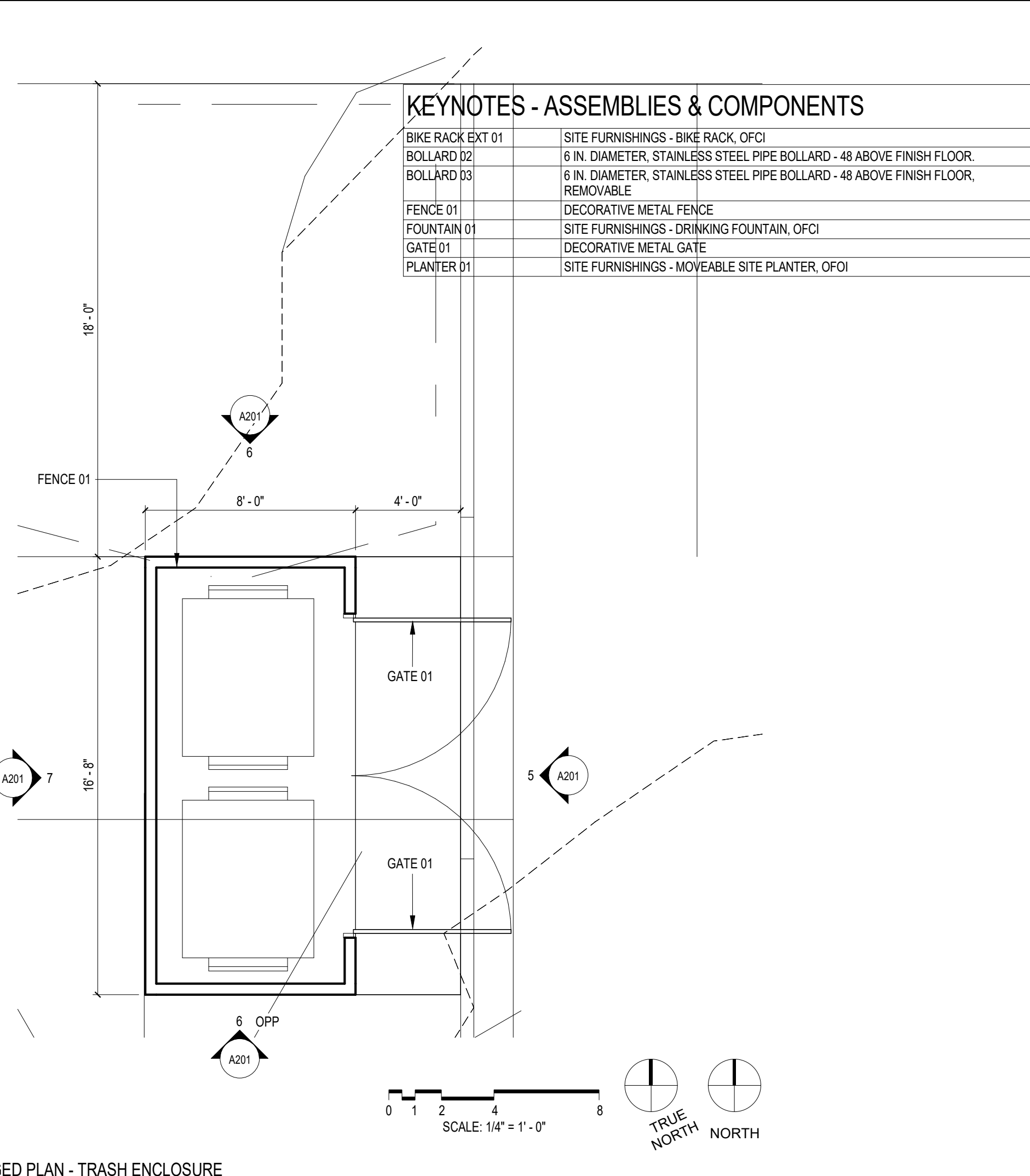
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G000

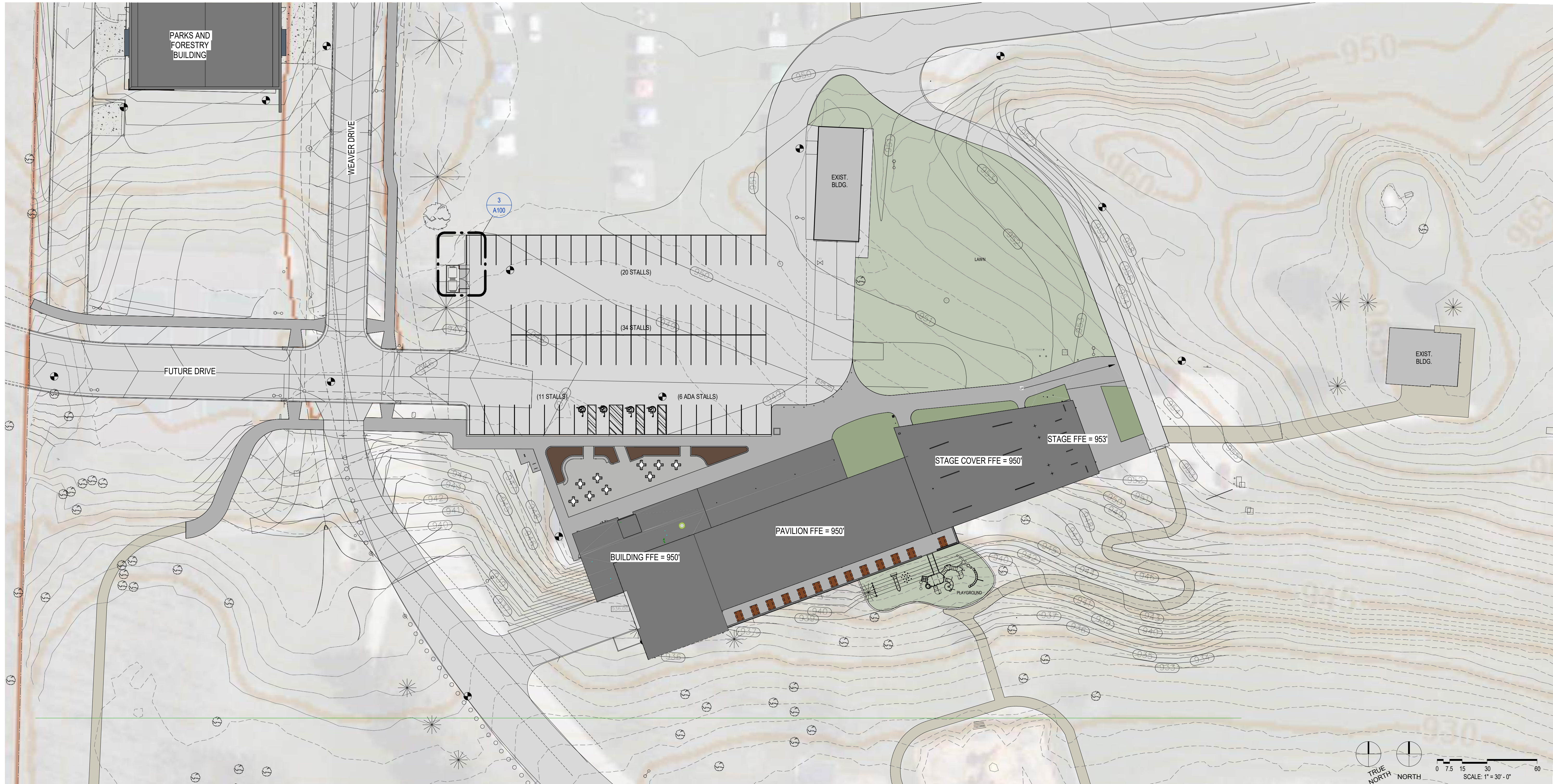




1 OVERALL FIRST FLOOR PLAN  
1/16" = 1'-0"



3 ENLARGED PLAN - TRASH ENCLOSURE  
1/4" = 1'-0"



2 SITE PLAN - OVERALL  
1" = 30'-0"

Revisions

BIDDING AND CONSTRUCTION  
DOCUMENTS

SCOPE DOCUMENTS

Drawing Date  
12/20/24

THE RIDGE AT  
VILLAGE PARK

W244N6125 WEAVER DRIVE  
SUSSEX, WI, 53809

Project No. VILLAGE OF SUSSEX  
224008.01

Sheet Title  
ARCH. SITE PLAN AND  
OVERALL PLAN

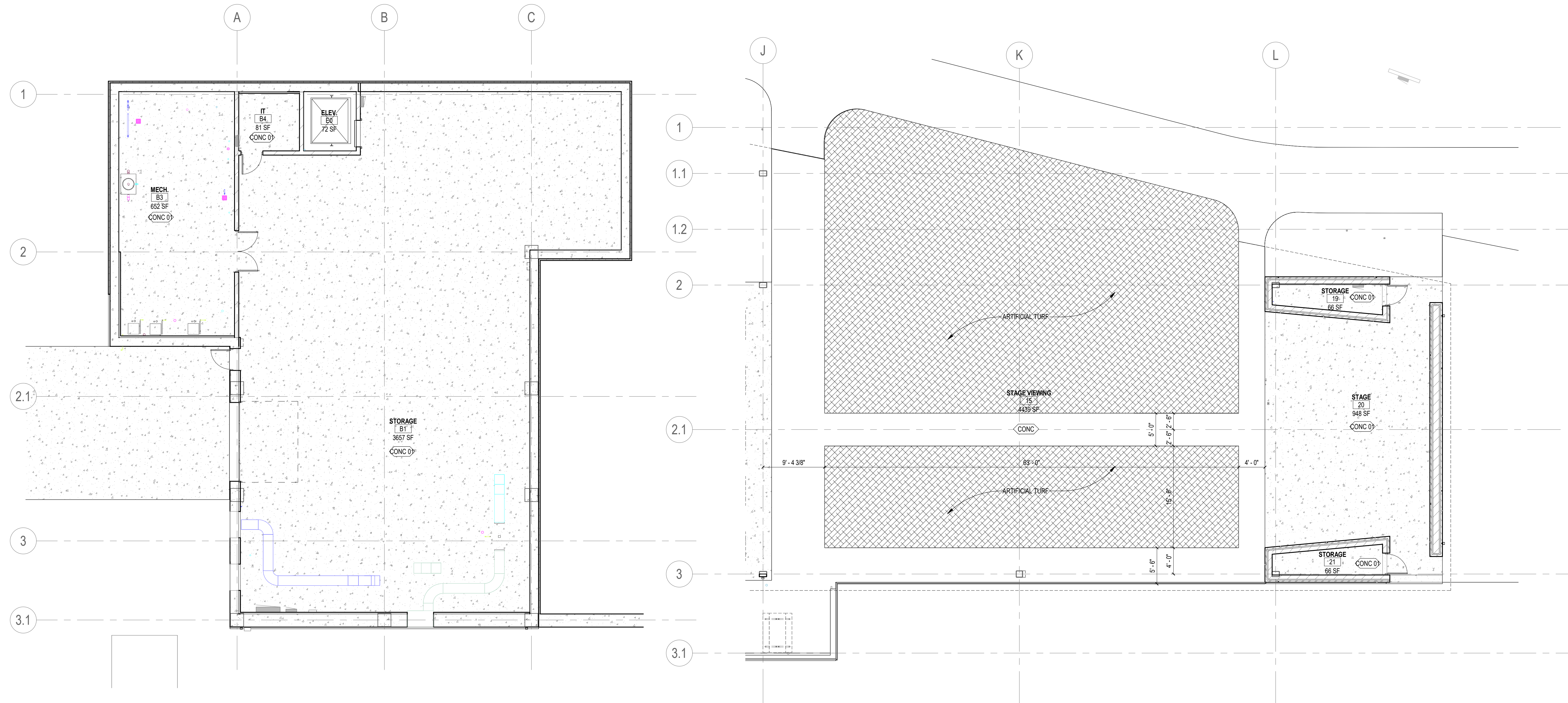
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NOT FOR  
CONSTRUCTION



INTERIOR FINISH SYMBOL LEGEND

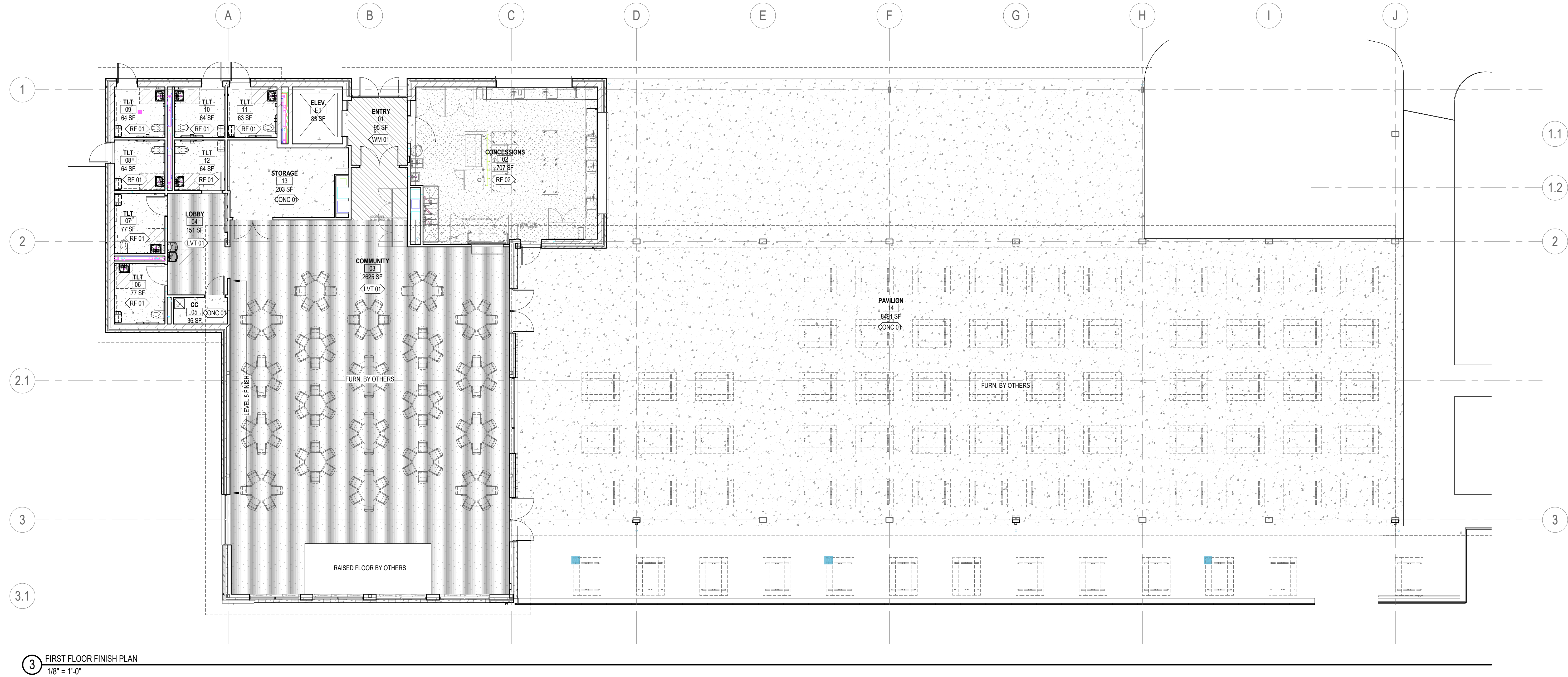
XXXX	WALL FINISH MATERIAL
XXX	FLOOR FINISH MATERIAL
XXX XXX	FLOOR FINISH TRANSITION
→	FLOOR FINISH GRAIN / INSTALLATION DIRECTION

INTERIOR FINISH MATERIAL LEGEND

CONC 01 - SEALED CONCRETE
RF 01 - EPOXY FLOOR
RF 02 - EPOXY FLOOR
LVT 01 - LUXURY VINYL TILE
WOM 01 - WALK OFF MAT
ARTIFICIAL TURF

1 BASEMENT FINISH PLAN  
1/8" = 1'-0"

2 STAGE FINISH PLAN  
1/8" = 1'-0"



3 FIRST FLOOR FINISH PLAN  
1/8" = 1'-0"

Revisions

BIDDING AND CONSTRUCTION  
DOCUMENTS

SCOPE DOCUMENTS

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THE RIDGE AT  
VILLAGE PARK

W244N6125 WEAVER DRIVE  
SUSSEX, WI, 53809

Project No. VILLAGE OF SUSSEX  
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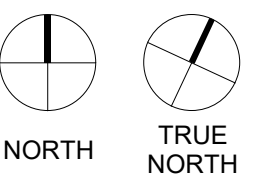
Sheet Title  
FINISH FLOOR PLANS

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A130

0 2 4 8 16  
SCALE: 1/8" = 1'-0"





## KEYNOTES - ASSEMBLIES &amp; COMPONENTS

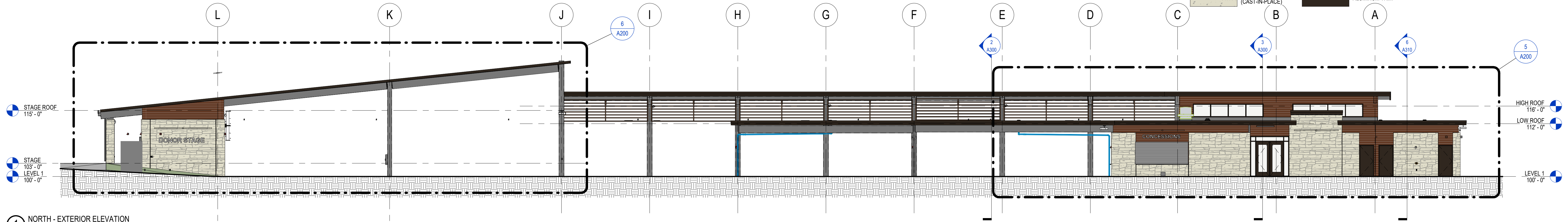
BOLLARD 01	6 IN. DIAMETER, CONCRETE FILLED, PAINTED STEEL PIPE BOLLARD - 48 ABOVE FINISH FLOOR
DOWNSPOUT	SHEET METAL DOWNSPOUT
GUARD RAIL 01	VERTICAL STEEL PIPE GUARDRAIL WITH STAINLESS STEEL DRINK COUNTER, HIGH PERFORMANCE COATING
GUARD RAIL 02	VERTICAL STEEL PIPE GUARDRAIL, HIGH PERFORMANCE COATING
LOUVER 01	MECHANICAL LOUVER
MOVEMENT JOINT	MOVEMENT JOINT

## EXTERIOR ELEVATION LEGEND

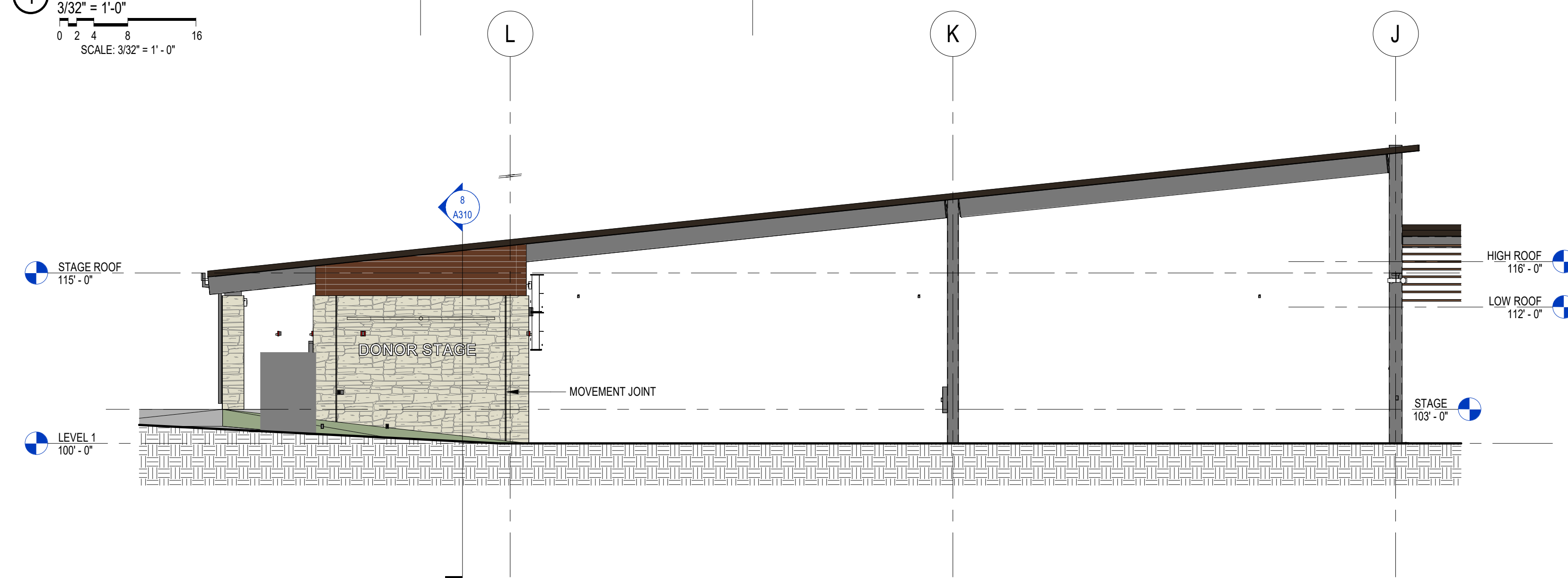
ALUMINUM SIDING 01	STEEL
CONCRETE (CAST-IN-PLACE)	STONE 01
CONCRETE (CAST-IN-PLACE)	ALUMINUM TRIM

## EXTERIOR ELEVATION GENERAL NOTES

- ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
- WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
- CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 28" SPACING. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE VENEERS.

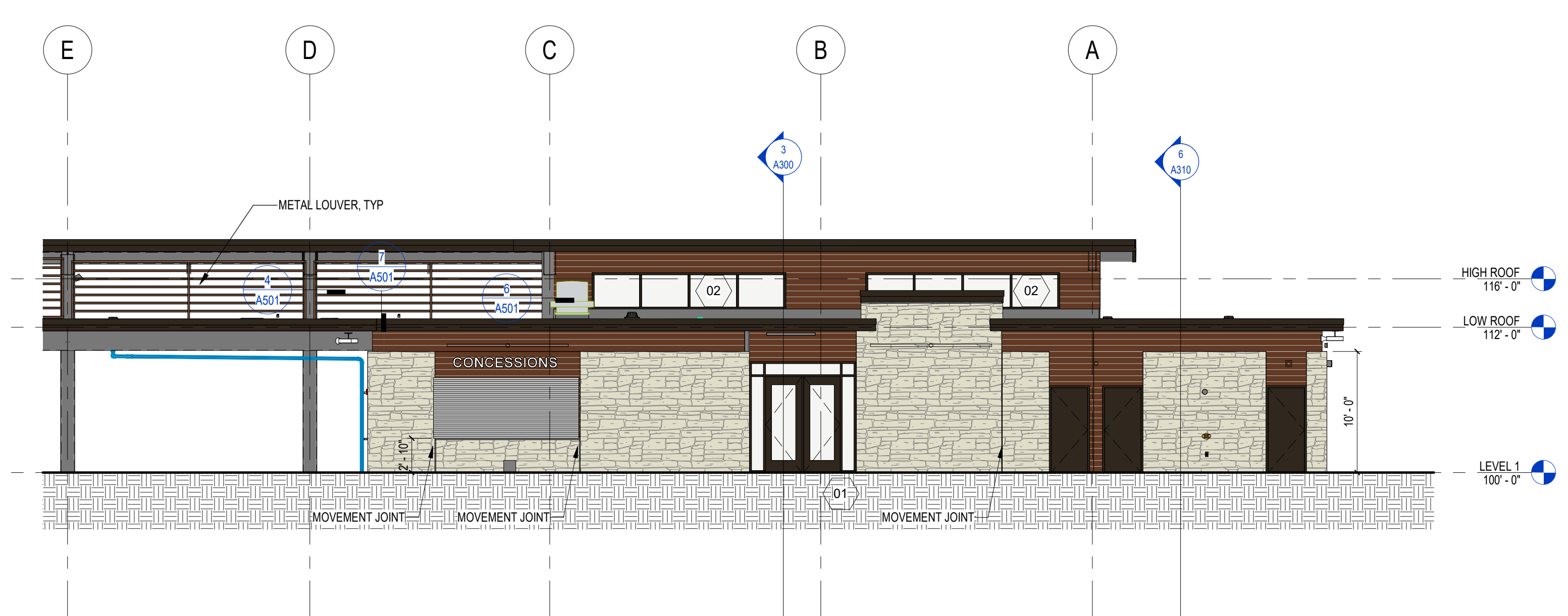


1 NORTH - EXTERIOR ELEVATION

3/32" = 1'-0"  
0 2 4 8 16  
SCALE: 3/32" = 1'-0"

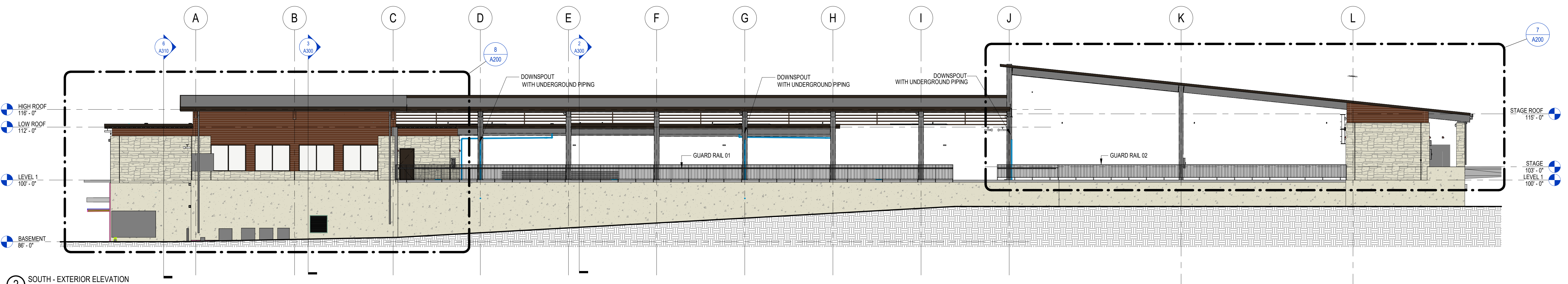
6 NORTH - EXTERIOR ELEVATION - STAGE

1/8" = 1'-0"

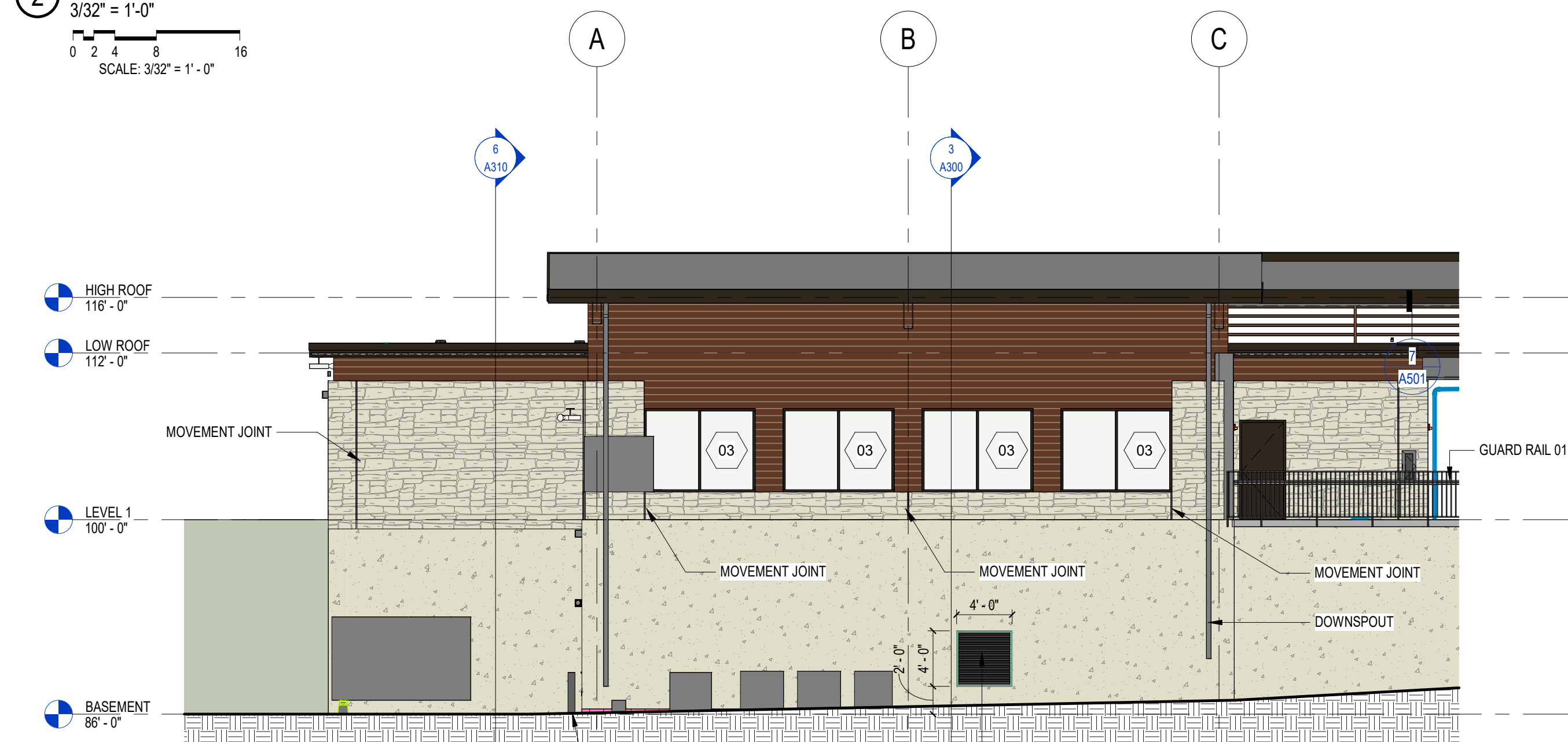


5 NORTH - EXTERIOR ELEVATION - PAVILION

1/8" = 1'-0"

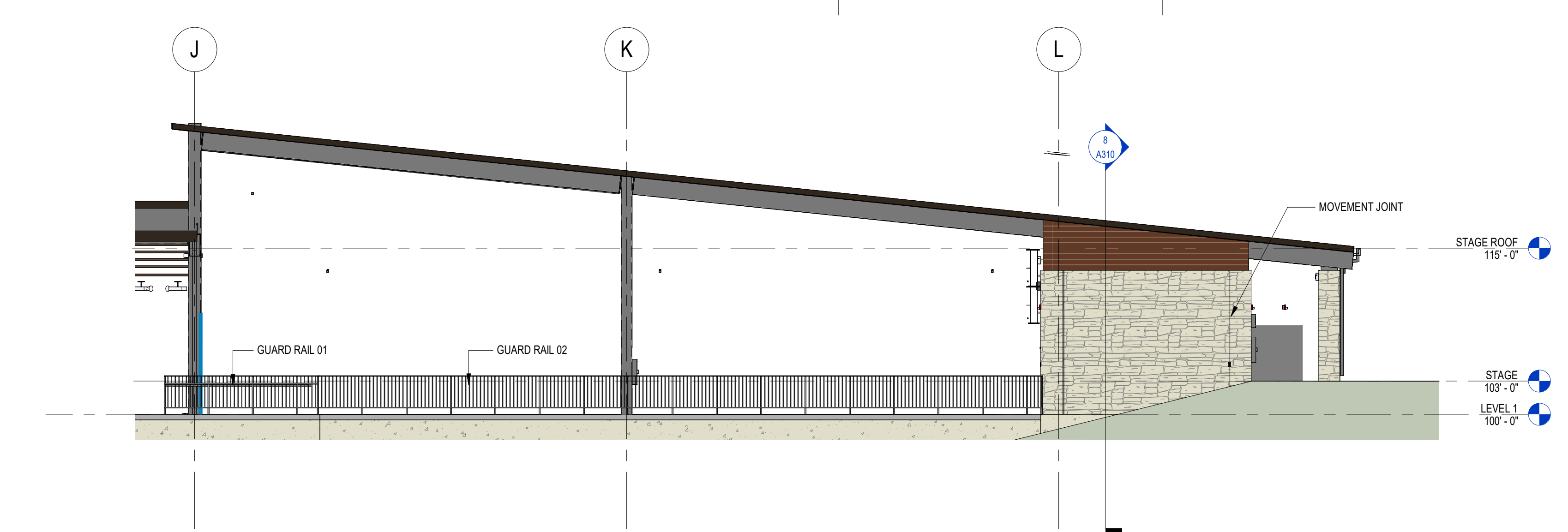


2 SOUTH - EXTERIOR ELEVATION

3/32" = 1'-0"  
0 2 4 8 16  
SCALE: 3/32" = 1'-0"

8 SOUTH - EXTERIOR ELEVATION - PAVILION

1/8" = 1'-0"



7 SOUTH - EXTERIOR ELEVATION - STAGE

1/8" = 1'-0"

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## EXTERIOR ELEVATIONS

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