



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, JUNE 18, 2024
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of May 21, 2024.
3. Consideration and possible action on Permitted Uses and Plans.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Reconvene the Public Hearing and possible action on a Conditional Use Permit for a Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. Discussion on compliance with the 2022 Conditional Use Permit for a Car Restoration Hobby Garage located at N63W23991 Main Street.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**VILLAGE OF SUSSEX
PLAN COMMISSION - DRAFT
6:30PM TUESDAY, MAY 21, 2024
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:30pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Commissioners Kasey Fluett, Mike Knapp, Roger Johnson, Debbie Anderson, Trustee Greg Zoellick, and Village President Anthony LeDonne

Members excused: Commissioner Muckerheide

Others present: Village Attorney John Macy, Village Administrator Jeremy Smith, Village Engineer Judy Neu, Deputy Clerk Jen Boehm, applicants, and members of the public.

A quorum of the Village Board was not present at the meeting.

Consideration and possible action on the minutes for the Plan Commission meeting of April 16, 2024.

A motion by Anderson, seconded by Johnson to approve the minutes of the Plan Commission meeting of April 16, 2024 as presented.

Motion carried 6-0

Discussion and possible action on a Plan of Operation for Slate Real Estate located at N63W23583 Main Street.

Chris Slater, W308N6194 Shore Acres Road, Hartland was present and available for questions. He gave a brief description of the Plan of Operation and stated that there was no downstairs storage.

A motion by Johnson, seconded by Anderson to approve the Plan of Operation for Slate Real Estate located at N63W23583 Main Street and subject to the standard conditions of Exhibit A.

Motion carried 6-0

Discussion and possible action on a site plan, landscape plan, architecture plan, and lighting plan for Highlands Business Park Site XII.

Mark Lake, 1200 N Mayfield Rd., was present and stated that this is the 3rd building in Highlands Park and can accommodate 5 tenant spaces. There is one tenant signed with delayed occupancy. The access road will be part of the certified survey map.

A motion by LeDonne, seconded by Zoellick to approve the site plan, landscape plan, architecture plan, and lighting plan for Highlands Business Park Site XII, subject to

standard conditions of Exhibit A and the following conditions:

1. Recording the Certified Survey Map creating the subject lot prior to issuance of a building permit.
2. Review and approval by the Architectural Review Board and any conditions as a result of their review.
3. Compliance with all comments and conditions listed in the Engineering memo dated May 13, 2024.
4. Compliance with all comments and conditions listed in the Community Development memo dated May 13, 2024

Motion carried 6-0

Consideration and possible action on a Certified Survey Map for the Highlands Business Park for the parcel identified by Tax Key No. 237.998.005.

A motion by Fluet, seconded by Anderson for the Plan Commission to recommend approval to the Village Board of the Certified Survey Map subject to the standard Conditions of Exhibit A, and the following conditions:

1. Compliance with all comments and conditions listed in the Engineering memo dated May 10, 2024.
2. Submitting a revised Certified Survey Map that includes an access easement over the portion of Lot 3 that is providing access to Lot 2.

Motion carried 6-0

Public Hearing and possible action on a Conditional Use Permit for Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.

Michael Leidig, W248N5221 Executive Dr., Sussex, was present and gave a presentation of the Plan of Operation and Site Plan. In response to the public comments, he stated that the average number of cars is 500/day. They can stack up to 30 cars at a time. Regarding added stop signs, he stated that Club Car Wash does not have control to do that.

Commissioner Johnson is concerned about the flow of traffic and is interested in knowing how much inventory we have left for business.

Commissioner Knapp stated that Sussex has plenty of car washes already. He does not think that traffic would be a problem.

John Gilling, 2151 Barberry Ln, Green Bay, stated that he is concerned about how much traffic they can accommodate at the entrance of Club Car Wash.

Dr. Mary Vezzetti, W248N5233 Executive Dr, Sussex, stated that she is concerned about the traffic congestion and that there are not any stop signs. She does not believe a car wash is the best use of the land for Sussex.

The Plan Commission would like information on peak times and how many cars are expected during those times. Staff will review the joint access agreement to establish who is responsible for maintaining the drive.

A motion by LeDonne, seconded by Zoellick to reconvene the public hearing on the Conditional Use Order at the June 18, 2024 Plan Commission meeting.

Motion carried 6-0

Other Items for Future Discussion

Commissioner Johnson would like Dean Myers from the Private Car Hobby, N63W23991 Main Street, to speak with the Plan Commission about ongoing complaints.

Adjournment

A motion by LeDonne, seconded by Zoellick to adjourn the meeting at 7:31pm.

Motion carried 6-0

Respectfully submitted,
Jen Boehm
Deputy Clerk

DRAFT



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Sussex, Wisconsin 53089
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MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of June 18, 2024
DATE: Thursday, June 13, 2024

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. **Minutes of the Plan Commission meeting of May 21, 2024.**
03. **Consideration and possible action on Permitted Uses and Site Plans.**
04. **Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans.**
 - A. **Reconvene the Public Hearing and possible action on a Conditional Use Permit for a Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.**

The subject property is zoned B-3 Highway Business and is located in the Sussex Gateway Retail Center development on the northeast corner of State Highway 164 and Lisbon Road. The land is currently vacant and the applicant is proposing to construct a Club Carwash. Section 17.0506(9)(A)(1) requires a Conditional Use Permit for vehicle washing in the B-3 Highway Business District.

The Municipal Code requires one stall per employee on the largest shift and according to the application, the largest shift would have 3 employees and the site is providing 4 parking stalls. The Code also requires room for 4 waiting vehicles per washing stall, the site provides room 18 waiting vehicles. The Code requires spaces for 2 vehicle vacuuming stalls and the site is providing 20 vacuuming stalls.

At their previous meeting, the Plan Commission requested the applicant to address concerns regarding the additional traffic from the carwash and its impact on Executive Drive and the Private Drive entering the Sussex Gateway commercial development. The Plan Commission did not direct Staff to draft the Conditional Use Ordinance.

Architectural Review Board

The Architectural Review Board discussed the proposed carwash at their June 5, 2024 meeting and approved the plans. The minutes from the meeting are below:

Motion by Reidel, second by Knapp to approve the site, architectural, and landscape plan for Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.

All ayes, motion carried.

The Petitioner will need to prove the standards/conditions found in the Conditional Use section of the Zoning Code during the Public Hearing process. These standards/conditions are attached to this memo.

Policy Question:

1. Are there any concerns with the Conditional Use or Plan of Operation?
2. Has the applicant addressed the concerns raised by the Plan Commission at its May 21, 2024 meeting?
3. Are there any concerns from the public hearing you want added in the CU document?

Action Items:

1. Direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the July 16, 2024 Plan Commission meeting.

Staff Recommendation: Staff recommends the Plan Commission direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the July 16, 2024 Plan Commission meeting.

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.

A. Discussion on compliance with the 2022 Conditional Use Permit for a Car Restoration Hobby Garage located at N63W23991 Main Street.

The petitioner received a Conditional Use Permit for a private car hobby garage at the subject property as a place to work on and store vehicles in 2022. Since then, the Village has received complaints from residents regarding the condition of some of the vehicles being stored on the backside of the building along Maple Avenue. The Village sent the petitioner two letters requesting the non-operable vehicles be removed from the outdoor parking area.

The Conditional Use Permit states that there shall be no outdoor storage of parts and the petitioner's testimony from the public hearing on May 17, 2022 stated there would be no outdoor storage of vehicles used for parts or that were not operable.

At its April 16, 2024 meeting, the Plan Commission requested Staff to reach out to the applicant to have them attend a meeting to discuss the status of the Conditional Use Permit.

06. Other Items for future discussion.

07. Adjournment.



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

| | |
|------------------------------------------------------------------------|----------|
| _____ Plan of Operation fee | \$175.00 |
| <input checked="" type="checkbox"/> Conditional Use fee (if necessary) | \$210.00 |
| _____ Pre Occupancy inspection fee | \$100.00 |

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: MICHAEL LEIDIG Phone # (920) 662-9641

E-mail: MLEIDIG@RELEEINC.COM

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____
Employees Shifts

5. Days of Operation:

Put an X in box that
applies:
Hours
Open for business

| Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|--------|---------|-----------|----------|--------|----------|--------|
| | | | | | | |
| | | | | | | |

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position

I am aware and approve of the business to be operating in the building
owned by _____.

Name

Date

Title or Position



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**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.


PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____



Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

Club Car Wash is a chain of car wash facilities known for its efficient and high-quality services. The operations of Club Car Wash typically follow a customer-centric model, aiming to provide convenience, speed, and cleanliness.

Summary of Operations

Membership Services

Club Car Wash offers tiered membership plans from Rookie to MVP that allow customers to enjoy unlimited washes for a monthly fee. This model encourages repeat business and provides customers with the flexibility to get their vehicles washed whenever they need. Club Car Wash also allows customers to pay for single washes one at a time like a typical car wash.

Wash Packages

Club Car Wash provides various wash packages tailored to different customer needs and budgets. From the Rookie Unlimited to the MVP Unlimited, customers can choose the level of service that suits them best.

Water Reuse Practices

Club Car Wash uses eco-friendly cleaning products and water recycling systems. Water is collected from the car wash tunnel trench and drains to an underground 3-tank system. The tanking system is designed to separate sediment from the collected water. The reclaim filtration system inside the equipment room suctions the water from the third tank where the water is most clarified. The water undergoes cyclone filtration as well as Ozone induction. Reclaimed water is circulated 24/7 between tanks and filtration system to resist the growth of undesirable anerobic bacteria as well as enhance the growth of aerobic bacteria that helps clarify the water. The clarified, reclaimed water is pumped to multiple pieces of car wash equipment to be used for washing non-essential to spot-free rinse (undercarriage washing, pre-soak, trench flush, etc). Approximately 25% of the fresh water used is reclaimed.

Vacuum Stations

In addition to car washes, Club Car Wash offers vacuum stations which are operational during business hours and are free for members, single wash customers, and the public alike to use. Each vacuum station also includes a trash receptacle which is emptied each hour to maintain a clean environment.

Overall, Club Car Wash operations are designed to provide customers with a convenient, fast, and reliable car washing experience while also incorporating environmentally friendly practices and a range of options to suit different needs and preferences.

IMPACT STATEMENT – CLUB CAR WASH SUSSEX

Impacts to Neighboring Properties

The Club Car Wash building is constructed from high quality materials and is intended to be visually appealing to bring value to the community and surrounding uses. Drainage and runoff are managed appropriately according to municipal standards to ensure no negative impacts are created for neighboring properties. Landscaping buffers and retaining walls are also proposed to help minimize any impacts on adjoining properties.

Traffic and Parking

Typically, Club Car Wash washes around 500 vehicles per day, with grand opening and dollar wash day numbers peaking at 1,000 cars per day. Even at its peak, this is still a smaller traffic impact than a typical fast-food restaurant. Club Car Wash can process a vehicle on average every 30 seconds, with the average vehicle taking about 7 minutes from start to finish. This speed ensures that cars are not being backed up and are continually flowing through the wash. Adequate vacuum stalls have been provided based on Club Car Wash's experience in the industry to support their customers.

Noise, Odor, Safety and Crime

Modern equipment is utilized on-site to keep noise to a minimum, and maintenance issues resulting in any increase in noise are promptly addressed to ensure a pleasant experience at the car wash. Odors are not anticipated to have any impact on neighboring properties or impact the property itself. Adequate lighting, well trained staff on-site, and monitoring equipment are present on Club Car Wash sites to ensure the safety of customers, employees, and neighboring properties.

Hours of Operation

Club Car Wash hours of operation are from Monday to Saturday from 7:00 AM to 8:00 PM during the summer and 7:00 AM to 7:00 PM during daylight savings. The car wash will only be open from 8:00 AM to 8:00 PM or 8:00 AM to 7:00 PM on Sundays.

Health, Sanitation and Maintenance

Club Car Wash intends to adhere to all health and safety requirements at this facility, including responsible handling and storage of chemicals. Club Car Wash prides itself on having a cleanly pleasing site. To help achieve this, sanitation receptacles are present outdoors on each vacuum stanchion to allow for easy access by customers cleaning their cars. Additionally, these receptacles are emptied approximately every hour to ensure no litter or spillage. The main trash enclosure is made from high quality materials to match the building aesthetic and is screened appropriately based on the landscaping code. Any maintenance issues noticed by staff or customers are promptly addressed to keep the site in good working order and ensure that it is operating as efficiently as possible.

The development of Club Car Wash is designed to be a positive addition to the community, offering convenient car washing services while being mindful of its impacts on neighboring properties, traffic, noise, safety, and the environment.

The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0418 B-3 Highway Business District

17.0418 B-3 HIGHWAY BUSINESS DISTRICT

The B-3 Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such traffic.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Hotels and motels
- (b) Bed and breakfast establishments
- (c) Restaurants, snack stands, and mobile food services. For a drivethrough the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (d) Bars
- (e) Food service contractors and caterers

2. Arts, Entertainment, and Recreation Services

- (a) Promoter, agent, artists offices/studio
- (b) Theater companies and dinner theaters, dance, musical groups, and performing arts companies.

3. Educational, Health Services, and Social Services

- (a) Fine arts and language schools and studios
- (b) Sports and recreation instruction
- (c) Automobile driving school
- (d) General medical services
- (e) Vocational rehabilitation services
- (f) Religious facilities
- (g) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
- (h) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 7.0603(K)(6)(h)(3) of this Ordinance.

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
- (e) Office equipment rental and leasing
- (f) Rental Centers

5. General Services

- (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Personal care and weight loss services

- (d) Funeral home and funeral services
- (e) Coin operated laundries and drycleaners
- (f) Dry cleaning and Laundry Services (non-industrial)
- (g) Photo finishing laboratories
- (h) General business offices
- (i) Travel and visitor services
- (j) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)
- (k) Animal Boarding in the B-3 district provided that the animals are domestic pets including (dogs, cats, hamsters or similar pet rodents, pet fish, reptiles and pet birds). In no way shall the operation be allowed to board wild animals or any pets not included in the list above. The boarding shall be for limited periods of time with no animal allowed to be continually boarded for longer than 3 weeks in row. No boarding facility may sell, trade, or in any other way exchange animals. The Plan Commission when determining the appropriateness of the site for animal boarding shall take into account the available space for outside animal activity and the impact the noise of such a facility will have on adjacent properties. An animal boarding operation shall be at least 1,000 feet from a residential zoned property, measured from the closest point where any boarded animal may be located to the closest residential zoning district property line.

The Plan Commission recognizes that customer's demands of animal boarding services and the culture related to taking care of pets is regularly evolving. These changes make it improbable to list all of the accessory uses of an animal boarding operation in the Code; therefore, the Plan Commission may consider accessory uses to the animal boarding operation such as, but not limited to; animal grooming, animal physical rehab, animal photography studios, retail sales of animal related products, if the Plan Commission finds the following:

- 1) The accessory use is consistent with the intent of the zoning district.
- 2) The accessory use is clearly established by the petitioner to be interrelated to and an accessory use of the principal animal boarding operation.
- 3) The site and or building are appropriately designed and located, or will be made so, to accommodate the accessory use and any impacts thereof.

6. Information Services

- (a) Radio/TV/Cable network, stations, news syndicates, excluding towers and dishes.
- (b) Telecommunications services
- (c) Motion picture and video production
- (d) Newspaper, printers, paper and software publishers, recording studio record production, telecommunications services and data processing.
- (e) Libraries and archives.

7. Professional, Technical, Scientific, and Administrative Services

- (a) Legal, notaries, and title services
- (b) Accountants, tax preparation, payroll, and other accounting services
- (c) Architects, landscape architects, engineering, surveying services
- (d) Interior, industrial, graphic, and fashion design services
- (e) Private investigators, locksmiths, security, and armored car services
- (f) Janitorial services
- (g) Pest control services
- (h) Packaging and labeling service

- (i) Veterinary Offices
- (j) Offices of holding companies and regional managing offices
- 8. Retail Trade
 - (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/packaged beverage and tobacco stores
 - (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Internet sales shopping/mail order business and vending machine sales
 - (m) Building supply stores and general sales of industrial products, such as building materials, electrical supplies, heating supplies, lighting supplies, paint and painting supplies, plumbing supplies, roofing supplies, wallpaper and wallpaper supplies, and windows and doors.
 - (n) Outdoor Power Equipment
 - (o) Garden Centers
 - (p) Manufactured/mobile home sales
- 9. Manufacturing/Assembly
 - (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.
- 10. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 11. Transportation and Warehousing
 - (a) Courier, delivery, postal service businesses
- 12. Parking Lots
 - (a) Parking lots are permitted without a principal structure, provided that the property owner submits a parking plan to the Plan Commission, and the Plan Commission approves the parking plan. The parking plan shall indicate whether the private parking area described in the parking plan may be used by the general public when the parking spots are not needed for the private use. If the plan so indicates, and if the plan is approved, then general public parking uses may be permitted upon such terms and conditions as are agreed upon in writing between the Village Board and the property owner, in a form approved by the Village Attorney. The Plan Commission shall approve the parking plan only if it finds all of the following:
 - (1) The lot where the proposed parking is located must be immediately adjacent to a lot that is zoned B-4 Central Mixed Use District that is proposed for development or change of use; and
 - (2) The adjacent B-4 Central Mixed Use District lot must have inadequate parking available on the lot to serve the new development or change of use, per the requirements of Section 17.0603 of this Code; and
 - (3) The parking plan must demonstrate that the parking lot will be in full compliance with all applicable requirements of this Code, except as to any

modifications that may be granted pursuant to Section 17.0603(L) of this Code;

and

- (4) Deed restrictions must be imposed and agreements must be entered between the adjacent lot owners, to the satisfaction of the Village Attorney, to allow the parking area to be used by the adjacent lot owner in compliance with the parking plan; and
- (5) Subject to such reasonable conditions as the Plan Commission may deem to be necessary or appropriate.

13. Housing. Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.

B. Permitted Accessory Uses

1. Accessory garages for storage of vehicles used in conjunction with the operation of the business or for occupants of the premises.
2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
3. Residential quarters for the owner or proprietor located in the same building as the business.
4. Rental efficiency and one-bedroom apartments on a non-ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

1. Lots shall have a minimum area of 10,000 square feet and shall be not less than 75 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

E. Building Height

1. No principal building or parts of a principal building shall exceed 30 feet in height.

F. Setback and Yards

1. There shall be a minimum building setback of 30 feet from the right-of-way of all streets.
2. There shall be a side yard on each side of all buildings not less than 15 feet in width.
3. There shall be a rear yard of not less than 25 feet.
4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Village Municipal Code.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve

as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be submitted to Plan Commission

1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

9. Retail Trade

- a) Vehicle sales, vehicle service, service of vehicle parts, vehicle parts sales including vehicle washing, vehicle repair stations, service of vehicle parts and vehicle parts sales in the B-2, B-3 and B-4 Districts No outside storage shall be permitted for vehicle parts sales even by issuance of a conditional use permit as set forth in 17.0506(A)(15)(e) of this Ordinance. All other outside storage that may be granted by CU shall be on a hard paved surface and shall be screened from view, or in the case of vehicle sales the landscaping shall be aesthetically pleasing to minimize the visual impact of a parking lot of vehicles.
- b) Gasoline service stations in the B-2 and B-3 districts provided that the use shall include traffic control measures to ameliorate-- traffic congestion; that lighting and glare shall not extend into adjacent residential neighborhoods; and that service islands shall comply with the minimum setback requirements of the district. Canopies over a gasoline service island may extend into front, side or rear yard areas, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

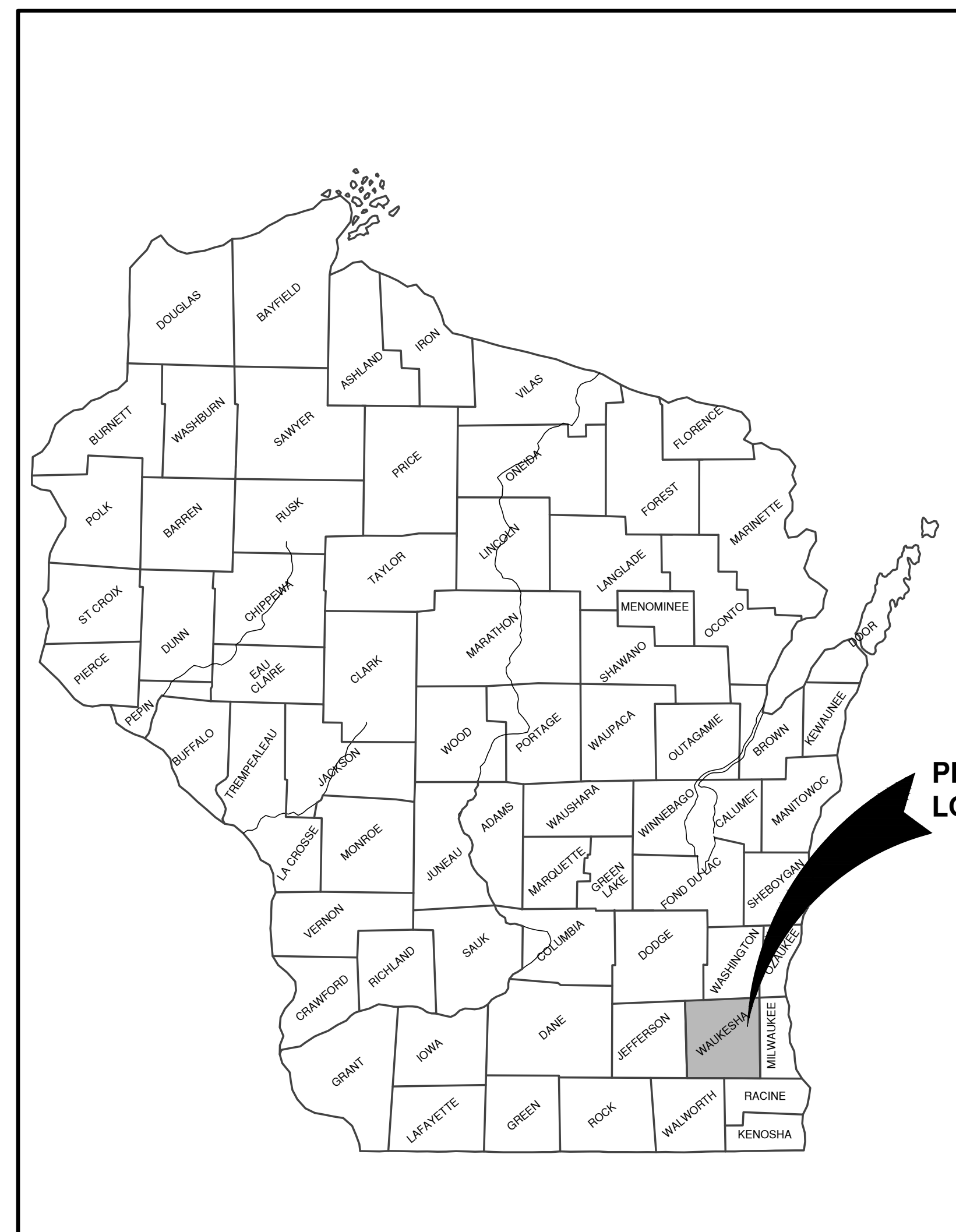
1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-ofway in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL CONFORM TO THE WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION SITE EROSION CONTROL
AND TECHNICAL STANDARDS.


INDEX TO DRAWINGS

DESCRIPTION

| | |
|-----|-----------------------------------------------------------|
| C | LOCATION MAPS AND INDEX TO DRAWINGS |
| 1 | GENERAL NOTES |
| 2 | EXISTING SITE CONDITIONS |
| 3 | SITE PLAN |
| 4 | UTILITY PLAN |
| 5 | GRADING AND EROSION CONTROL PLAN |
| 6 | MISCELLANEOUS DETAILS |
| 7 | MISCELLANEOUS DETAILS |
| 8 | MISCELLANEOUS DETAILS |
| 9 | EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D |
| 10 | EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M |
| 11 | EROSION CONTROL - DITCH CHECK DETAILS |
| 12 | EROSION CONTROL - SHEET FLOW DETAILS |
| 13 | EROSION CONTROL - TRACKOUT CONTROL PRACTICES |
| ST1 | ADS STORMTECH DETAILS |
| ST2 | ADS STORMTECH DETAILS |
| ST3 | ADS STORMTECH DETAILS |
| ST4 | ADS STORMTECH DETAILS |
| ST5 | ADS STORMTECH DETAILS |
| ST6 | ADS STORMTECH DETAILS |



LOCATION MAP

| | | | | | | | | | | | | | |
|-----|------|---------|----------|-----|------|---------|----------|----------|----------------------------------------------------------------------------------------------|-------------------------------------|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN | 5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN | LOCATION MAPS AND INDEX TO DRAWINGS | DATE |  1250 Centennial Centre Blvd Hobart, WI 920-662-9641 rel@inc.com | SHEET NO. |
| | | | | | | | | CHECKED | | | 03/2024 | | |
| | | | | | | | | AJB | | | FILE | | |
| | | | | | | | | DESIGNED | | | 6258030C | | |
| | | | | | | | | WEL | | | JOB NO. | | |
| | | | | | | | | | 202501 | | | | |

File: P:\2020-2024\2545030.dwg, 1/25/2024, 7:25pm
GER NOTES
LAYOUT:

OWNER INFORMATION:

CLUB CAR WASH
1591 E. PRATHERSVILLE ROAD
COLUMBIA, MO 65202

(573) 999-5178

CONTACT: JUSTIN BARNES

CONTRACTOR INFORMATION:

BAYLAND BUILDINGS
3323 BAY RIDGE COURT
HOBART, WI 54155

(920) 371-6200

CONTACT: DAVID O'BRIEN

UTILITY INFORMATION:

UTILITIES PRESENT:
VILLAGE OF SUSSEX DEPARTMENT OF PUBLIC WORKS, WAUKESHA COUNTY DEPARTMENT OF PUBLIC WORKS,
WE ENERGIES, AT&T, TIME WARNER CABLE, EVERSTREAM AND WINDSTREAM COMMUNICATIONS.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBER 20240502161, DATED 02/09/2024, VISIBLE OBSERVATION AND RECORD
UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE
MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
VILLAGE OF SUSSEX
NS9W23525 CLOVER DR.
SUSSEX, WI 53089

(262) 820-3130

STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
WAUKESHA COUNTY
515 W MORELAND BL, RM. 220
WAUKESHA, WI 53188

(262) 548-7740

GAS & ELECTRIC:
WE ENERGIES
231 W MICHIGAN ST
MILWAUKEE, WI 53203
(414) 221-2345

TELECOMMUNICATIONS:
AT & T / SBC
777 E. WISCONSIN AV.
MILWAUKEE, WI 53202

(800) 792-2473

TELECOMMUNICATIONS:
TIME WARNER CABLE
1320 DR MARTIN LUTHER
KING DR.
MILWAUKEE, WI 53212

TELECOMMUNICATIONS:
EVERSTREAM
1228 EUCLID AVENUE
CLEVELAND, OH 44115

(844) 387-7876

TELECOMMUNICATIONS:
WINDSTREAM COMMUNICATIONS
4001 RODNEY PARHAM RD.
LITTLE ROCK, AR 72212

(501) 748-7000

DIGGERS

HOTLINE

Dial

811

or (800) 242-8511

www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

LEGEND

- FIRE HYDRANT
- WATER VALVE/CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- OPEN STORM MANHOLE
- STORM INLET
- STORM INLET MANHOLE
- TANK COVER
- SOIL BORING
- POST
- IRON PIPE/ROD
- PK NAIL

- POWER POLE
- POWER POLE W/GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- BOLLARD

- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP
- CULVERT
- WETLANDS
- HANDICAP PARKING

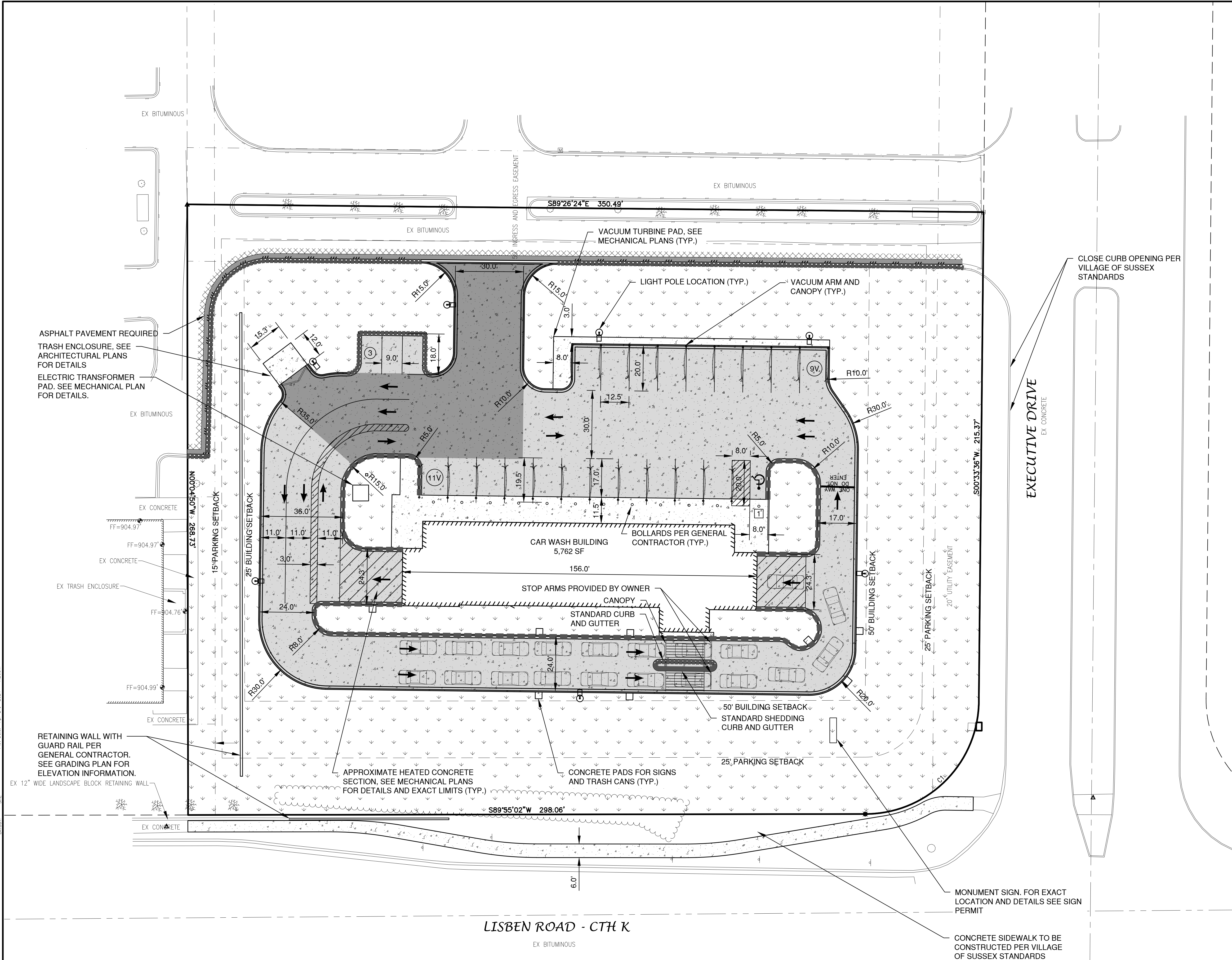
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE

- SANITARY SEWER (SIZE NOTED)
- FORCEMAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- CABLE TV LINE
- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

- | | | | | | | | |
|------|------------|------|----------------|-----|--------------------------------|------|--------------------------|
| GR. | GRAVEL | WM | WATERMAIN | VPC | VERTICAL POINT OF CURVATURE | B-B | BACK TO BACK (OF CURB) |
| BIT. | BITUMINOUS | HYD. | HYDRANT | VPI | VERTICAL POINT OF INTERSECTION | F-F | FACE TO FACE (OF CURB) |
| ASPH | ASPHALT | WV | WATER VALVE | VPT | VERTICAL POINT OF TANGENCY | R/W | RIGHT OF WAY |
| CONC | CONCRETE | SAN | SANITARY SEWER | PC | POINT OF CURVATURE | T/C | TOP OF CURB |
| SWG | SIDEWALK | MH | MANHOLE | PI | POINT OF INTERSECTION | F/L | FLOW LINE |
| BLDG | BUILDING | ST | STORM SEWER | PT | POINT OF TANGENCY | C/L | CENTERLINE |
| HSE | HOUSE | CB | CATCH BASIN | R | RADIUS | R/L | REFERENCE LINE |
| PED | PEDESTAL | TELE | TELEPHONE | EX | EXISTING | INV | INVERT |
| PP | POWER POLE | ELEC | ELECTRIC | PR | PROPOSED | CMP | CORRUGATED METAL PIPE |
| LP | LIGHT POLE | TV | TELEVISION | EOR | END OF RADIUS | RCP | REINFORCED CONCRETE PIPE |
| BM | BENCH MARK | STA. | STATION | BOC | BACK OF CURB | CULV | CULVERT |

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN LLP | 5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN | GENERAL NOTES | DATE 03/2024 | Robert E. Lee & Associates, Inc. | SHEET NO. 1 |
|-----|------|---------|----------|-----|------|---------|----------|-----------------|----------------------------------------------------------------------------------------------|---------------|--------------------|-----------------------------------------------------------------------|----------------|
| | | | | | | | | CHECKED AJB | | | FILE 6256030T | 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com | |
| | | | | | | | | DESIGNED MRL | | | JOB NO. 6256030 | | |

File: C:\Users\KDC\OneDrive\Documents\2023\21\21060301.dwg
Plot Date: Apr 24, 2024 11:25:06am
SITE
LAYOUT



LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT (LIGHT) (22,128 S.F.)
- CONCRETE PAVEMENT (HEAVY) (5,248 S.F.)
- ASPHALT PAVEMENT (828 S.F.)
- GREEN SPACE
- PROPOSED 18" MOUNTABLE CURB AND GUTTER
- PROPOSED 18" MOUNTABLE SHEDDING CURB AND GUTTER
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- PROPOSED 18" STANDARD CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS
- INDICATES NUMBER OF VACUUM STALLS
- LIGHT POLE (1 LAMP)
- VACUUM ARM

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
TOTAL PARKING STALLS PROVIDED = 4
HANDICAP ACCESSIBLE PARKING STALLS = 1
TOTAL PARKING STALLS REQUIRED = 3 (1 PER EMPLOYEE)

SITE DATA
TOTAL AREA = 2.13 ACRES, 92,576 S.F.
BUILDING AREA = 0.13 ACRES, 5,762 S.F. (6.2%)
SIDEWALK/PARKING LOT AREA = 0.91 ACRES, 39,493 S.F. (42.7%)
GREEN SPACE = 1.09 ACRES, 47,321 S.F. (51.1%)

ZONING
PDD / B-3

PARCEL NO.
SUXV0278999071

1
RESERVED PARKING
VILLAGE OF SUSSEX
KIOSK

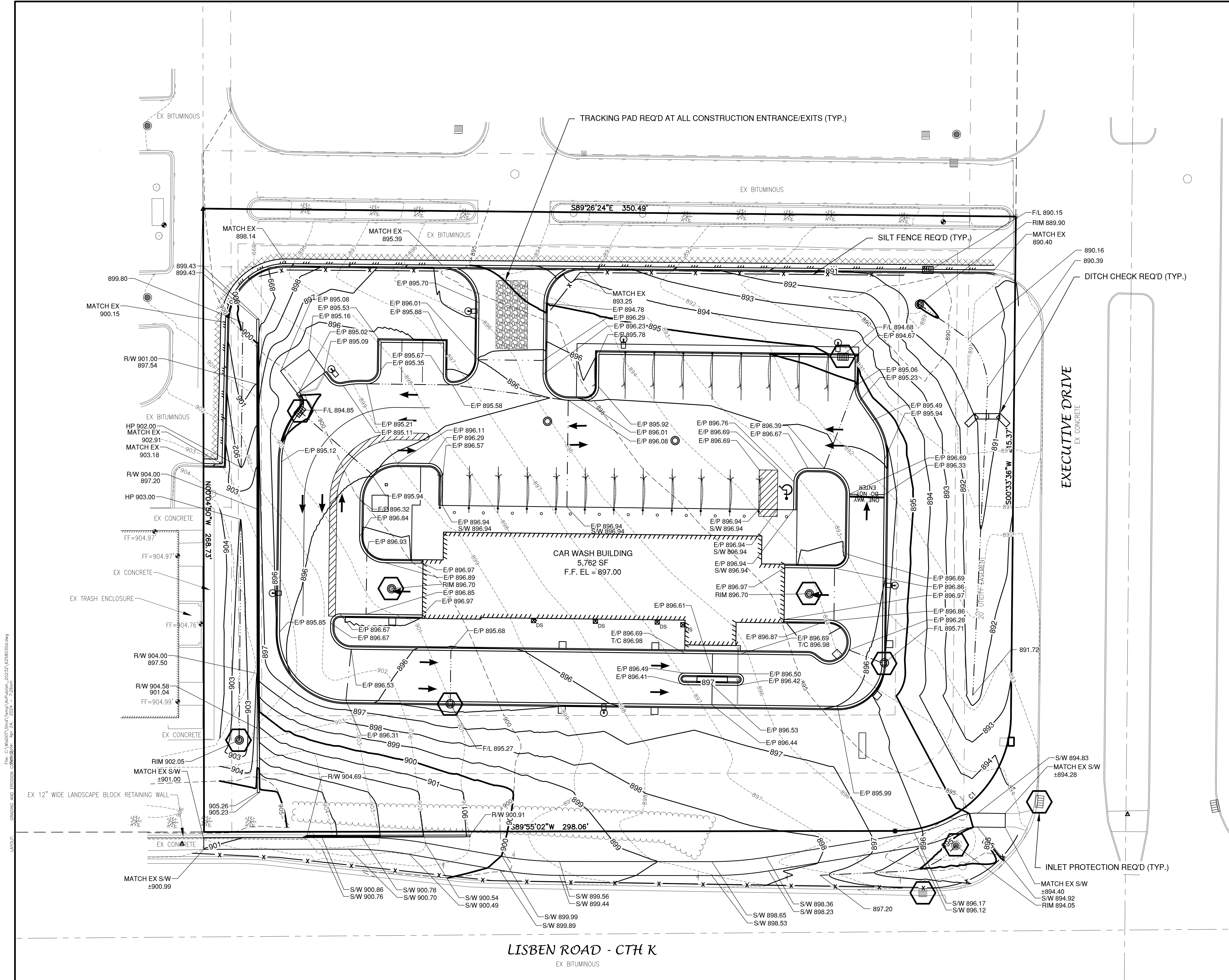
0' 20' 40'
SCALE IN FEET

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releecinc.com

SHEET NO. **3**

File: C:\Users\KDC\OneDrive\Projects\2023\21 5221 Executive Drive\2023\21 5221 Executive Drive.dwg
Grading and Erosion Control Plan
Date: 03/20/2024
Author: KDC
Scale: 1" = 20'

LANDSCAPE



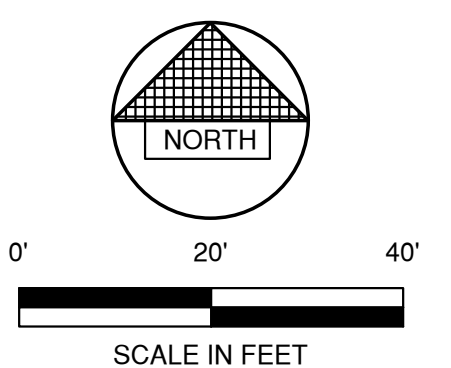
LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- - - DRAINAGE DIVIDE
- FLOW ARROW
- x SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- [Symbol] DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- [Symbol] TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- [Symbol] EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- [Symbol] INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

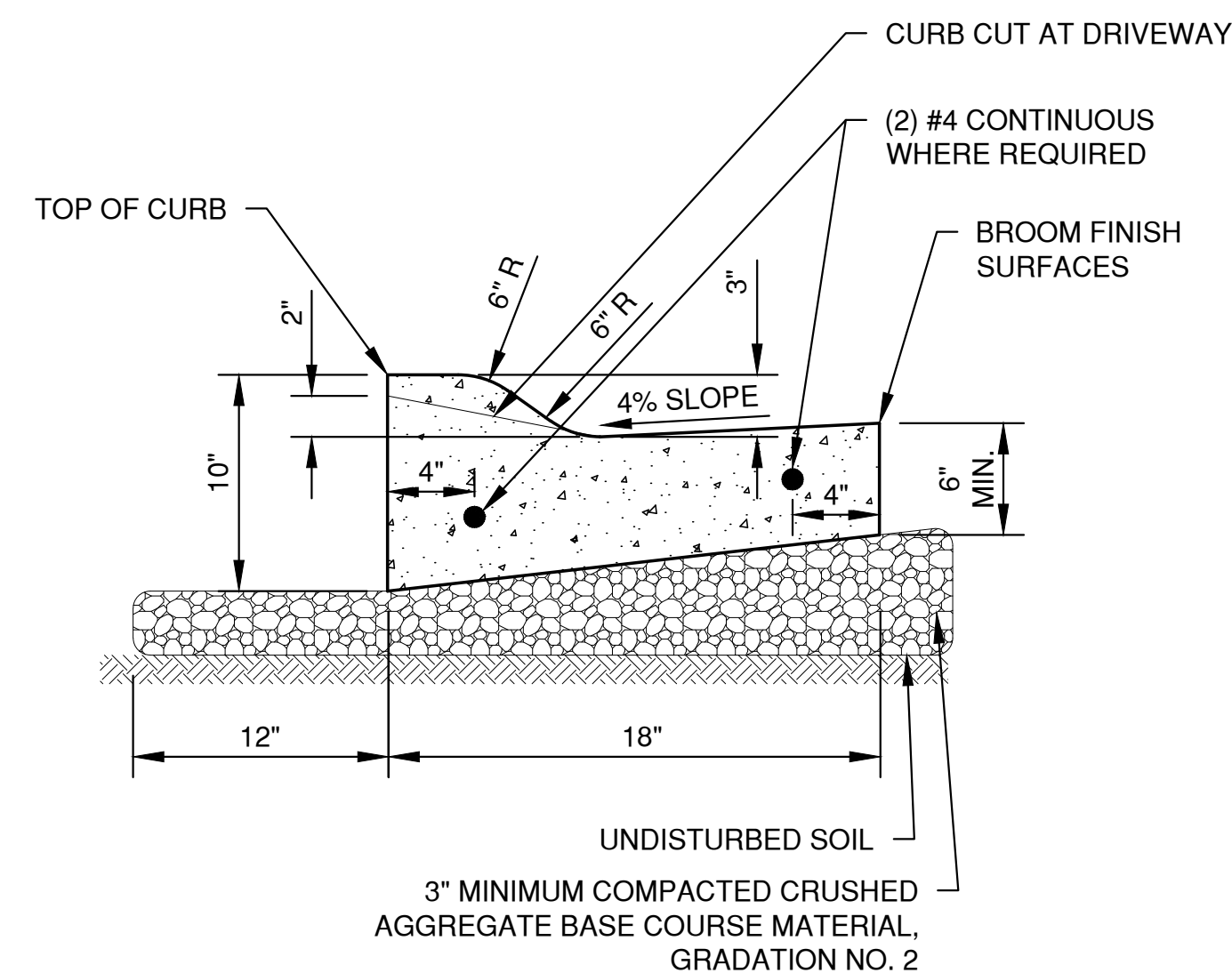
EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

- SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
- A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
- PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
- ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

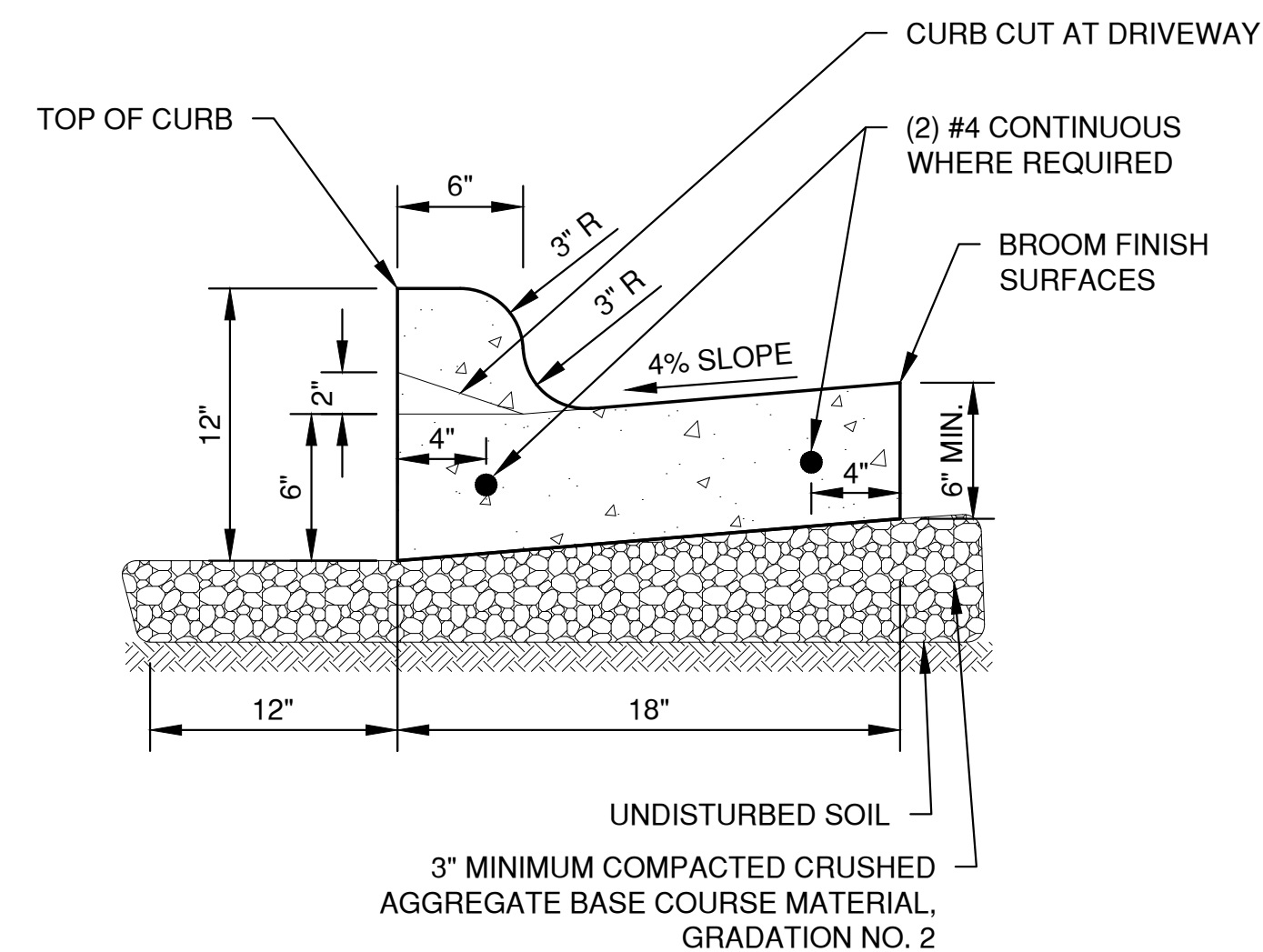


| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN | 5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN | GRADING AND EROSION CONTROL PLAN | DATE 03/20/2024 FILE 6256030D JOB NO. 62560303 | REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com | SHEET NO. 5 |
|-----|------|---------|----------|-----|------|---------|----------|----------|----------------------------------------------------------------------------------------------|----------------------------------|---------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|----------------|
| | | | | | | | | CHECKED | | | | | |
| | | | | | | | | DESIGNED | | | | | |
| | | | | | | | | MPL | | | | | |



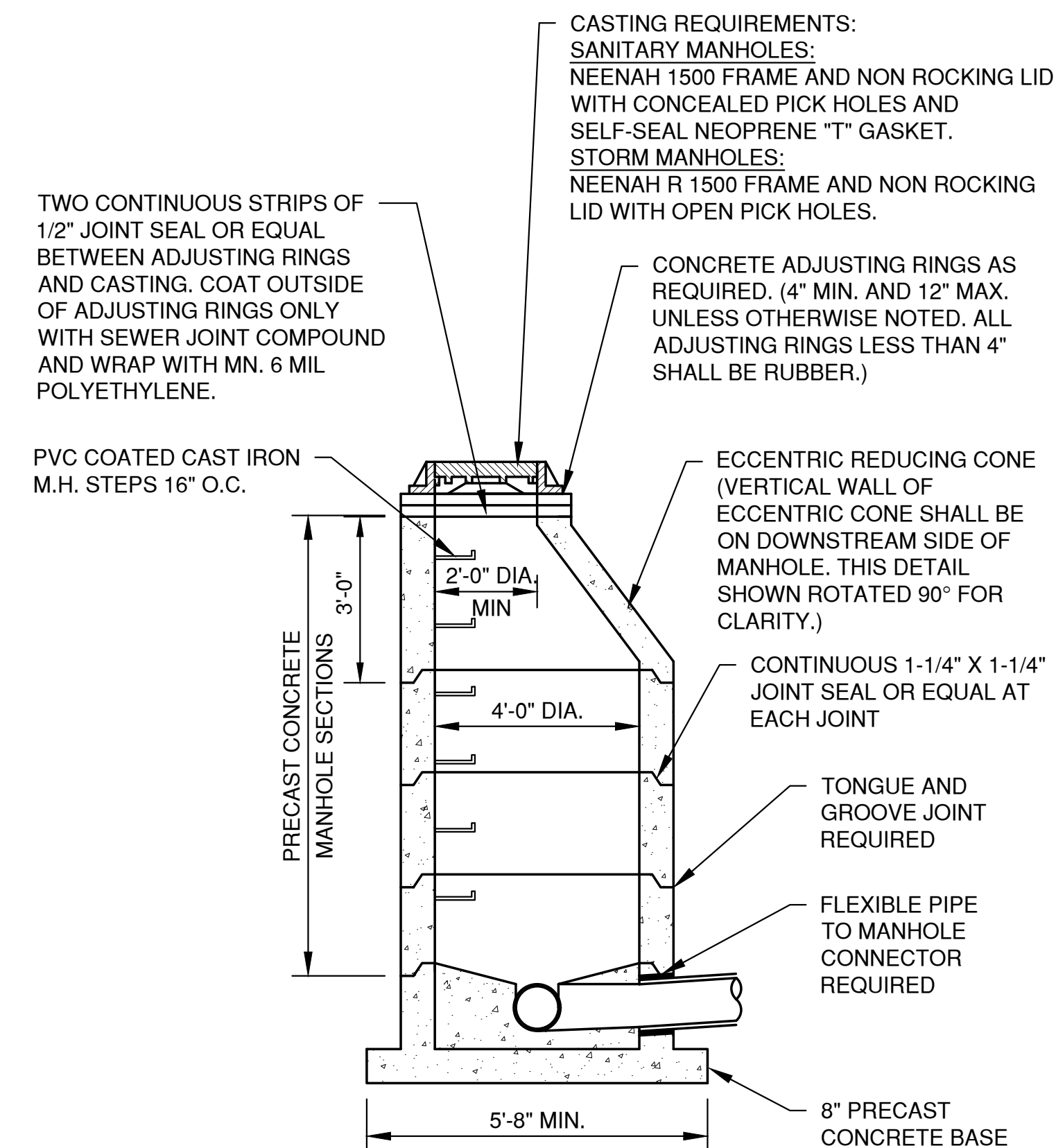
- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE CURB AND GUTTER

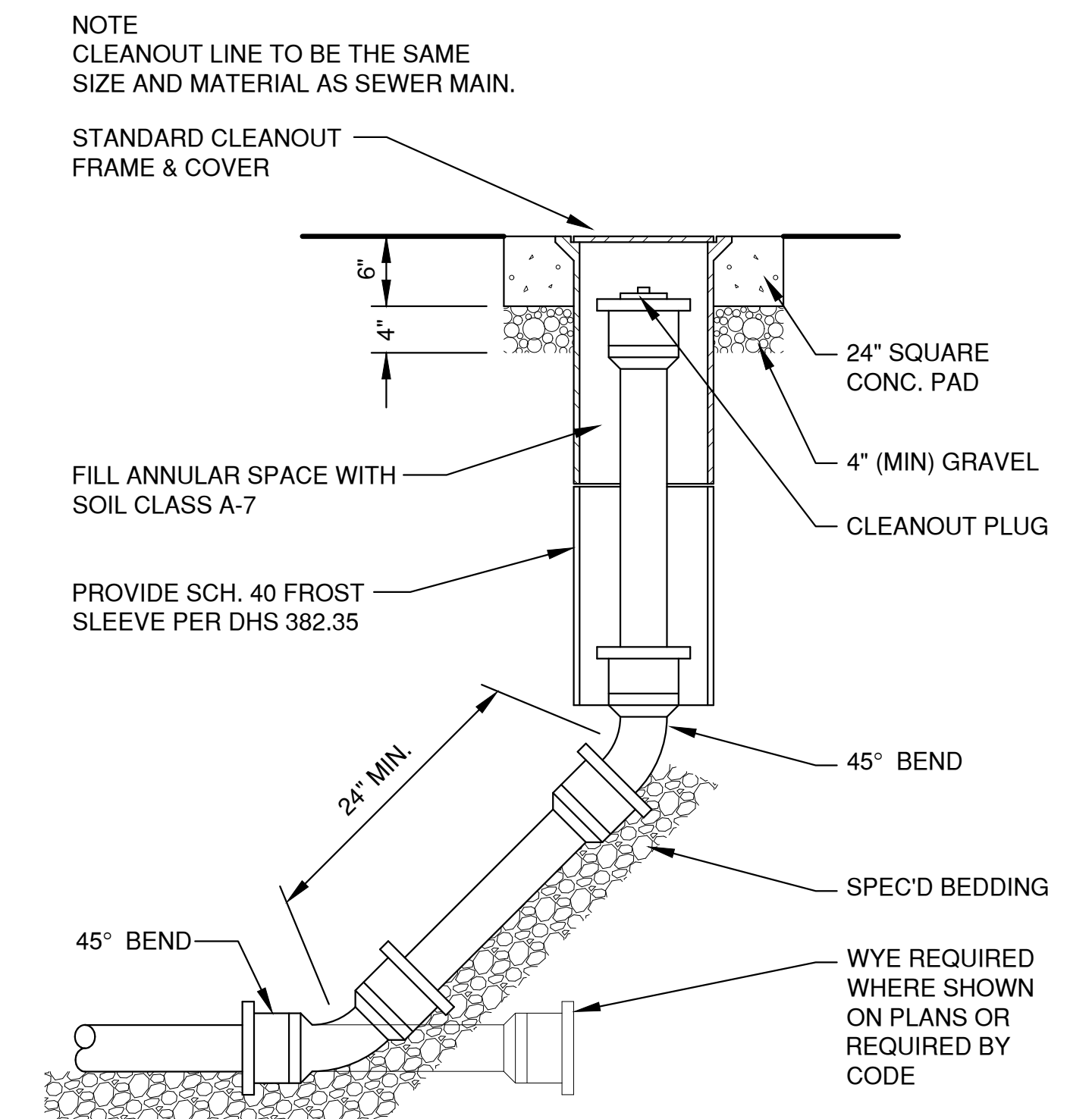


- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

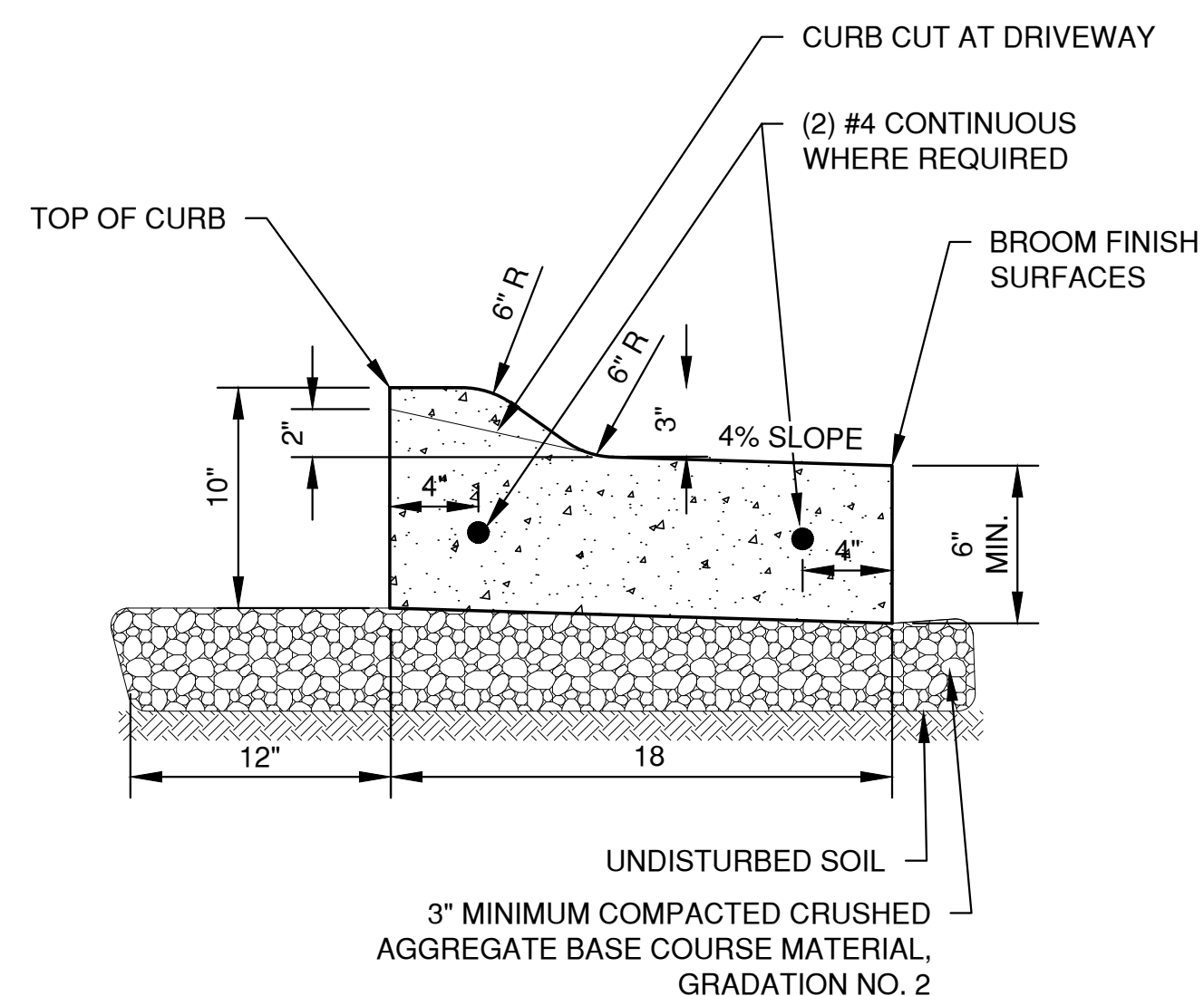
STANDARD CURB AND GUTTER



PRIVATE SANITARY AND STORM STANDARD MANHOLE 8"-24" (INCLUSIVE)

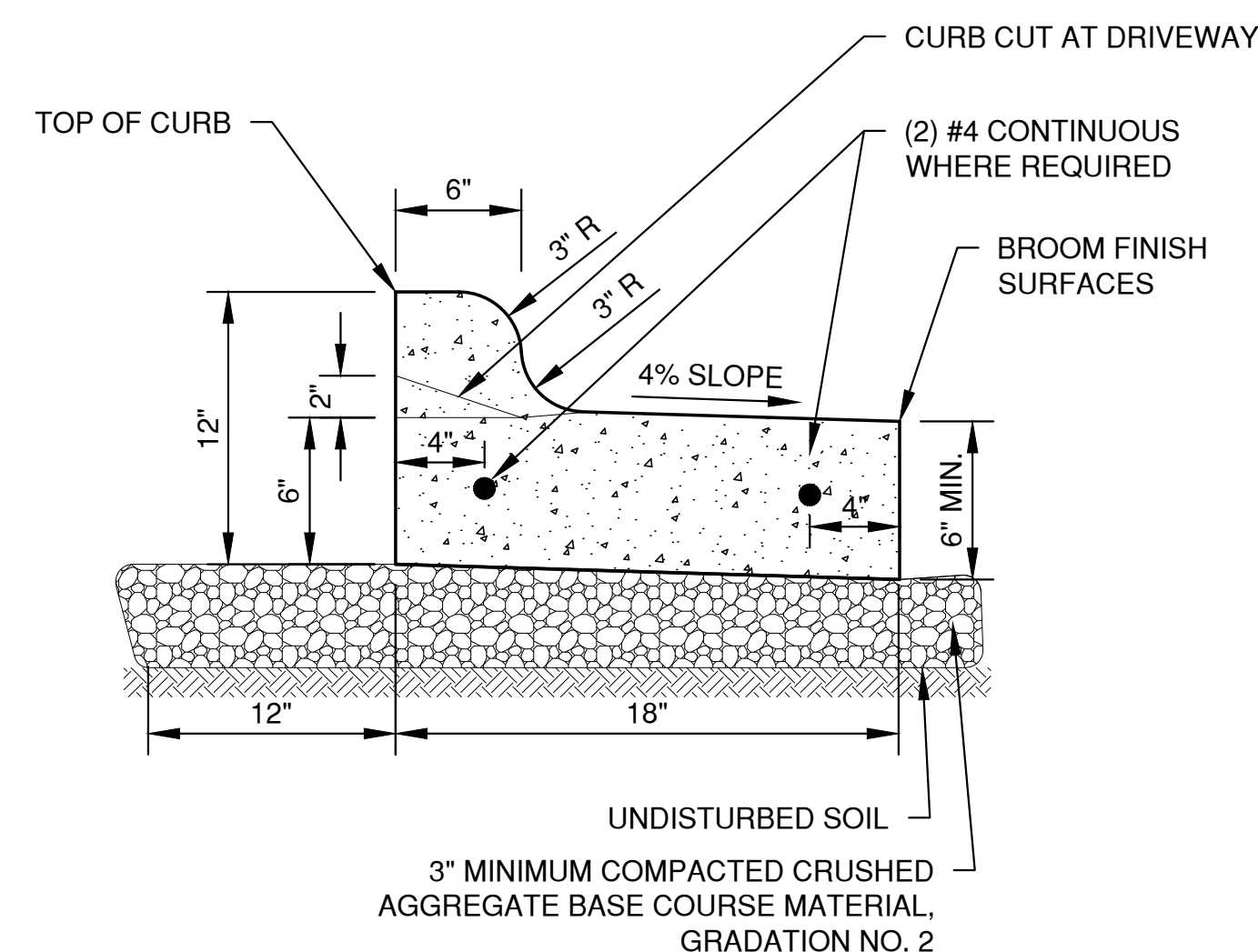


CLEAN-OUT DETAIL (TRAVELED AREAS)



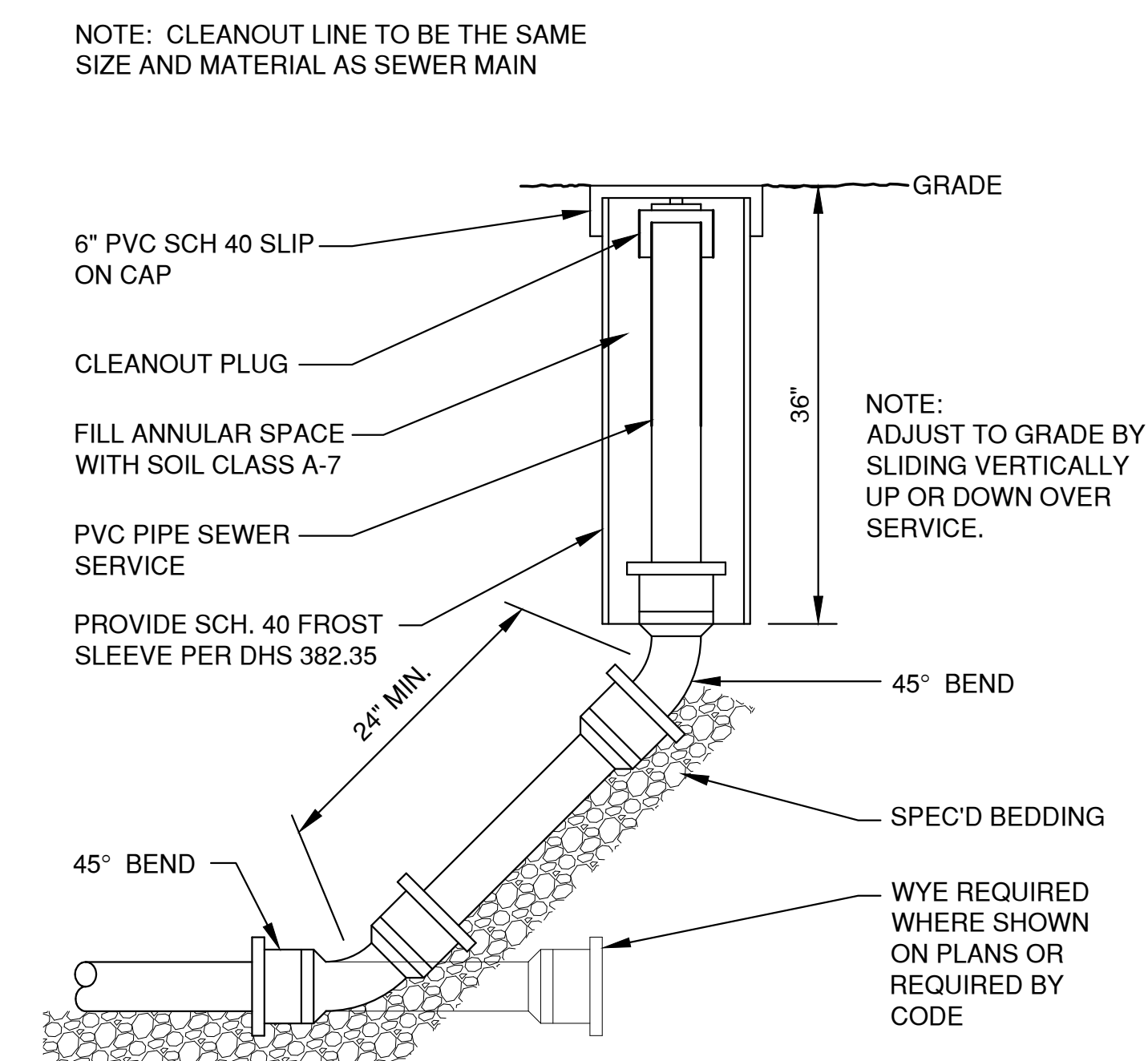
- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE SHEDDING CURB AND GUTTER

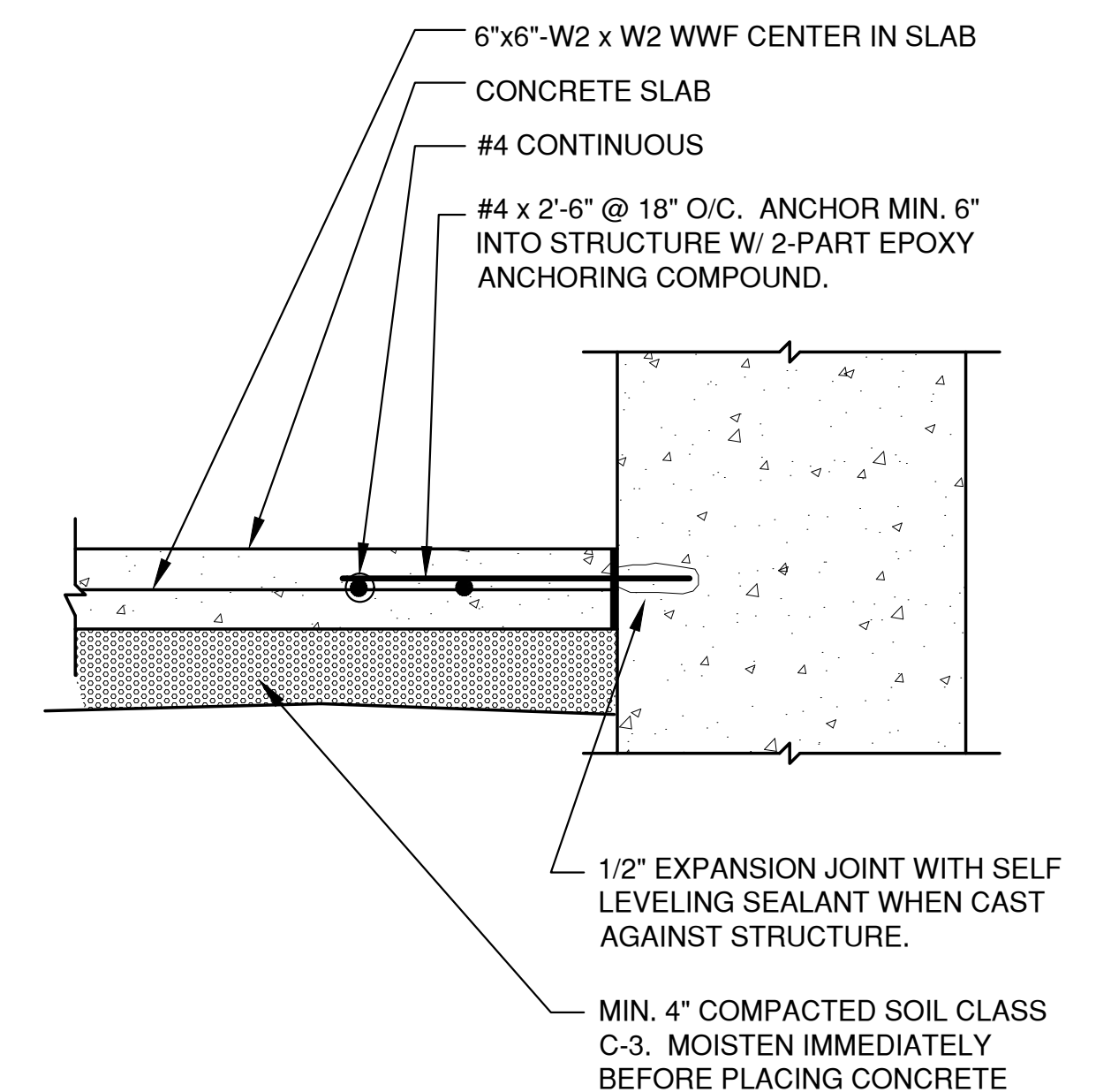


- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.


SHEDDING CURB AND GUTTER

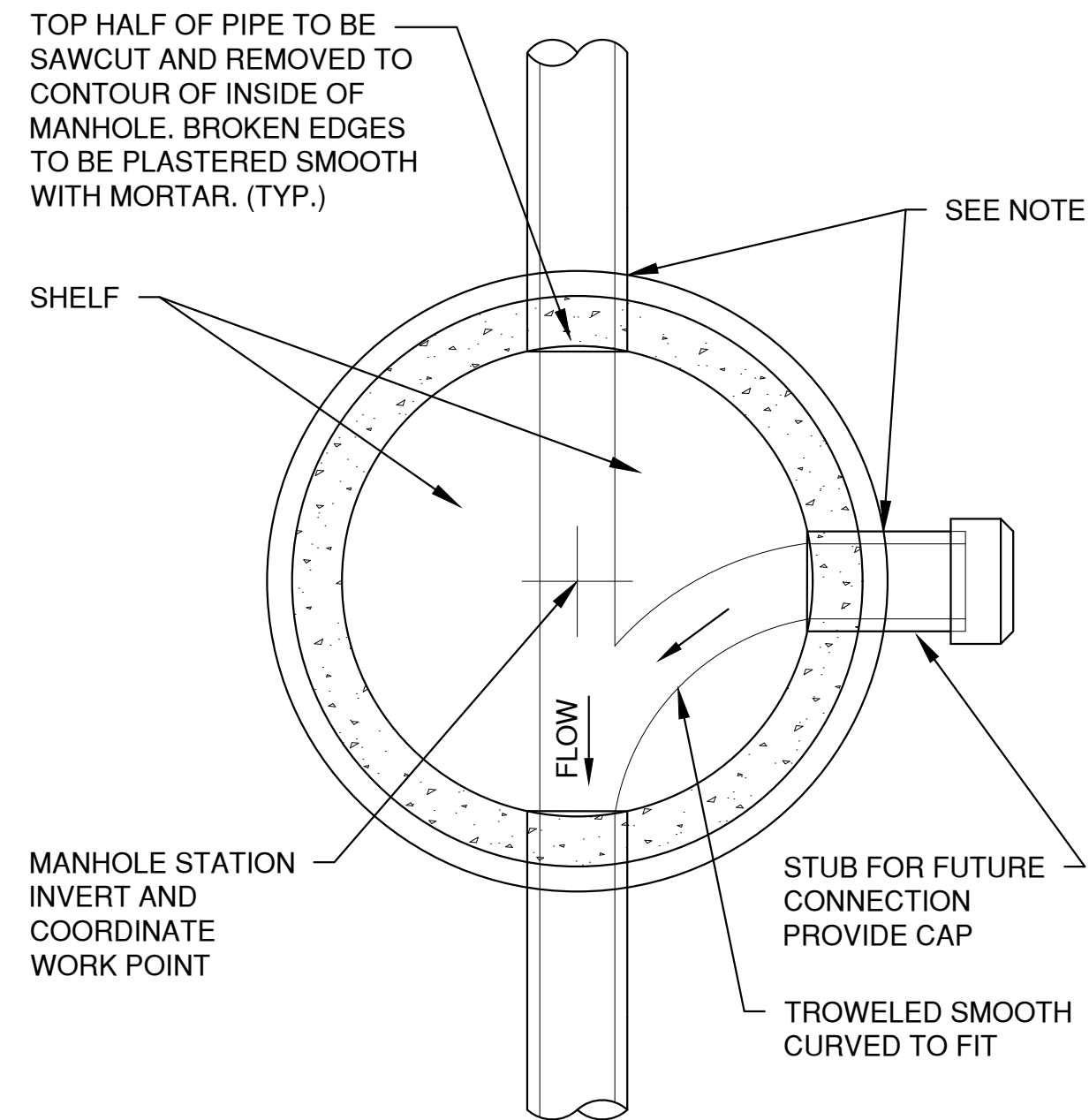


CLEAN-OUT DETAIL
(NON-TRAVELED AREAS)



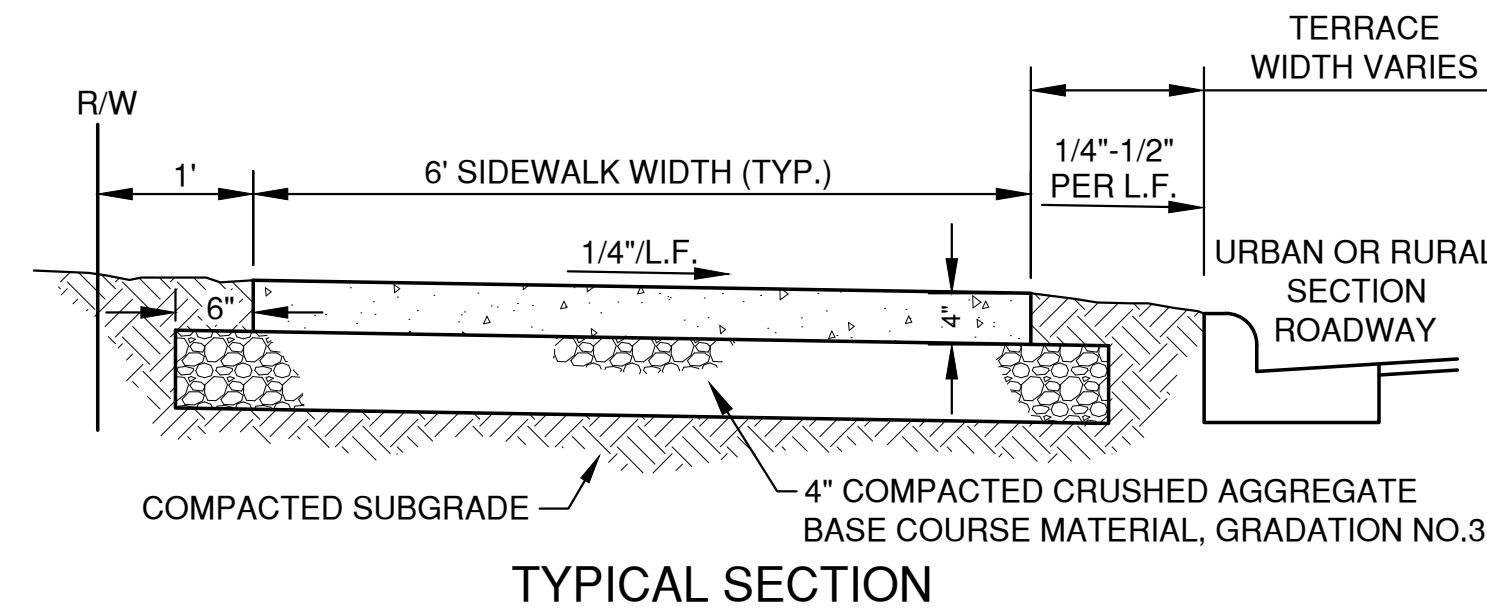
TYPICAL SIDEWALK ADJACENT TO STRUCTURE

| | | | | | | | | | | | | | |
|-----|------|---------|----------|-----|------|---------|----------|----------|----------------------------------------------------------------------------------------------|-----------------------|------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN | 5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN | MISCELLANEOUS DETAILS | DATE |  1250 Centennial Centre Blvd Hobart, WI 920-662-9641 rel@inc.com | SHEET NO. |
| | | | | | | | | CHECKED | | | 03/2024 | | 6 |
| | | | | | | | | AJB | | | FILE | | |
| | | | | | | | | DESIGNED | | | 6258030DET | | |
| | | | | | | | | WEL | | | JOB NO. | | |
| | | | | | | | | | 202501 | | | | |

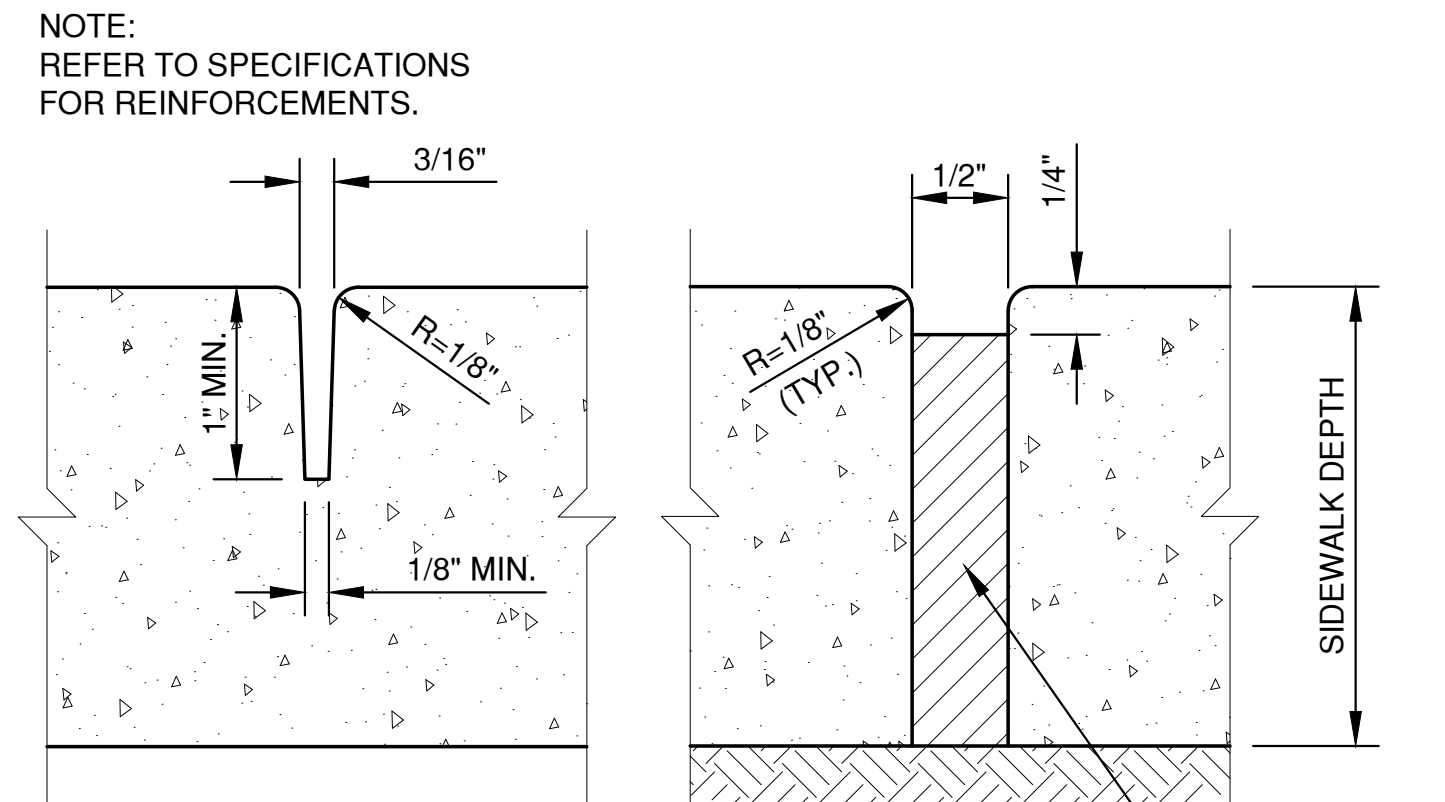


NOTE:
FOR PVC PIPE PROVIDE AN APPROVED FLEXIBLE JOINT.

MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)



TYPICAL SECTION

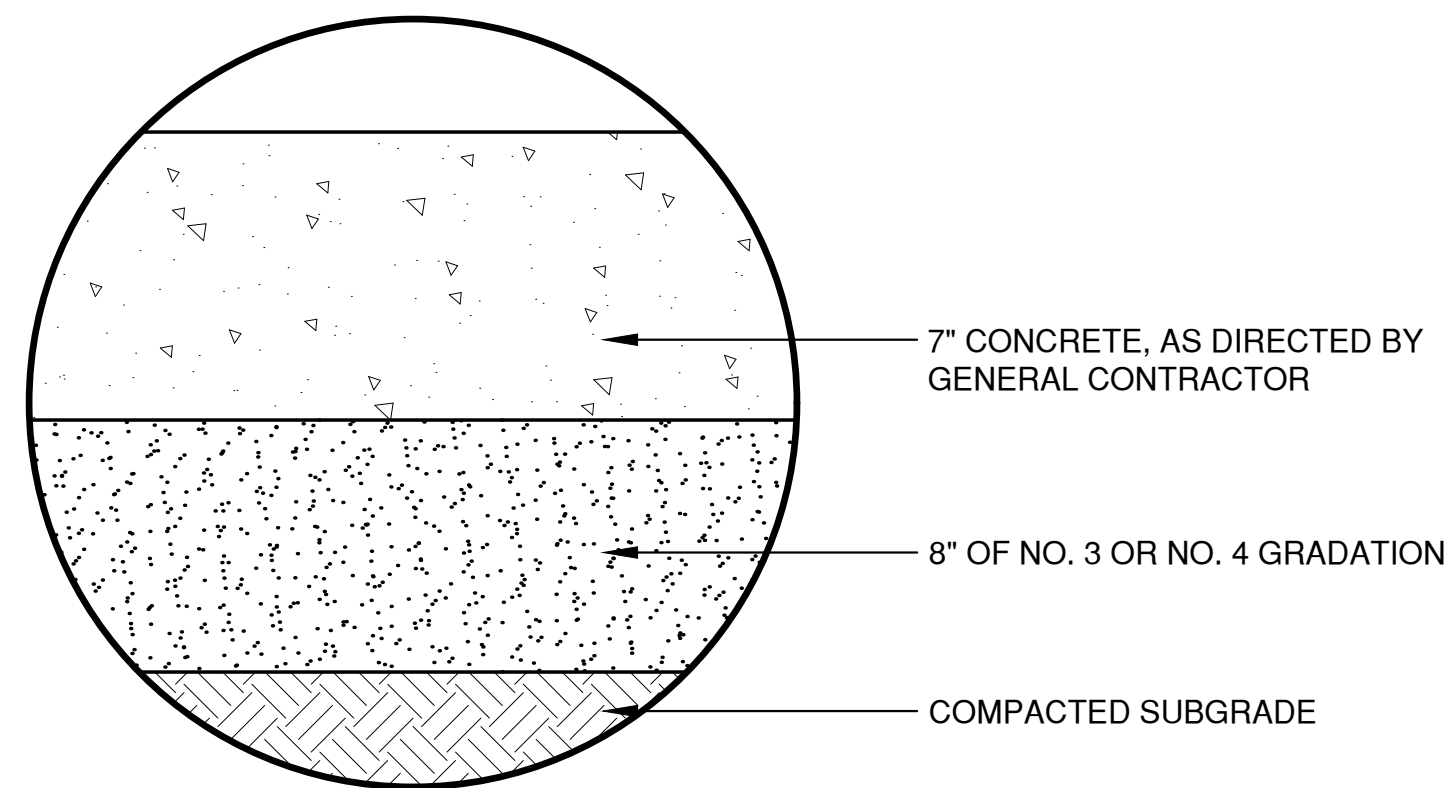


TOOLED CONTRACTION JOINT

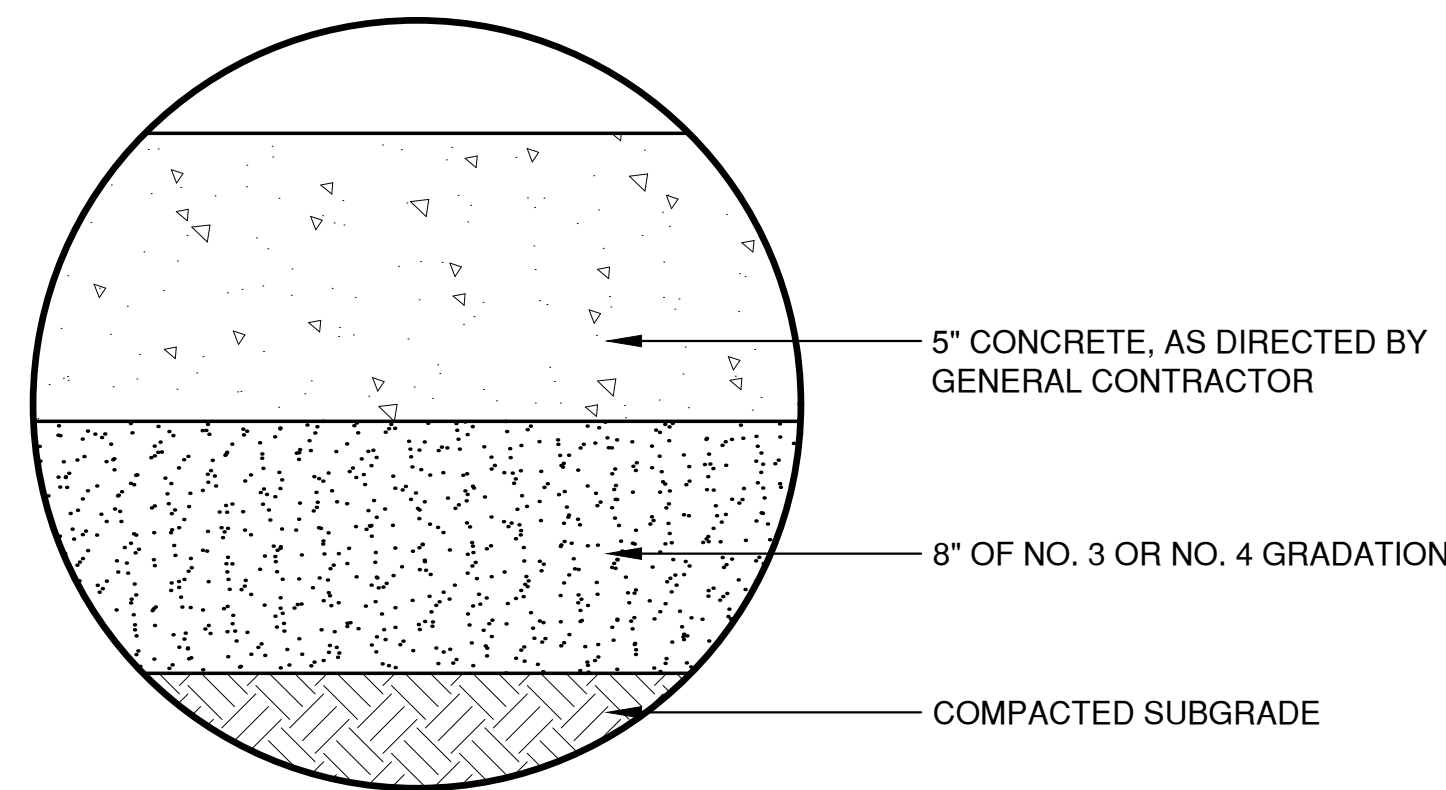
EXPANSION JOINT

| WALK WIDTH | CONTRACTION JOINT SPACING | | EXPANSION JOINT SPACING |
|------------|---------------------------|--------------|-------------------------|
| | TRANSVERSE | LONGITUDINAL | |
| 4' | 4' | NOT REQ'D | 100' MAX. |
| 5' | 5' | NOT REQ'D | 100' MAX. |
| 6' | 6' | NOT REQ'D | 100' MAX. |
| 8' | 4' | 4' | 100' MAX. |
| 10' | 5' | 5' | 100' MAX. |
| 12' | 6' | 6' | 100' MAX. |

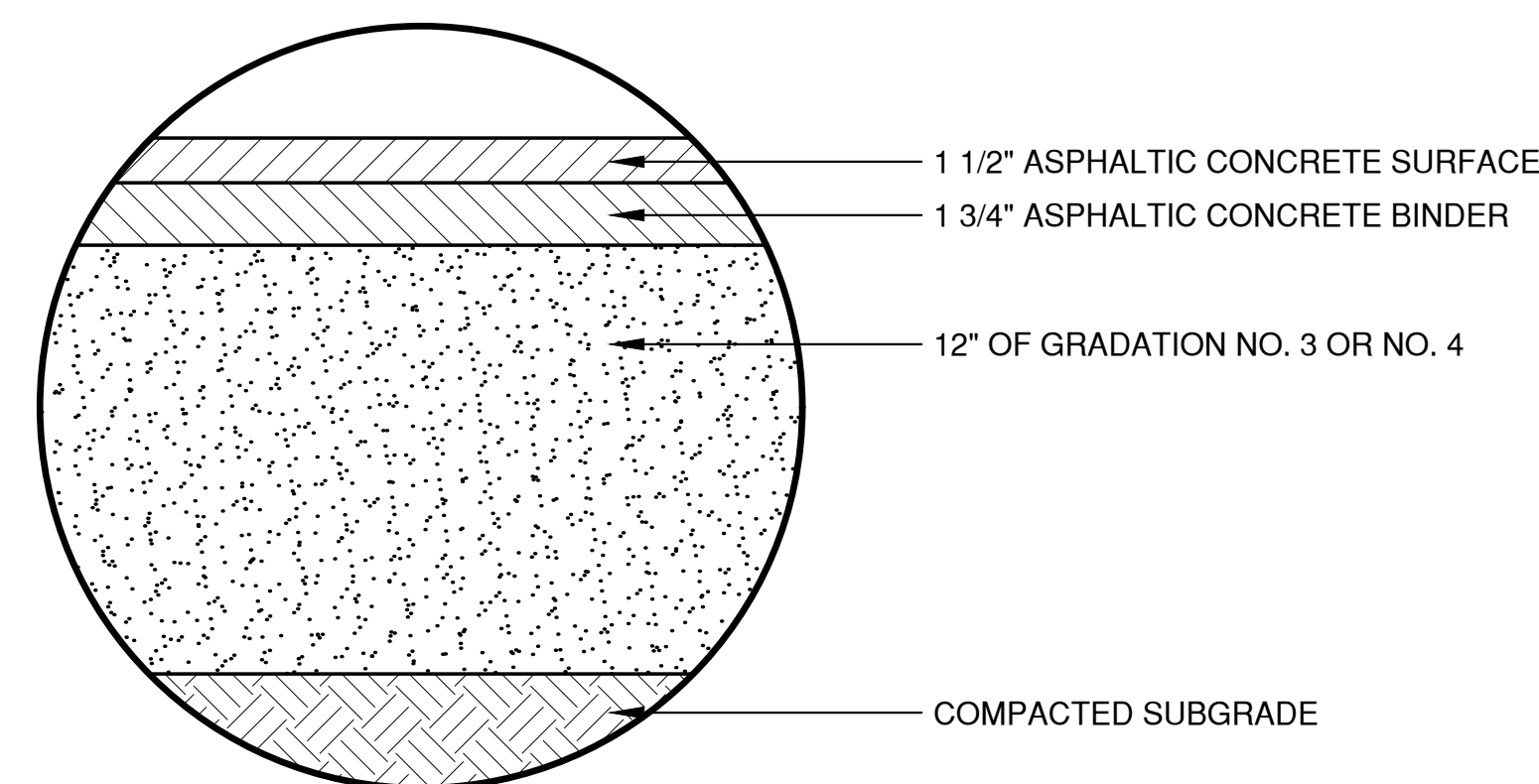
SIDEWALK DETAIL



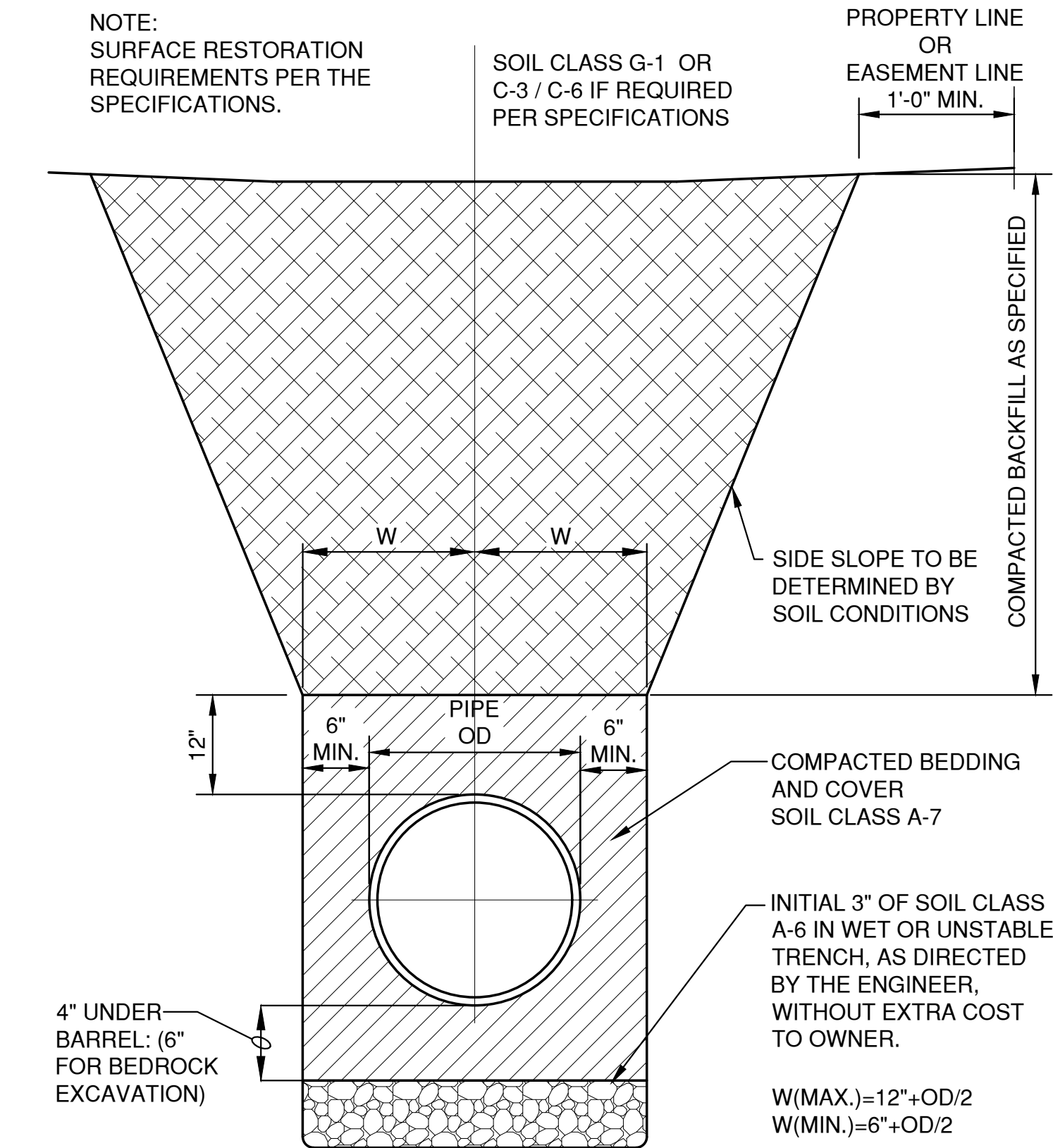
HEAVY DUTY CONCRETE PAVEMENT



STANDARD CONCRETE PAVEMENT

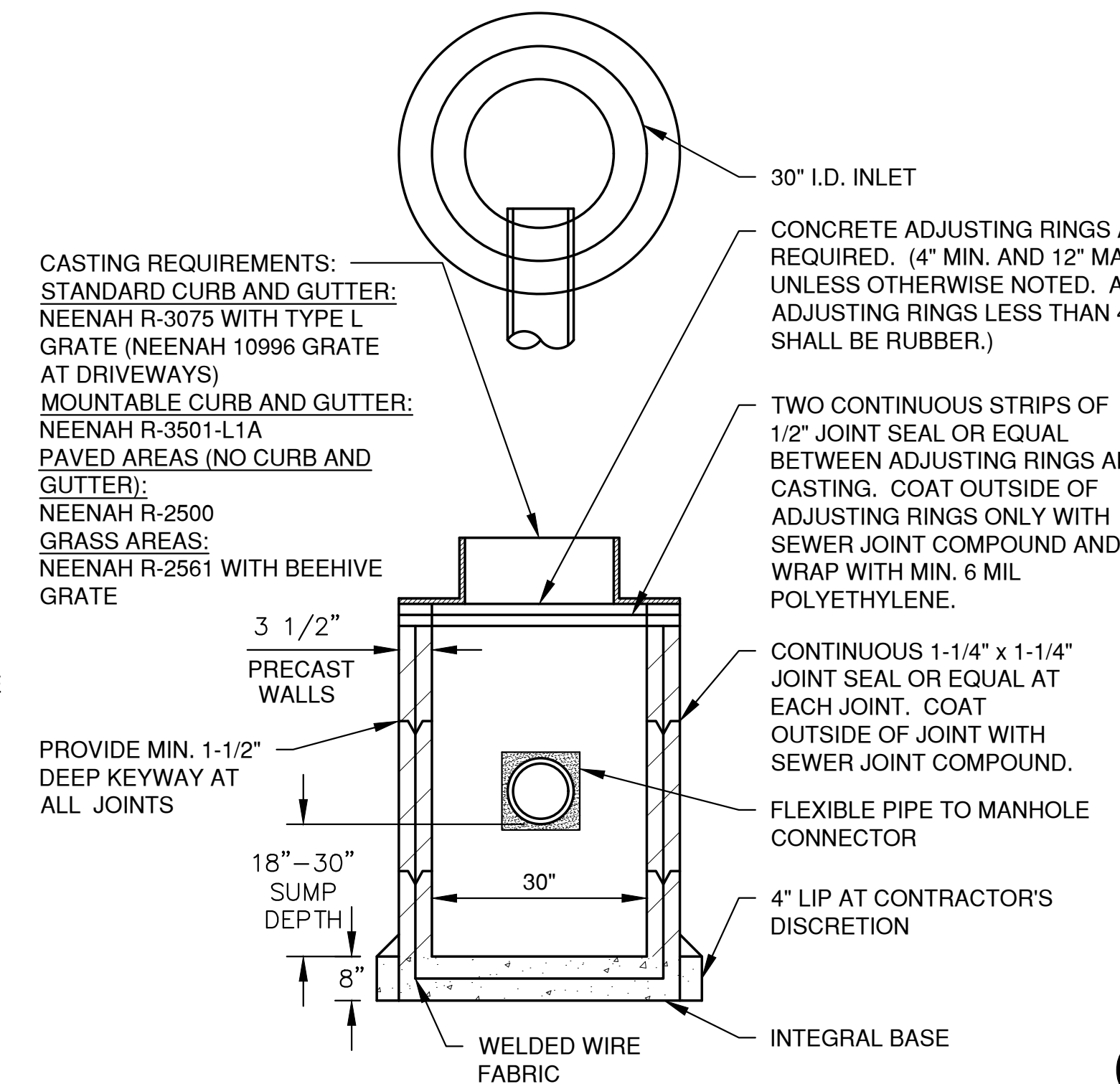
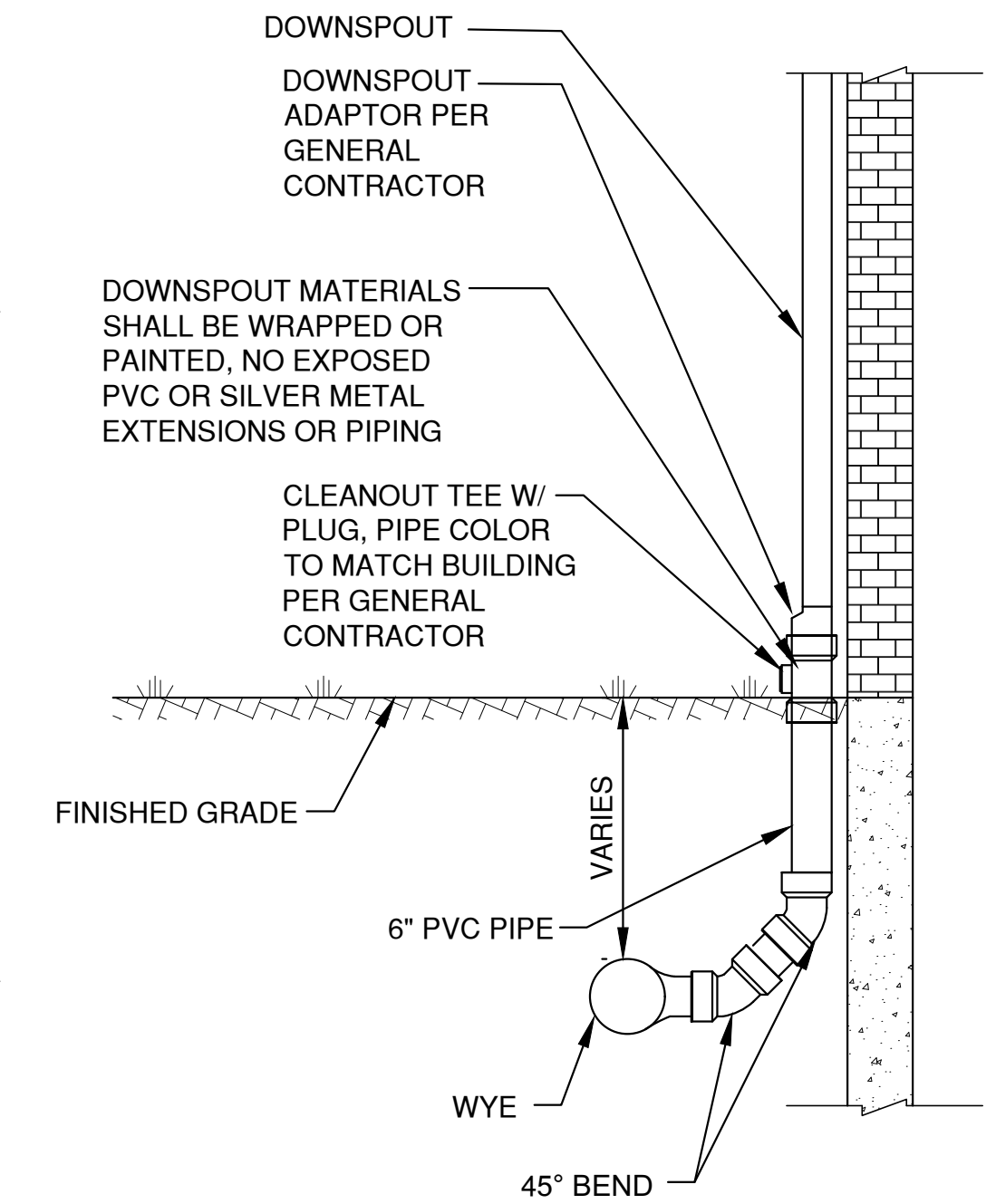


ASPHALT PAVEMENT



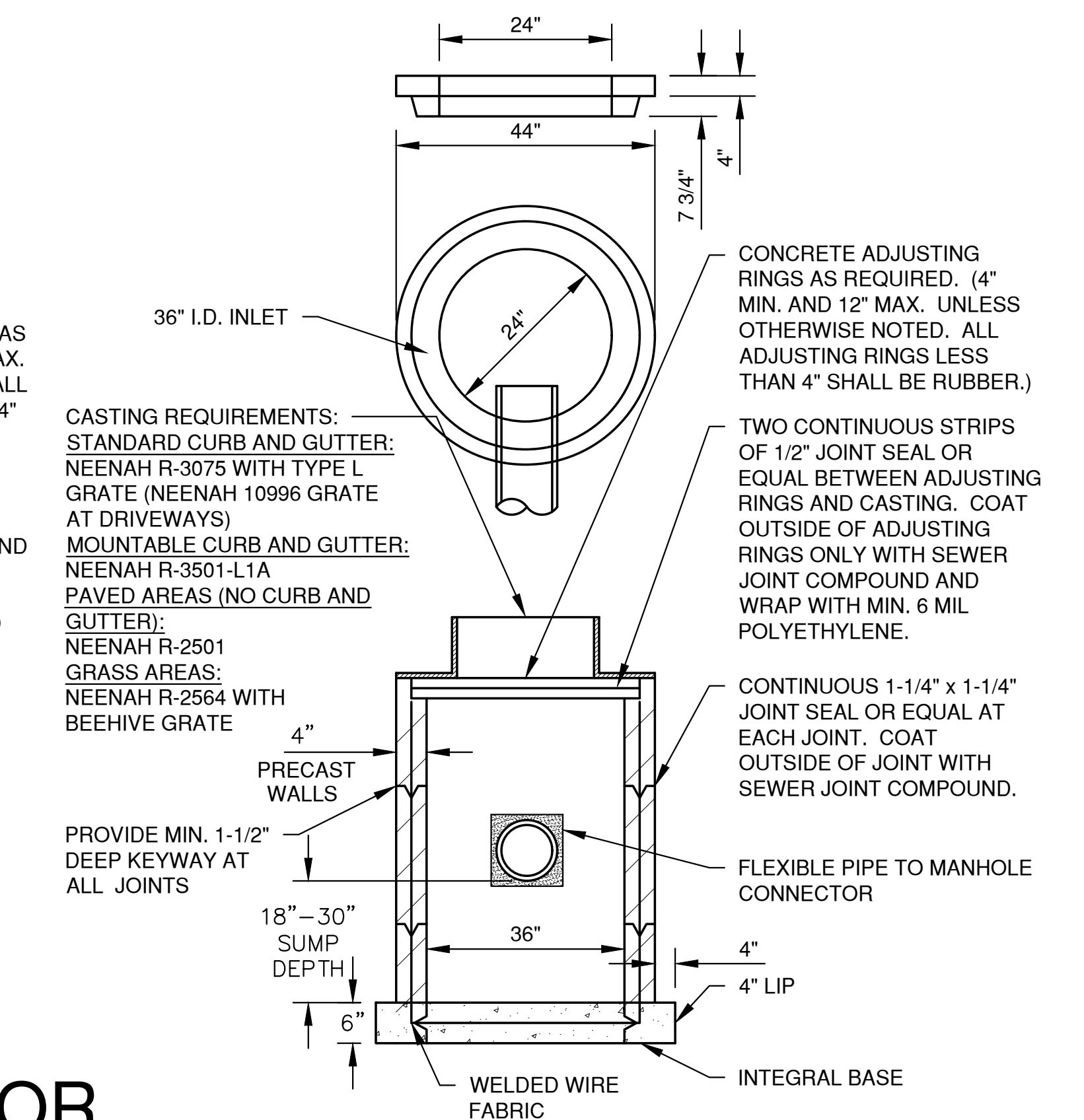
**HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN
BEDDING AND TRENCH DETAIL**

DOWN SPOUT COLLECTOR DETAIL



ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'A' STORM INLET



ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'A' STORM INLET

File: R:\2024\62560300\467\62560300T.dwg
Plot Date: Apr 24, 2024 7:28am
LAYOUT: DETAILS (2)

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
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| | | | | | | | | AJB |
| | | | | | | | | DESIGNED |
| | | | | | | | | MRL |

5221 EXECUTIVE DRIVE
FOR CLUB CAR WASH
VILLAGE OF SUSSEX
WAUKESHA COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

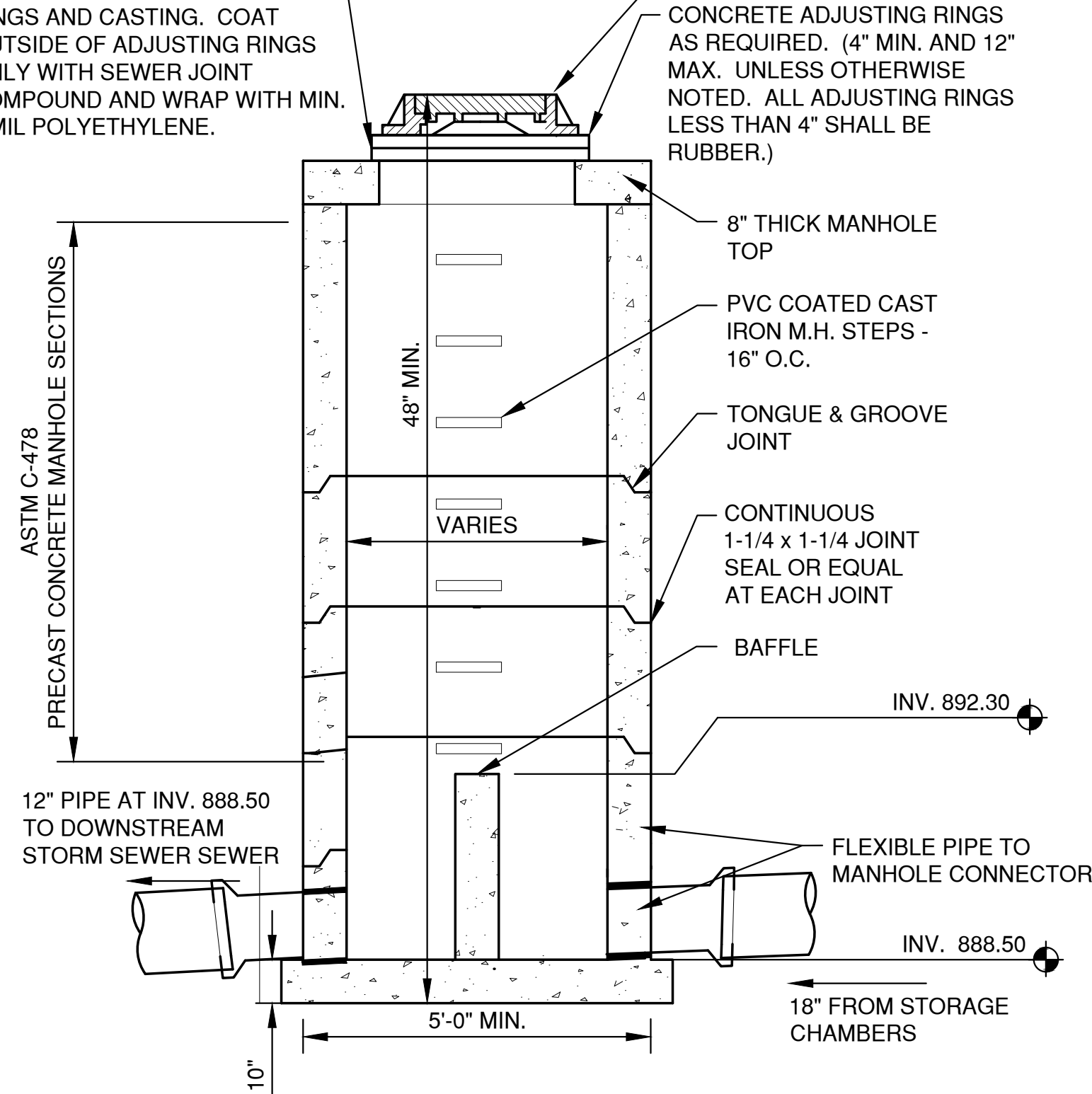
| | |
|---------|-------------|
| DATE | 03/20/24 |
| FILE | 62560300DET |
| JOB NO. | 62560300 |

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

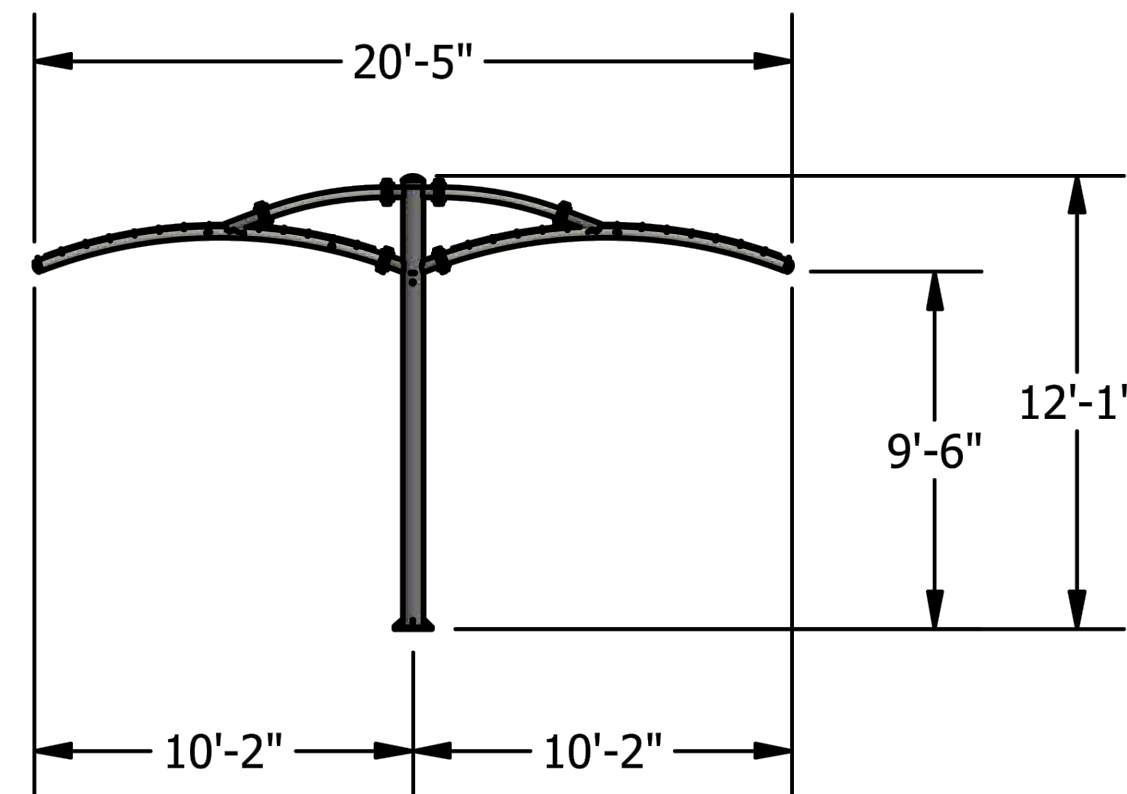
3/4" TO 1" BEAD OF ADJUSTING RING AND CASTING SEALANT OR EQUAL BETWEEN ADJUSTING RINGS AND CASTING. COAT OUTSIDE OF ADJUSTING RINGS ONLY WITH SEWER JOINT COMPOUND AND WRAP WITH MIN. 6 MIL POLYETHYLENE.

CONCRETE ADJUSTING RINGS AS REQUIRED. (4" MIN. AND 12" MAX. UNLESS OTHERWISE NOTED. ALL ADJUSTING RINGS LESS THAN 4" SHALL BE RUBBER.)

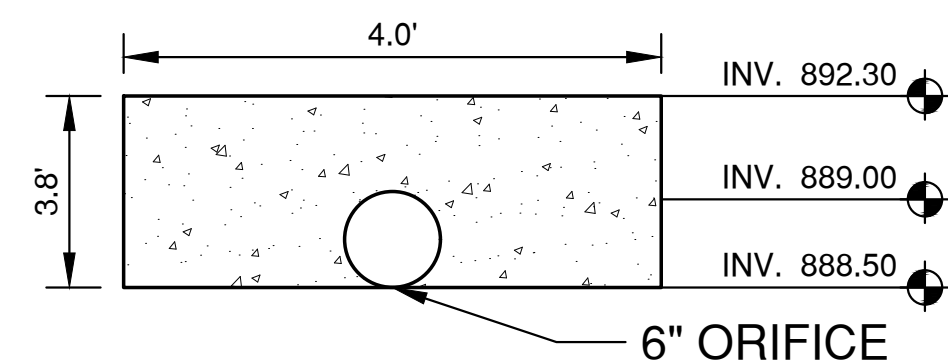
CASTING REQUIREMENTS:
STANDARD CURB AND GUTTER:
NEENAH R-3075 WITH TYPE L GRATE (NEENAH 10996 GRATE AT DRIVEWAYS)
MOUNTABLE CURB AND GUTTER:
NEENAH R-3501-L1A
PAVED AREAS (NO CURB AND GUTTER):
NEENAH R-2500
GRASS AREAS:
NEENAH R-2561 WITH BEEHIVE GRATE



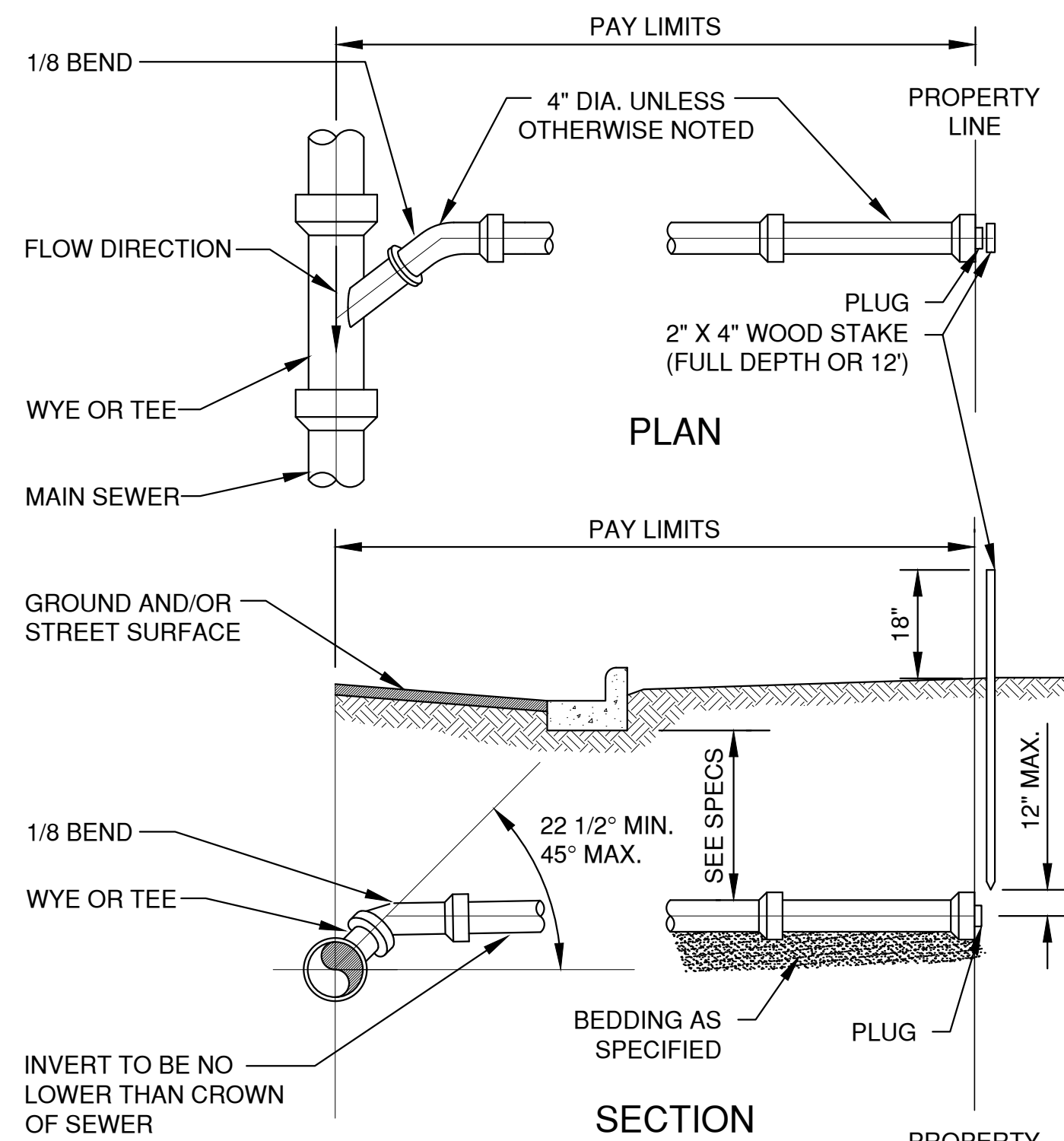
FLOW CONTROL MH #11



PAY STATION CANOPY

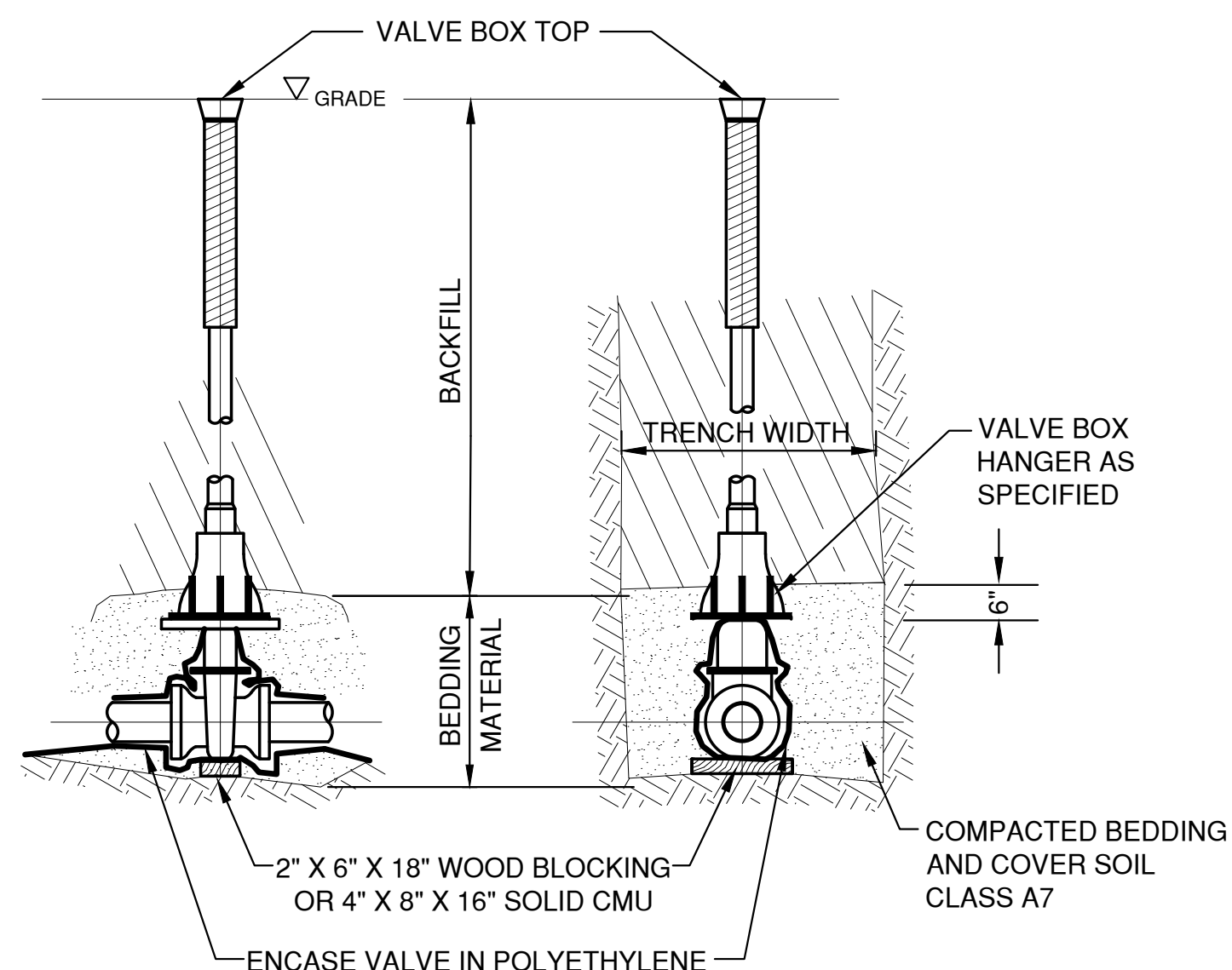


FLOW CONTROL MH BAFFLE



- NOTES:
1. SADDLE CONNECTIONS NOT PERMITTED.
2. BACKFILL TO CONFORM TO MAIN SEWER.
3. MINIMUM SLOPE: 1/8 INCH PER FOOT.
4. MAXIMUM SLOPE: 1/2 INCH PER FOOT.

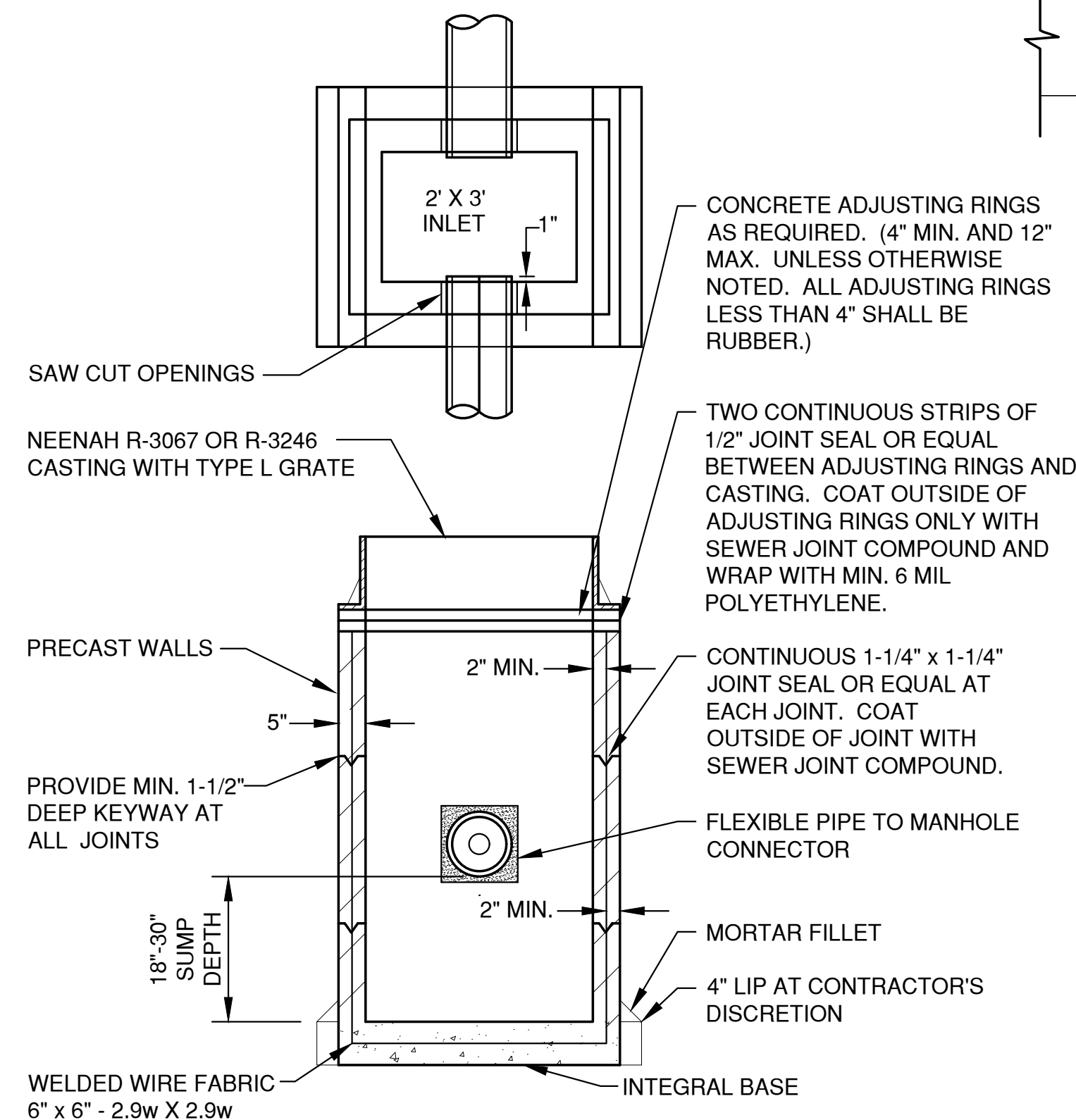
STANDARD SERVICE LATERAL



SIDE VIEW

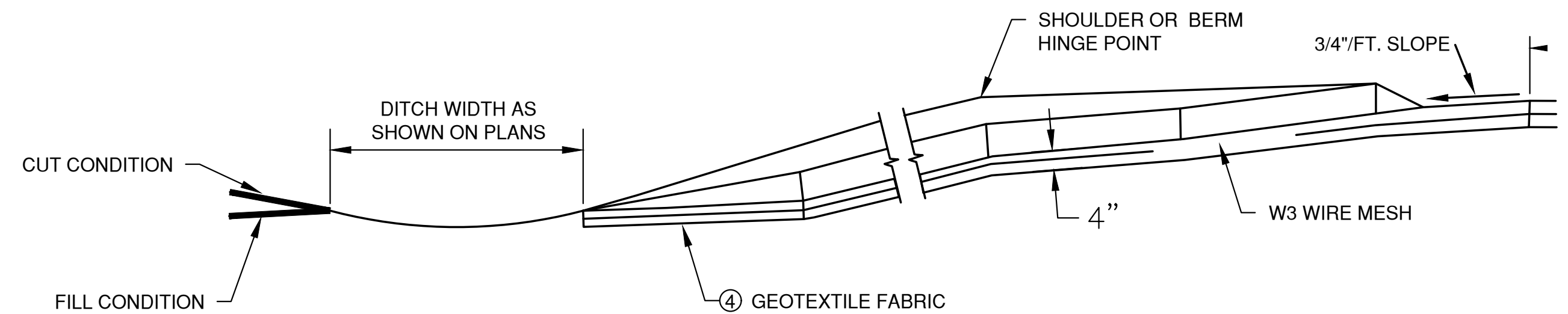
FRONT VIEW

VALVE BOX SETTING

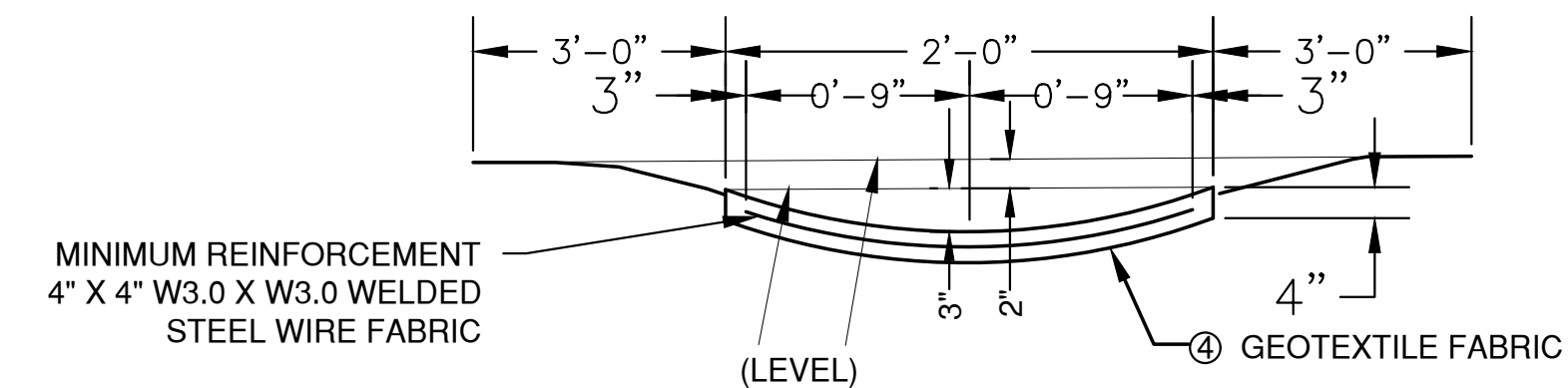


ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

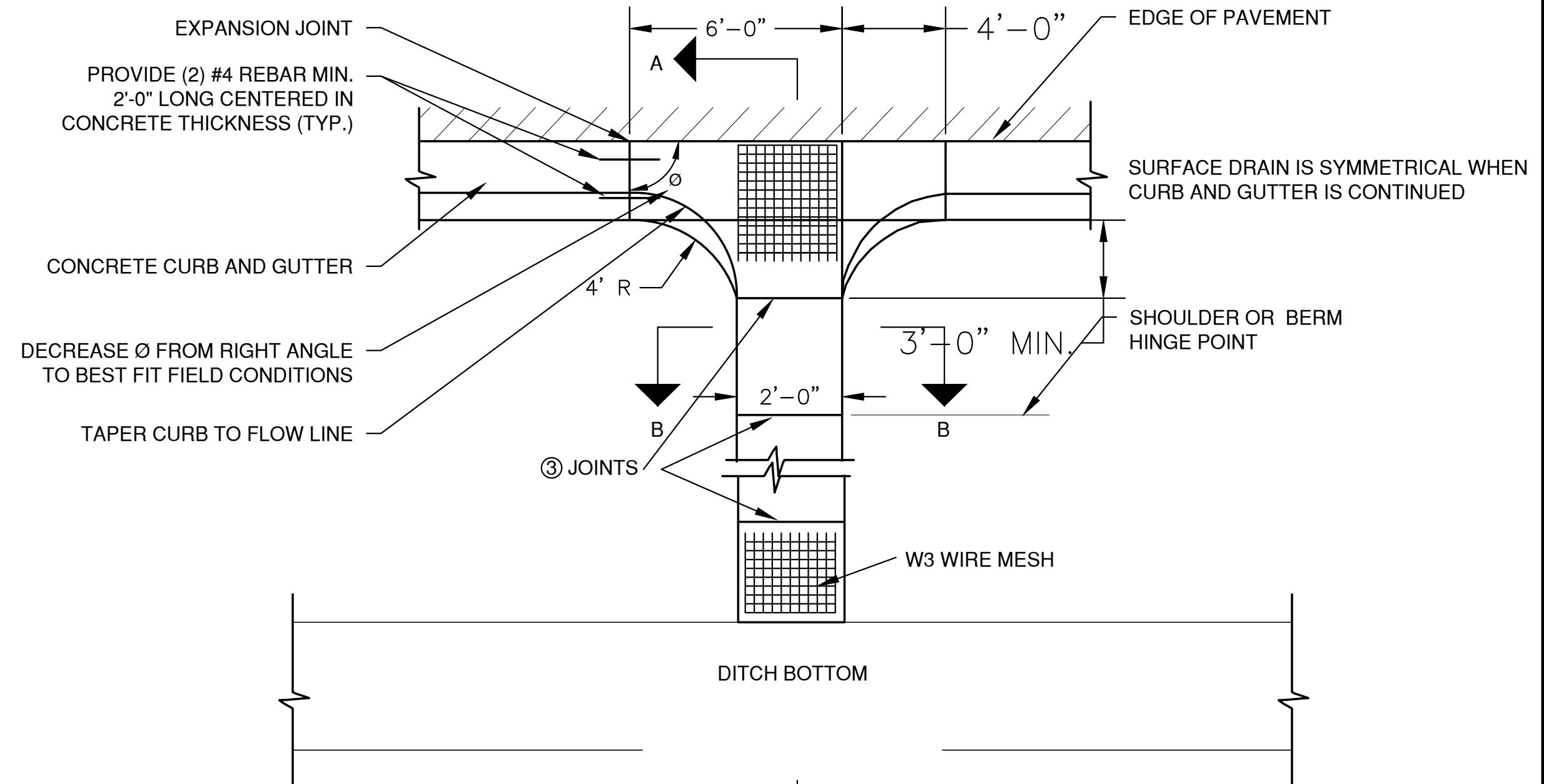
TYPE 'B' STORM INLET



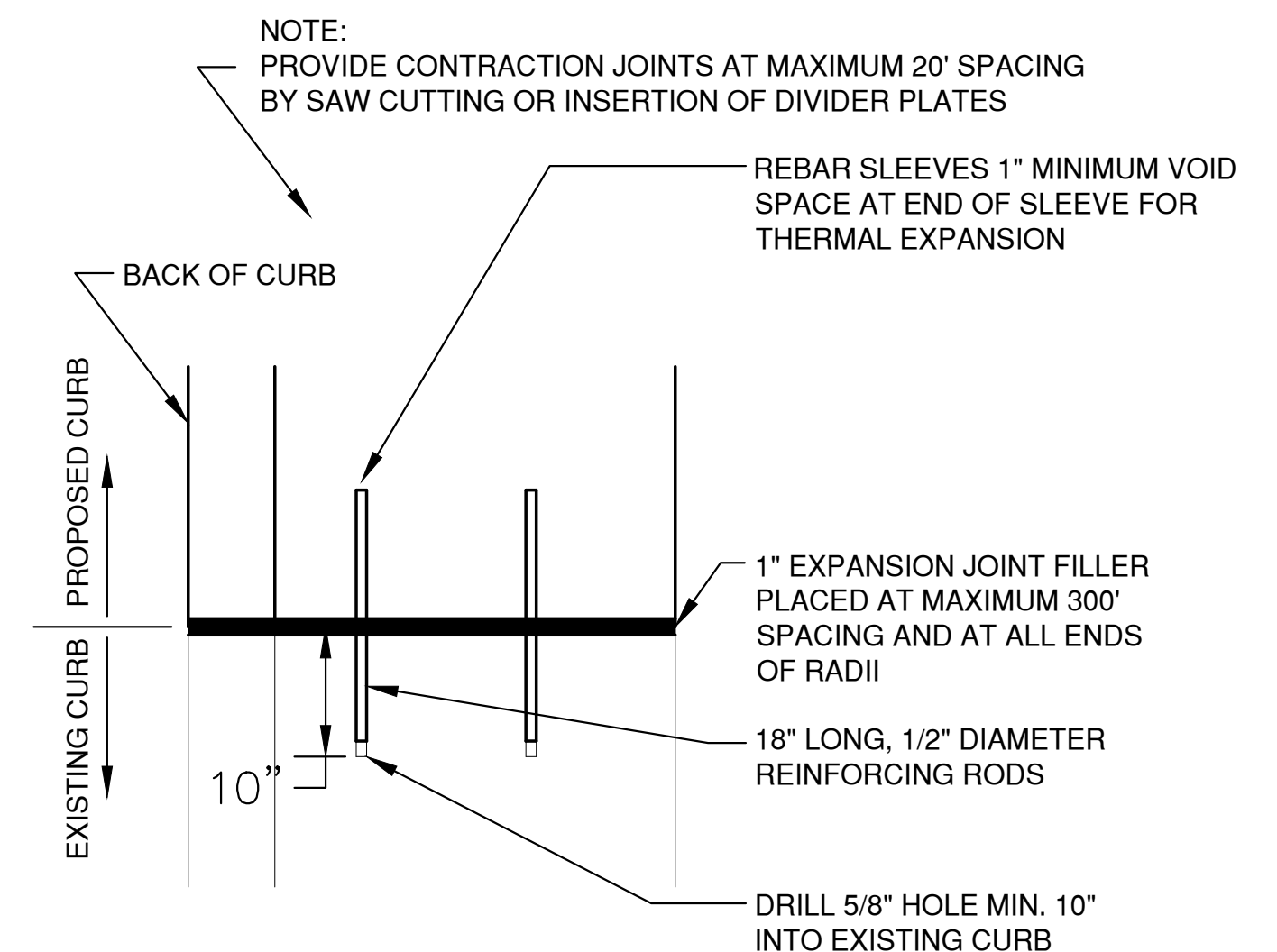
SECTION A-A



SECTION B-B



CONCRETE SURFACE DRAIN



CURB TIE IN DETAIL

File: R:\2024\62580\62580300.dwg (62580300.dwg)
Plot Date: Apr 24, 2024 7:25am
LAYOUT: DETAILS (3)

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN |
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| | | | | | | | | DESIGNED |
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5221 EXECUTIVE DRIVE
FOR CLUB CAR WASH
VILLAGE OF SUSSEX
WAUKESHA COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

DATE
03/2024
FILE
62580300DET
JOB NO.
62580300

REL Robert E. Lee
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.
8

File: C:\Users\Ariana\OneDrive\Documents\Projects\2024\18444\6258030EC.dwg
Plot Date: Mar 27, 2024 9:47am
LAYOUT: 1. INLET PROTECTION

INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNr TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**INSTALLATION NOTES:
TYPE "B" AND "C"**

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

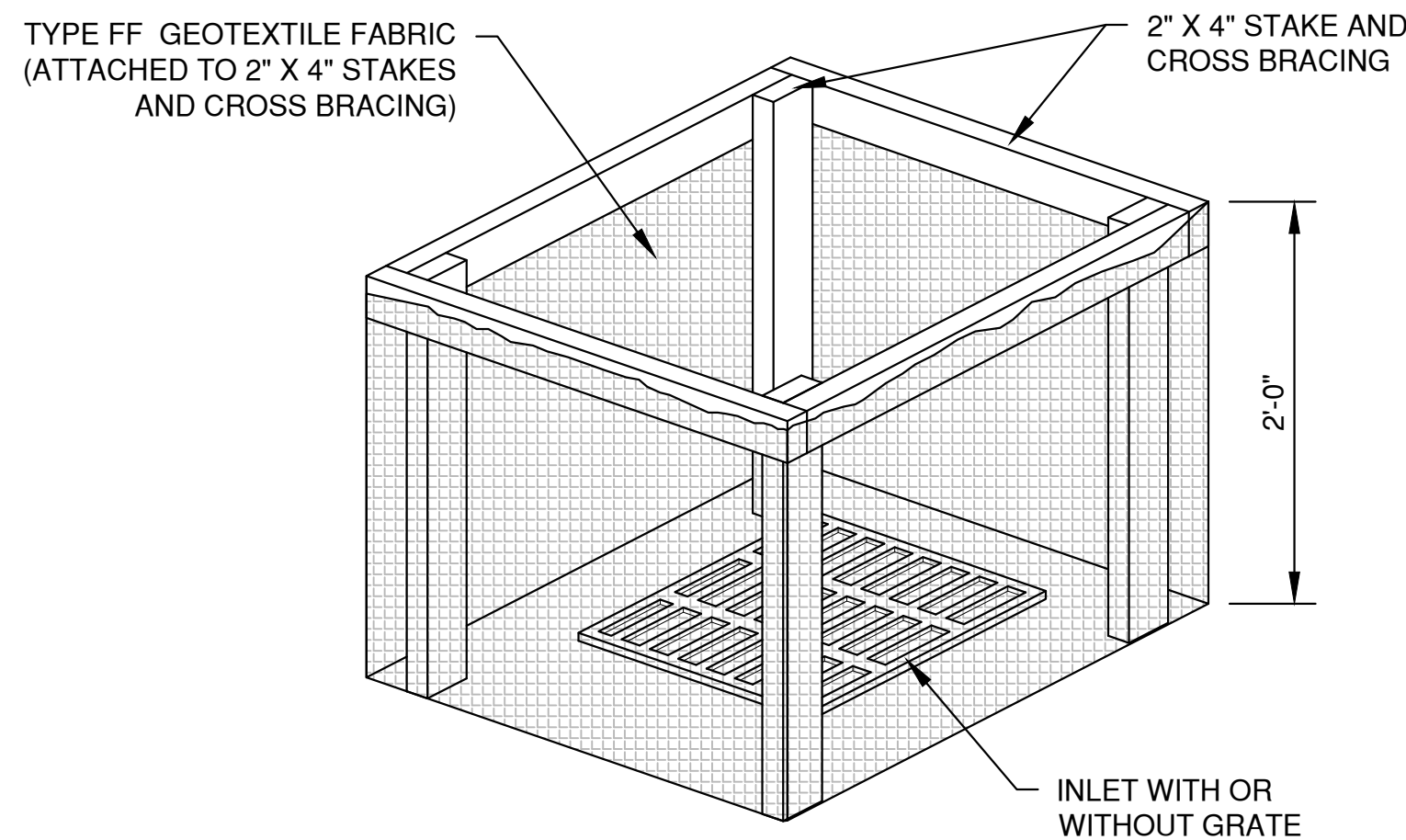
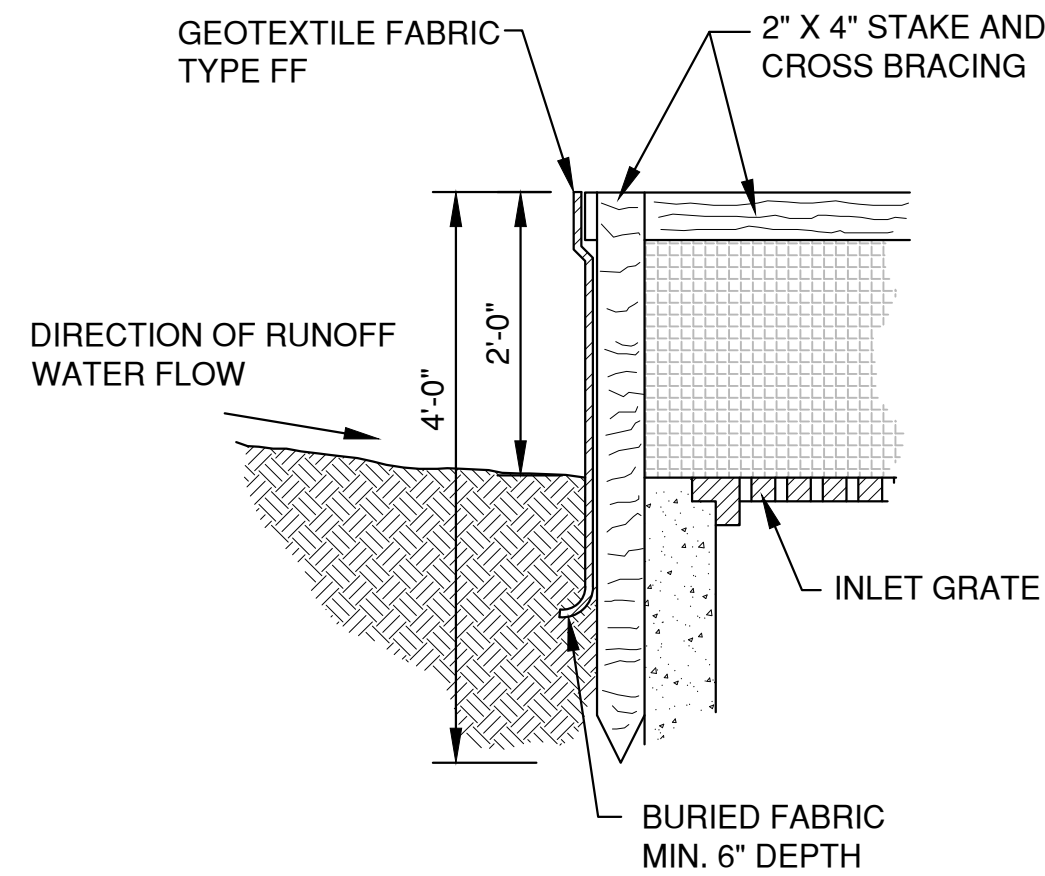
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

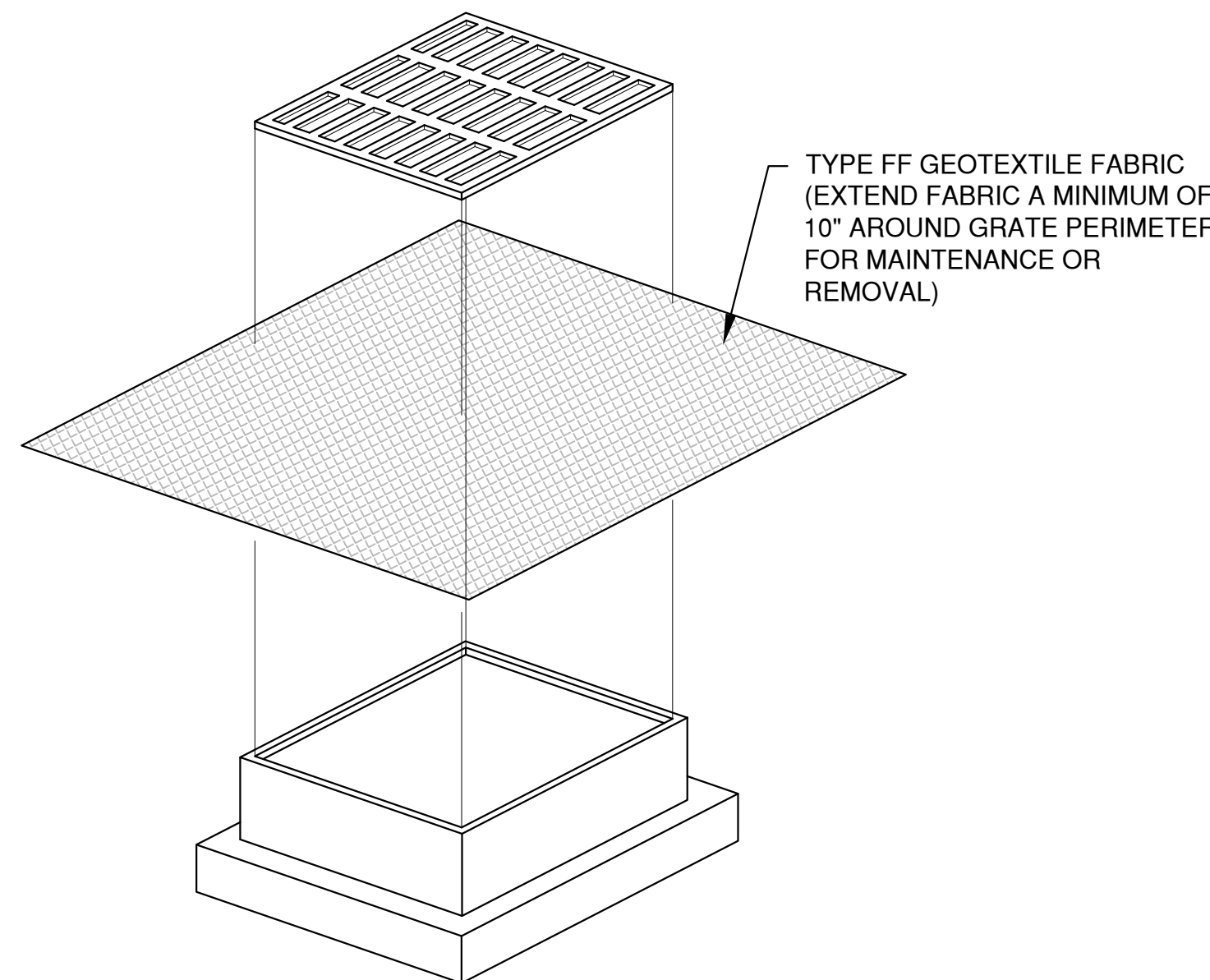
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

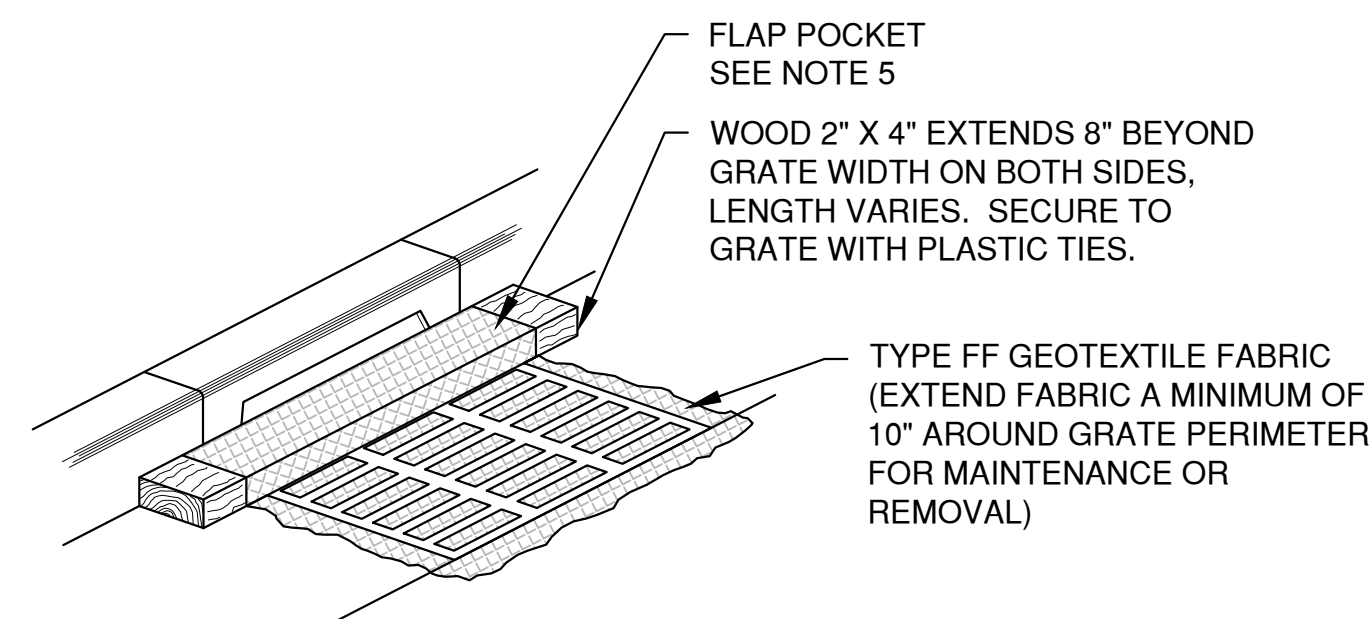
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



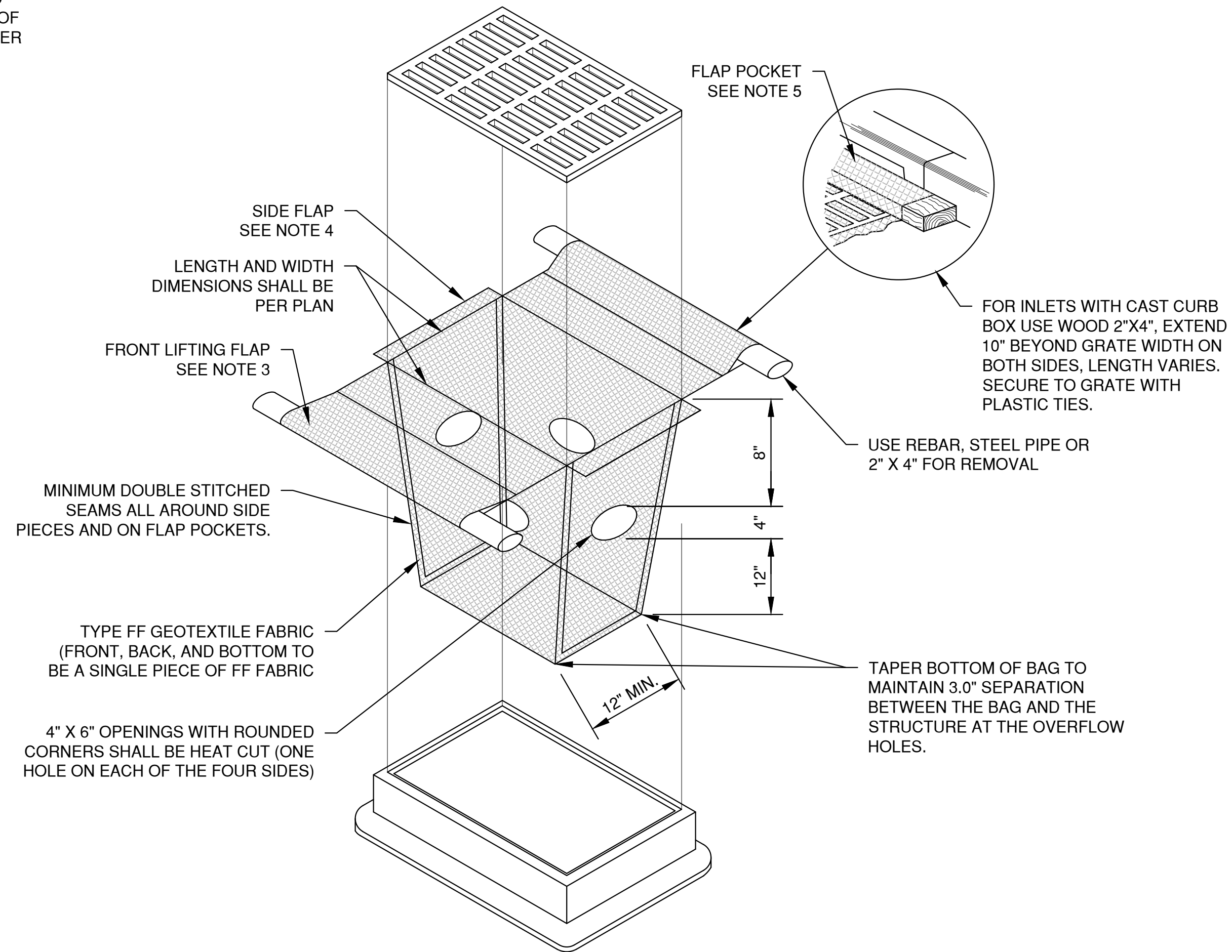
INLET PROTECTION, TYPE A



**INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)**
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



**INLET PROTECTION, TYPE C
(WITH CURB BOX)**



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.




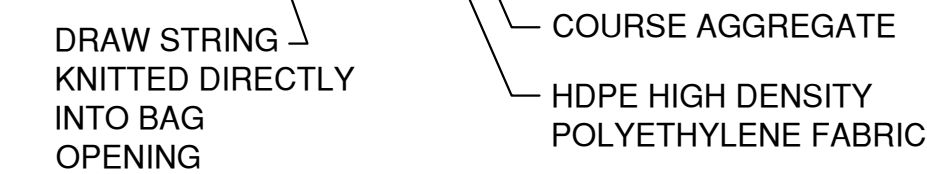
| EXPOSED SOIL TEXTURE | EXPOSED SOIL PARTICLE DIAMETER (Average) (mm) | FILTER FABRIC TYPE* | RECOMMENDED INLET PROTECTION DEVICE TYPE |
|----------------------|-----------------------------------------------|---------------------|------------------------------------------|
| COARSE (SAND) | ≥ 0.0625 | FF | D, D-M |
| MEDIUM (SILT LOAM) | 0.0624 - 0.005 | DF | D, D-M |
| FINE (CLAY) | ≤ 0.004 | R | D-M |
| | | HR | D-HR |

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



| | | | | | | | | | | | | | |
|-----|------|---------|----------|-----|------|---------|----------|----------|----------------------------------------------------------------------------------------------|---------------------------------------------------------------|-----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN | 5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN | EROSION CONTROL INLET PROTECTION TYPE D-HR AND TYPE D-M | DATE |  1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com | SHEET NO. |
| | | | | | | | | CHECKED | | | 03/2024 | | 10 |
| | | | | | | | | AJB | | | FILE | | |
| | | | | | | | | DESIGNED | | | 6258030EC | | |
| | | | | | | | | WET | | | JOB NO. | | |
| | | | | | | | | | | | | | |
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FILTER BAG DETAIL

NOTES:

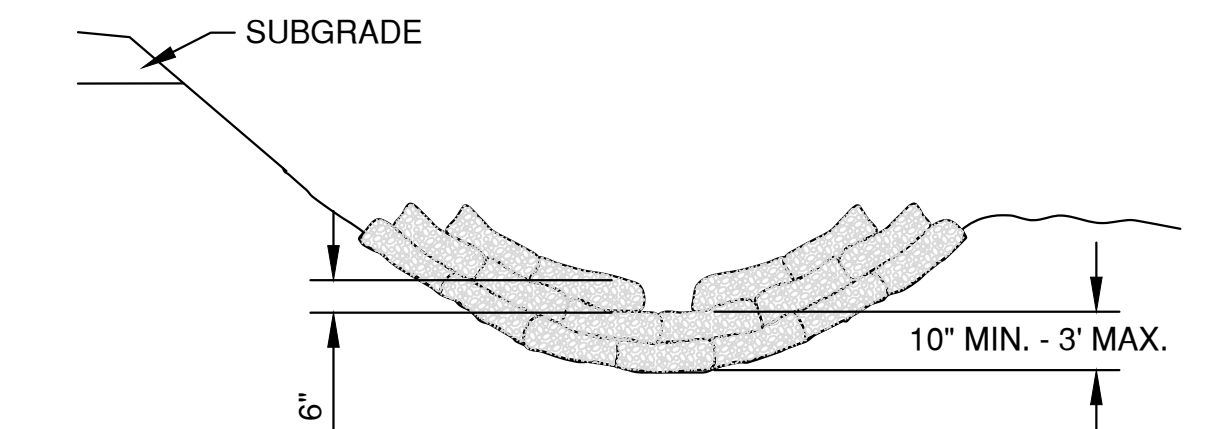
1. 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:

HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY
INTO BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN
1/8" X 1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER
SEWING YARN FOR STRENGTH AND DURABILITY.

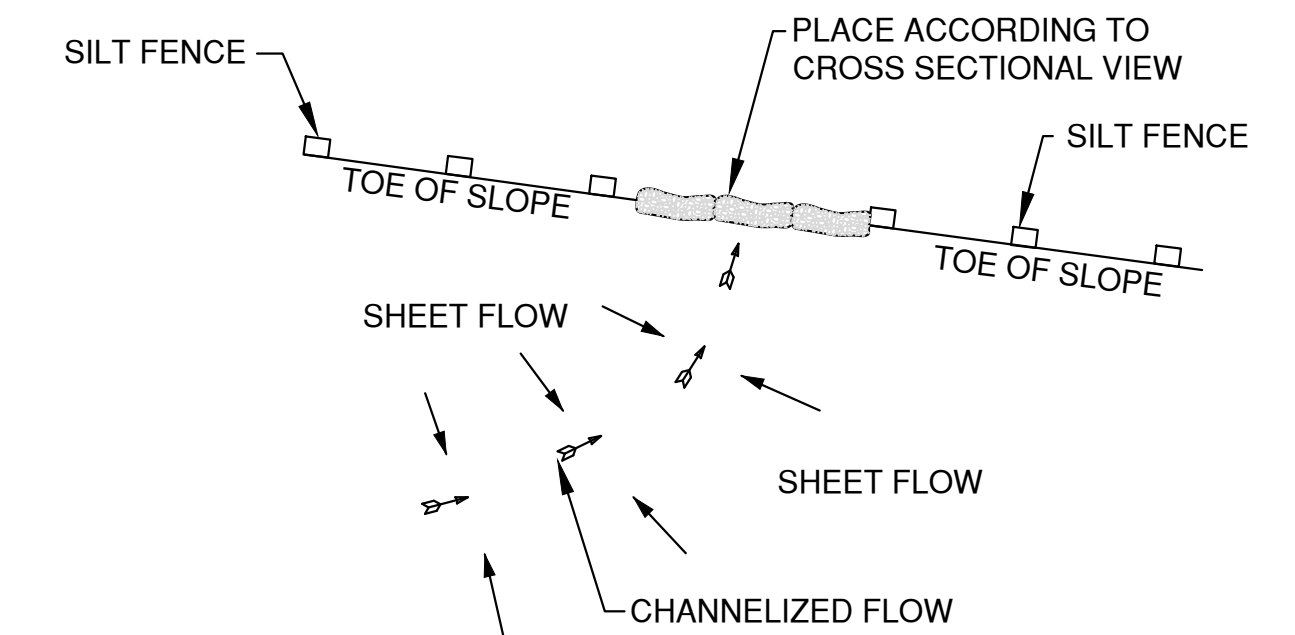
2. USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS

| SIEVE SIZE | SIZE NO. AASHTO No. 67 (1) |
|---------------------|-------------------------------|
| 2 INCH (50 mm) | - |
| 1 1/2 INCH (37.5mm) | - |
| 1 INCH (25.0 mm) | 100 |
| 3/4 INCH (19.0mm) | 90-100 |
| 3/8 INCH (9.5mm) | 20-55 |
| No. 4 (4.75mm) | 0-10 |
| No. 8 (2.36mm) | 0-5 |

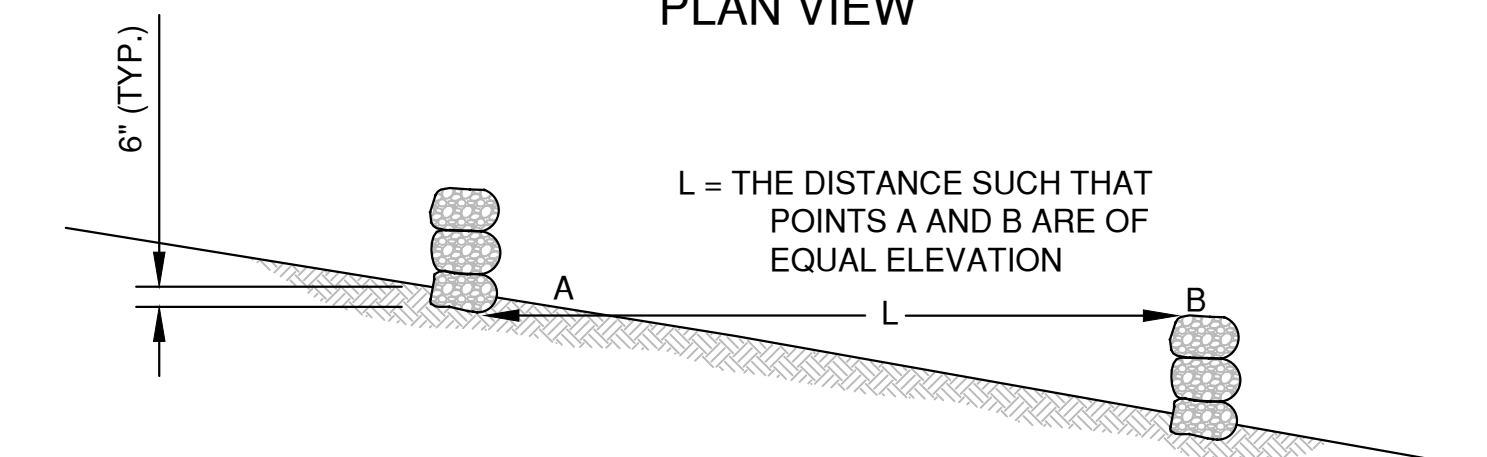
(1) SIZE No. ACCORDING TO AASHTO M 43



CROSS SECTIONAL VIEW



PLAN VIEW



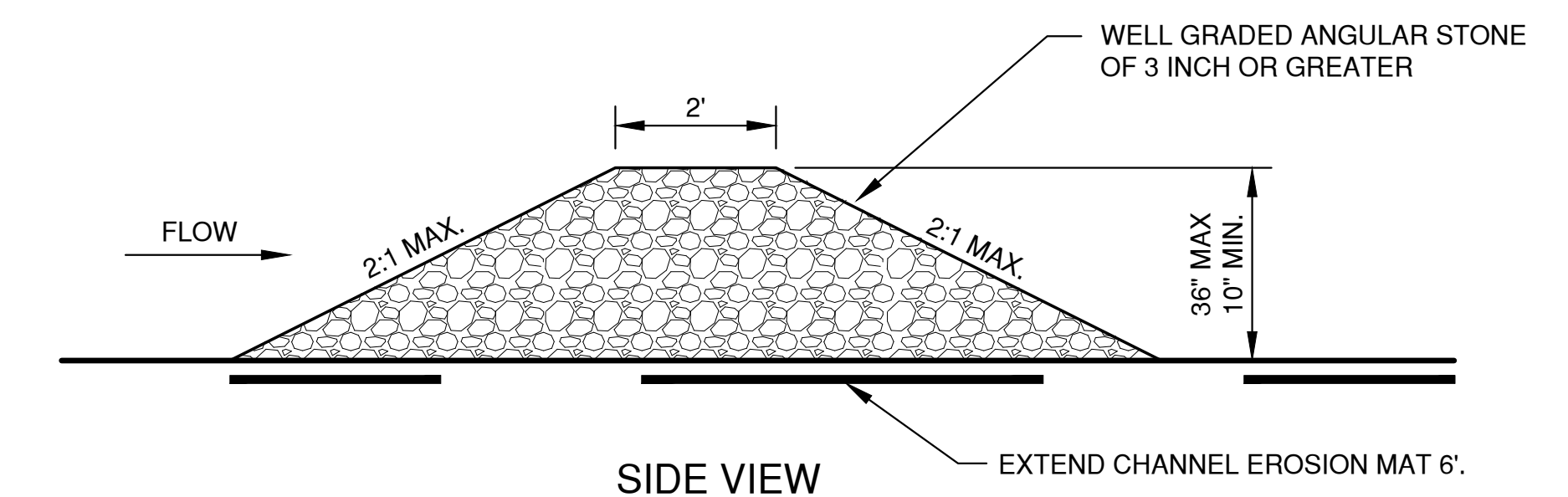
SIDE VIEW

DITCH CHECK DETAIL

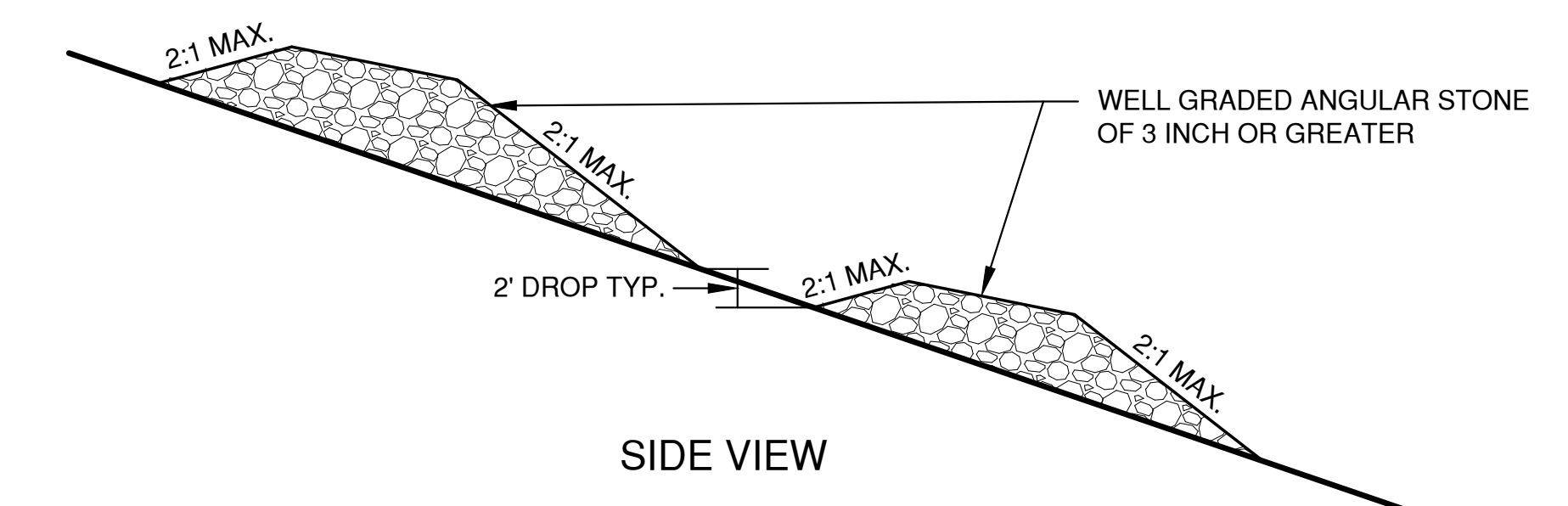
ROCK FILLED EROSION CONTROL BAGS TYPE B

DITCH CHECK GENERAL NOTES:

1. DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
2. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
3. DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.



SIDE VIEW

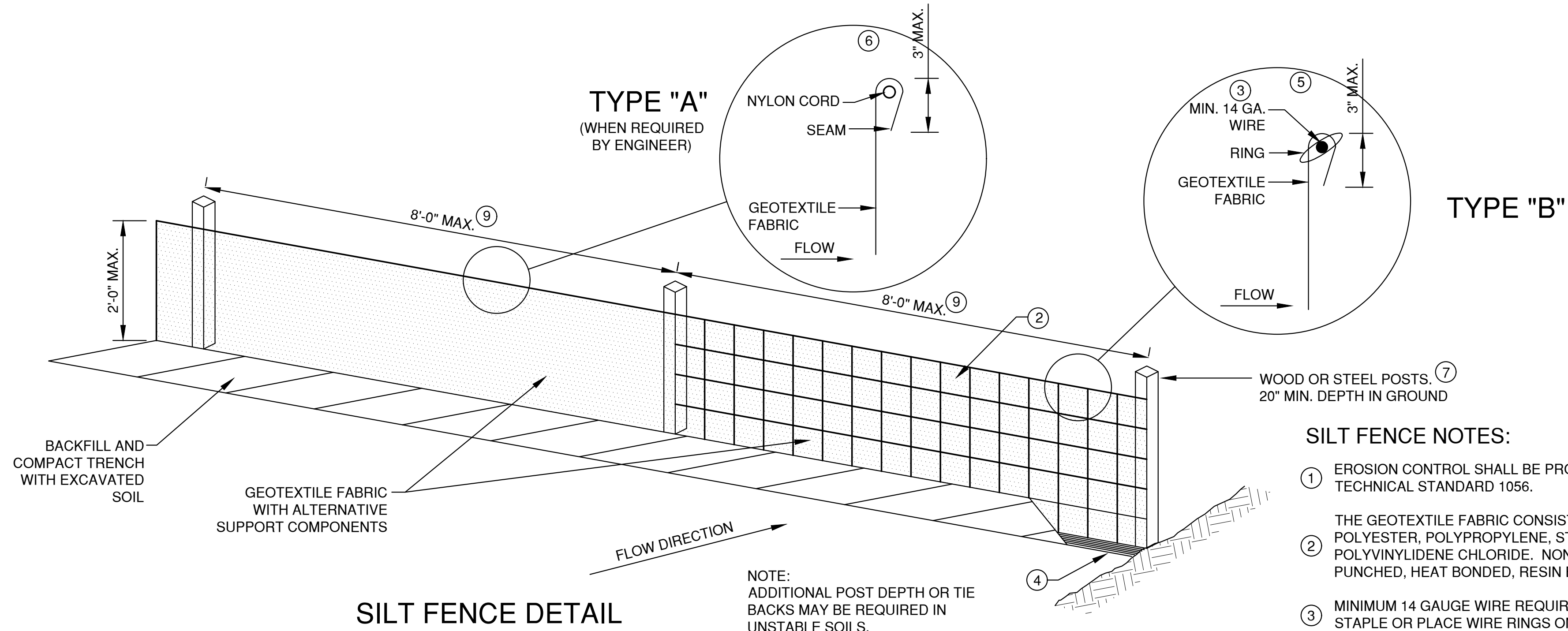


SIDE VIEW

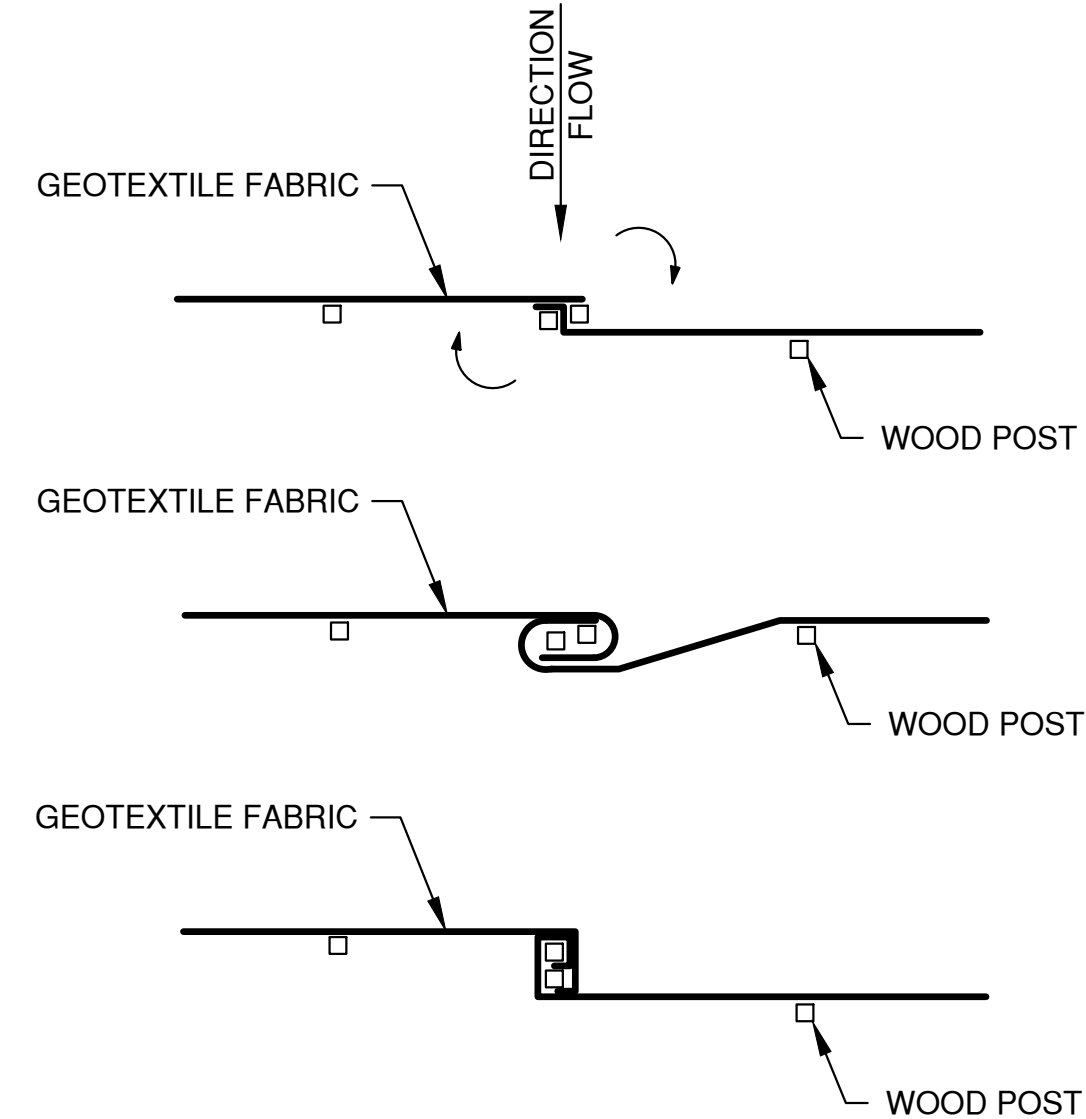
TEMPORARY DITCH CHECK USING STONE
TYPE C

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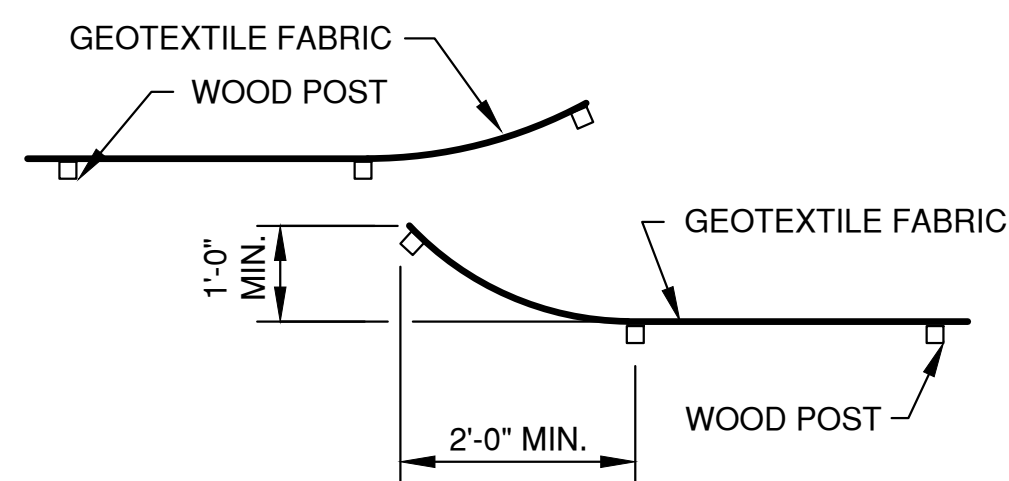
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Plot Date: Mar 27, 2024 9:47am
4 SHEET FLOW
LAYOUT



SILT FENCE DETAIL

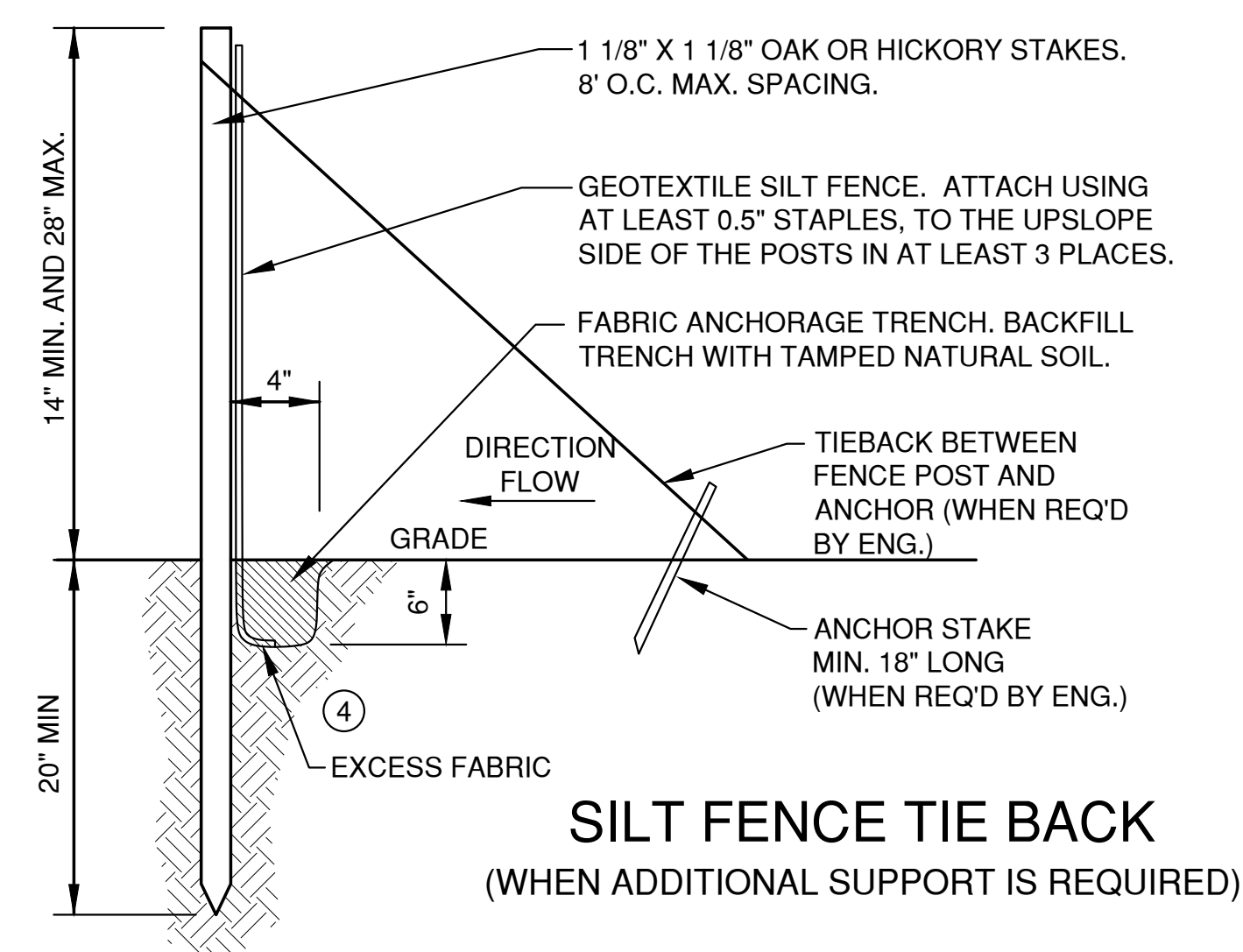


TWIST METHOD ⑧



HOOK METHOD ⑧

JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT IS REQUIRED)

EROSION CONTROL SHEET FLOW NOTES:

- ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
- A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
- ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
- UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
- FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS
- EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

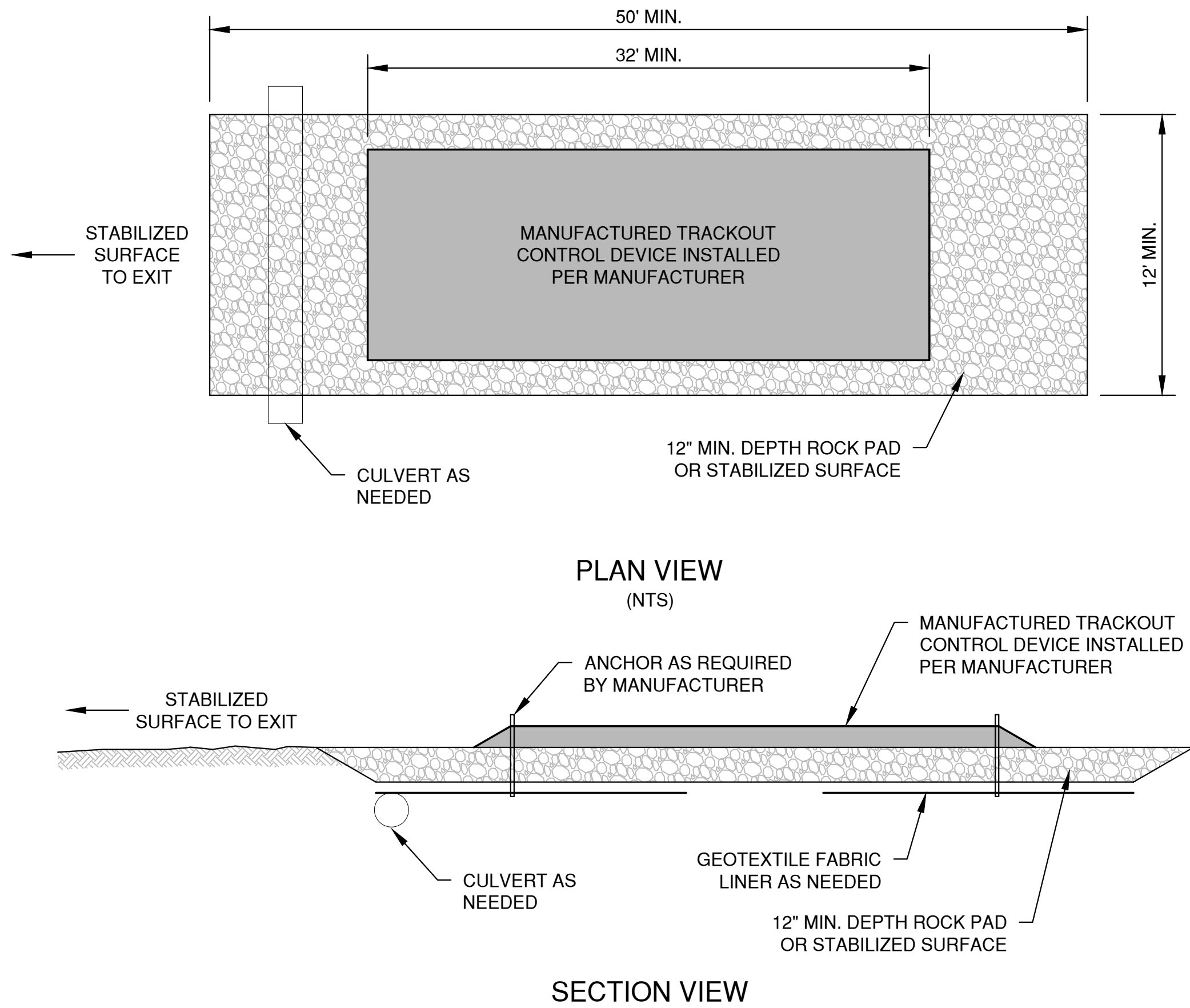
SILT FENCE NOTES:

- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN MRL | 5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN | EROSION CONTROL SHEET FLOW DETAILS | DATE 03/2024 | FILE 6256030EC | JOB NO. 6256030 | SHEET NO. 12 |
|-----|------|---------|----------|-----|------|---------|----------|-----------------|----------------------------------------------------------------------------------------------|---------------------------------------|-----------------|-------------------|--------------------|-----------------|
| | | | | | | | | CHECKED AJB | | | | | | |
| | | | | | | | | DESIGNED MRL | | | | | | |

C:\Users\jlee\OneDrive\Documents\Projects\Waukesha County\5221 Executive Drive\5221 Executive Drive.dwg
Plot Date: Mar 27, 2024 9:47am
LAYOUT: 5 TRACKOUT
LAYOUT: 5 TRACKOUT

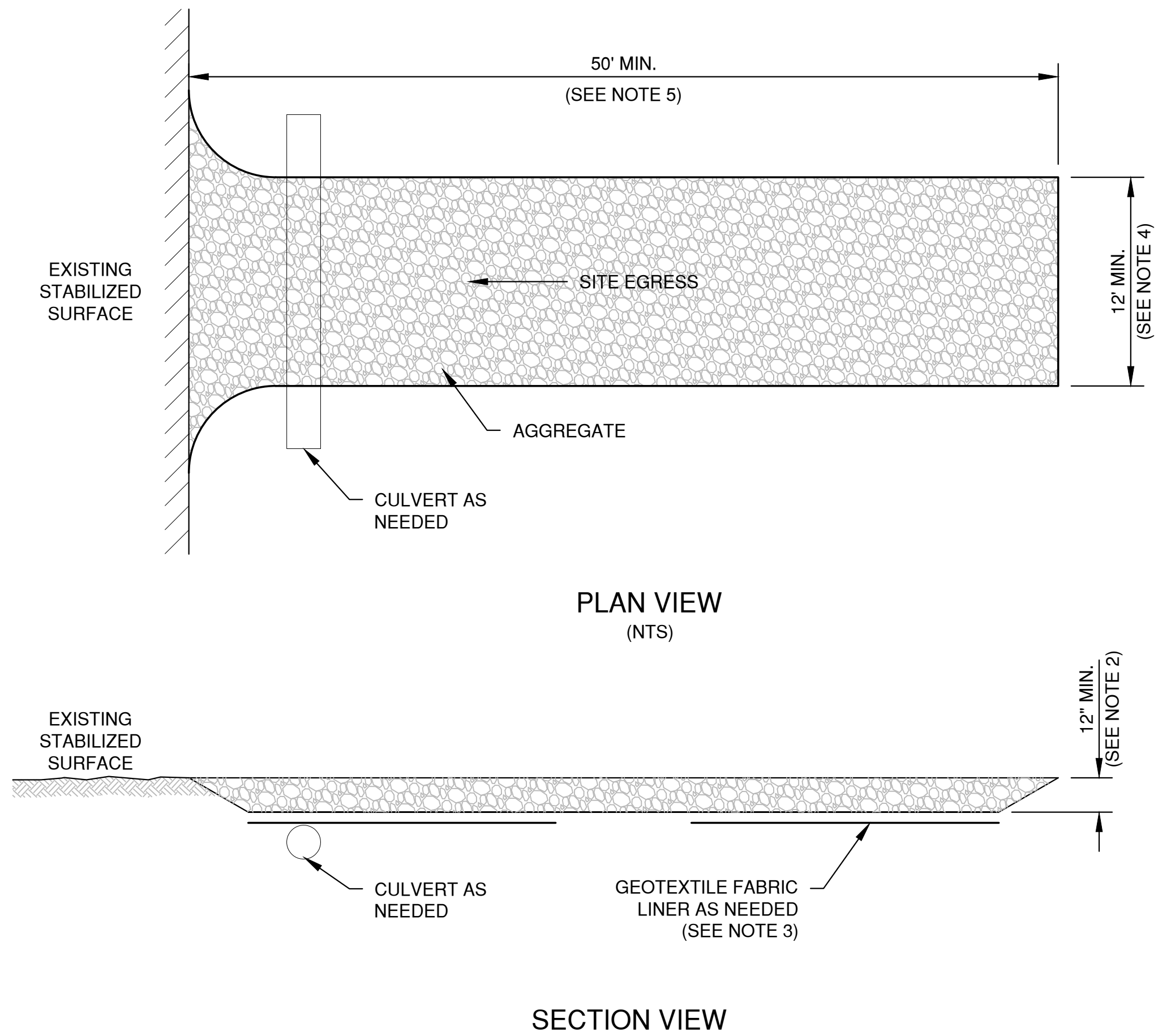
* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



NOTES:

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

| SIEVE SIZE: | PERCENT BY WEIGHT PASSING: |
|-------------|----------------------------|
| 3" | 100 |
| 2 1/2" | 90-100 |
| 1 1/2" | 25-60 |
| 3/4" | 0-20 |
| 3/8" | 0-5 |
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN MRL | 5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN | EROSION CONTROL TRACKOUT CONTROL PRACTICES | DATE 03/2024 FILE 6256030EC JOB NO. 6256030 | Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releecinc.com | SHEET NO. 13 |
|-----|------|---------|----------|-----|------|---------|----------|-----------------|----------------------------------------------------------------------------------------------|-----------------------------------------------|------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|-----------------|
| | | | | | | | | CHECKED AJB | | | | | |
| | | | | | | | | DESIGNED MRL | | | | | |

| PROJECT INFORMATION | |
|----------------------------|--|
| ENGINEERED PRODUCT MANAGER | |
| ADS SALES REP | |
| PROJECT NO. | |



CCW - SUSSEX

SUSSEX, WI, USA

MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT/%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

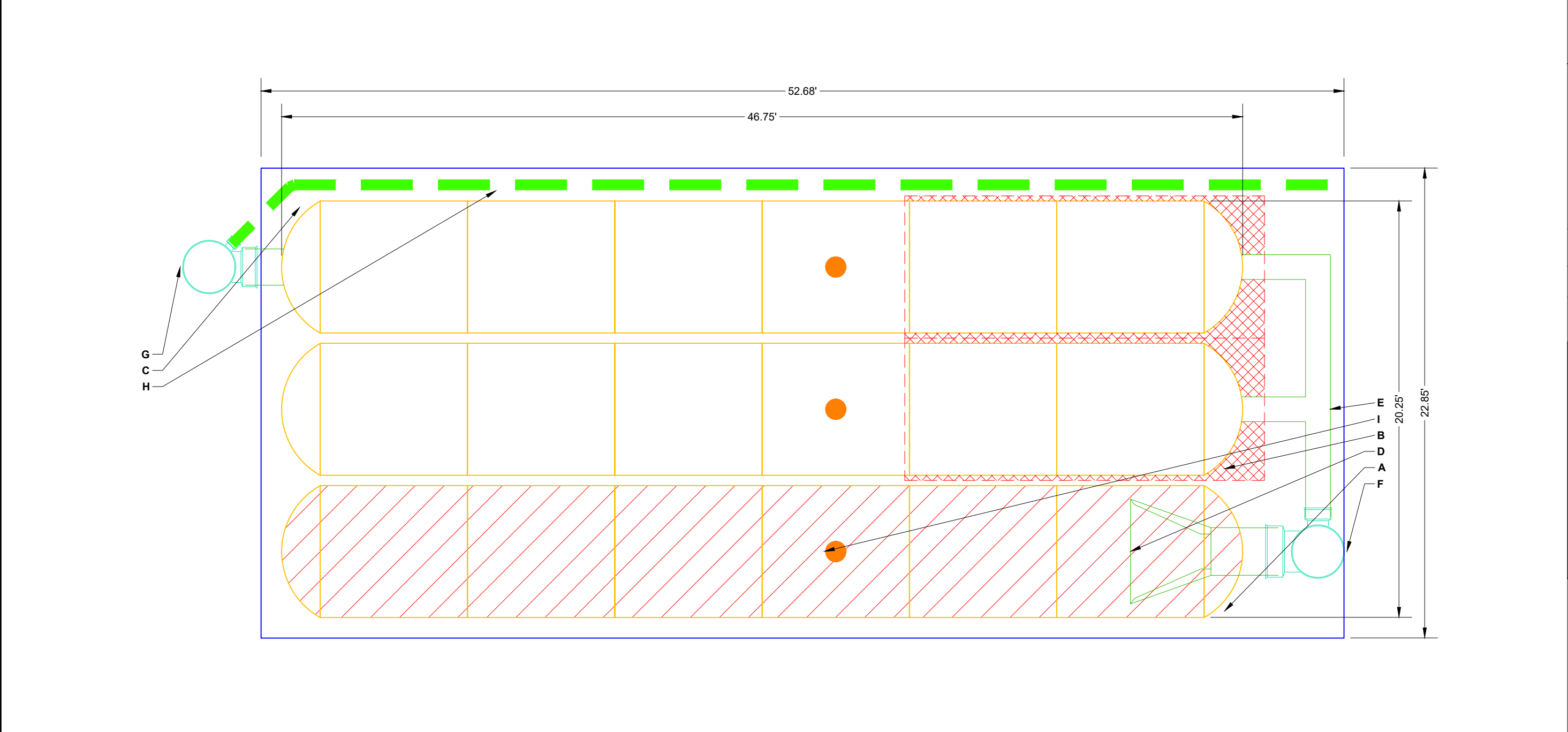
NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

| PROPOSED LAYOUT | | PROPOSED ELEVATIONS: | | *INVERT ABOVE BASE OF CHAMBER | | | | |
|-----------------|---------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|--------|-----------------------------------|----------------|------------------------------------------------------------------------------------------------------------|---------|-------------|
| | | | | PART TYPE | ITEM ON LAYOUT | DESCRIPTION | INVERT* | MAX FLOW |
| 18 | STORMTECH MC-3500 CHAMBERS | MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED): | 901.00 | | | | | |
| 6 | STORMTECH MC-3500 END CAPS | MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC): | 895.00 | PREFABRICATED END CAP | A | 24" BOTTOM CORED END CAP, PART#: MC3500IEPP24BC / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS | 2.06" | |
| 12 | STONE ABOVE (in) | MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC): | 894.50 | PREFABRICATED END CAP | B | 12" TOP CORED END CAP, PART#: MC3500IEPP12T / TYP OF ALL 12" TOP CONNECTIONS | 26.36" | |
| 9 | STONE BELOW (in) | MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT): | 894.50 | PREFABRICATED END CAP | C | 18" BOTTOM CORED END CAP, PART#: MC3500IEPP18BC / TYP OF ALL 18" BOTTOM CONNECTIONS | 1.77" | |
| 40 | STONE VOID | MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT): | 894.50 | PREFABRICATED END CAP | D | INSTALL FLAMP ON 24" ACCESS PIPE / PART#: MCFLAMP | | |
| 3890 | INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED) | TOP OF STONE: | 894.00 | FLAMP | E | 12" x 12" TOP MANIFOLD, ADS N-12 | 26.36" | |
| | | TOP OF MC-3500 CHAMBER: | 893.00 | MANIFOLD | F | 30" DIAMETER (24.00" SUMP MIN) | | 5.0 CFS IN |
| | | 12" x 12" TOP MANIFOLD INVERT: | 891.45 | NYLOPLAST (INLET W/ ISO PLUS ROW) | G | 30" DIAMETER (DESIGN BY ENGINEER) | | 4.0 CFS OUT |
| | | 24" ISOLATOR ROW PLUS INVERT: | 889.42 | UNDERDRAIN | H | 6" ADS N-12 DUAL WALL PERFORATED HDPE UNDERDRAIN | | |
| 1204 | SYSTEM AREA (SF) | 18" BOTTOM CONNECTION INVERT: | 889.40 | INSPECTION PORT | I | 4" SEE DETAIL (TYP 3 PLACES) | | |
| 151.1 | SYSTEM PERIMETER (ft) | BOTTOM OF MC-3500 CHAMBER: | 889.25 | | | | | |
| 272 | THERMOPLASTIC LINER (SY) (20% OVERAGE) | UNDERDRAIN INVERT: | 888.50 | | | | | |
| | | BOTTOM OF STONE: | 888.50 | | | | | |



ISOLATOR ROW PLUS
(SEE DETAIL)

PLACE MINIMUM 17.50' OF ADSPLUS175 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

THERMOPLASTIC LINER (SEE TECH NOTE #6.50 PROVIDED BY OTHERS / DESIGN BY OTHERS)

NOTES

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS FOR CISTERNS (RAINWATER HARVESTING). TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

4640 TRUEMAN BLVD
HILLIARD, OH 43026
1-800-733-7473

ADS

StormTech®
Chamber System

888-892-2694 | WWW.STORMTECH.COM

0510

THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO ADS UNDER THE DIRECTION OF THE SITE DESIGN ENGINEER OR OTHER PROJECT REPRESENTATIVE. THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.

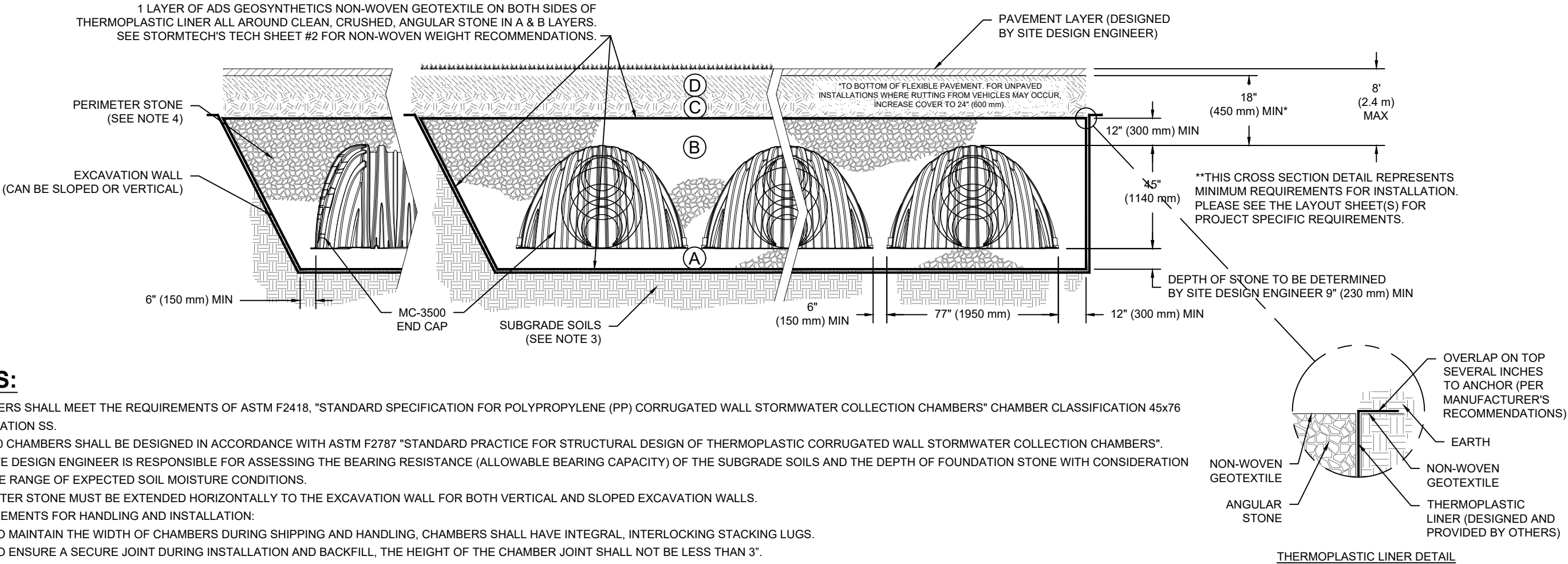
SHEET

2 OF 6

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

| MATERIAL LOCATION | | DESCRIPTION | AASHTO MATERIAL CLASSIFICATIONS | COMPACTION / DENSITY REQUIREMENT |
|-------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| D | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER | ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. | N/A | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. |
| C | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER. | GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER. | AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. |
| B | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE. | CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵ | AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 | NO COMPACTION REQUIRED. |
| A | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵ | AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3} |

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT³%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

CCW - SUSSEX

SUSSEX, WI, USA

DRAWN: ML

CHECKED: N/A

DATE:

PROJECT #:

DESCRIPTION

CHK

DRW

DATE

StormTech®

Chamber System

888-892-2694 | WWW.STORMTECH.COM

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ADS

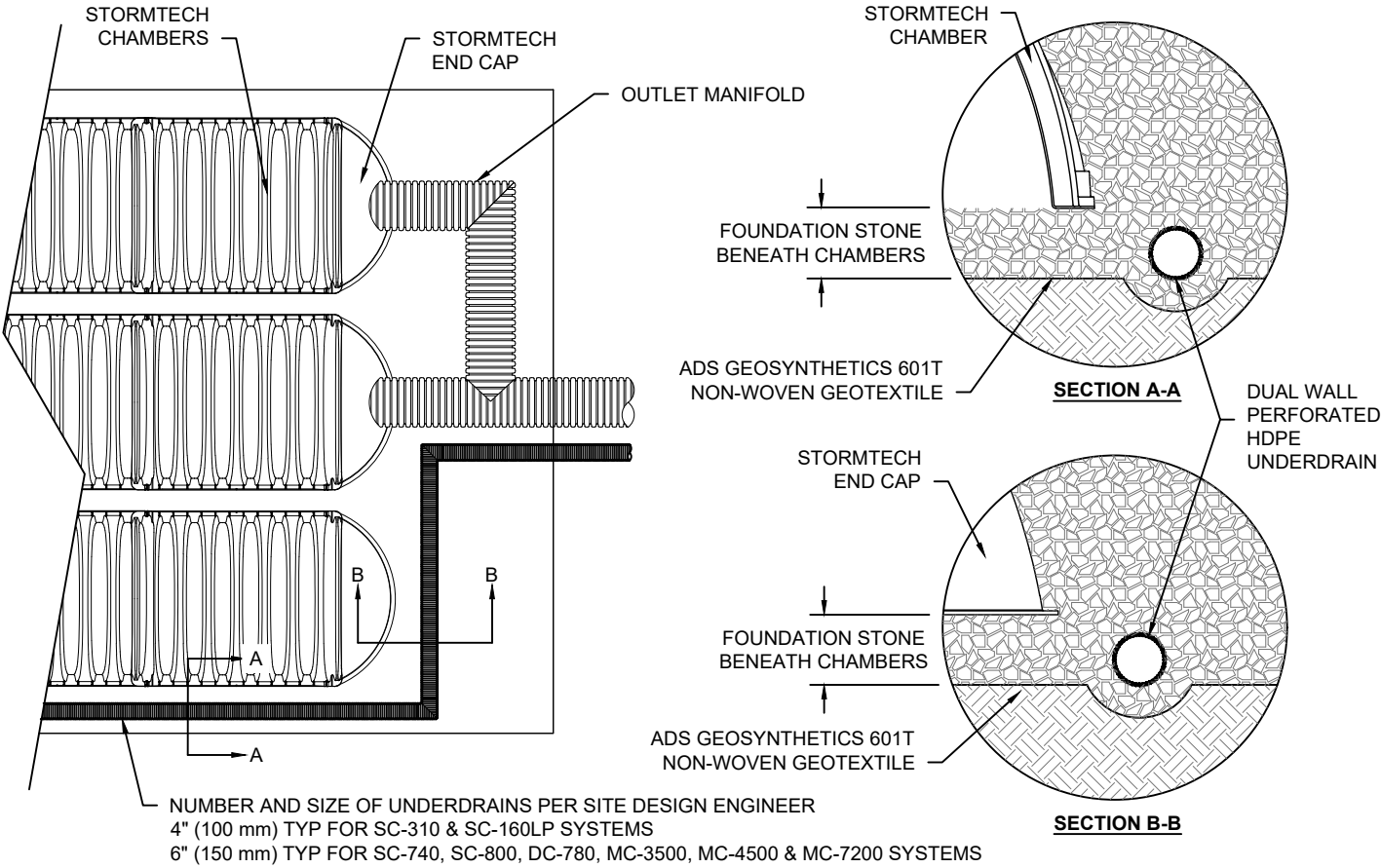
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3 OF 6

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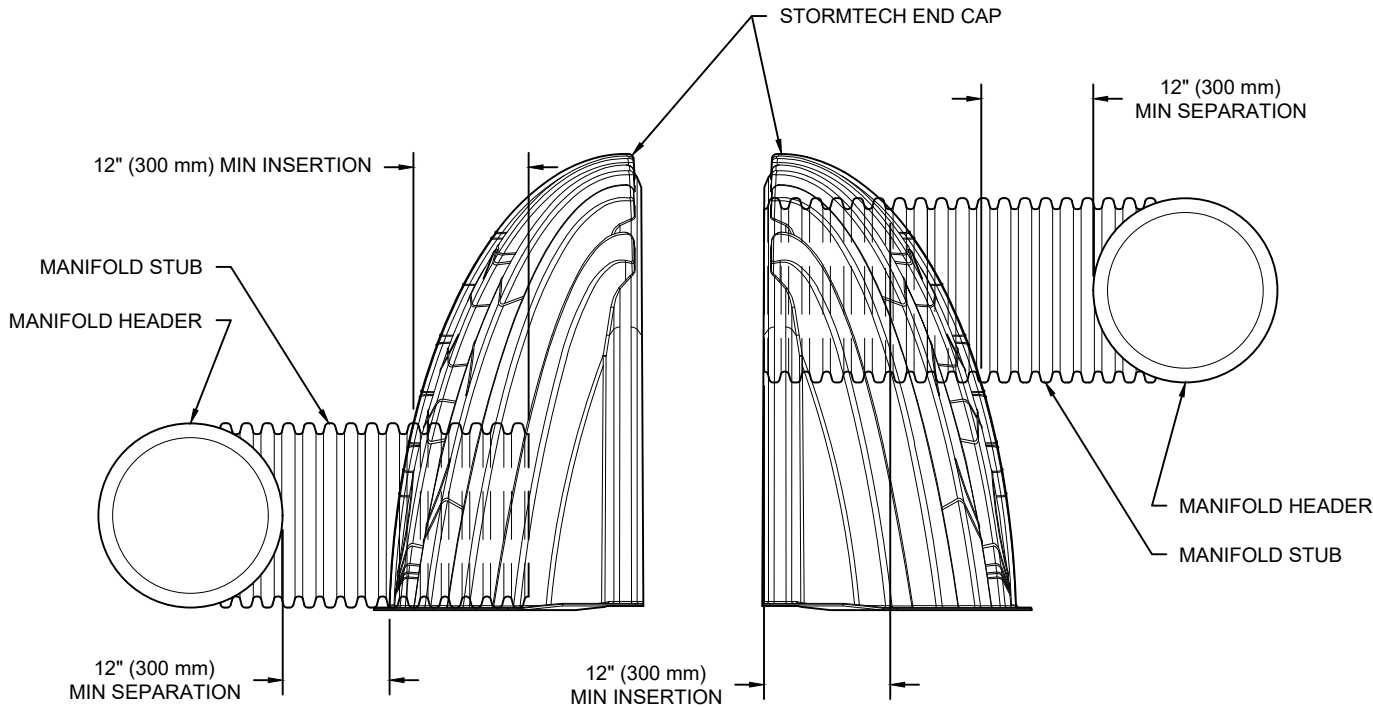
UNDERDRAIN DETAIL

NTS



MC-SERIES END CAP INSERTION DETAIL

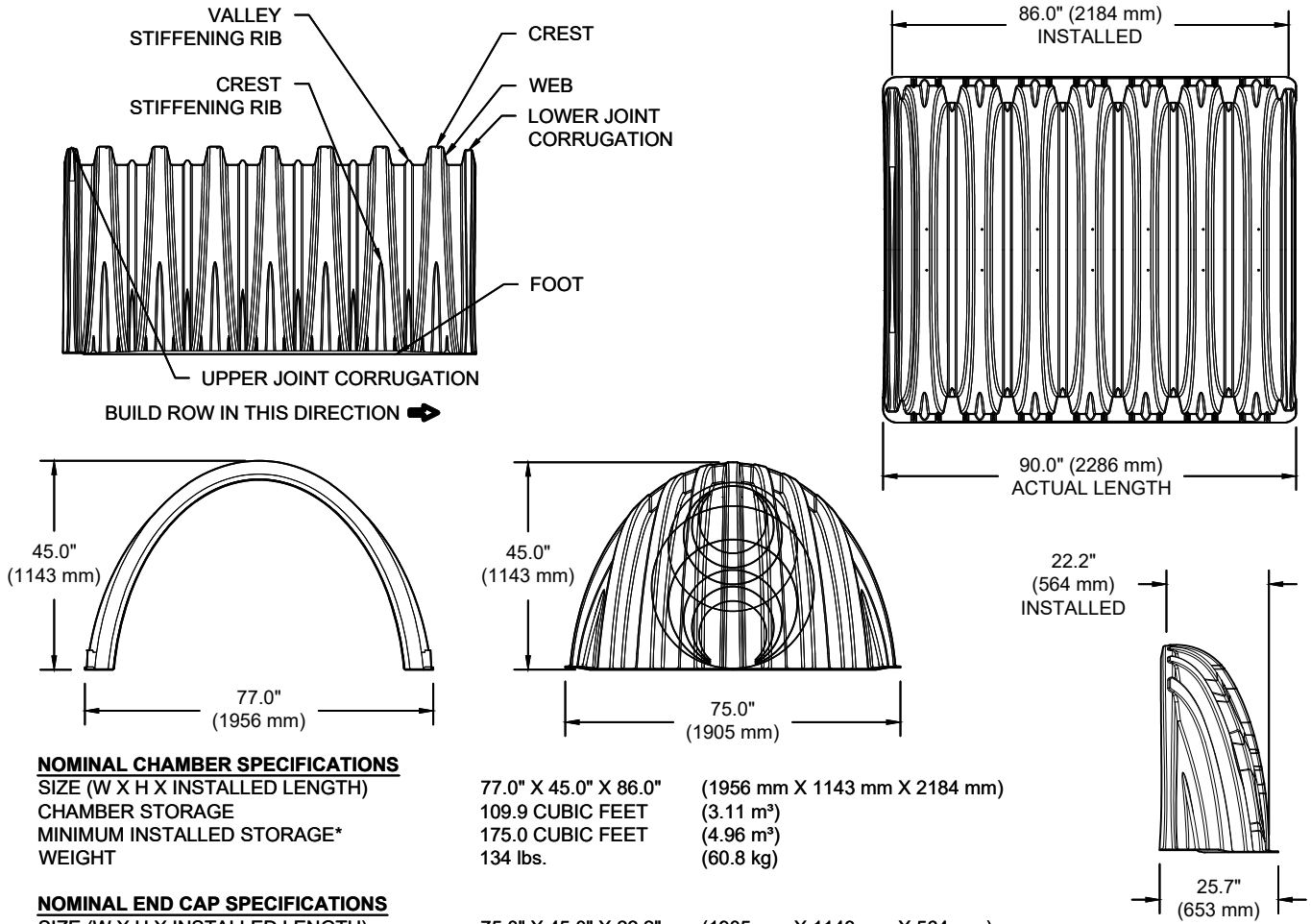
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NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

MC-3500 TECHNICAL SPECIFICATION

NTS



NOMINAL CHAMBER SPECIFICATIONS

| SIZE (W X H X INSTALLED LENGTH) | 77.0" X 45.0" X 86.0" | (1956 mm X 1143 mm X 2184 mm) |
|---------------------------------|-----------------------|-------------------------------|
| CHAMBER STORAGE | 109.9 CUBIC FEET | (3.11 m³) |
| MINIMUM INSTALLED STORAGE* | 175.0 CUBIC FEET | (4.96 m³) |
| WEIGHT | 134 lbs. | (60.8 kg) |

NOMINAL END CAP SPECIFICATIONS

| SIZE (W X H X INSTALLED LENGTH) | 75.0" X 45.0" X 22.2" | (1905 mm X 1143 mm X 564 mm) |
|---------------------------------|-----------------------|------------------------------|
| END CAP STORAGE | 14.9 CUBIC FEET | (0.42 m³) |
| MINIMUM INSTALLED STORAGE* | 45.1 CUBIC FEET | (1.28 m³) |
| WEIGHT | 49 lbs. | (22.2 kg) |

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION, 6" SPACING BETWEEN CHAMBERS, 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

| PART # | STUB | B | C |
|----------------|--------------|-----------------|---------------|
| MC3500IEPP06T | 6" (150 mm) | 33.21" (844 mm) | --- |
| MC3500IEPP06B | | --- | 0.66" (17 mm) |
| MC3500IEPP08T | 8" (200 mm) | 31.16" (791 mm) | --- |
| MC3500IEPP08B | | --- | 0.81" (21 mm) |
| MC3500IEPP10T | 10" (250 mm) | 29.04" (738 mm) | --- |
| MC3500IEPP10B | | --- | 0.93" (24 mm) |
| MC3500IEPP12T | 12" (300 mm) | 26.36" (670 mm) | --- |
| MC3500IEPP12B | | --- | 1.35" (34 mm) |
| MC3500IEPP15T | 15" (375 mm) | 23.39" (594 mm) | --- |
| MC3500IEPP15B | | --- | 1.50" (38 mm) |
| MC3500IEPP18TC | 18" (450 mm) | 20.03" (509 mm) | --- |
| MC3500IEPP18TW | | --- | 1.77" (45 mm) |
| MC3500IEPP18BC | | | |
| MC3500IEPP18BW | | | |
| MC3500IEPP24TC | 24" (600 mm) | 14.48" (368 mm) | --- |
| MC3500IEPP24TW | | --- | 2.06" (52 mm) |
| MC3500IEPP24BC | | | |
| MC3500IEPP24BW | | | |
| MC3500IEPP30BC | 30" (750 mm) | --- | 2.75" (70 mm) |

NOTE: ALL DIMENSIONS ARE NOMINAL

CUSTOM PRECORED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

CCW - SUSSEX

SUSSEX, WI, USA

DATE:

PROJECT #:

DRAWN: ML

CHECKED: N/A

DESCRIPTION

CHK

DATE

DRW

DATE

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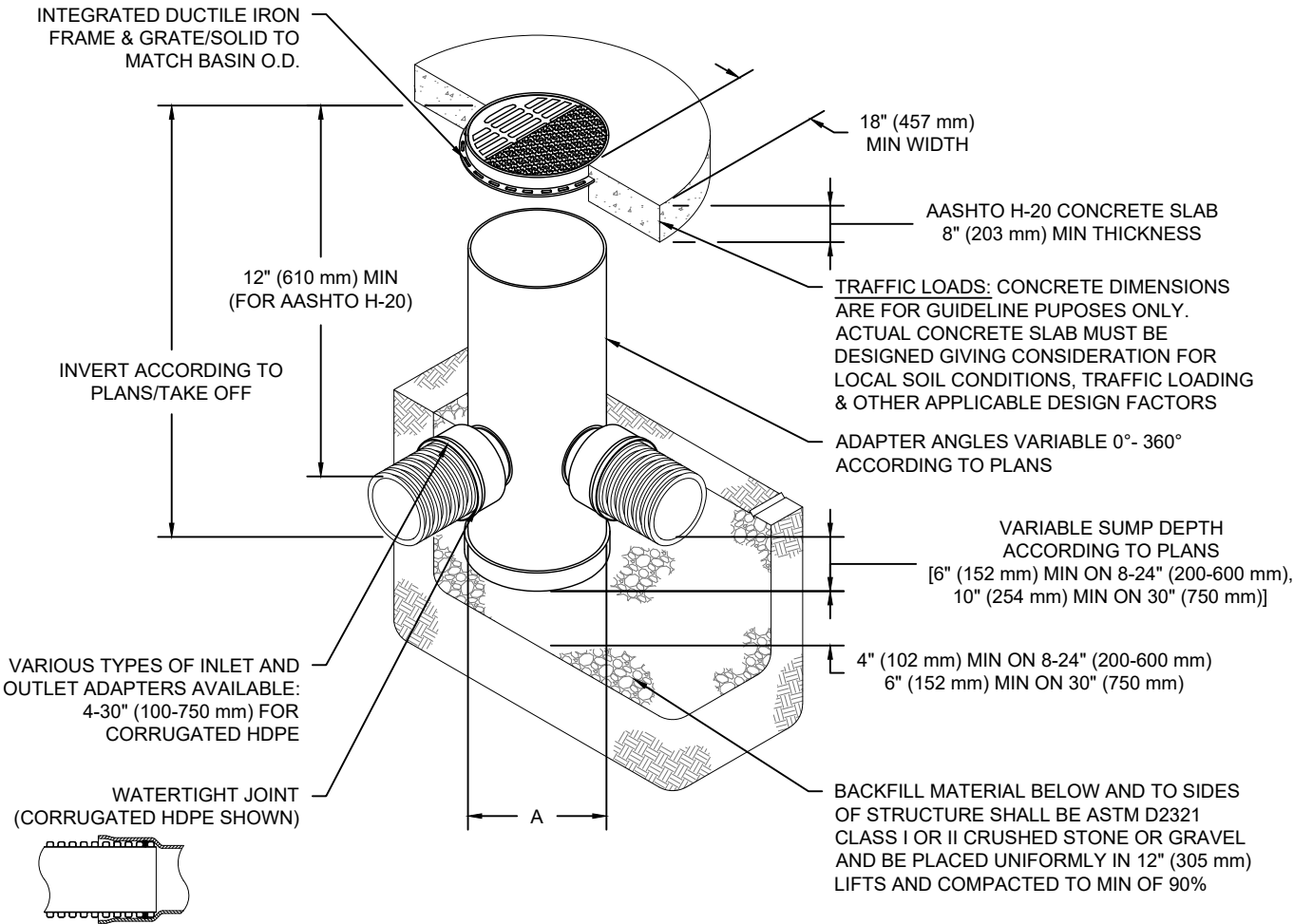
ADS

SHEET

5 OF 6

NYLOPLAST DRAIN BASIN

NTS



NOTES

- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
- FOR COMPLETE DESIGN AND PRODUCT INFORMATION: **WWW.NYLOPLAST-US.COM**
- TO ORDER CALL: **800-821-6710**

| A | PART # | GRATE/SOLID COVER OPTIONS | | |
|-----------------|--------|---------------------------|----------------------|-------------------|
| 8" (200 mm) | 2808AG | PEDESTRIAN LIGHT DUTY | STANDARD LIGHT DUTY | SOLID LIGHT DUTY |
| 10" (250 mm) | 2810AG | PEDESTRIAN LIGHT DUTY | STANDARD LIGHT DUTY | SOLID LIGHT DUTY |
| 12" (300 mm) | 2812AG | PEDESTRIAN AASHTO H-10 | STANDARD AASHTO H-20 | SOLID AASHTO H-20 |
| 15" (375 mm) | 2815AG | PEDESTRIAN AASHTO H-10 | STANDARD AASHTO H-20 | SOLID AASHTO H-20 |
| 18" (450 mm) | 2818AG | PEDESTRIAN AASHTO H-10 | STANDARD AASHTO H-20 | SOLID AASHTO H-20 |
| 24" (600 mm) | 2824AG | PEDESTRIAN AASHTO H-10 | STANDARD AASHTO H-20 | SOLID AASHTO H-20 |
| 30" (750 mm) | 2830AG | PEDESTRIAN AASHTO H-20 | STANDARD AASHTO H-20 | SOLID AASHTO H-20 |

CCW - SUSSEX

SUSSEX, WI, USA

DATE:

DRAWN: ML

PROJECT #:

CHECKED: N/A

Nyloplast®

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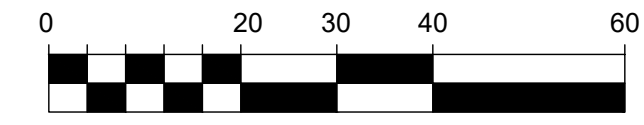


SHEET

6 OF 6

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LANDSCAPE PLAN



LANDSCAPE INSTALLATION NOTES:

GENERAL:

- Landscape contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
- Landscape contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
- All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
- Quantities of material shown on plan take precedence over the specification list or legend.
- If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.

PLANTING:

- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
- All plant tags should be removed from material by landscape contractor.
- All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
- Edge all beds with a spade cut edge unless otherwise noted.
- All backfill around plant material rootballs should receive a soil mix of 4 parts (pulverized) topsoil to 1 part fine, organic compost.
- All wire baskets and stakes should be removed during planting.
- Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
- All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.

PLANT SCHEDULE

| TREES | QTY | COMMON NAME / BOTANICAL NAME | SIZE |
|-------|-----|-------------------------------------------|------|
| PLA | 9 | Plantanus x acerifolia 'London Planetree' | 2.5" |
| GYM | 7 | Gymnocladus dioica 'Kentucky Coffeetree' | 2.5" |
| ARB | 20 | Thuja occidentalis 'Emerald Green' | 6' |

| SHRUBS | QTY | COMMON NAME / BOTANICAL NAME | SIZE |
|--------|-----|-------------------------------------|------|
| JUN | 53 | Juniperus x pfitzeriana 'Sea Green' | 36" |
| VIB | 33 | Viburnum carlesii 'Korean Spice' | 36" |
| BUX | 39 | Buxus x 'Green Velvet' | 18" |
| SPI | 19 | Spirea japonica | 18" |
| PAN | 41 | Panicum virgatum 'Heavy Metal' | #5 |

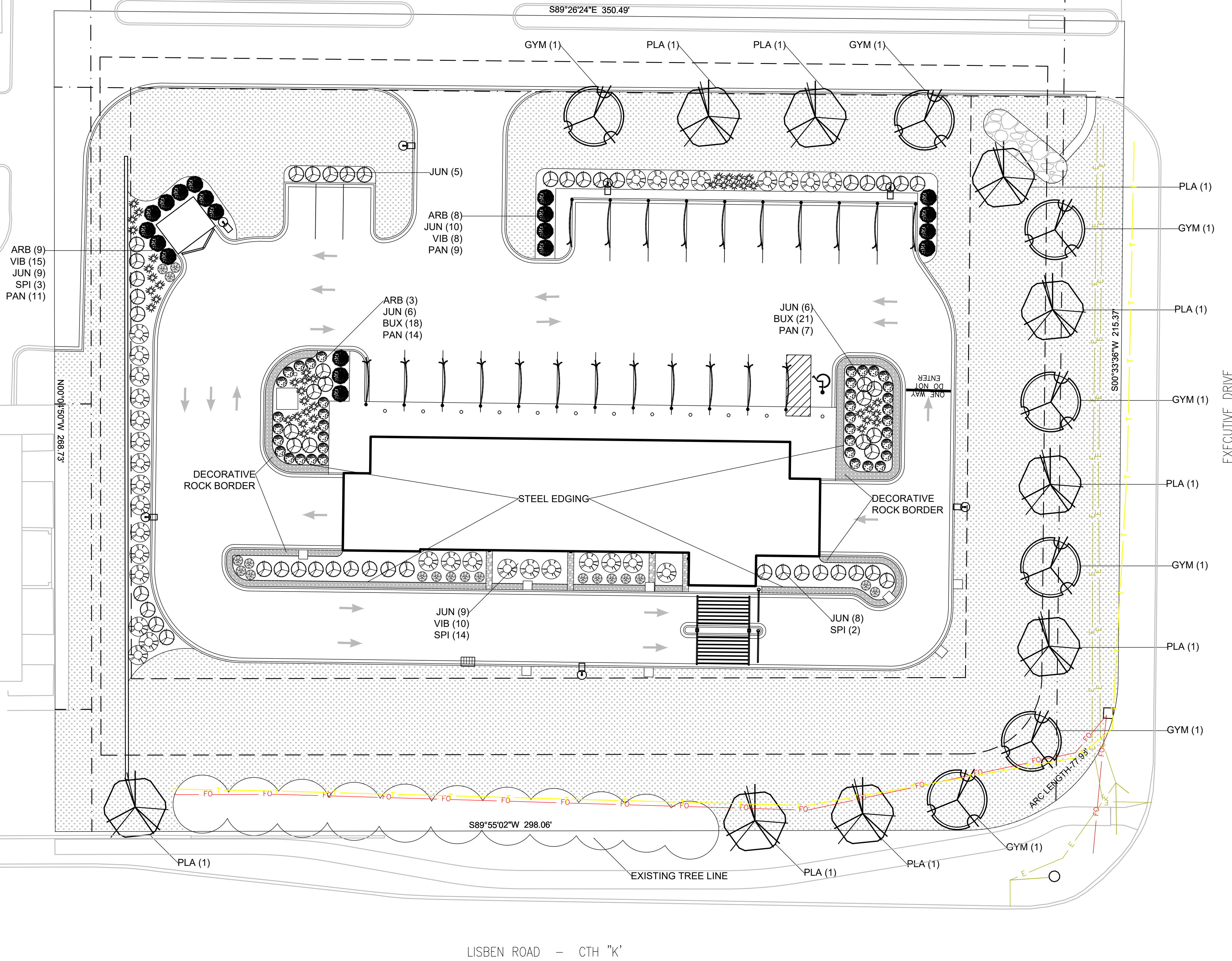
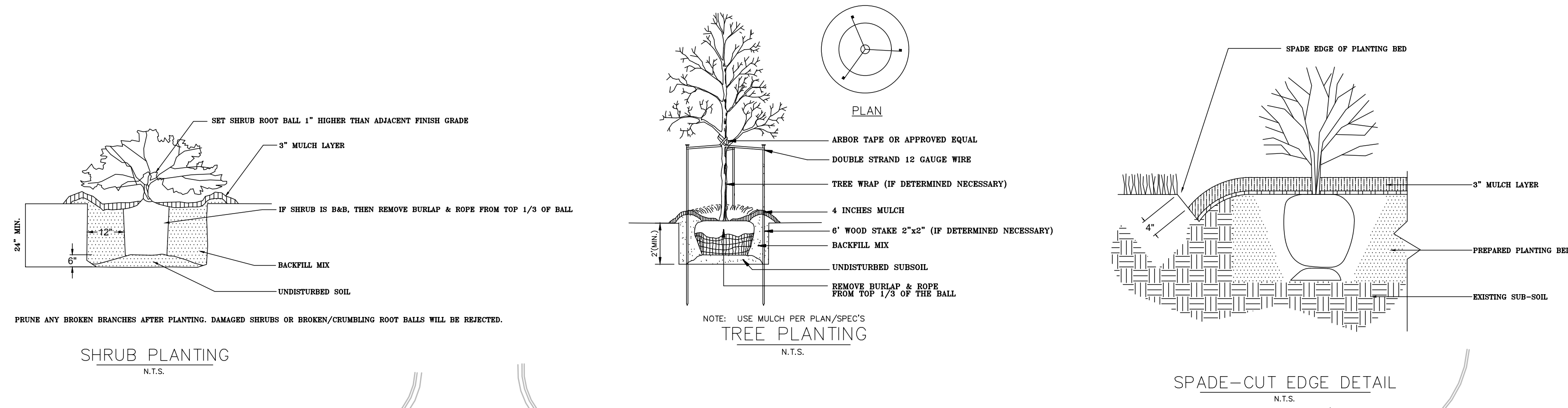
LANDSCAPE REQUIREMENTS:

- All public off-street parking areas which serve five (5) vehicles or more shall be provided with accessory landscape areas totaling not less than fifteen (15) percent.
- Parking Sq. Ft. = 8,257.72 x 15% = 1,238.65
 - Total landscape area provided = 1,904.74

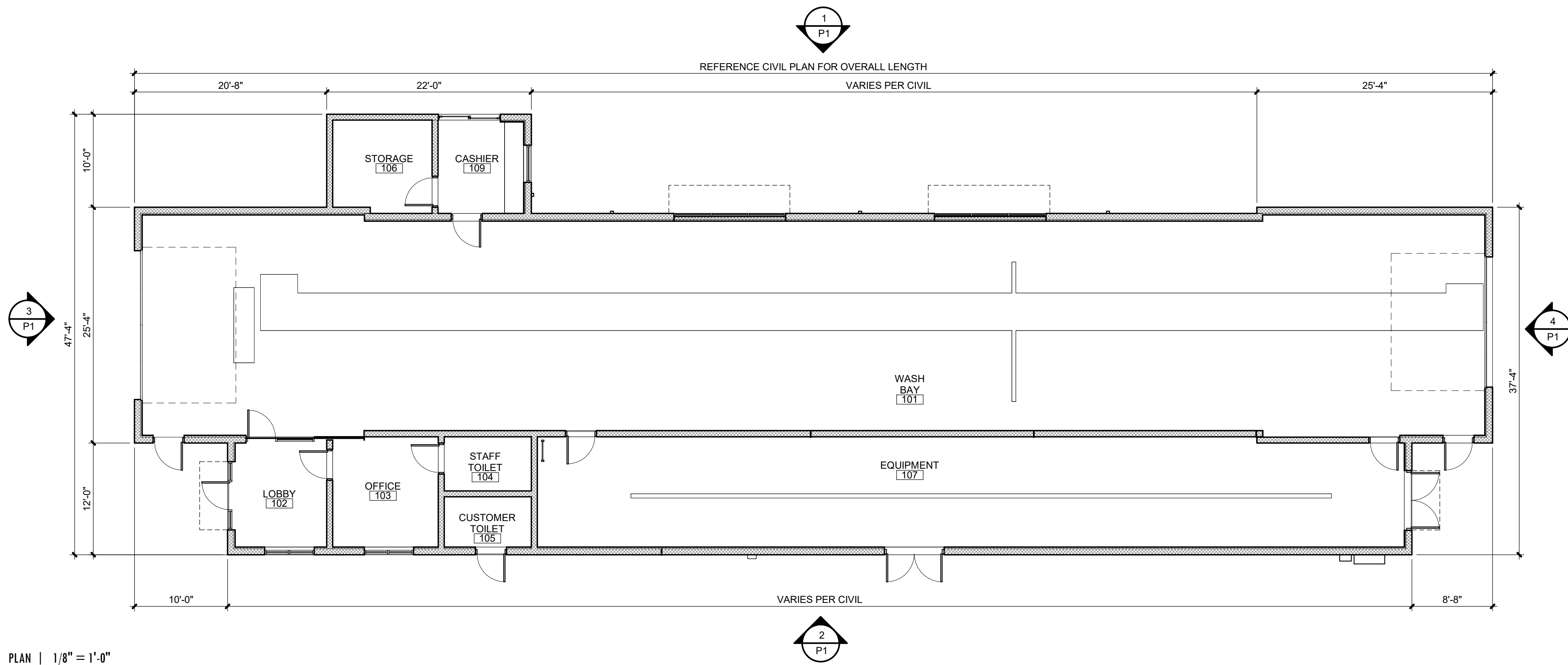
- Street Trees: One (1) tree shall be planted for each forty (40) feet of frontage.
- Total street frontage = 592'
 - 592' / 40' = 15 Trees
- 16 TREES PROVIDED

PLANT LEGEND:

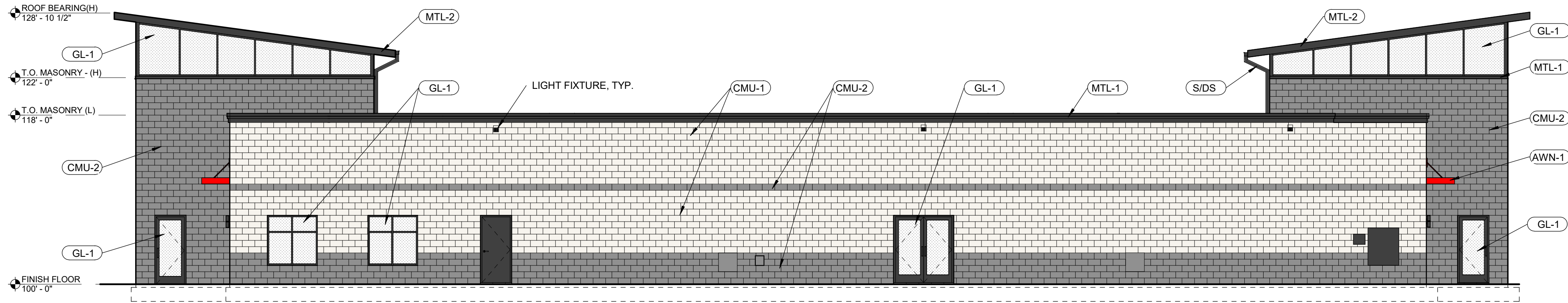
-  LONDON PLANETREE
-  KENTUCKY COFFEETREE
-  ARBORVITAE 'EMERALD GREEN'
-  JUNIPER 'SEA GREEN'
-  VIBURNUM 'KOREAN SPICE'
-  BOXWOOD 'GREEN VELVET'
-  SPIREA, JAPONICA
-  SWITCH GRASS 'HEAVY METAL'



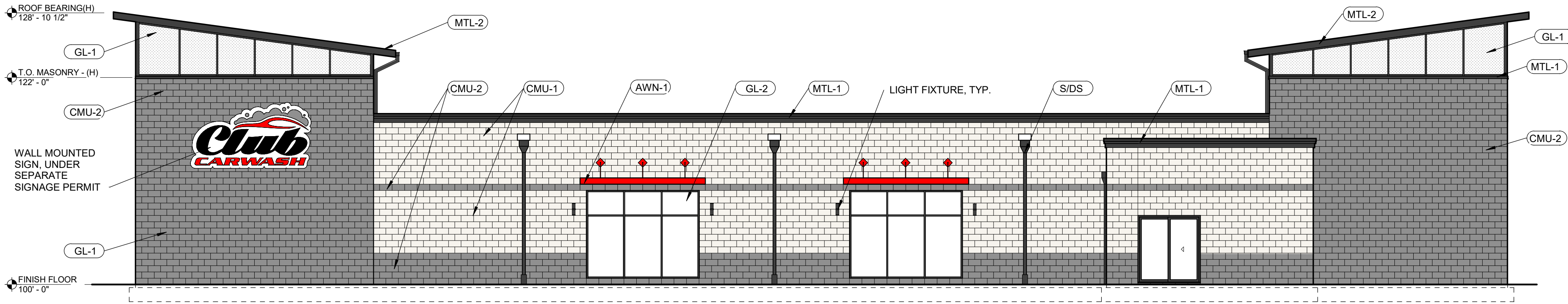
LISBEN ROAD - CTH "K"



PLAN | 1/8" = 1'-0"



ELEVATION 2 | 1/8" = 1'-0"

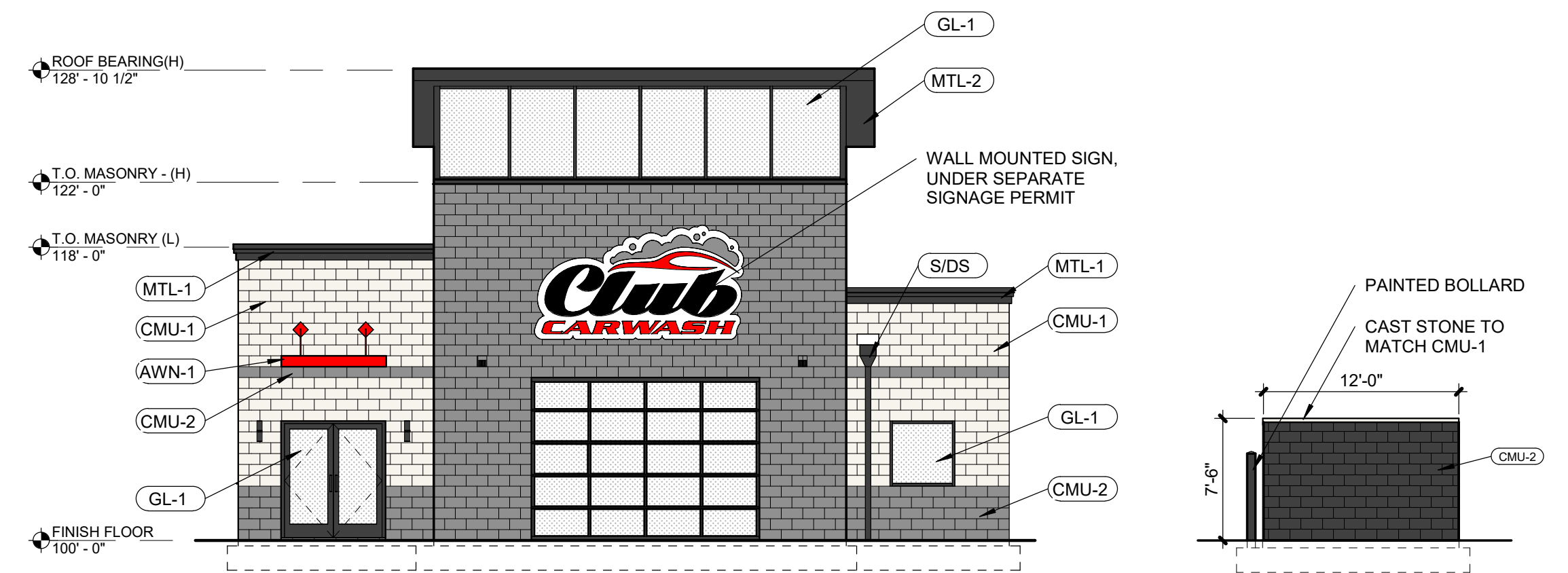


ELEVATION 1 | 1/8" = 1'-0"



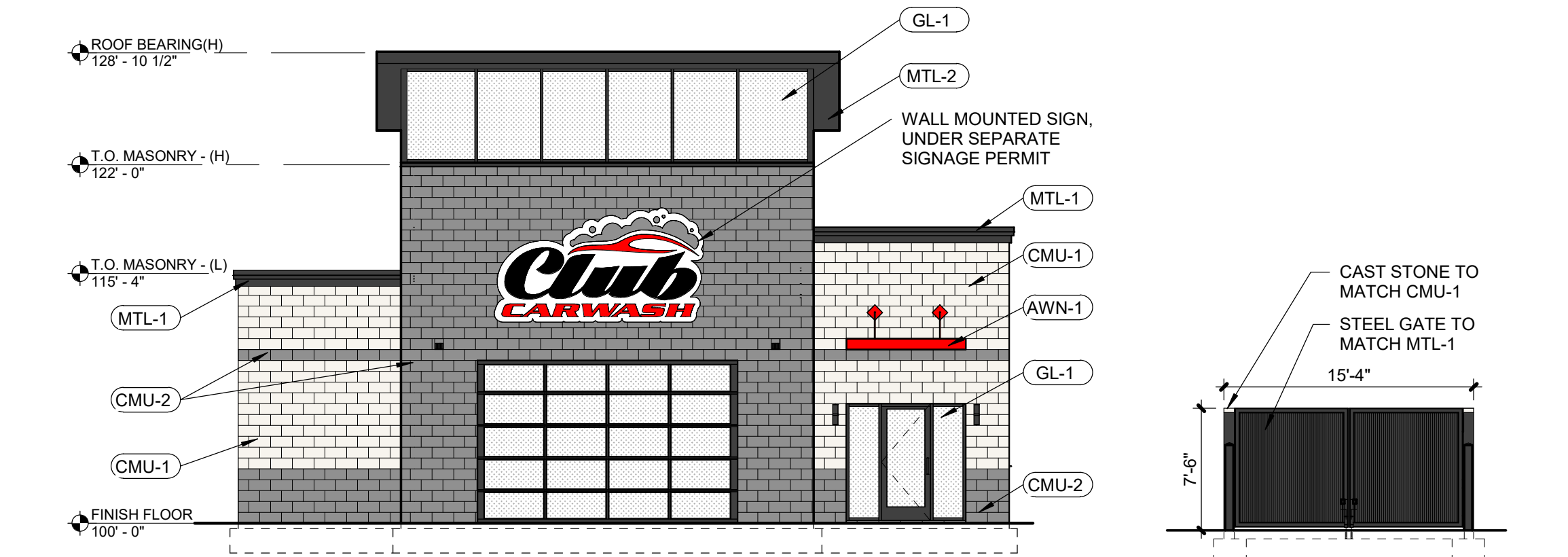
EXTERIOR MATERIAL LEGEND

| | | | |
|-------|------------------------------------------------------------------|-------|---------------------------------------------------------------------------|
| CMU-1 | 8" CMU SMOOTH FACE BLOCK (COLOR: PAINT SW7009 PEARLY WHITE) | AWN-1 | RED PREFABRICATED FLAT METAL AWNING PROVIDED AND INSTALLED BY OWNER |
| CMU-2 | 8" CMU SPLIT FACE BLOCK (COLOR: PAINT SW6990 CAVIAR) | S/DS | KYNAR-COATED SHEET METAL SCUPPER, DOWNSPOUT AND BOOT (COLOR: MATTE BLACK) |
| GL-1 | BLACK ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM W/ CLEAR GLASS | MTL-1 | KYNAR COATED METAL COPING (COLOR: MATTE BLACK) |
| GL-2 | BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM W/ GRAY SPANDREL GLASS | MTL-2 | 18" WIDE STANDING SEAM METAL ROOF (COLOR: MATTE BLACK) |



ELEVATION 4 | 1/8" = 1'-0"

TRASH ENCLOSURE- SIDE ELEVATION | 1/8" = 1'-0"



ELEVATION 3 | 1/8" = 1'-0"

TRASH ENCLOSURE- GATE ELEVATION | 1/8" = 1'-0"



FINKLE + WILLIAMS
ARCHITECTURE

CLUB CAR WASH - Sussex, Wisconsin | 04.23.2024

FINKLE + WILLIAMS © 2024



CLUB CAR WASH RENDERINGS





PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: N63W23991 Main Stret Sussex WI 53089

1. Name of Business:

Private Car Hobby

Business

N63W23991 Main Stret Sussex WI 53089 262-894-0383

Address

City, State, Zip

Phone #

dvmarmydad@hotmail.com

Fax #

Email address

2. Business owner contact information:

Dean Myers

Contact

403 Sheffield rd Waukesha WI 53186

Address

City, State, Zip

Phone #

dvmarmydad@hotmail.com

Fax #

Email address

3. Building/Land owner contact information:

Jason Lemke

Contact

414-750-0422

Address

City, State, Zip

Phone #

Fax #

Email address

4. Number of Employees/Shifts:

0
Employees

0
Shifts

5. Days of Operation:

Put an X in box that applies:

Hours
Open for business

| Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|--------|---------|-----------|----------|--------|----------|--------|
| 7am | 7am | 7am | 7am | 7am | 7am | 7am |
| 9pm | 9pm | 9pm | 9pm | 9pm | 9pm | 9pm |

6. Is this an extension of an existing operation? no
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? no Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? none
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? no If yes, explain: _____
11. Dimension of area to be occupied Whole Building Total square footage 4,000sq ft
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 6 Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?
none

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

DEAN MYERS
Name
owner
Title or Position

3-24-02
Date

I am aware and approve of the business to be operating in the building owned by _____.

Name

Title or Position

Date

2022 VILLAGE OF SUSSEX ORDER

GRANTING A CONDITIONAL USE AND PRESCRIBING CONDITIONS FOR DEAN MYERS TO
ALLOW CERTAIN USES AS DESCRIBED HEREIN IN THE VILLAGE OF SUSSEX

WHEREAS, a petition has been filed by Dean Myers and the intended operator of a Car Restoration Hobby Garage (hereinafter "PETITIONER"); and

WHEREAS, the petitioner is requesting that a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for property commonly referred to as parcel number SUXV0246970001 N63W23991 MAIN ST Sussex, Wisconsin, all as described on Exhibit A attached hereto and incorporated herein (hereinafter "SUBJECT PROPERTY"); and

WHEREAS, the subject property is zoned B-4 Central Mixed Use district where a car repair/hobby garage in the B-4 district may be permitted as a conditional use in accordance with Section 17.0506(A)(9)(a) of the Village of Sussex Zoning Ordinance; and

WHEREAS, pursuant to Section 17.0506(A)(9)(a) of the Village of Sussex Zoning Ordinance the Plan Commission finds that the no outside storage shall be permitted for part sales and the other outside storage allowed by this CU shall be on a hard paved surface and if not screened by view for the vehicles has sufficient landscaping to minimize the visual impact of the parked vehicles; and

WHEREAS, pursuant to Section 17.0506(A)(15)(e) all outside storage is a conditional use and location of items and screening will only be in the designated areas and under the terms from the CU permit.

WHEREAS, upon receipt of the application for a conditional use permit filed by the petitioner, the Village Clerk properly referred such petition to the Plan Commission for the Village of Sussex for determination; and

WHEREAS, upon referral of the petition by the Village Clerk, the Plan Commission for the Village of Sussex determined that the application was sufficient to schedule a public hearing, and

WHEREAS, Dean Myers has followed the public hearing process and the Village had followed the required "Notice of Public Hearing" and mailing of said "Notice of Public Hearing" to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on May 17, 2022 and June 21, 2022 as required by Section 17.0505 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Sussex Village Plan Commission, following the public hearing and necessary investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof: a conditional use permit for the subject property is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by Dean Myers (or a subsequent ownership group if such group is approved by the Plan Commission as set forth in G.) for the following specific uses: car restoration/hobby garage as well as permitted and accessory uses set forth in Section 17.0419 B-4 Central Mixed Use District and auxiliary uses as set forth in 17.0710 if approved as part of a Plan of Operation and site plan; and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use is granted for Dean Myers for the above enumerated uses, subject to the following conditions:

1. Presentation Compliance. The uses set forth above are approved herein on the Subject Property, and the use thereof shall be used in substantial conformity with the presentation at the Public hearing before the Plan Commission held on May 17, 2022 and June 21, 2022 meetings of the Plan Commission.
2. Subject Property. This conditional use permit issued to the Petitioner, shall be limited to the property described in Exhibit "A" attached hereto and incorporated herein as presented at the public hearing.
3. Plans. The petitioner is required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Village of Sussex in order for this CU to be in effect. The Petitioner shall be entitled to amend or change any plan contemplated herein subject to the aforementioned conditions and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial amendment or change in any plan contemplated herein that the Plan Commission for the Village of Sussex feels, in its sole discretion, to be substantial will require a new permit and all Village procedures in place at the time must be followed.
 - A. Site Plan. The Petitioner shall maintain the existing site plan, which shall be attached hereto and incorporated herein as Exhibit B.
 - B. Plan of Operation. The petitioner shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the presentation at the meeting. Once approved the plan of operation shall be attached hereto and incorporated herein as Exhibit C.
 - C. Traffic, Access and Loading Plans. The petitioner shall comply with the specific traffic, access, loading, and egress plan which is attached as Exhibit D. This plan allows up to 10 parked vehicles on the paved parking lot area north and south of the building and 1 operable trailer.
 - D. Lighting Plan. The petitioner shall adhere to the lighting plan on file for the subject property. No light rays shall be directed onto neighboring properties.
 - E. Signage Plan. All signage on the subject property shall conform to the requirements set forth in Section 17.0800 of the Village Zoning Ordinance and the Design Standards of the Village of Sussex. No change in signage shall be permitted until approved by the Village Building Inspector.
 - F. Sewer, Water, Stormwater and Erosion Control Plans. The petitioner shall comply with the sewer, water, stormwater and erosion control plans on file with the Village Clerk.
 - G. Outdoor Storage Plan. No outdoor storage shall be permitted on the subject property with the following specific exceptions:
 1. Up to 10 vehicles may be parking on the site, but only on the paved areas shown on the parking plan. The vehicles must be licensed. Per ordinance no parts storage may occur outside. One trailer (operable) may also be on the paved parking areas denoted north and south of the building. The driveway to the secondary garage is not paved and as such may not have any overnight parking.
 - H. Landscape and Fence Plan. The Plan Commission has specifically requested a fence plan be provided and that the fence be maintained and that the subject property landscaping be maintained. The petitioner shall comply with the fence plan on file with the Village Clerk.
4. Adult-Oriented Materials. No adult-oriented materials or pornographic videotapes, magazines, or gift items will be sold or rented from the subject facility.
5. Licenses. The petitioner shall be required to obtain any and all required licenses and permits from the Village, County, State, and federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.

6. Laws. The petitioner shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
 7. Building and Fire Inspection. The petitioner is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.
 8. Aesthetics. The petitioner is required to properly maintain the Subject Property at all times and in full compliance with the Village Property Maintenance Code, Section 9.07(11) of the Village of Sussex Code all to the satisfaction of the Plan Commission for the Village of Sussex.
 9. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property.
 10. Temporary Use or Activity. No temporary use or special activity or event shall be permitted without prior approval of the Village of Sussex and the same must be in compliance with all ordinance, rules, and regulations of the Village of Sussex and all necessary permits must be obtained.
 11. Fees and Expenses. The petitioner, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the petitioner with copies of all itemized invoices.
 12. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the petitioner.
 13. Complaints. in the event the petitioner receives any complaints with regard to the operation authorized by this conditional use, the petitioner shall respond to such complaints in writing within a reasonable time not to exceed two weeks from the date of the complaint and shall provide a copy of the written response to the Sussex Village Administrator within the same period of time. If the complaint was made in writing, the copy provided to the Village Administrator shall include a copy of the complaint.
 14. No Nuisance. The Village reserves the right to rescind its approval of this conditional use permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the petitioner is given an opportunity to be heard on the matter and, if so rescinded the petitioner and Subject Property shall thereupon be immediately subject to the Village of Sussex Zoning Ordinances, as applicable, regarding the use of the Subject Property as though no conditional use permit was granted.
 15. Subject to Acceptance. Subject to the Owner approving in writing the issuance of the same and petitioner acknowledging in writing that they have received a copy of this conditional order, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the petitioner will therefore need to restart the application process.
 16. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate
- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the subject property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.

- D. This conditional use hereby authorized shall be confined to the subject property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.
- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the petitioner be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized by the Plan Commission, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Plan Commission, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed. The conditional use order may also be extended to a new owner without a new public hearing if the Plan Commission determines that the new owner will adhere to the terms of the conditional use permit and the Plan Commission determines there are no substantial changes proposed to the CU and the Plan Commission determines that the change of ownership/operation will not impact the general safety and welfare of the community.
- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- I. This conditional use permit shall be effective for an initial term that ends five years from the date of January 1 of the year the conditional use is approved. During the fifth year of the CU the Village Administrator or designee shall examine the record to determine if concerns about the operation have been raised in writing by the public, a governmental body or official, or anyone else, and shall also review the site and the adjoining area for compliance with the conditions of the CU. If based upon that review the use of the property is compatible with the surrounding areas and the petitioner is in substantial compliance with all terms of this conditional use agreement, then, in that event, the Conditional Use can be automatically renewed for another 5 year term. If based upon that review the Village Administrator finds concerns about compliance with the conditions of the Conditional Use, the petitioner shall be brought back before the Plan Commission for consideration of the renewal. The petitioner shall have the responsibility to apply for the renewal by January 30th of the fifth (5) year of the term. Failure of petitioner to apply for the renewal as provided herein shall be deemed a violation of the conditions of the conditional use and may serve as a basis for termination of the conditional use permit. The Plan Commission for the Village of Sussex may add additional conditions at any time.

I. Where the changing character of the surrounding area causes the original conditional use or subsequent approved amendments thereto to no longer be compatible with the surrounding area, or for similar cause, based upon consideration for the public welfare, the conditional use order and any subsequent approved amendments or changes may be terminated by action of the Plan Commission of the Village of Sussex. Such use shall thereafter be classified as a legal nonconforming use as it was permitted to exist on the day it was terminated.

2. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.

3. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.

- J. Upon acceptance by petitioner of this conditional use permit, all prior conditional use permits granted to the subject property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.
- L. If any paragraph or phrase of this conditional use order is declared by a Court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific paragraph or phrase thereof directly specified in the decision and shall not affect the validity of any other provisions, sections or portions thereof of this order. The remainder of the order shall remain in full force and effect.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the petitioner.

Approved this 21 Day of June 2022

BY THE PLAN COMMISSION FOR THE VILLAGE OF SUSSEX

Village President

Village Clerk

ACCEPTANCE

I hereby accept all the terms and conditions of the Conditional Use permit and shall follow the same.

Dean Myers

EXHIBIT A

Legal Description

LOT 1 CSM #11781 VOL 118/245 REC AS DOC #4369270 PT NW1/4 OF NW1/4 SEC 26 T8N R19E

SUXV0246970001 N63W23991 MAIN ST

EXHIBIT B
SITE MAP



EXHIBT C PLAN OF OPERATION