



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

Architectural Review Board Agenda
4:00 PM Wednesday, JUNE 5, 2024
Sussex Civic Center – Committee Room Second Floor

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Sussex Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. (If a Quorum is present the Chairperson shall announce, "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during any Public Hearing(s) or if the rules are suspended to allow them to do so.)

1. Roll call.
2. Consideration and possible action on the minutes of April 3, 2024.
3. Discussion and possible action on site plan, landscape plan, architecture plan, and lighting plan for Highlands Business Park Site XII.
4. Consideration and possible action on the site plan, architectural plan, lighting plan, landscape plan for Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.
5. Adjournment.

Anthony LeDonne
Chairperson

Jeremy Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Jeremy Smith at 246-5200.



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

MEMORANDUM

TO: Architectural Review Board
FROM: Gabriel Gilbertson, Community Development Director
RE: June 5, 2024 Architectural Review Board
DATE: Friday, May 31, 2024

The following is background information for the ARB agenda items (Design Standards 3-25-2014)

- I. **Roll call.**
- II. **Consideration and possible action on the ARB minutes of April 3, 2024.**
- III. **Discussion and possible action on site plan, landscape plan, architecture plan, and lighting plan for Highlands Business Park Site XII.**

The site is zoned BP-1 Business Park with a PDO. An industrial building is a permitted use under 17.0420(6). The 139,111 square foot speculative building can accommodate multiple tenants, which will need to receive individual plan of operation approvals at such time as they wish to occupy the building.

The Plan Commission reviewed the site plan and use at its May 18, 2024 meeting and approved the submitted plans.

Site

- Green space requirement is met at 38.2%.
- Entry points have been consolidated and provided separate for cars from trucks – ultimately the truck entrance will also provide vehicular access for the future industrial building located to the north.
- Site to have 90 parking stalls – parking requirements to be determined when individual Plan of Operations are submitted for tenants.

Architecture

- Building meets height and required setbacks.
- Location of any RTU's are not known at this time. When their locations are known, a plan shall be submitted to staff that includes the type of screening that will be used.
- Material to be used meets the Design Standards.
- Windows are included on each elevation. Percentage of window and door openings needed for the front (south) elevation. The applicant stated that additional glazing has been added to achieve the minimum 20% required for window and door openings, but a note should be made on the plans that includes that information.

- The proposed dumpster enclosure is chain-link fence and needs to be constructed of similar materials or architecturally match the principal building. Revised elevations of the enclosure is needed.

Lighting

- Lighting appears to meet the standards. If the light poles are to be mounted on bases, the bases are factored into the overall height of the fixture and need to be painted to match the building.

Landscape

- The site has 119 trees, when 64 are required. The site has 250 shrubs, when 320 are required. The plan meets the requirements of the design guidelines for trees, but additional shrubs are required.

Sign

- Base and pillar materials meets the requirements of the design guidelines. A sign permit will be required prior to any installation of a sign and be reviewed by Staff.

Policy Question:

1. Are there any concerns with the proposed site plan, landscape plan, architecture plan, and lighting plan?

Action Items:

1. Act on the submitted plans.

Staff Recommendation: Staff recommends the Architectural Review Board approve site plan, landscape plan, architecture plan, and lighting plan for Highlands Business Park Site XII, subject to the following conditions:

1. Submit revised plans for the dumpster enclosure that meet the requirements of the design guidelines to Staff for review.
2. Submit revised landscape plan that meets the minimum shrub requirements to Staff for review.
3. Submit details on how the proposed light poles will be installed for Staff to review.
4. Include a note on the elevations that with the percentage of window/door openings for each elevation to Staff for review.

IV. Consideration and possible action on the site plan, architectural plan, lighting plan, landscape plan for Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.

The subject property is zoned B-3 Highway Business and is located in the Sussex Gateway Retail Center development on the northeast corner of State Highway 164 and Lisbon Road. The land is currently vacant and the applicant is proposing to construct a Club Carwash. Section 17.0506(9)(A)(1) requires a Conditional Use Permit for vehicle washing in the B-3 Highway Business District.

The proposed carwash is going through the Conditional Use Permit process at the Plan Commission.

Site

- Greenspace requirement is met at 51.1%.

- Site meets minimum requirements for parking stalls.

Architecture

- Building meets height and required setbacks.
- Material to be used meets the Design Standards – smooth face CMU block with architectural elements and details.
- Windows are included on each elevation – the south elevations appears to meet the minimum requirements of the design guidelines for windows on the road facing façade, but the applicant will need to provide details to confirm.

Lighting

- The lighting plan is proposing 20' poles on 2'6" bases. The bases should be buried, however, if they are to be exposed, they will need to be painted to match the building. The lighting plan should be revised to reflect how this will be addressed.

Landscape

- The Sussex Design Guidelines require a total of 36 trees and 184 shrubs. The submitted landscape plan has 36 trees and 185 shrubs. The landscape plan meets the minimum requirements of the design guidelines.

Sign

- Any proposed wall signs or monument signs will require sign permits and be reviewed by Staff for compliance with the design guidelines.

Policy Question:

1. Are there any concerns with the various plans?

Action Items:

1. Act on the various plans.

Staff Recommendation: Staff recommends the Architectural Review Board approve the site, architectural, and landscape plan for Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District, subject to the following conditions:

1. Submitting revised elevations with the percentage of window/door openings on the south elevation to Staff for review.
2. Submitting a revised lighting plan that addresses how the bases of the light poles will be handled to Staff for review.

VILLAGE OF SUSSEX
SUSSEX, WISCONSIN

Minutes of the Architectural Review Board (ARB) meeting held on April 3, 2024.

President LeDonne called the meeting to order at 4:03 p.m.

Members present: Anthony LeDonne, Gary Foxe, Stacy Reidel, and Michael Smith

Members absent: Mike Knapp

Others present: Gabe Gilbertson, Community Development Director

Consideration and possible action on the minutes of February 7, 2024.

A motion Smith, seconded by Foxe to approve the minutes of the meeting held on February 7, 2024.

All ayes, motion carried.

Consideration and possible action on exterior window vinyl for The Dollar Tree located at W249N5245 Executive Dr.

A motion by President LeDonne, second by Foxe to approve the proposed installation of a green vinyl on the windows of the Dollar Tree tenant space.

All ayes, motion carried.

Consideration and possible action on the site plan, architectural plan, lighting plan, landscape plan for a Mr. D's Carwash.

Member Stacy Reidel arrived at 4:19 p.m.

Motion by President LeDonne, second by Reidel to approve the site, architectural, and landscape plan for Mr. D's Carwash located at the parcel identified by Tax Key No. 231.997.014, subject to the following conditions:

1. Submitting a revised site plan to Staff that includes additional evergreen trees on the northern corner of the subject property to provide additional screening from the residential multi-family buildings to the north.
2. Submitting revised elevations to Staff that provide the required amount of window and door openings on the street yard elevation facing State Highway 164.
3. Submitting a lighting plan to Staff that meets the requirements of the Sussex Design Standards.

All ayes, motion carried.

A motion by Foxe, seconded by Reidel to adjourn the meeting at 4:39 pm.

All ayes, motion carried.

Respectfully submitted,
Jeremy Smith, Village Administrator

PROJECT:

WANGARD HIGHLANDS - SITE XII

SUSSEX, WISCONSIN

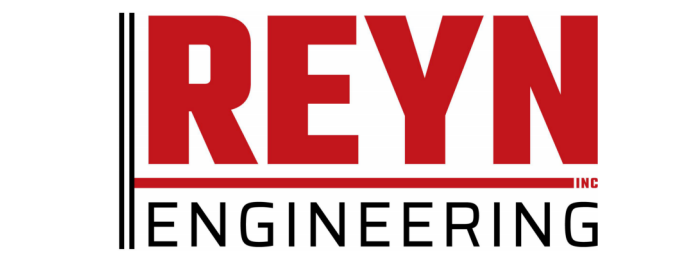


ISSUED FOR: **MUNICIPAL REVIEW COMMENTS**

ARCHITECT:
STEPHEN PERRY SMITH ARCHITECTS, INC.
MILWAUKEE, WISCONSIN



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com



PROJECT

PROPOSED BUILDING FOR:



WANGARD
HIGHLANDS - SITE XII

SUSSEX, WISCONSIN

OWNER



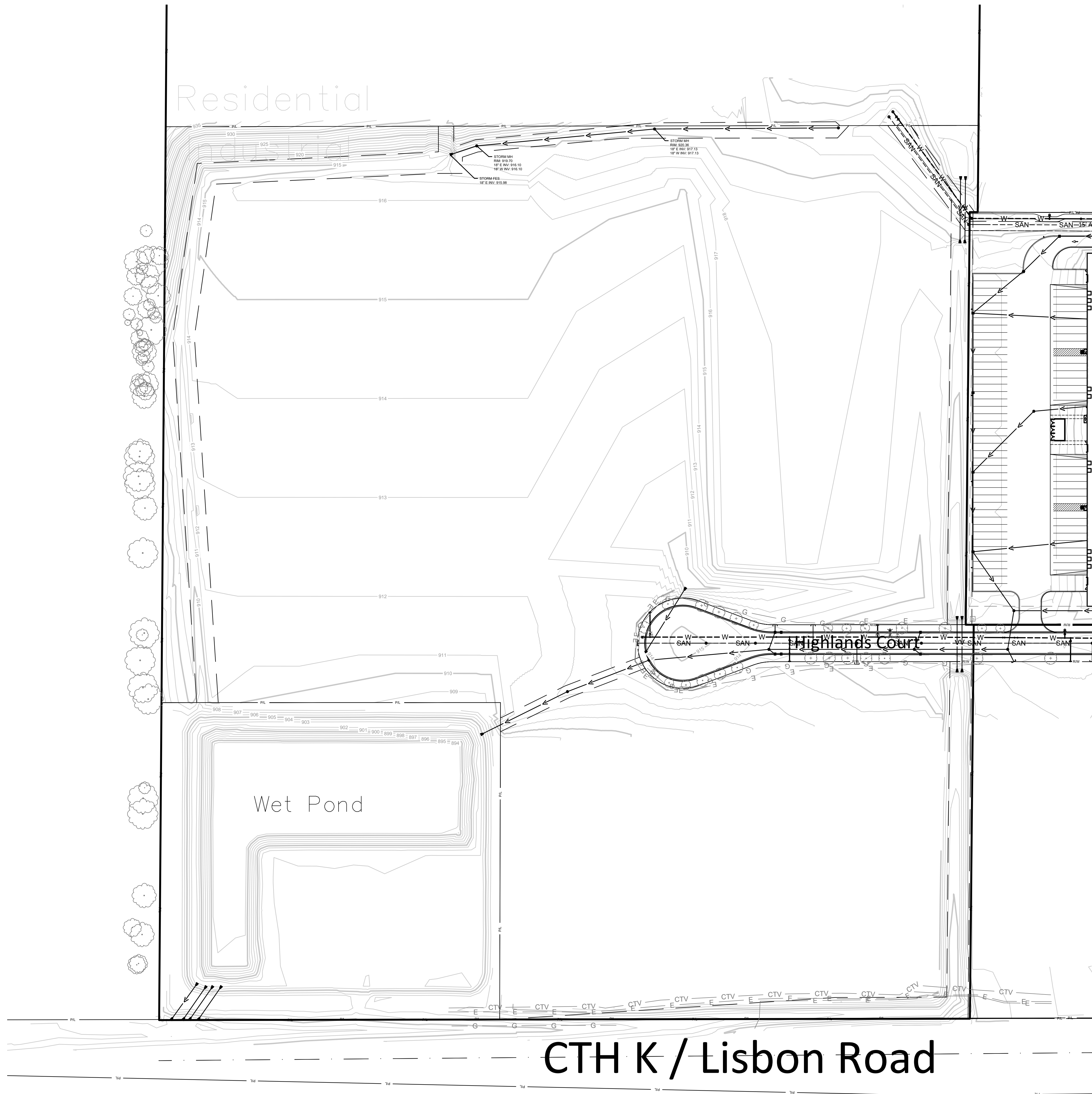
REVISIONS


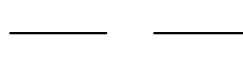
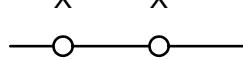


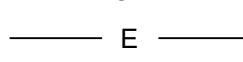
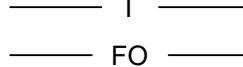
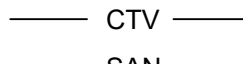
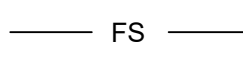
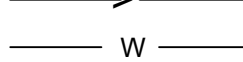
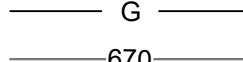



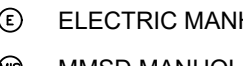

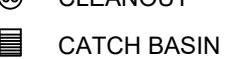
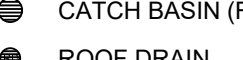

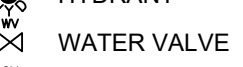
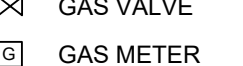
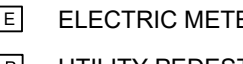

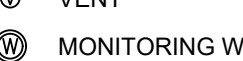



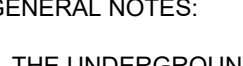
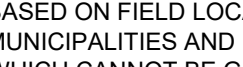
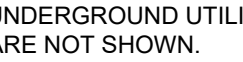
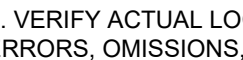
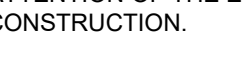
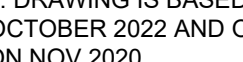
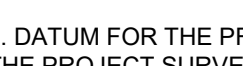













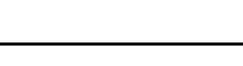

NO.	DESCRIPTION	DATE
1	MUNICIPAL REVIEW COMMENTS	05/20/2024

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	SJC
PROJECT NUMBER	240205
ISSUED FOR	MUNICIPAL REVIEW COMMENTS
DATE	MAY 10, 2024

SHEET
TITLE PAGE



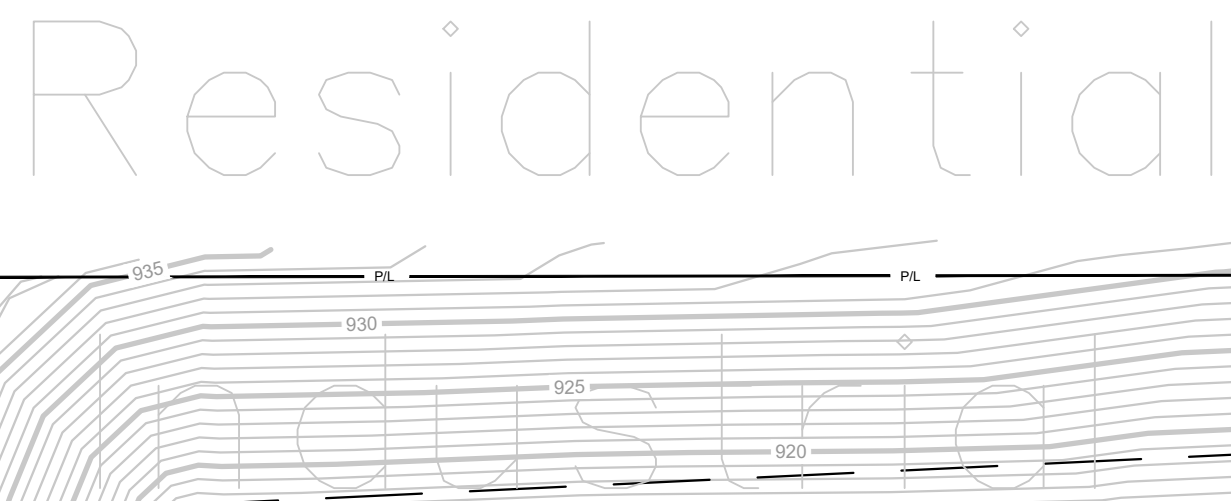
	SECTION 1/4 SECTION LINE
	PROPERTY LINE
	EASEMENT
	CHAIN LINK FENCE
	GUARD RAIL
	METAL FENCE
	WOOD FENCE
	TREE LINE
	OVERHEAD UTILITY LINE
	ELECTRIC
	TELEPHONE
	FIBER OPTIC
	CABLE TV
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	WATER MAIN
	GAS
	EXISTING CONTOUR
	WETLAND
	FLOODPLAIN
	UNKNOWN MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	ELECTRIC MANHOLE
	MMSD MANHOLE
	TELEPHONE MANHOLE
	CLEANOUT
	CATCH BASIN
	CATCH BASIN (ROUND)
	ROOF DRAIN
	CULVERT END
	HYDRANT
	WATER VALVE
	GAS VALVE
	GAS METER
	ELECTRIC METER
	UTILITY PEDESTAL
	HANDHOLE
	VENT
	MONITORING WELL
	IRON PIPE FOUND/SET
	REBAR FOUND/SET
	CHISELED CROSS FOUND/SET
	PK NAIL FOUND/SET
	SPIKE/NAIL
	MONUMENT
	BENCHMARK
	SIGN
	PARKING METER
	FLAG POLE
	DECIDUOUS TREE
	CONIFEROUS TREE
	BUSH
	POST
	SOIL BORING
	TRAFFIC SIGNAL
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	GUY POLE

5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.



WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-118



REDFORD HILLS SUBDIVISION

EXISTING STORM WATER
DRAINAGE EASEMENT

EXISTING WET DETENTION POND | NWL: 903.00 | HWL: 906.82

	SECTION 1/4 SECTION LINE		PROPERTY LINE
	EASEMENT		CHAIN LINK FENCE
	GUARD RAIL		METAL FENCE
	WOOD FENCE		TREE LINE
	OVERHEAD UTILITY LINE		ELECTRIC
	TELEPHONE		FIBER OPTIC
	CABLE TV		SANITARY SEWER
	FORCE MAIN		STORM SEWER
	WATER MAIN		GAS
	EXISTING CONTOUR		WETLAND
	FLOODPLAIN		IRON PIPE FOUND/SET
	UNKNOWN MANHOLE		REBAR FOUND/SET
	SANITARY MANHOLE		CHISELED CROSS FOUND/SET
	STORM MANHOLE		PK NAIL FOUND/SET
	ELECTRIC MANHOLE		SPIKE/NAIL
	MMSD MANHOLE		MONUMENT
	TELEPHONE MANHOLE		BENCHMARK
	CLEANOUT		SIGN
	CATCH BASIN		PARKING METER
	CATCH BASIN (ROUND)		FLAG POLE
	ROOF DRAIN		DECIDUOUS TREE
	CULVERT END		CONIFEROUS TREE
	HYDRANT		BUSH
	WATER VALVE		POST
	GAS VALVE		SOIL BORING
	GAS METER		TRAFFIC SIGNAL
	ELECTRIC METER		LIGHT POLE
	UTILITY PEDESTAL		UTILITY POLE
	HANDHOLE		GUY WIRE
	VENT		GUY POLE
	MONITORING WELL		

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

3. DRAWING IS BASED ON DESIGN FILES PREPARED BY SIGMA DATED OCTOBER 2022 AND ON FIELD SURVEY COMPLETED BY THE SIGMA GROUP ON NOV 2020.

4. DATUM FOR THE PROJECT SURVEY IS USGS NGVD29. BENCHMARK FOR THE PROJECT SURVEY IS NE 1/4 OF SEC 33-8-19. ELEV. = 946.10.

5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES GORE YOU DIG IN WISCONSIN

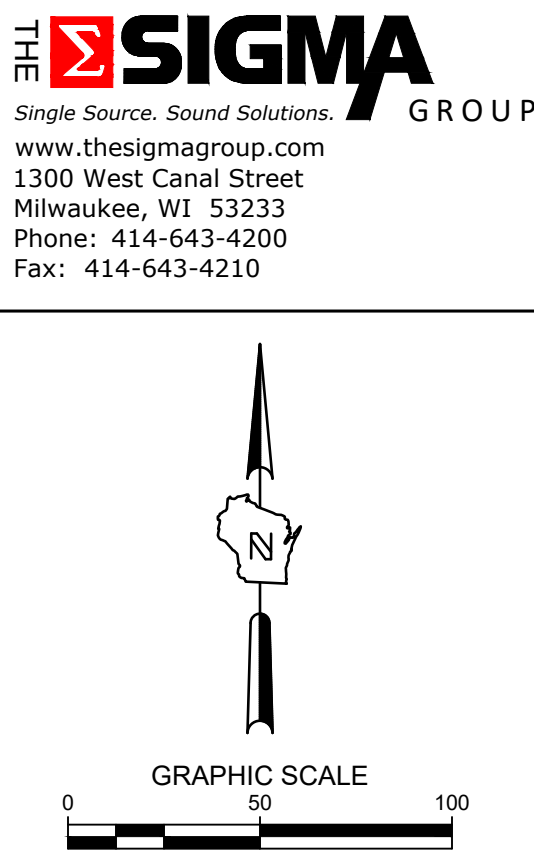


CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-118

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



SUSSEX HIGHLANDS SITE XII
HIGHLANDS COURT
SUSSEX, WI
SITE XII SITE SURVEY

**PRELIMINARY
NOT FOR
CONSTRUCTION**

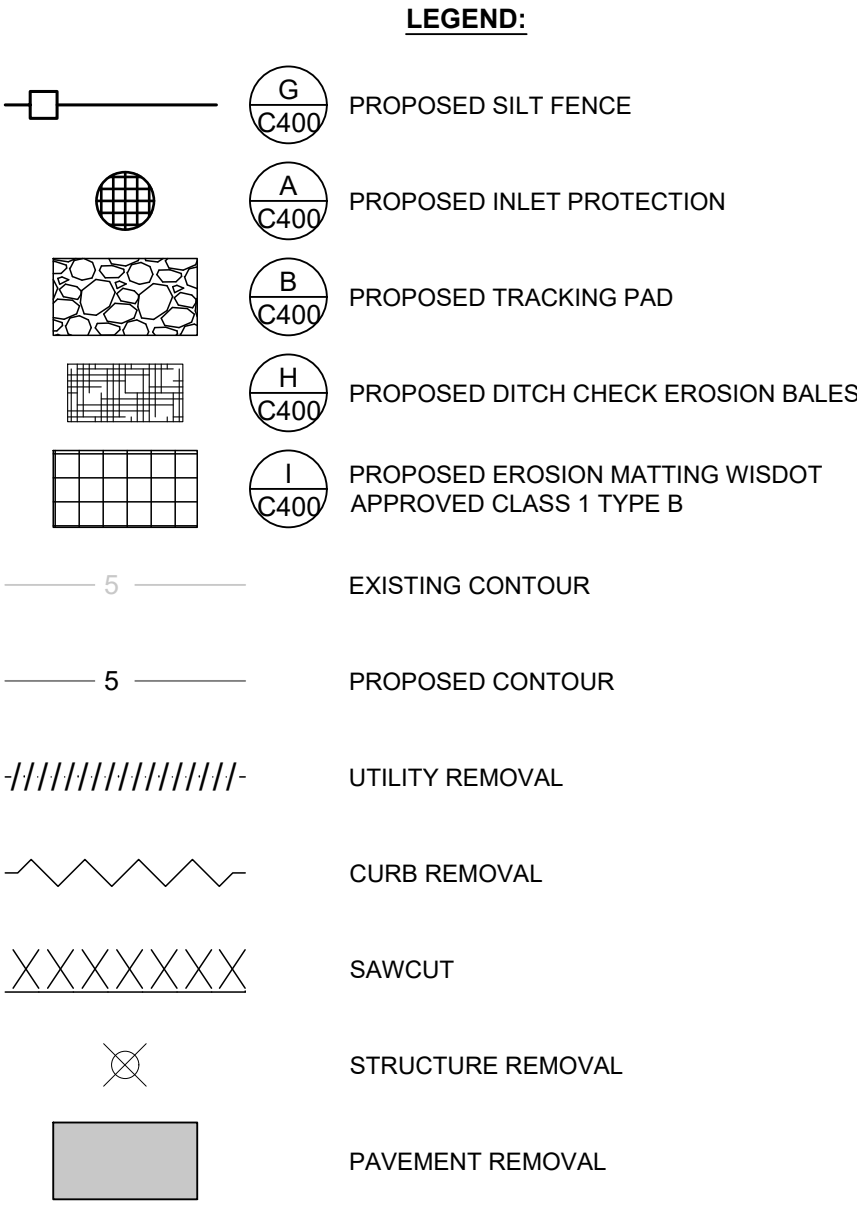
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL 4/26/2024	

NO. REVISION	DATE

PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.17
DRAWN BY:	JTR
CHECKED BY:	----
APPROVED BY:	PJI
SHEET NO:	

C001A

REDFORD HILLS SUBDIVISION



1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LOCATIONS, OR OTHER POLYLINE OR CURVE LAYOUTS. SITE WORK REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

PAVEMENT AND CURB REMOVAL
FOR SANITARY AND WATER INSTALLATION.
REMOVE TO NEAREST JOINT W/ FULL DEPTH SAW CUT
EXISTING 12" X 6" REDUCER AND
6" GATE VALVE TO BE RELOCATED

REPLACE EXISTING INLET GRATE
WITH NEENAH R-3290-A
INLET GRATE

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

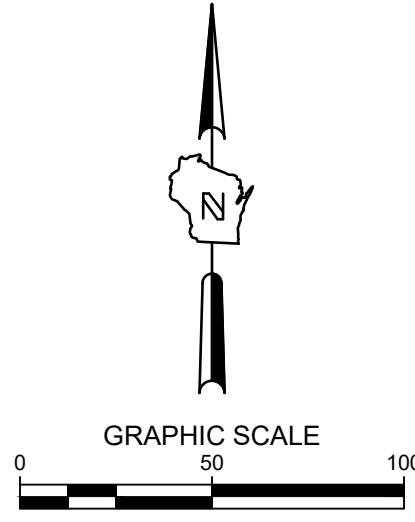
TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOT
1-800-242-8511
TOLL FREE

WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAY
NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1



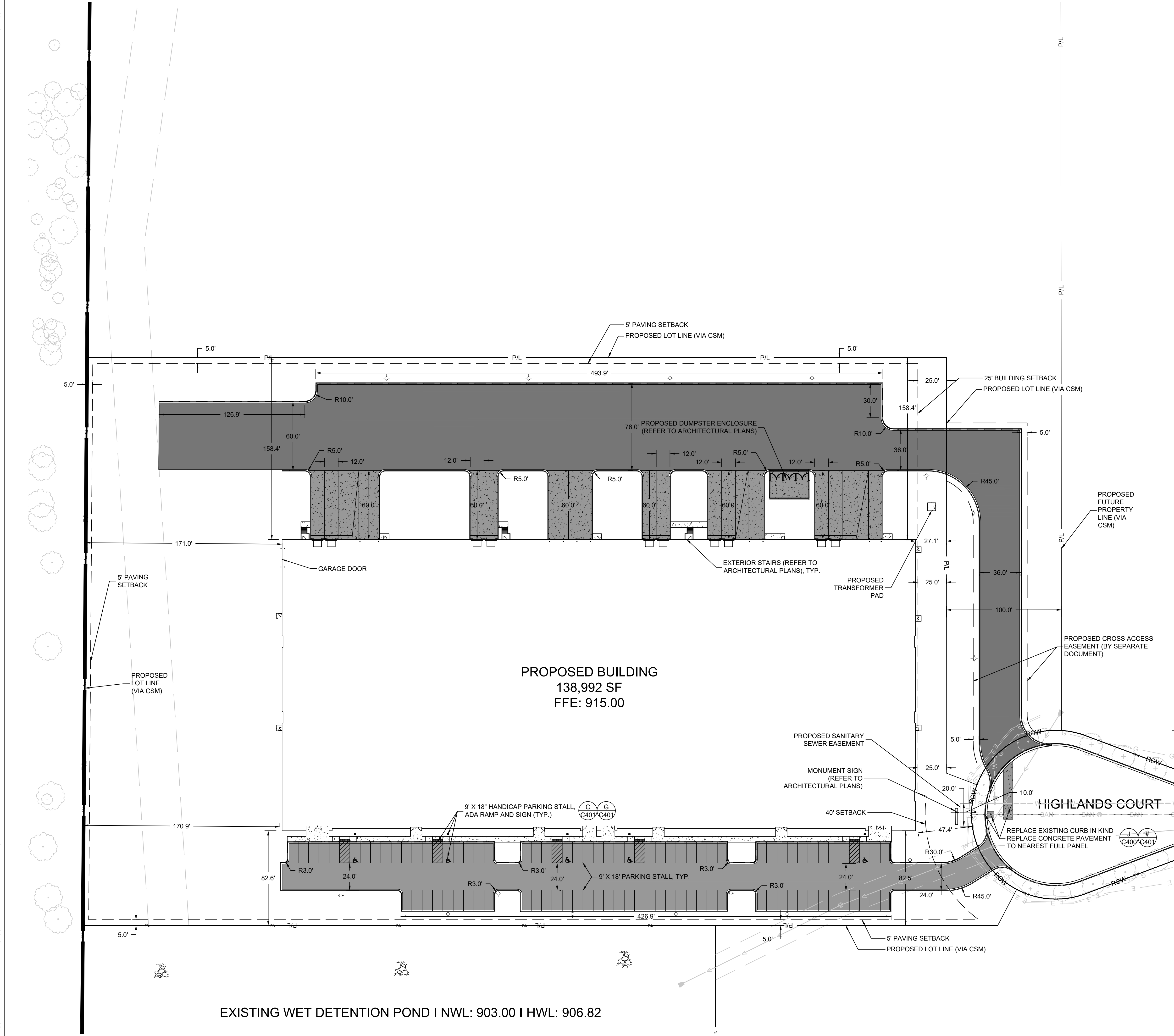
SITE XII SITE PREPARATION & EROSION CONTROL

PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	REVISION	DATE

PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.17
DRAWN BY:	JTR
CHECKED BY:	----
APPROVED BY:	PJI
SHEET NO:	

C002



SITE INFORMATION			
SITE AREA	375707	8.625 AC	
SITE DISTURBED AREA	375707	8.625 AC	
EXISTING IMPERVIOUS AREA	0	0.000 AC	0.0 %
PROPOSED IMPERVIOUS AREA	232318	5.333 AC	61.8 %
TOTAL PARKING SPACES	90		
ADA PARKING SPACES	5		

LEGEND:	
	D C400 5' THICK CONCRETE WALK
	C C400 CONCRETE PAVEMENT
	E C400 ASPHALT SURFACE
	F C400 HEAVY-DUTY ASPHALT SURFACE
	SITE LIGHT POLE
	E C401 CURB & GUTTER (ACCEPT)
	E C401 CURB & GUTTER (REJECT)

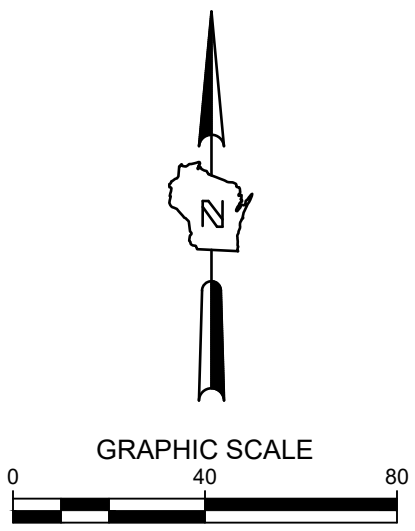
- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WE STATUTE 182.075(187A)
REQUIRES 90+ WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210



SUSSEX HIGHLANDS SITE XII
HIGHLANDS COURT
SUSSEX, WI
SITE XII SITE DIMENSION PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

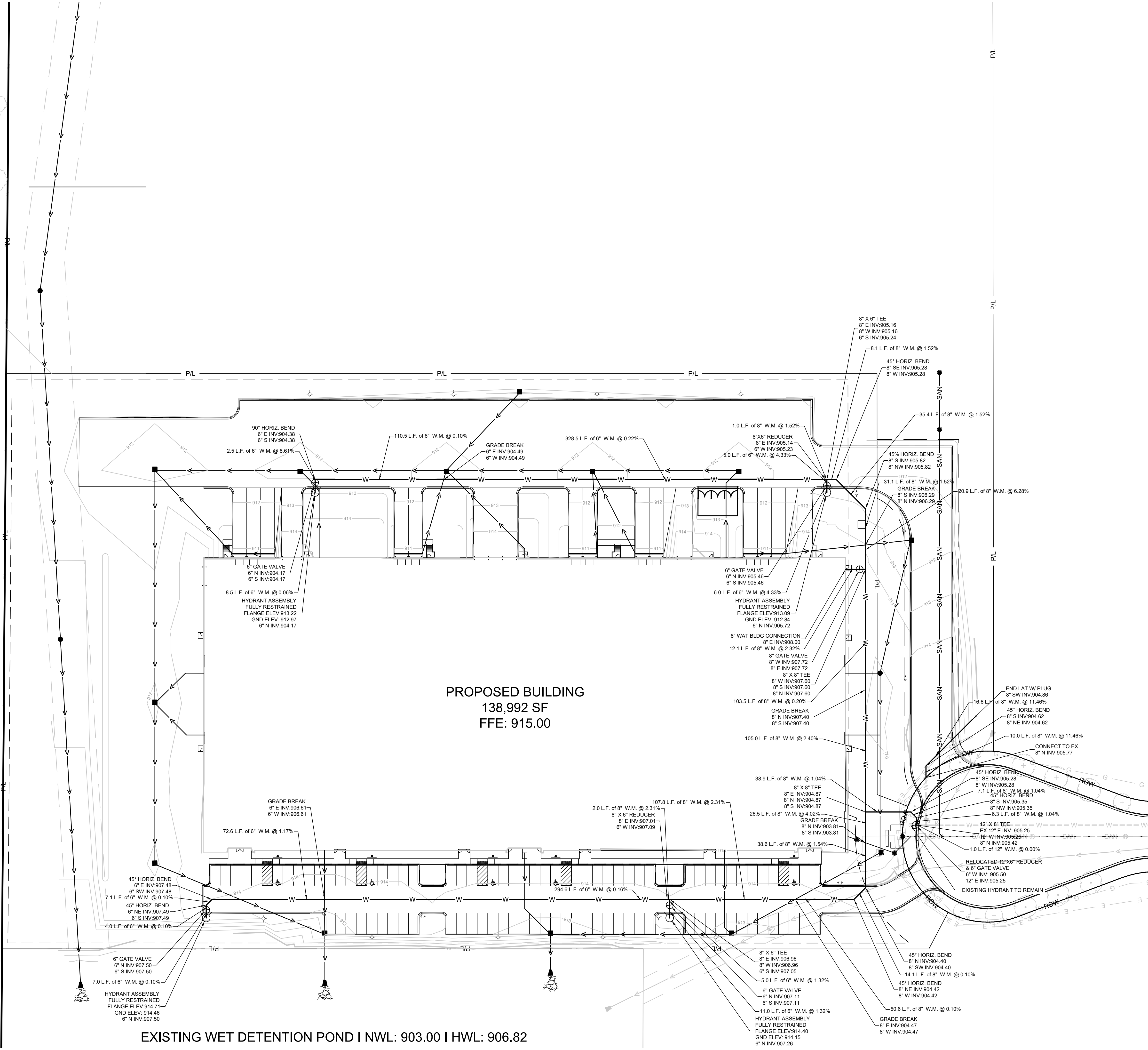
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	4/26/2024

NO. REVISION	DATE
--------------	------

PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.17
DRAWN BY:	JTR
CHECKED BY:	----
APPROVED BY:	PJI

SHEET NO:

C100



LEGEND:

—W—	PROPOSED WATER SERVICE
—SAN—	PROPOSED SANITARY SERVICE
—>—	PROPOSED STORM SEWER
—DT—	PROPOSED DRAIN TILE (UNDERDRAIN)
■	PROPOSED STORM INLET
●	PROPOSED STORM MANHOLE
▲	PROPOSED FLARED END SECTION
●	PROPOSED SANITARY MANHOLE
⊙	PROPOSED HYDRANT ASSEMBLY

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
 - PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
 - WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
 - PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
 - COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
 - IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.
 - WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
 - INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NO'S 44.45.46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



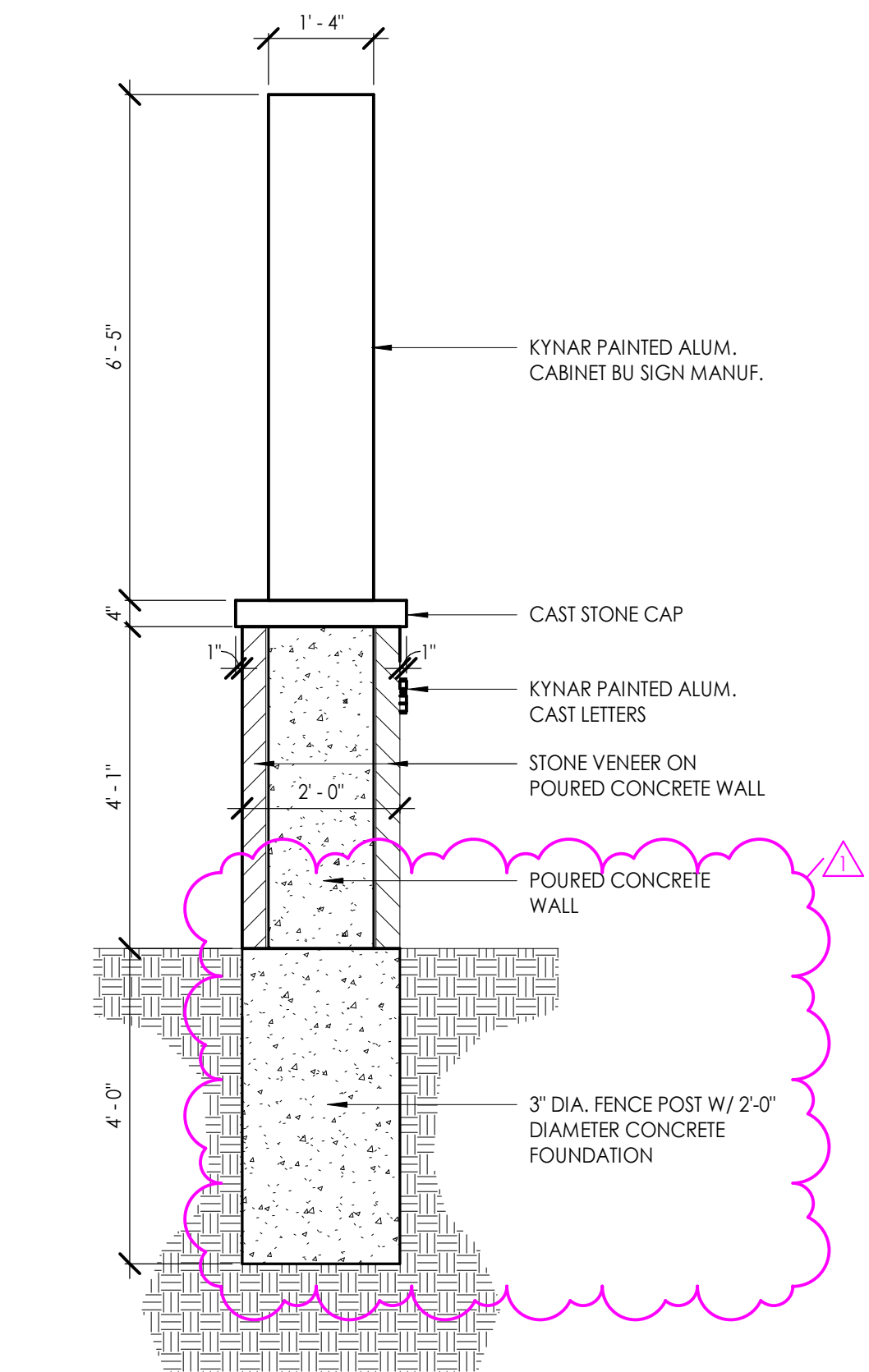
SUSSEX HIGHLANDS SITE XII
HIGHLANDS COURT
SUSSEX, WI
SITE XII UTILITY PLAN - PRIVATE WATER

**PRELIMINARY
NOT FOR
CONSTRUCTION**

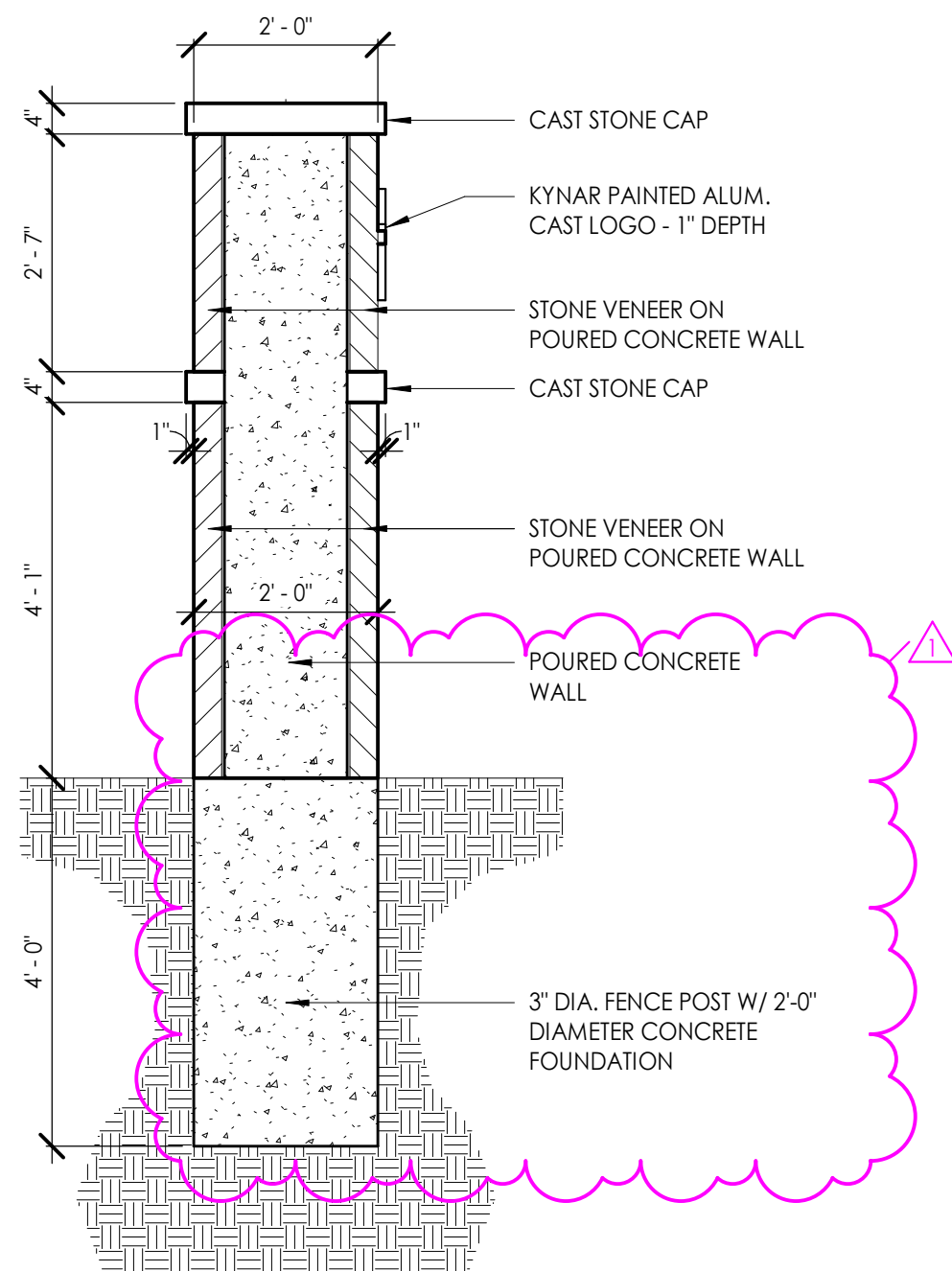
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	4/26/2024

NO. REVISION	DATE
--------------	------

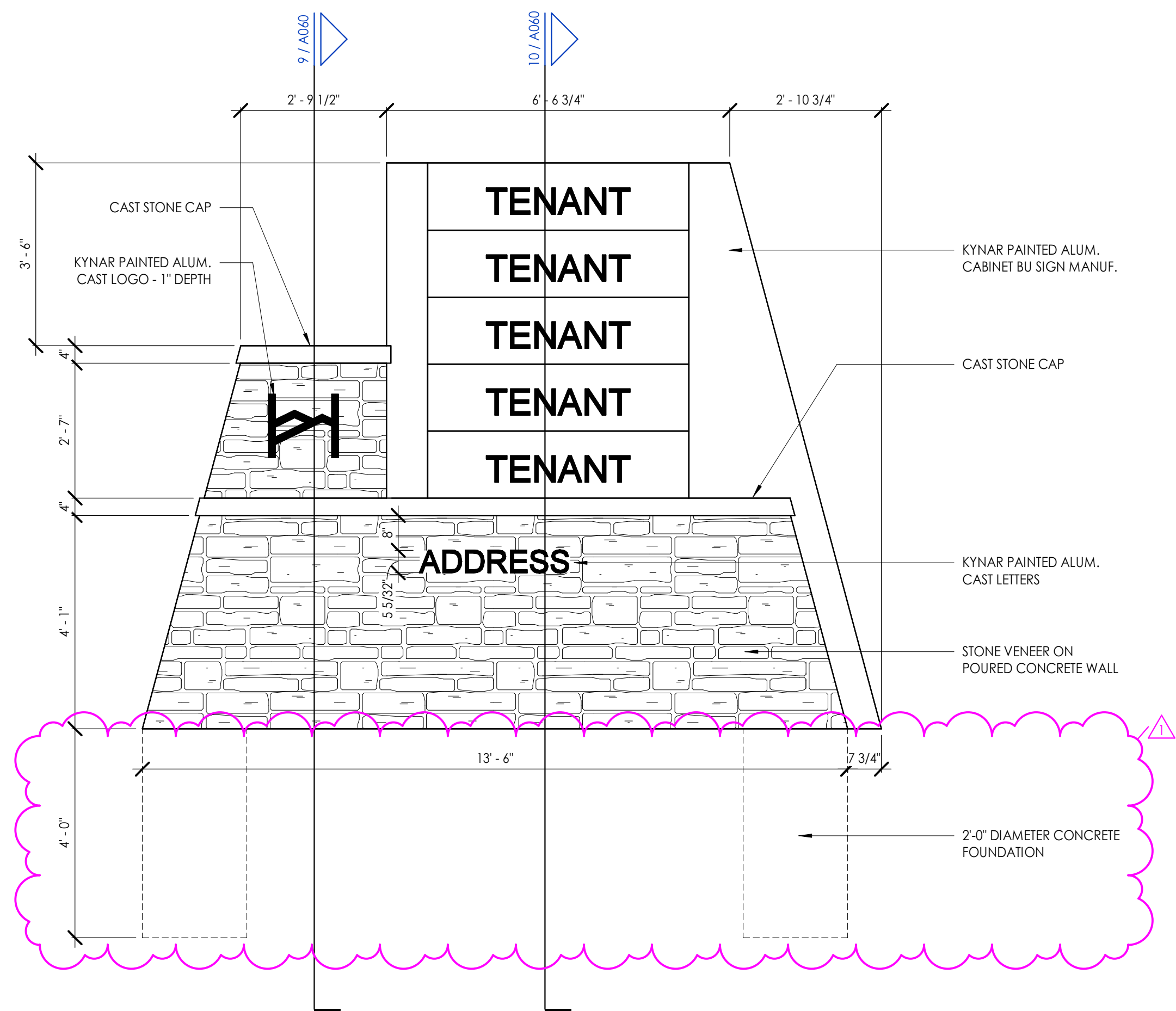
PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.17
DRAWN BY:	JTR
CHECKED BY:	----
APPROVED BY:	PJH
SHEET NO:	C301



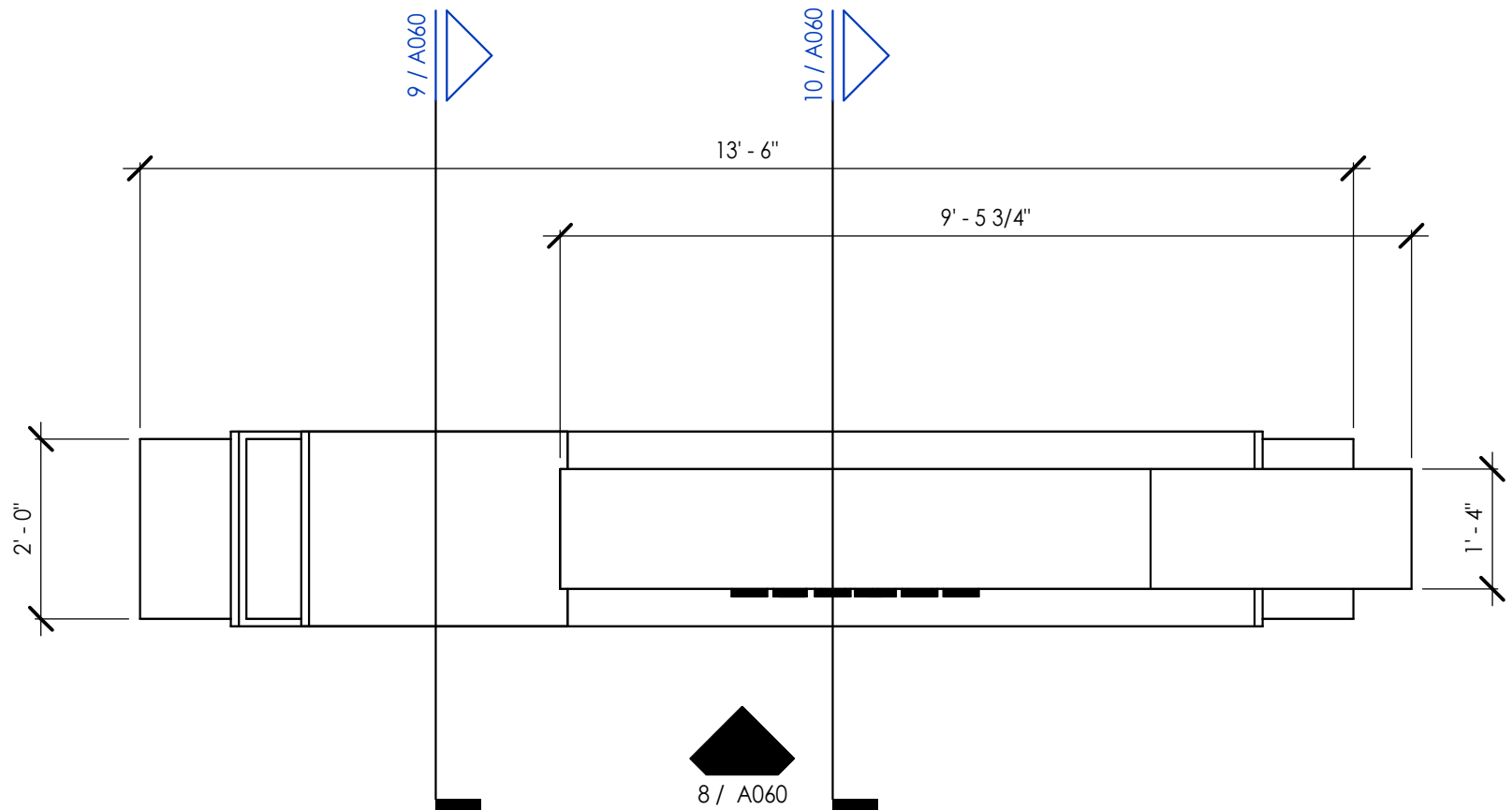
10 | MONUMENT SIGN SECTION - B
1/2" = 1'-0"



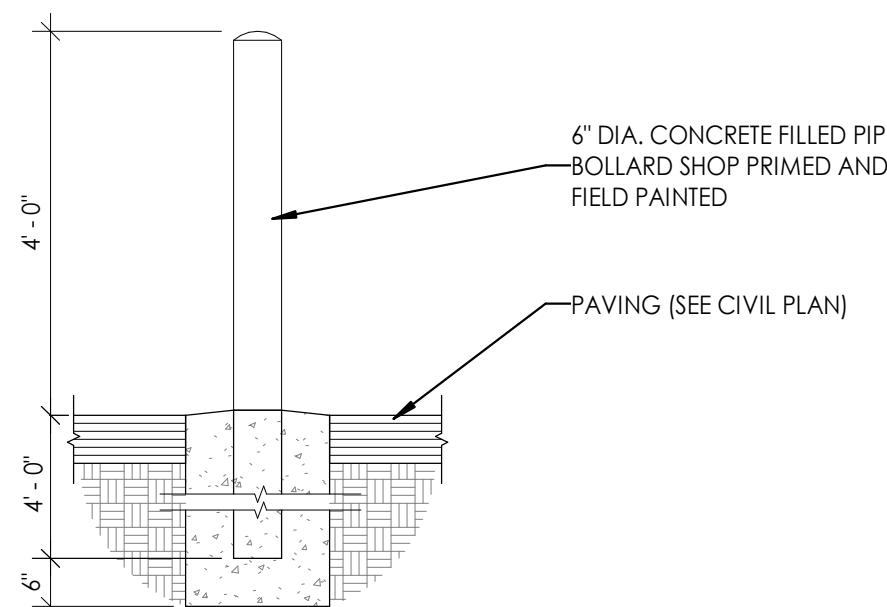
9 | MONUMENT SIGN SECTION - A
1/2" = 1'-0"



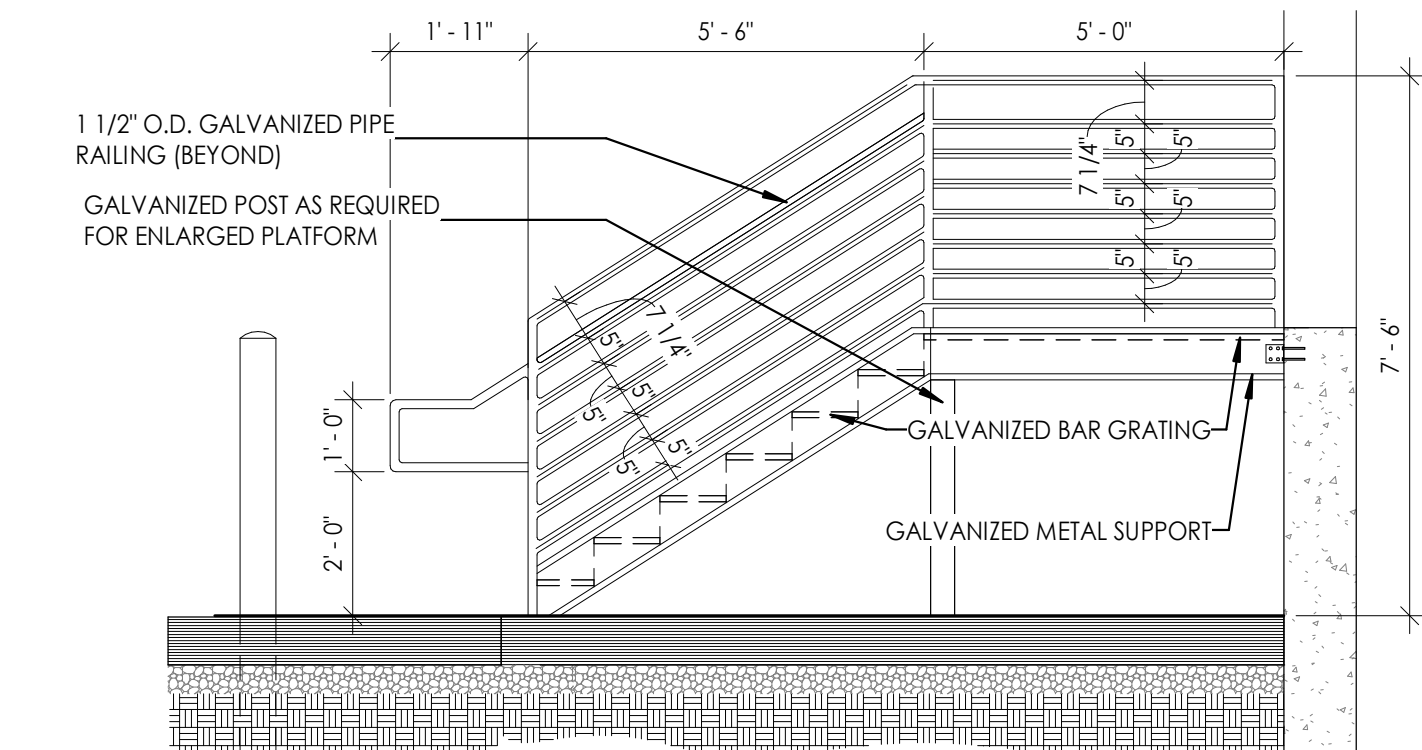
8 | MONUMENT SIGN ELEVATION
1/2" = 1'-0"



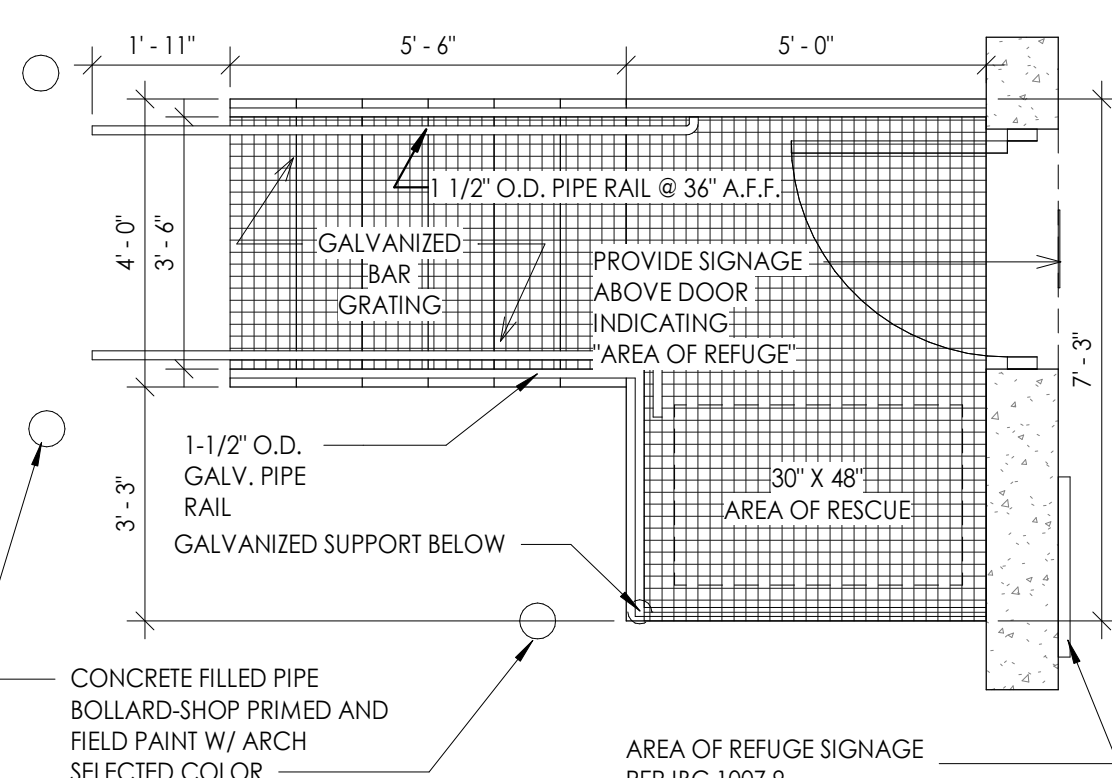
7 | ENLARGED MONUMENT SIGN PLAN
1/2" = 1'-0"



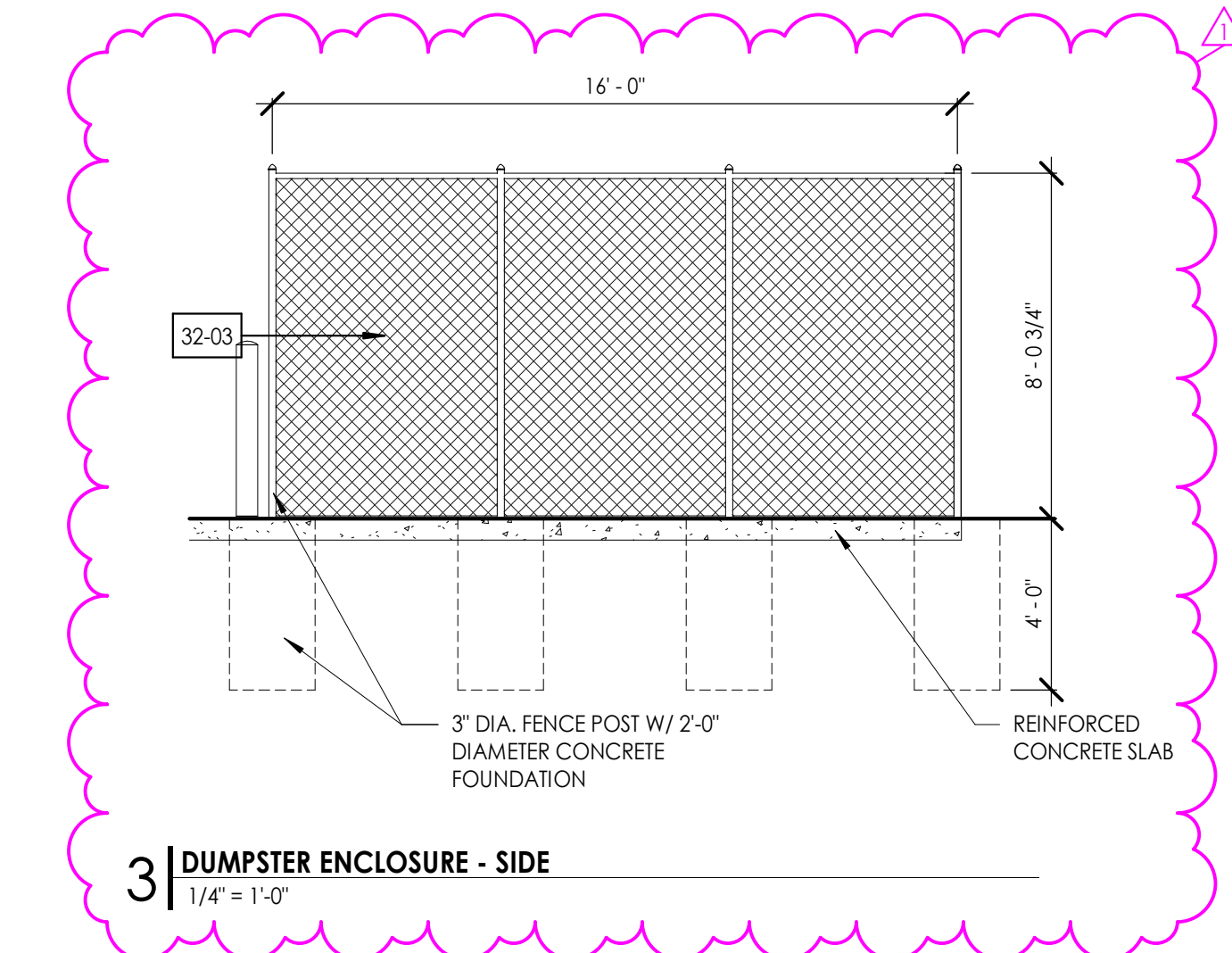
6 | CONCRETE FILLED PIPE BOLLARD
1/2" = 1'-0"



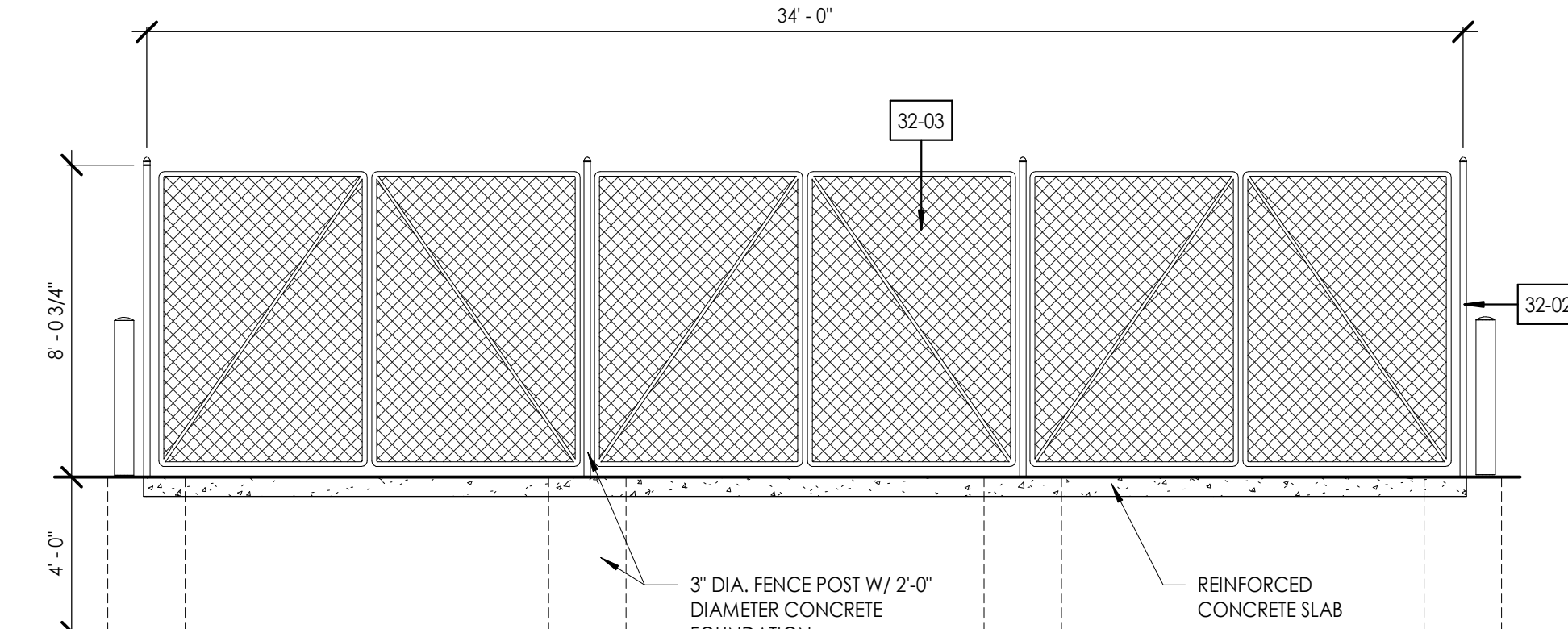
5 | DOCK STAIR - ELEVATION
3/8" = 1'-0"



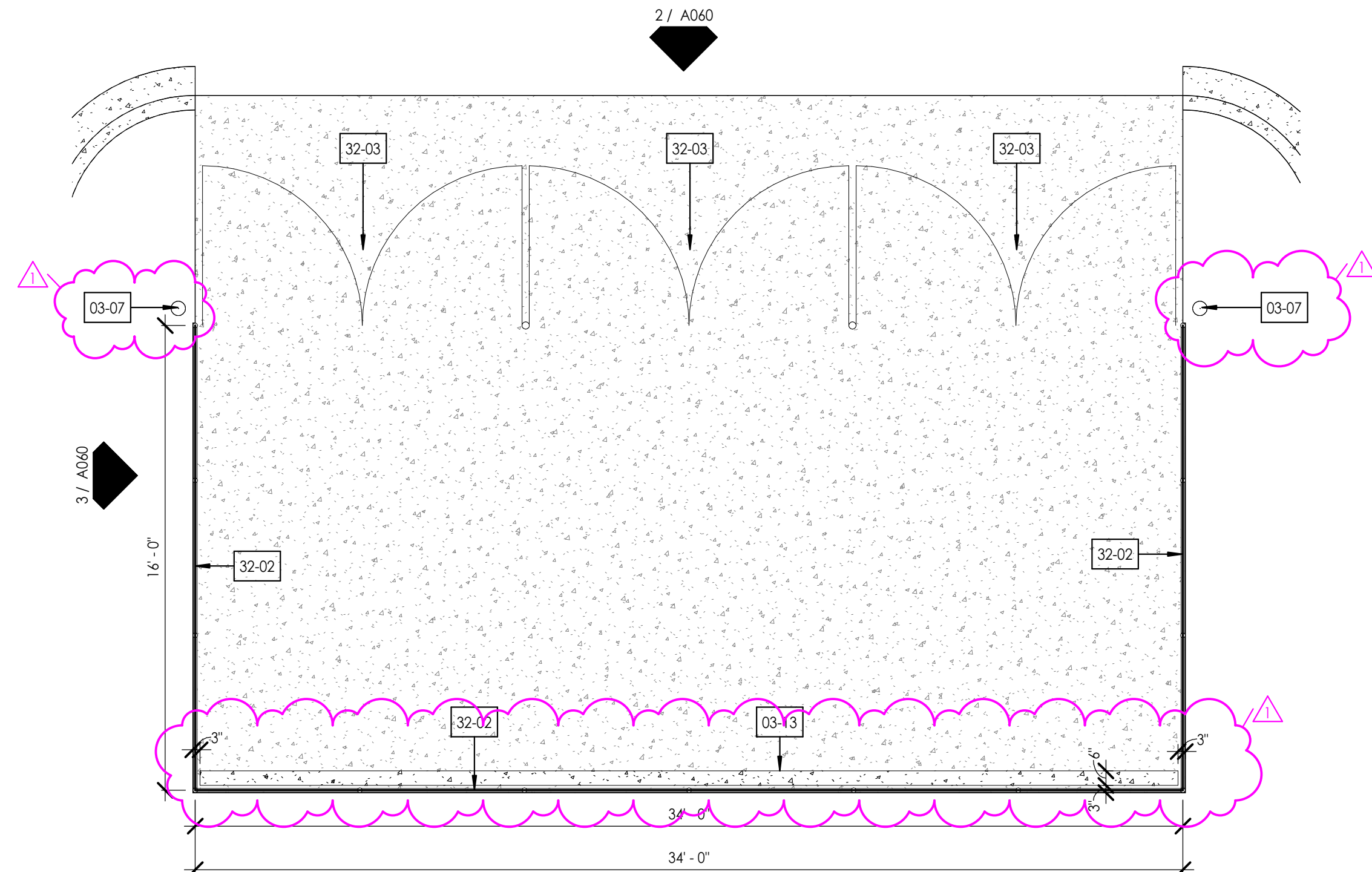
4 | DOCK STAIR - ENLARGED PLAN
3/8" = 1'-0"



3 | DUMPSTER ENCLOSURE - SIDE
1/4" = 1'-0"



2 | DUMPSTER ENCLOSURE - FRONT
1/4" = 1'-0"



1 | ENLARGED PLAN - DUMPSTER ENCLOSURE
1/4" = 1'-0"

SHEET KEYNOTES

03-07	CONCRETE FILLED PIPE BOLLARD WITH YELLOW PLASTIC SLEEVE
03-13	CONCRETE CURB WHEEL STOP
32-02	8'-0" HIGH CHAIN LINK FENCE W/ WOVEN SCREENING
32-03	CHAIN LINK FENCE GATE W/ WOVEN SCREENING



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com



PROJECT

PROPOSED BUILDING FOR:



WANGARD
HIGHLANDS - SITE XII

SUSSEX, WISCONSIN

OWNER



REVISIONS

NO.	DESCRIPTION	DATE
1	MUNICIPAL REVIEW COMMENTS	05/20/2024

INFORMATION

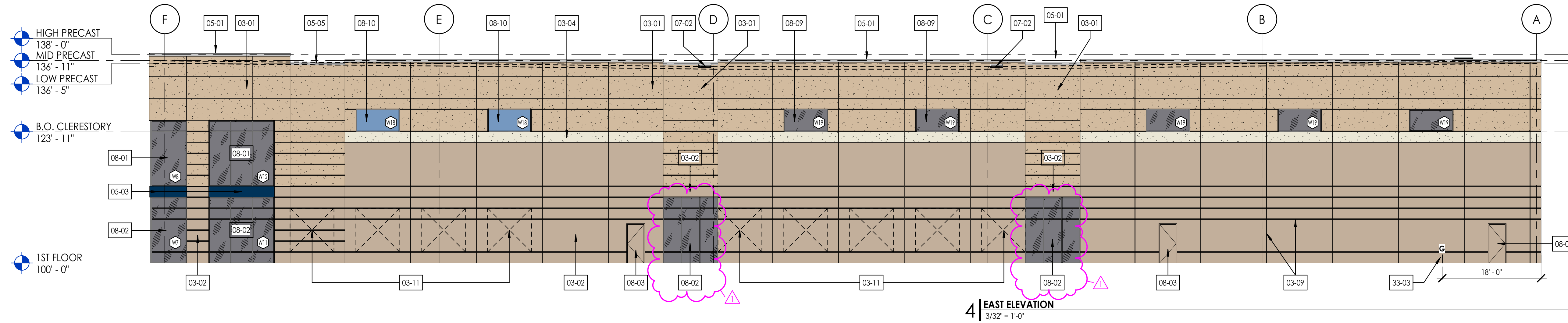
PROJECT ARCHITECT	SPS
PROJECT MANAGER	SJC
PROJECT NUMBER	240205
ISSUED FOR MUNICIPAL REVIEW COMMENTS	
DATE	MAY 10, 2024

SHEET

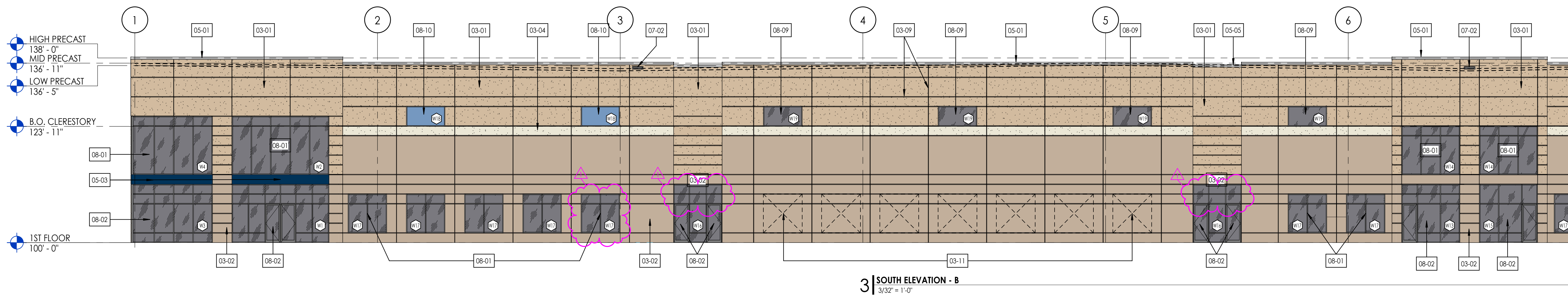
PROJECT SITE DETAILS

A060

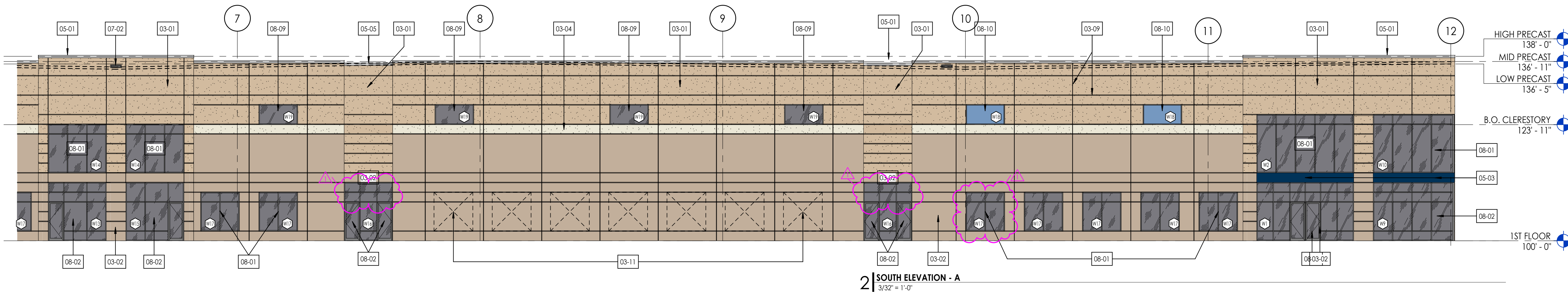
© STEPHEN PERRY SMITH ARCHITECTS, INC.



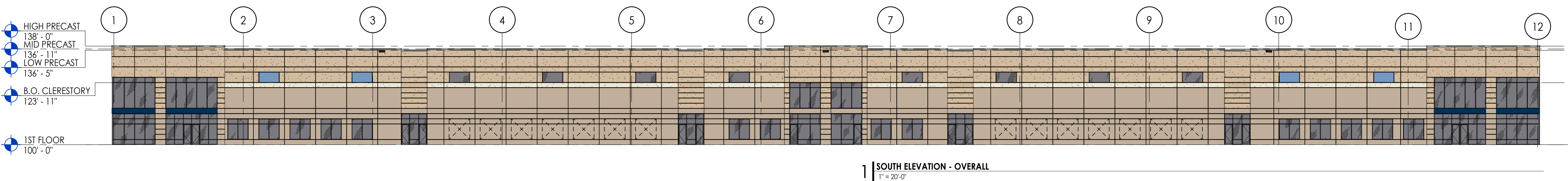
4 | EAST ELEVATION
3/32" = 1'-0"



3 | SOUTH ELEVATION - B
3/32" = 1'-0"



2 | SOUTH ELEVATION - A
3/32" = 1'-0"



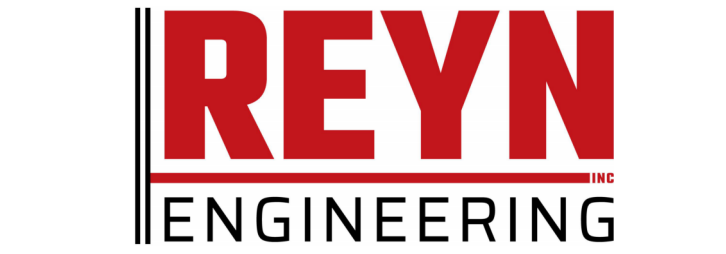
1 | SOUTH ELEVATION - OVERALL
1" = 20'-0"

SHEET KEYNOTES

- 03-01 INSULATED PRECAST WALL PANEL - PRECAST FINISH 3 (SANDBLAST)
- 03-02 INSULATED PRECAST WALL PANEL - PRECAST FINISH 1 (EXPOSED AGGREGATE)
- 03-04 INSULATED PRECAST WALL PANEL - PRECAST FINISH 2 (ACID WASHED)
- 03-09 HORIZONTAL AND VERTICAL REVEALS
- 03-11 FUTURE WINDOW KNOCKOUT
- 05-01 PREFINISHED METAL COPING (AM1)
- 05-03 PREFINISHED METAL PANEL (AM3) - BLUE
- 05-05 PREFINISHED METAL GRAVEL STOP (AM1)
- 07-02 PREFINISHED METAL THRU-WALL SCUPPER (AM9) - SEE DETAIL 26/A801
- 08-01 ALUMINUM STOREFRONT WINDOW SYSTEM (AM2, GL1)
- 08-02 ALUMINUM STOREFRONT ENTRY SYSTEM (AM3, GL1, GL11)
- 08-03 INSULATED STEEL DOOR AND FRAME (EPT5) - DARK GRAY
- 08-09 ALUMINUM CLERESTORY WINDOW (AM2, GL1)
- 08-10 ALUMINUM CLERESTORY WINDOW W/ SPANDREL GLAZING (AM2, GL1S)
- 33-03 GAS LINE ENTRY LOCATION



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com



PROJECT

PROPOSED BUILDING FOR:



WANGARD
HIGHLANDS - SITE XII

SUSSEX, WISCONSIN

OWNER



REVISIONS

NO.	DESCRIPTION	DATE
1	MUNICIPAL REVIEW COMMENTS	05/20/2024

INFORMATION

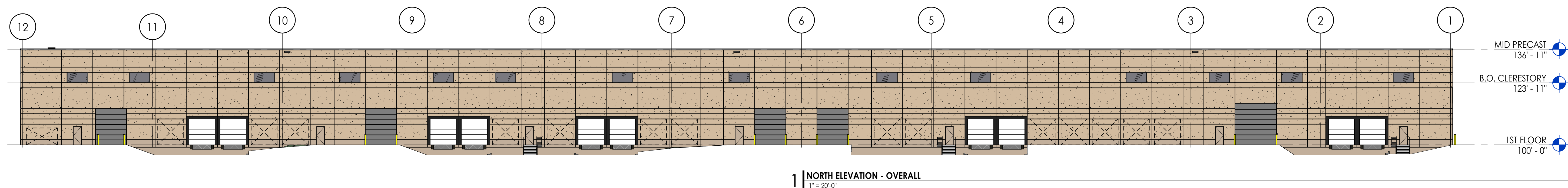
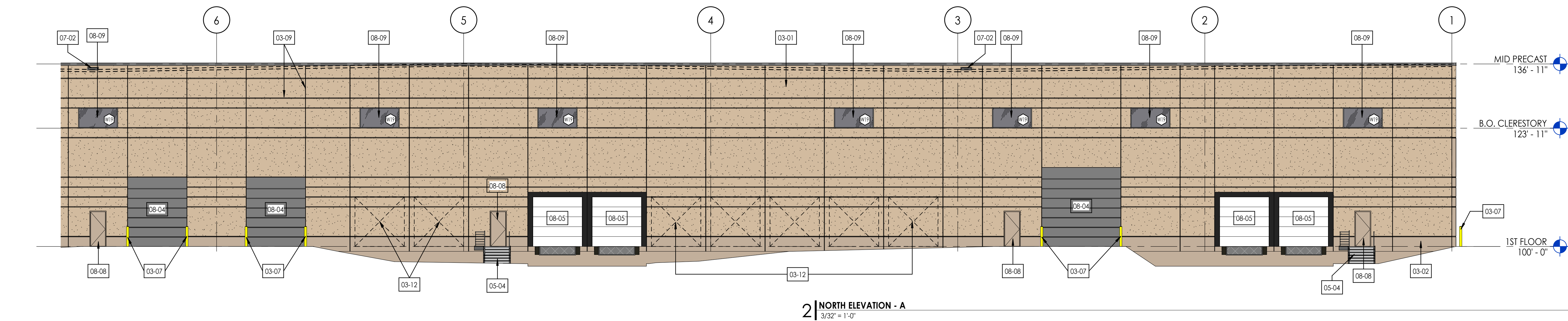
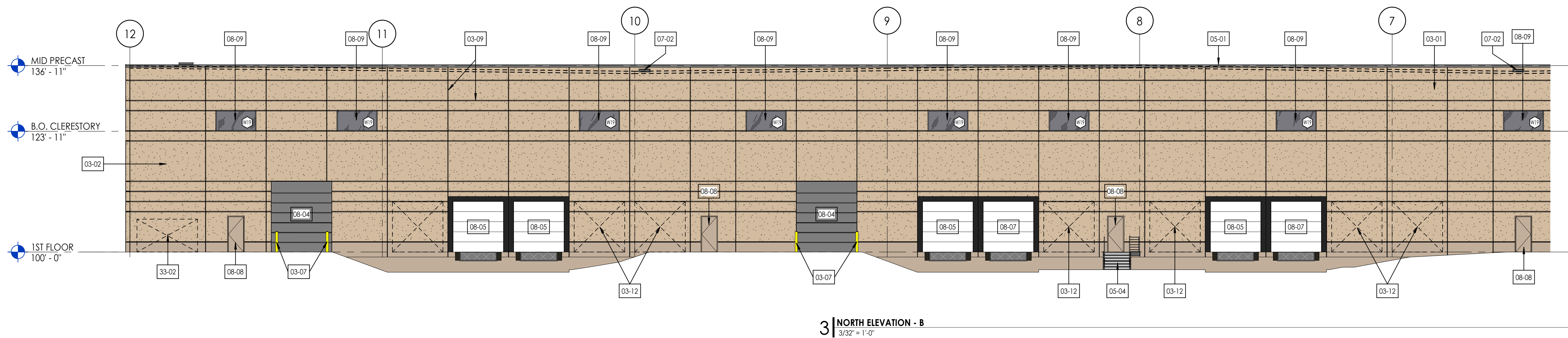
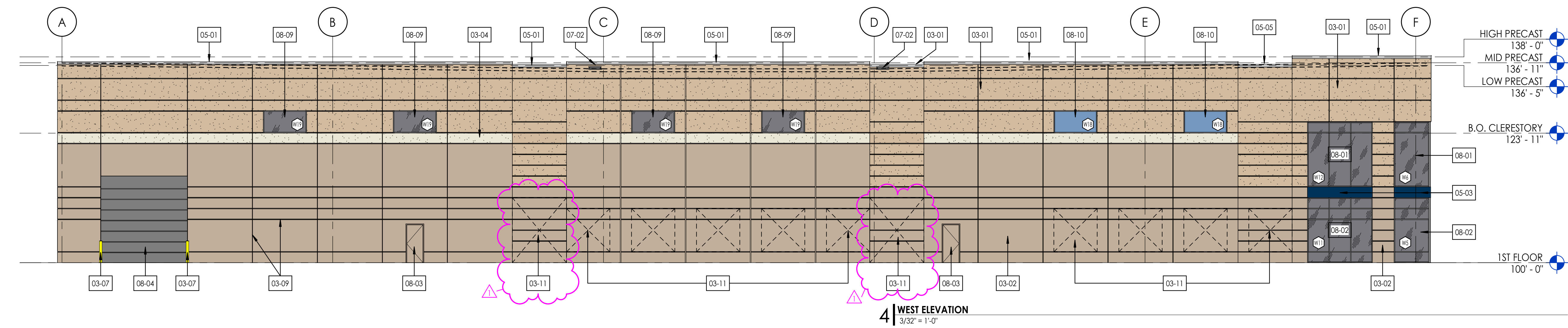
PROJECT ARCHITECT	SPS
PROJECT MANAGER	SJC
PROJECT NUMBER	240205
ISSUED FOR MUNICIPAL REVIEW COMMENTS	
DATE	MAY 10, 2024

SHEET

BUILDING ELEVATIONS

A401

© STEPHEN PERRY SMITH ARCHITECTS, INC.



SHEET KEYNOTES

- 03-01 INSULATED PRECAST WALL PANEL - PRECAST FINISH 3 (SANDBLAST)
- 03-02 INSULATED PRECAST WALL PANEL - PRECAST FINISH 1 (EXPOSED AGGREGATE)
- 03-04 INSULATED PRECAST WALL PANEL - PRECAST FINISH 2 (ACID WASHED)
- 03-07 CONCRETE FILLED PIPE BOLLARD WITH YELLOW PLASTIC SLEEVE
- 03-09 HORIZONTAL AND VERTICAL REVEALS
- 03-11 FUTURE DOCK DOOR KNOCKOUT
- 03-12 FUTURE DOCK DOOR KNOCKOUT
- 05-01 PREFINISHED METAL COPING (AM1)
- 05-03 PREFINISHED METAL PANEL (AM3) - BLUE
- 05-04 DOCK STAIR - HOT DIPPED GALVANIZED METAL (AM8)
- 05-05 PREFINISHED METAL GRAVEL STOP (AM1)
- 07-02 PREFINISHED METAL THRU-WALL SCUPPER (AM9) - SEE DETAIL 26/A801
- 08-01 ALUMINUM STOREFRONT WINDOW SYSTEM (AM2, GL1)
- 08-02 ALUMINUM STOREFRONT ENTRY SYSTEM (AM3, GL1, GL1T)
- 08-03 INSULATED STEEL DOOR AND FRAME (EPT5) - DARK GRAY
- 08-04 INSULATED OVERHEAD DRIVE-IN DOOR (AM6) - WHITE
- 08-05 INSULATED OVERHEAD DOCK DOOR WITH DOCK SEAL (AM7) - WHITE
- 08-07 'Z' GUARDS AT DOCK DOORS
- 08-08 INSULATED STEEL DOOR AND FRAME (EPT6) - MEDIUM GRAY
- 08-09 ALUMINUM CLERESTORY WINDOW (AM2, GL1)
- 08-10 ALUMINUM CLERESTORY WINDOW W/ SPANDREL GLAZING (AM2, GL1S)
- 33-02 EXTERIOR MOUNTED SWITCH GEAR LOCATION



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com



PROJECT

PROPOSED BUILDING FOR:



WANGARD
HIGHLANDS - SITE XII

SUSSEX, WISCONSIN

OWNER



REVISIONS

NO.	DESCRIPTION	DATE
1	MUNICIPAL REVIEW COMMENTS	05/20/2024

INFORMATION

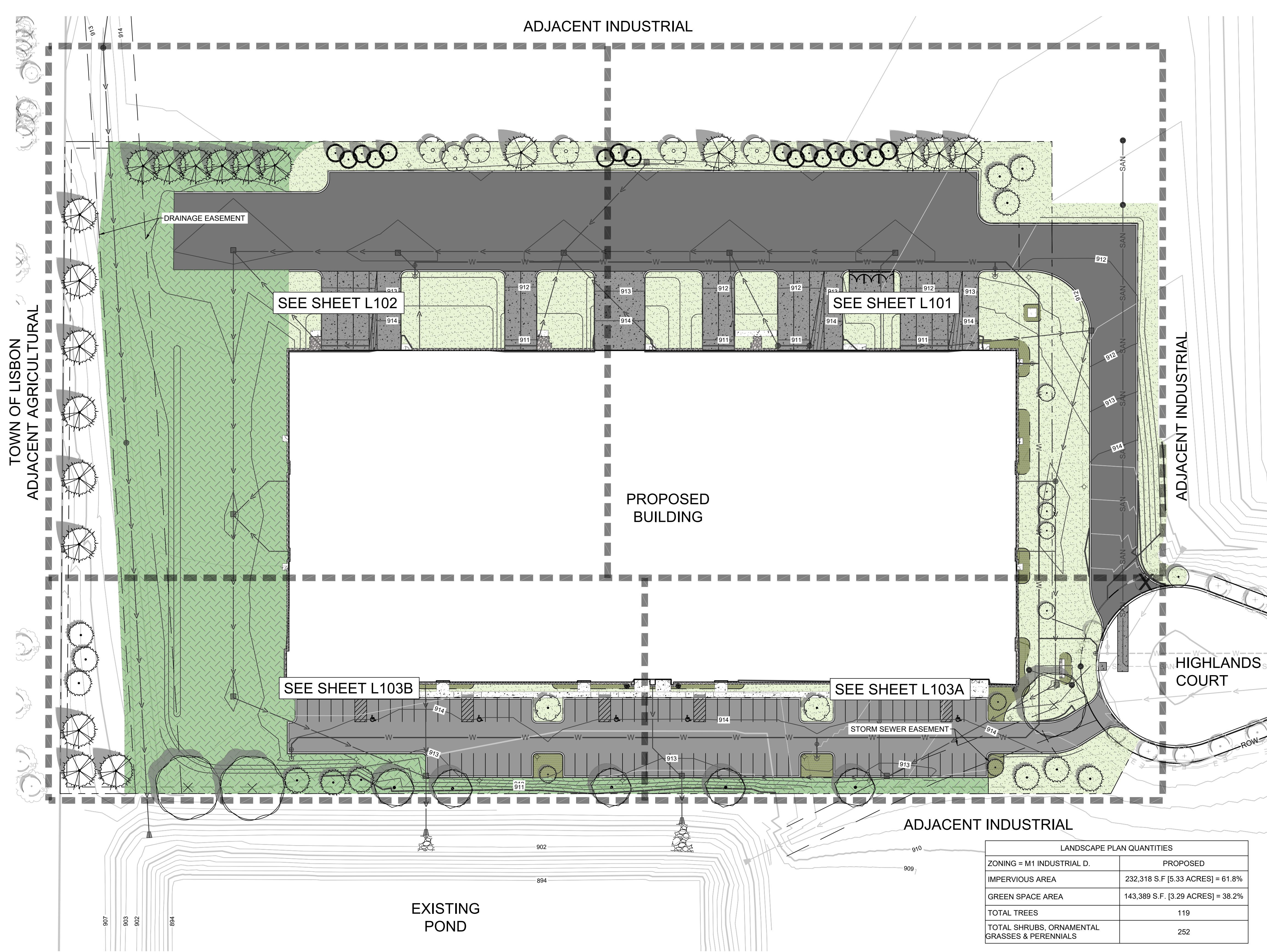
PROJECT ARCHITECT	SPS
PROJECT MANAGER	SJC
PROJECT NUMBER	240205
ISSUED FOR MUNICIPAL REVIEW COMMENTS	
DATE	MAY 10, 2024

SHEET

BUILDING ELEVATIONS

A402

© STEPHEN PERRY SMITH ARCHITECTS, INC.



LANDSCAPE PLAN QUANTITIES	
ZONING = M1 INDUSTRIAL D.	PROPOSED
IMPERVIOUS AREA	232,318 S.F. [5.33 ACRES] = 61.8%
GREEN SPACE AREA	143,389 S.F. [3.29 ACRES] = 38.2%
TOTAL TREES	119
TOTAL SHRUBS, ORNAMENTAL GRASSES & PERENNIALS	252

LANDSCAPE GENERAL NOTES:

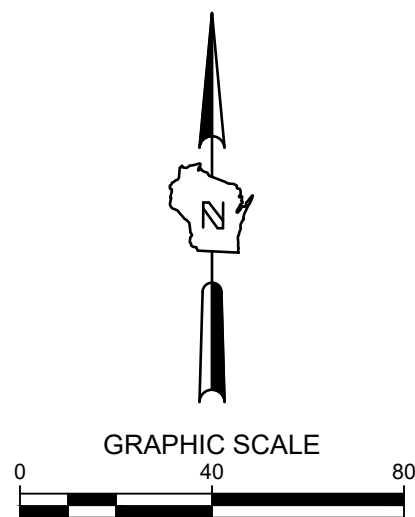
1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
4. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- NO-MOW SEED
- STONE MULCH
- PROPERTY LINE
- SHOVEL CUT PLANT EDGING
- METAL PLANT EDGING
- SHEET MATCHLINE
- EXISTING STREET TREE - TO BE REMOVED
- TREE TRANSPLANT LOCATION
- EXISTING STREET TREE

OVERALL PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
	GA	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	2.5" Cal.	B&B	15
	GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" Cal.	B&B	11
	QS	Quercus x schuettei / Swamp Bur Oak	2.5" Cal.	B&B	3
	SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2.5" Cal.	B&B	16
	TA	Tilia americana 'Sentry' / Sentry American Linden	2.5" Cal.	B&B	6
	UM	Ulmus x 'Morton Glossy' TM / Triumph Elm	2.5" Cal.	B&B	5
EVERGREEN TREES					
	JT	Juniperus chinensis 'Trautman' / Trautman Juniper	6' Ht.	B&B	6
	PG	Picea glauca 'Densata' / Black Hills White Spruce	6' Ht.	B&B	12
	PS	Pinus strobus / White Pine	6' Ht.	B&B	20
	PD	Pseudotsuga menziesii / Douglas Fir	6' Ht.	B&B	17
ORNAMENTAL TREES					
	MR	Malus x 'JFS-KW5' / Royal Raindrops® Crabapple	1.5" Cal.	B&B	8
DECIDUOUS SHRUBS					
	DL	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal.	Cont.	8
	HF2	Hydrangea paniculata 'SMHPFL' / Fire Light® Panicle Hydrangea	3 gal.	Cont.	1
EVERGREEN SHRUBS					
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal.	Cont.	3
	JY	Juniperus horizontalis 'Youngstown' / Youngstown Creeping Juniper	3 gal.	Cont.	29
	TE	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	3 gal.	Cont.	3
	TH	Taxus x media 'Hicksii' / Hicks Anglo-Japanese Yew	5 gal.	Cont.	6
ORNAMENTAL GRASSES					
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal.	Cont.	85
PERENNIALS					
	HW	Hemerocallis x 'Little Wine Cup' / Little Wine Cup Daylily	1 gal.	Cont.	19
	SA3	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal.	Cont.	98



SUSSEX HIGHLANDS SITE XII
HIGHLANDS COURT
SUSSEX, WI
OVERALL LANDSCAPE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	4/26/2024
DSPS SUBMITTAL	5/23/2024
VILLAGE RESUBMITTAL	5/29/2024

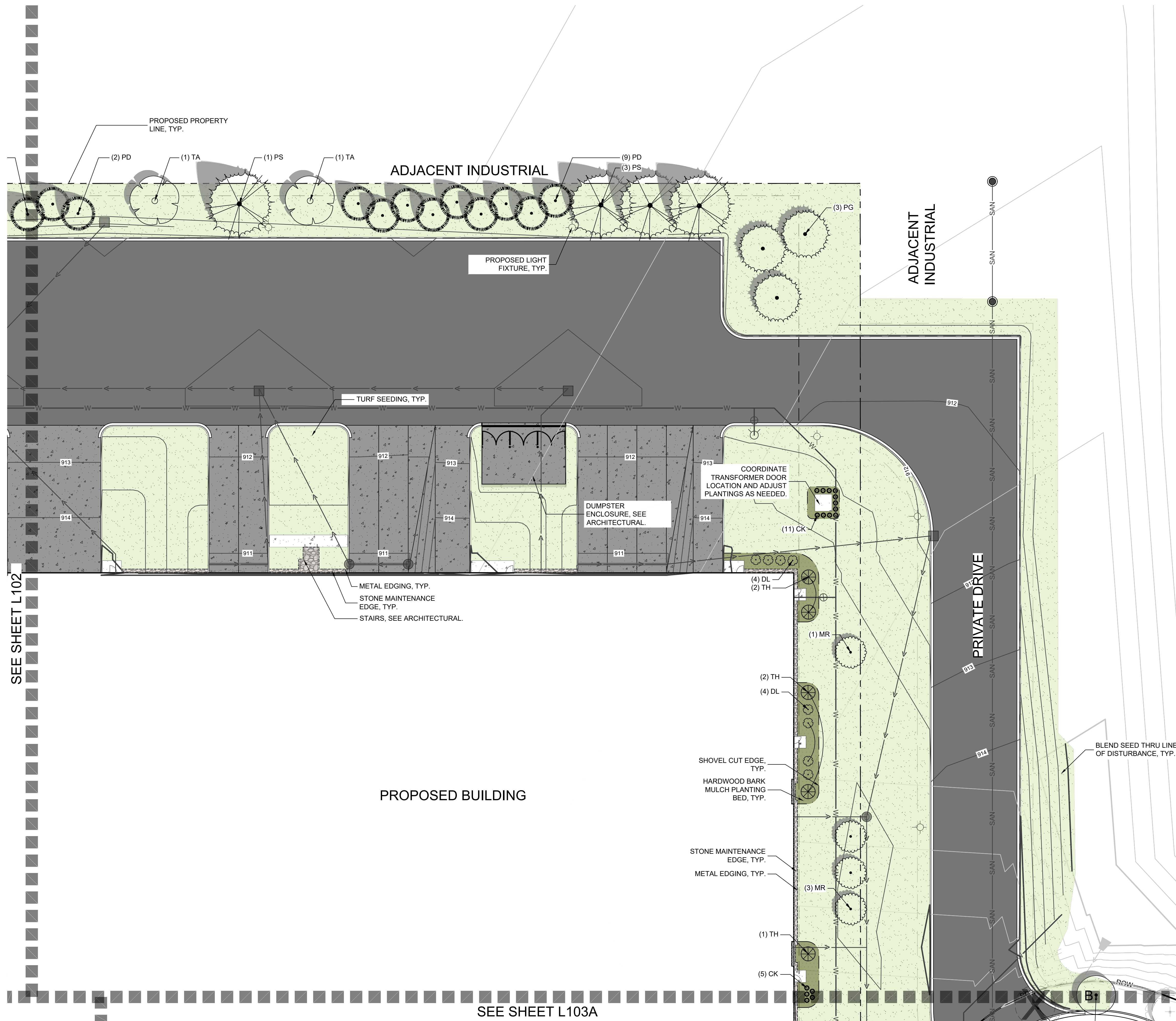
NO. REVISION	DATE
--------------	------

PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.29
DRAWN BY:	HLV
CHECKED BY:	----
APPROVED BY:	PJI
SHEET NO:	L100

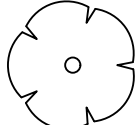
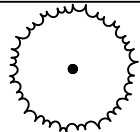
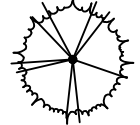
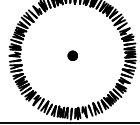
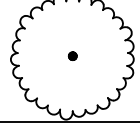





CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WE STATUTE 182.07(187A)
REQUIRES MIN. 2 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



	PROPERTY LINE
	SHOVEL CUT PLANT EDGING
	METAL PLANT EDGING
	SHEET MATCHLINE
	EXISTING STREET TREE - TO BE REMOVED
	TREE TRANSPLANT LOCATION
	EXISTING STREET TREE

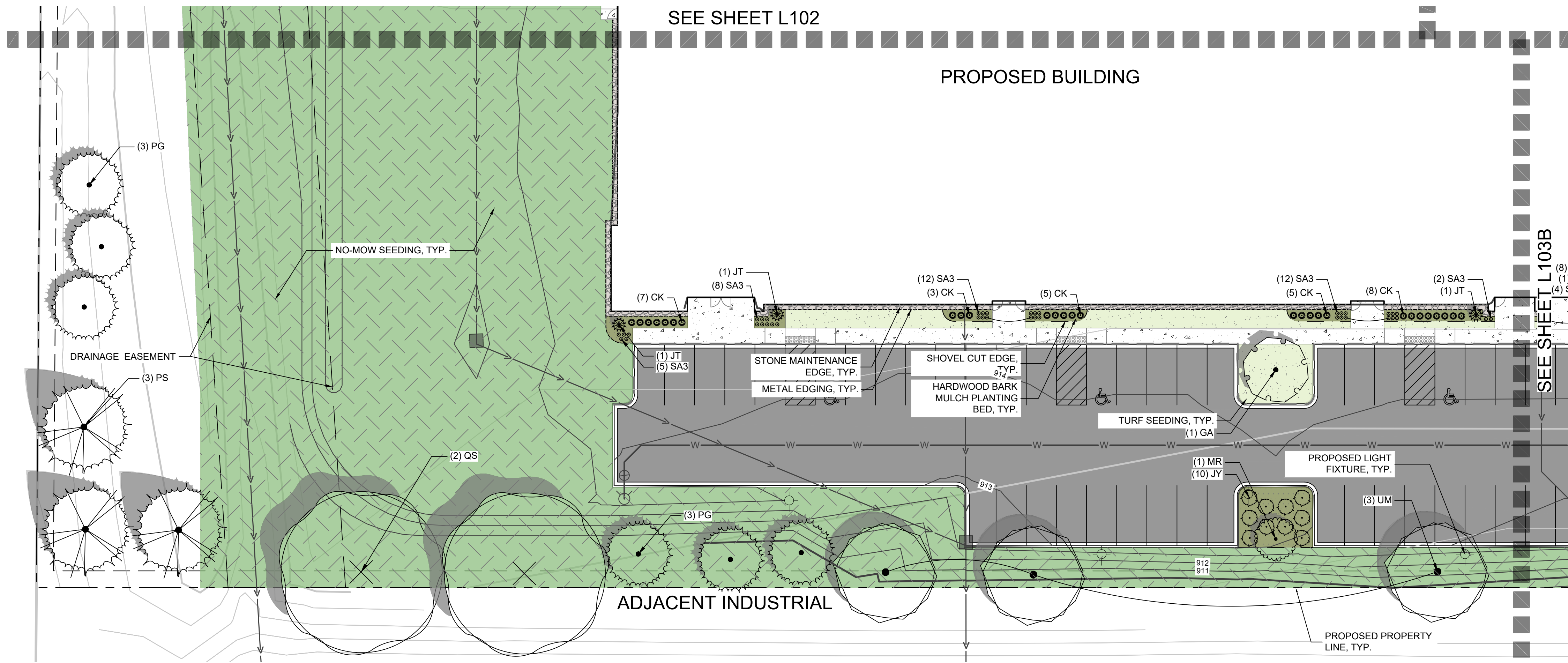
PLANT SCHEDULE L101					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
	TA	Tilia americana 'Sentry' / Sentry American Linden	2.5" Cal.	B&B	2
EVERGREEN TREES					
	PG	Picea glauca 'Densata' / Black Hills White Spruce	6' Ht.	B&B	3
	PS	Pinus strobus / White Pine	6' Ht.	B&B	4
	PD	Pseudotsuga menziesii / Douglas Fir	6' Ht.	B&B	11
ORNAMENTAL TREES					
	MR	Malus x 'JFS-KWS' / Royal Raindrops® Crabapple	1.5" Cal.	B&B	4
DECIDUOUS SHRUBS					
	DL	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal.	Cont.	8
EVERGREEN SHRUBS					
	TH	Taxus x media 'Hicksii' / Hicks Anglo-Japanese Yew	5 gal.	Cont.	5
ORNAMENTAL GRASSES					
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal.	Cont.	14

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
4. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

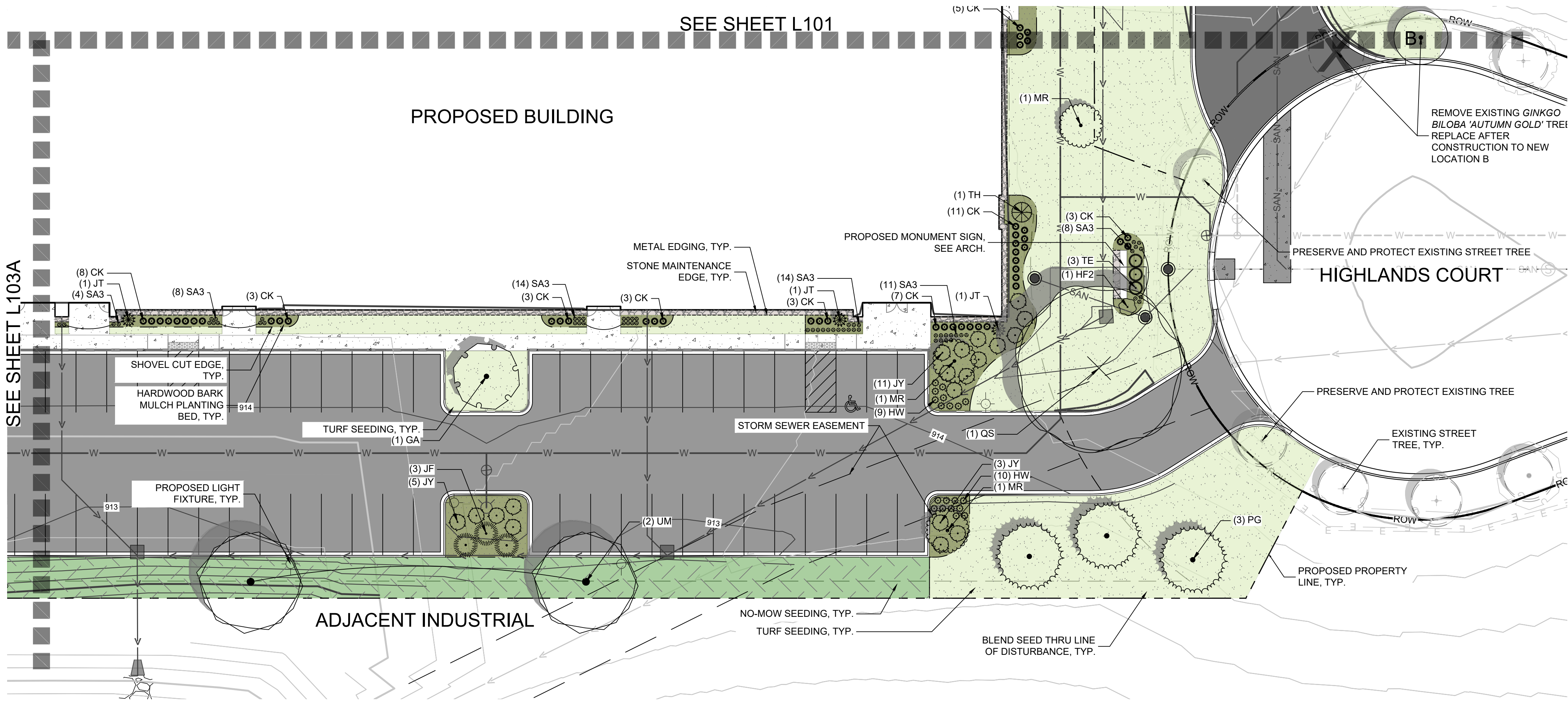


CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



LANDSCAPE ENLARGEMENT A



LANDSCAPE ENLARGEMENT B

LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- NO-MOW SEED
- STONE MULCH
- PROPERTY LINE
- SHOVEL CUT PLANT EDGING
- METAL PLANT EDGING
- SHEET MATCHLINE
- EXISTING STREET TREE - TO BE REMOVED
- TREE TRANSPLANT LOCATION
- EXISTING STREET TREE

PLANT SCHEDULE L103

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
	GA	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	2.5" Cal.	B&B	4
	GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" Cal.	B&B	1
	QS	Quercus x schuettei / Swamp Bur Oak	2.5" Cal.	B&B	3
	SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2.5" Cal.	B&B	3
	UM	Ulmus x 'Morton Glossy' TM / Triumph Elm	2.5" Cal.	B&B	5

EVERGREEN TREES

	JT	Juniperus chinensis 'Trautman' / Trautman Juniper	6' Ht.	B&B	6
	PG	Picea glauca 'Densata' / Black Hills White Spruce	6' Ht.	B&B	9
	PS	Pinus strobus / White Pine	6' Ht.	B&B	3

ORNAMENTAL TREES

	MR	Malus x 'JFS-KW5' / Royal Raindrops® Crabapple	1.5" Cal.	B&B	4
--	----	--	-----------	-----	---

DECIDUOUS SHRUBS

	HF2	Hydrangea paniculata 'SMHPFL' / Fire Light® Panicle Hydrangea	3 gal.	Cont.	1
--	-----	---	--------	-------	---

EVERGREEN SHRUBS

	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal.	Cont.	3
	JY	Juniperus horizontalis 'Youngstown' / Youngstown Creeping Juniper	3 gal.	Cont.	29
	TE	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	3 gal.	Cont.	3
	TH	Taxus x media 'Hicksii' / Hicks Anglo-Japanese Yew	5 gal.	Cont.	1

ORNAMENTAL GRASSES

	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal.	Cont.	71
--	----	---	--------	-------	----

PERENNIALS

	HW	Hemerocallis x 'Little Wine Cup' / Little Wine Cup Daylily	1 gal.	Cont.	19
	SA3	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal.	Cont.	98

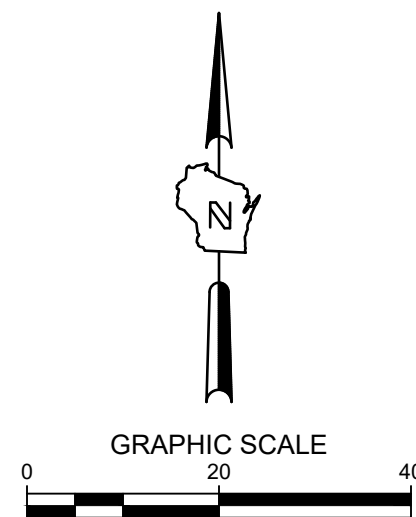
LANDSCAPE GENERAL NOTES:

- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
- INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
- RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WE STATUTE (REG. 07/01/04)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



SUSSEX HIGHLANDS SITE XII

HIGHLANDS COURT

SUSSEX, WI

LANDSCAPE ENLARGEMENT

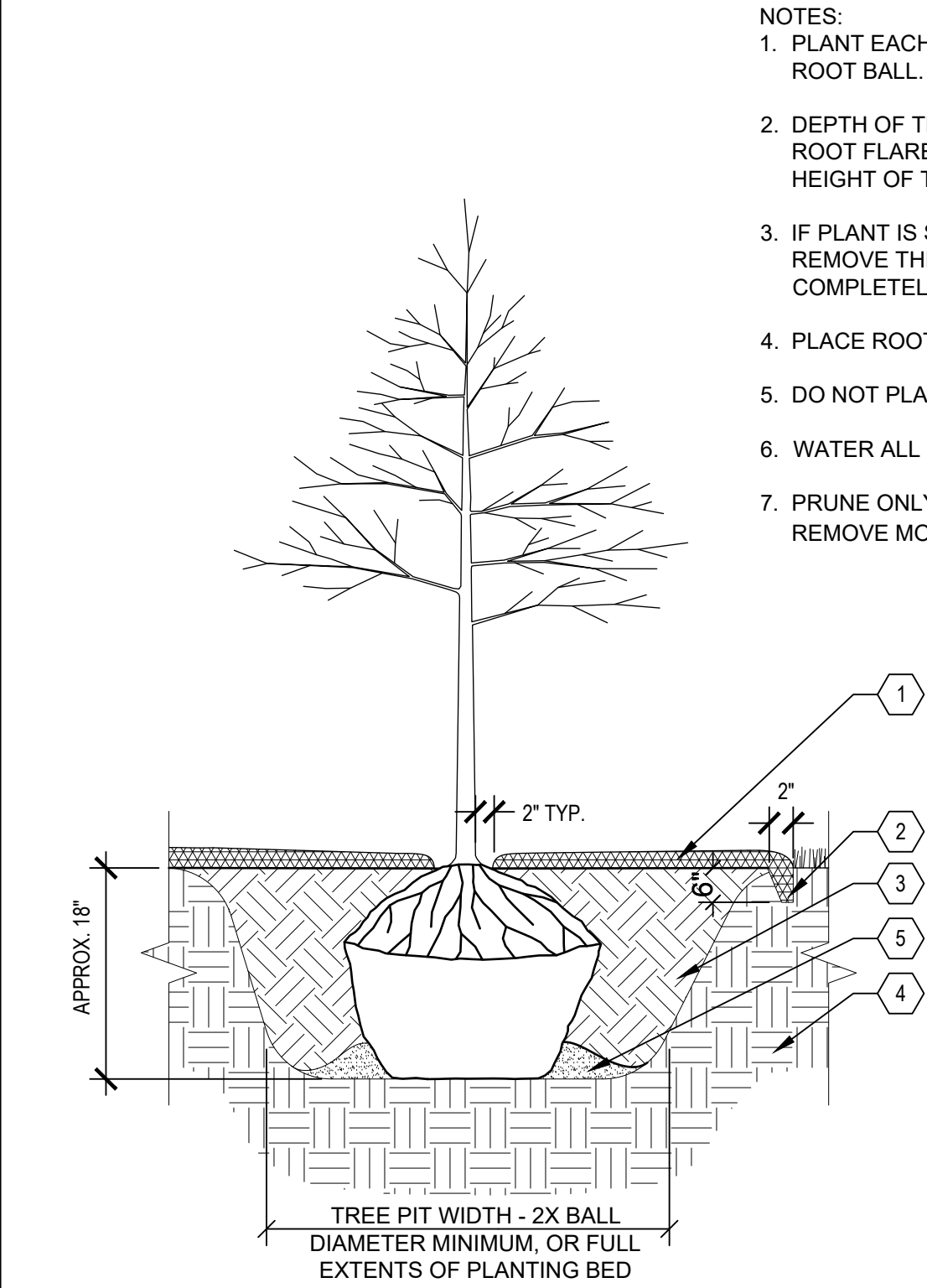
PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	4/26/2024
DSPS SUBMITTAL	5/23/2024
VILLAGE RESUBMITTAL	5/29/2024

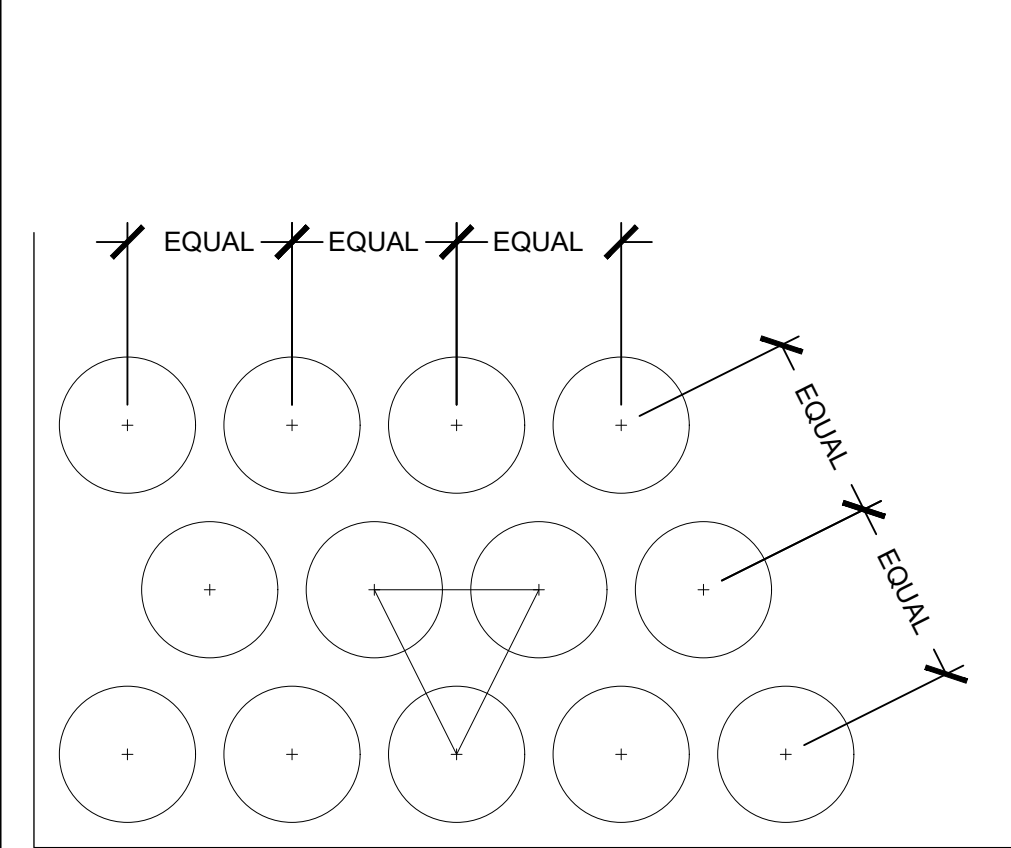
NO. REVISION	DATE
--------------	------

PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.29
DRAWN BY:	HLV
CHECKED BY:	----
APPROVED BY:	PJI
SHEET NO:	

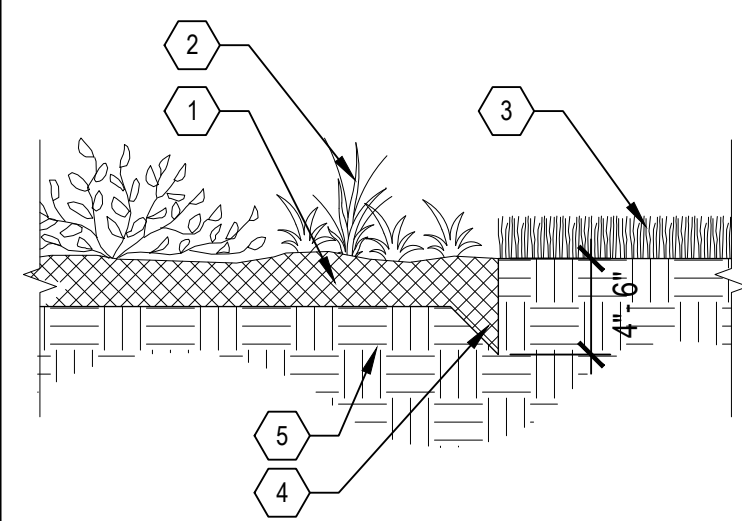
L103



A TYPICAL TREE PLANTING
SCALE: N.T.S.



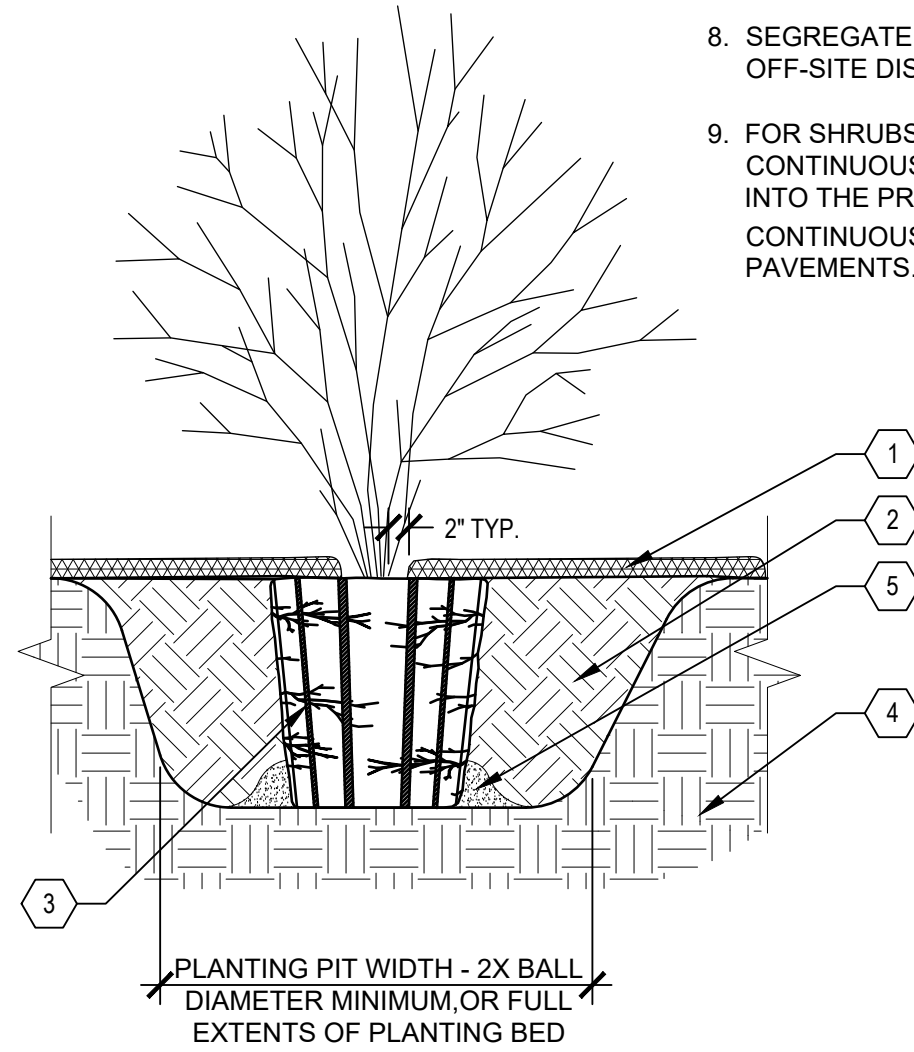
D TYPICAL PLANT SPACING
SCALE: N.T.S.



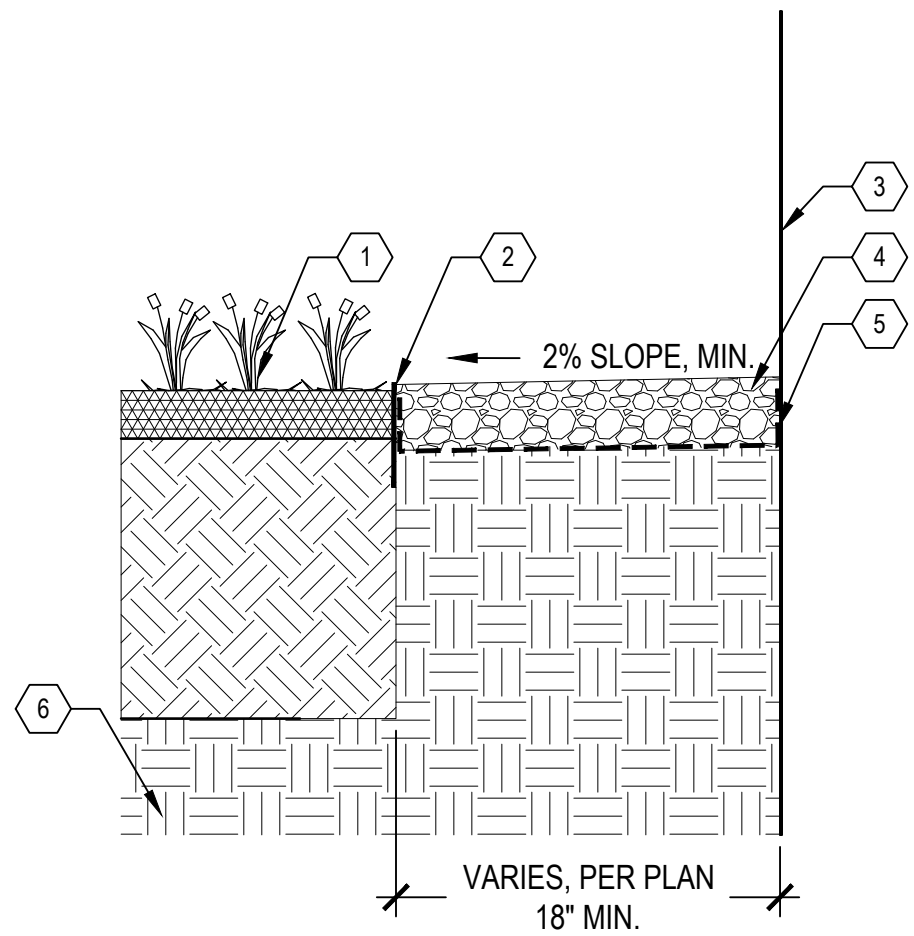
G SHOVEL CUT PLANT EDGE
SCALE: N.T.S.

- NOTES:
1. PLANT EACH TREE SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE THE WIRE BASKET ENTIRELY. REMOVE ALL TWINE, ROPE, AND BURLAP COMPLETELY FROM ALL ROOT BALLS.
 4. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 5. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/5 OF THE ORIGINAL PLANT MASS.

- 1 3" DEPTH SHREDDED HARDWOOD BARK MULCH. PROVIDE 4'-0" DIAMETER MULCH RINGS AT THE BASE OF ANY TREES PLANTED IN LAWN.
- 2 PROVIDE SPADED EDGE, 2" WIDE, 6" DEEP FOR ENTIRE PERIMETER OF BARK MULCH RINGS AT BASE OF TREES PLANTED IN LAWNS
- 3 PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED.
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

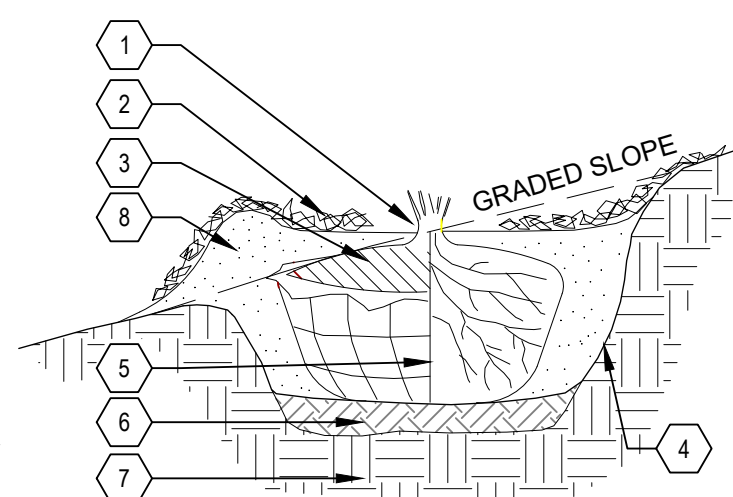


B TYPICAL SHRUB PLANTING
SCALE: N.T.S.



E STONE MAINTENANCE EDGE
SCALE: N.T.S.

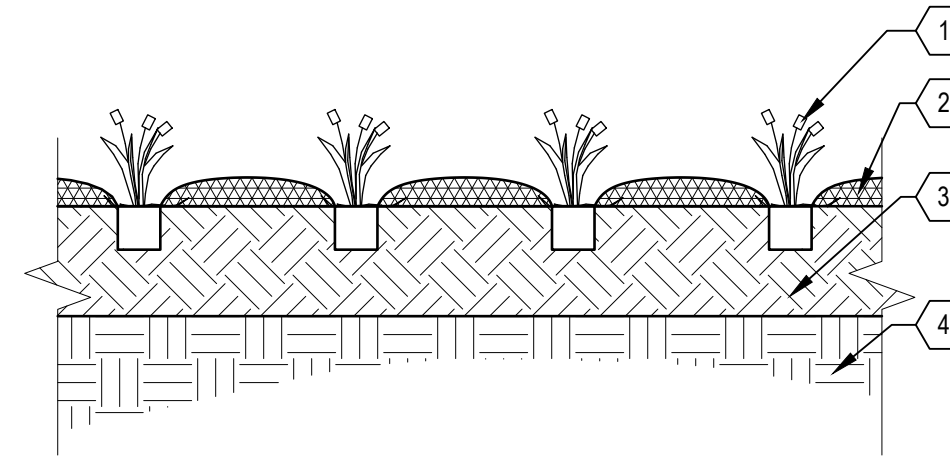
- 6" MIN. SHRUBS
12" MIN. FOR UP TO 3" CAL. TREES
18" MIN. FOR 3" CAL. & LARGER TREES



H TREE PLANTING ON SLOPE
SCALE: N.T.S.

- NOTES:
1. MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING TO LOOSEN POT-BOUND ROOTS.
 2. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/5 OF THE ORIGINAL PLANT MASS.
 8. SEGREGATE ANY SOIL FROM BELOW WARNING LAYER EXCAVATED DURING PLANTING FOR OFF-SITE DISPOSAL. COORDINATE DISPOSAL WITH ENVIRONMENTAL CONSULTANT.
 9. FOR SHRUBS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD 1/2" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.

- 1 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 2" CLEAR OF STEMS
- 2 PLANTING SOIL AS SPECIFIED, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 3 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND PERIMETER
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

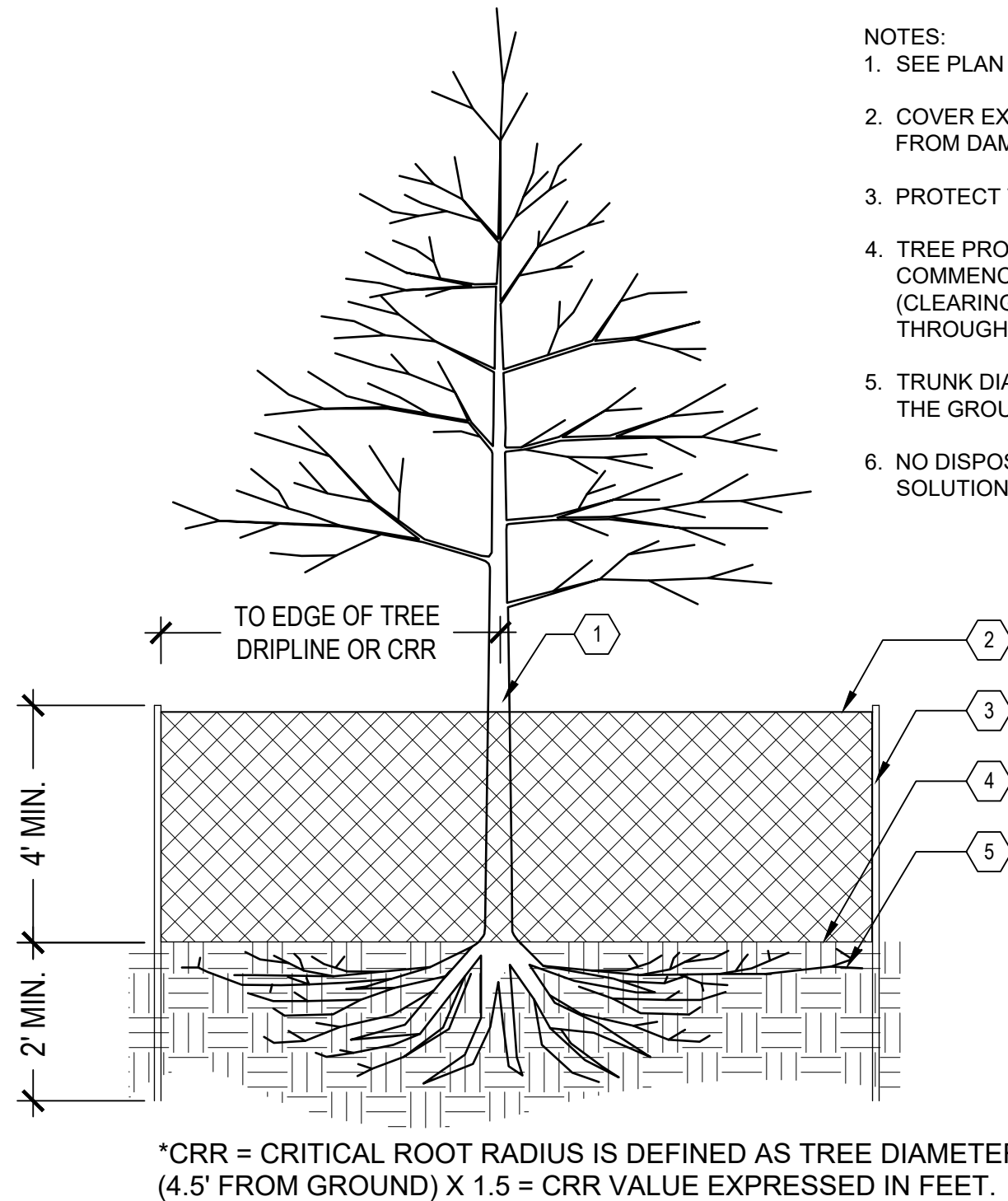


C TYPICAL PERENNIAL & ORNAMENTAL GRASS PLANTING
SCALE: N.T.S.

- NOTES:
1. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 2. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 4. WATER ALL PLANTS THOROUGHLY WITHIN 2 HOURS OF INSTALLATION.
 5. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY OR DEAD PLANT PARTS. DO NOT REMOVE MORE THAN 1/5 OF THE ORIGINAL PLANT MASS.
 6. FOR PLANTS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD 1/2" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.

KEYED LEGEND

- 1 PERENNIAL, ORNAMENTAL GRASS, OR GROUNDCOVER PLUG, SEE LANDSCAPE PLAN SHEETS
- 2 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 3" CLEAR OF STEMS
- 3 PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 4 PREPARED SUBGRADE



F TREE PROTECTION FENCE
SCALE: N.T.S.

- NOTES:
1. SEE PLAN FOR TREE PROTECTION LOCATIONS & ADDITIONAL NOTES.
 2. COVER EXPOSED ROOTS W/ COMPOST & WOOD MULCH TO PROTECT FROM DAMAGE DURING CONSTRUCTION.
 3. PROTECT TREE CANOPIES FROM OVERHEAD DAMAGE.
 4. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY SITE DEMOLITION OR PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
 5. TRUNK DIAMETER AT BREAST HEIGHT (DBH) MEASURED 4.5' ABOVE THE GROUND.
 6. NO DISPOSAL OF CONSTRUCTION MATERIALS, BYPRODUCTS, OR SOLUTIONS PERMITTED WITHIN TREE PROTECTION ZONES.

KEYED LEGEND

- 1 EXISTING TREE
- 2 TREE PROTECTION FENCE, 4' HT. ORANGE SNOW FENCE
- 3 6' TALL STUDDED METAL T-POSTS, TYP.
- 4 FINISH GRADE, CONDITION VARIES, SEE PLAN FOR REQUIRED RESTORATION
- 5 UNDISTURBED TREE ROOTS AND SOIL

*CRR = CRITICAL ROOT RADIUS IS DEFINED AS TREE DIAMETER (4.5' FROM GROUND) X 1.5 = CRR VALUE EXPRESSED IN FEET.

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	4/26/2024
DSPS SUBMITTAL	5/23/2024
VILLAGE RESUBMITTAL	5/29/2024
---	---
---	---

NO. REVISION	DATE
--------------	------

---	---
---	---
---	---
---	---
---	---

PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.29
DRAWN BY:	HLY
CHECKED BY:	----
APPROVED BY:	PJI
SHEET NO:	L200

PLANTING QUALITY ASSURANCE

1.

PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
2.

ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE SITE LOCATION. SPECIMENS NURSERY-DUG TO BE REPLANTED SHALL HAVE BEEN FRESHLY DUG AND PROPERLY PREPARED FOR PLANTING.
3.

TREES:

3.1.

SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED OTHERWISE, AND SHRUBS WITH DAMAGED OR CUT MAINSTEM(S), WILL BE REJECTED.

3.2.

WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS (INCLUDING EGGS AND LARVAE) OR INSECT DAMAGE, CANKERS/CANKEROUS LESIONS OR FUNGAL MATS, MOLD, PREMATURELY-OPENED BUDS, OR CUTS OF LIMBS OVER ¼" DIAMETER THAT ARE NOT COMPLETELY CALLOSED WILL BE REJECTED.

3.3.

SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDRANCES TO HEALTHY GROWTH.

3.4.

BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE BOTH FIBROUS AND FEEDING ROOTS. BALLS SHALL BE SECURELY WRAPPED WITH BURLAP, AND TIGHTLY BOUND WITH ROPE OR TWINE. NO PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN SUCH A MANNER AS TO DAMAGE BARK OR BREAK BRANCHES. THE ROOT FLARE SHOULD BE WITHIN THE TOP 2" OF THE SOIL BALL. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED, OR BROKEN BEFORE OR DURING PLANTING.

4.

PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.
- PLANTING PROJECT CONDITIONS:
1.

VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.

2.

INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:

2.1.

NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.

2.2.

DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.

3.

PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:

3.1.

DECIDUOUS TREES AND SHRUBS - APRIL 15 TO OCTOBER 15.

3.2.

NATIVE SEEDING AND TURFGRASS: APRIL 15 - OCTOBER 15

4.

WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.

5.

CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES. DAMAGED PLANTS, LAWNS OR GRASS AREAS SHALL BE REPLACED OR TREATED AS REQUIRED TO CONFORM TO SPECIFICATIONS HEREIN FOR FRESH STOCK. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY DURING THE INSTALLATION PERIOD. UNDER NO CONDITION SHALL DEBRIS FROM PLANTING ACTIVITIES RESULT IN A SAFETY HAZARD ON-SITE OR ADJACENT OFF-SITE PROPERTY. DAMAGE TO SITE IMPROVEMENTS OR ADJACENT LANDSCAPES INCURRED AS A RESULT OF PLANTING OR REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR THAT CAUSES THE DAMAGE AT NO COST TO THE OWNER.

6.

EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

6.1.

VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR TACK, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.

6.2.

DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

PLANTING DELIVERY, STORAGE, & HANDLING:

1.

BULK MATERIALS;

1.1.

DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.

2.

DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWELTING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.

3.

HANDLE PLANTING STOCK BY ROOT BALL.

4.

DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN SHADED LOCATION, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.

4.1.

SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.

4.2.

WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY WET CONDITION.

EXCAVATION FOR TREES & SHRUBS

1.

EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMEARED OR SMOOTHED DURING EXCAVATION.

1.1.

EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED STOCK.

1.2.

DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.

1.3.

IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING.

1.4.

MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS. DO NOT EXCAVATE SUBGRADES OF ADJACENT PAVING, STRUCTURES, HARDCAPES, OR OTHER NEW OR EXISTING IMPROVEMENTS.

1.5.

MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS.

1.6.

KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.

2.

SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.

3.

NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.

4.

NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

TREE & SHRUB PLANTING

1.

BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. PLANT MATERIAL WITHOUT ROOT FLARE VISIBLE OR PLANTED TOO LOW WILL BE RE-PLANTED AT THE REQUEST OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.

2.

PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.

3.

REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.

4.

REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE LEADERS.

5.

SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.

5.1.

USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.

5.2.

CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.

5.3.

BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.

5.4.

CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.

TREE & SHRUB MATERIAL:

1.

GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

1.1.

TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ¾" IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.

1.2.

COLLECTED STOCK; DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A STATE CERTIFIED NURSERY.

1.3.

PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS (B&B, CONTAINER, BARE ROOT, ETC.), UNLESS THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT THAT SUBSTITUTION OF CONTAINER TYPE IS ACCEPTABLE.

2.

FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.

3.

SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

PLANTING SOIL:

PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE

1.

INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 8" DEPTH.

2.

DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.

3.

PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST (APPROVED FOR USE ON THE PROJECT), THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING.

3.1.

THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL CAPABLE OF PASSING THE 1" SIEVE, FREE OF ROCKS, DEBRIS, AND OF NOXIOUS WEEDS.

3.2.

STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON, HAVING A DARK BROWN TO BLACK COLOR WITH A GRANULAR STRUCTURE AND CLAY CONTENT OF LESS THAN 25%. VERIFIED WITH A RIBBON TEST THAT YIELDS NO MORE THAN 1-INCH.

METAL EDGING

1.

STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING, FABRICATED IN STANDARD LENGTHS WITH INTERLOCKING SECTIONS WITH LOOPS STAMPED FROM FACE OF SECTIONS TO RECEIVE STAKES.

1.1.

BASIS OF DESIGN: CLEANLINE BY PERMALOC OR APPROVED EQUAL.

1.2.

EDGING SIZE: 3/16-INCH-WIDE BY 5.5 INCHES DEEP

1.3.

STAKES: ALUMINUM, ASTM 221, ALLOY 6061-T6, 18-INCHES LONG.

1.4.

FINISH: BLACK DURAFLX

1.5.

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: CURV-RITE, INC., PERMALOC CORPORATION, RUSSELL, J.D. COMPANY (THE), SURE-LOC EDGING CORPORATION

2.

INSTALL METAL EDGE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

3.

ENSURE THAT METAL EDGING IS PROPERLY INSTALLED AND SECURED BEFORE INSTALLING STONE MULCH.

STONE MULCH MATERIAL & INSTALLATION:

1.

SHALL BE HARD, DURABLE, STONE, WASHED FREE OF LOAM, SAND, CLAY, AND OTHER FOREIGN SUBSTANCES, OF THE FOLLOWING TYPE, SIZE RANGE, AND COLOR:

1.1.

MATERIAL: ANGULAR WASHED STONE.

1.2.

SIZE: 1-1/2" DIAMETER

1.3.

DEPTH: 3" MINIMUM DEPTH PLACED IN ONE LIFT

1.4.

COLOR RANGE: BLEND OF DARK GREY & BLUE TONES

1.5.

BASIS OF DESIGN: 1-1/2" 'AMERICAN HERITAGE' AGGREGATE BY COUNTY MATERIALS.

2.

LIGHTLY COMPACT AREAS TO RECEIVE STONE MULCH

3.

INSTALL WEED BARRIER FABRIC IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS; COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES OF FABRIC LENGTHS A MINIMUM OF 6-INCHES AND SECURING SEAMS WITH GALVANIZED PINS. WEED BARRIER FABRIC SHALL BE WRAPPED VERTICALLY UP THE OUTSIDE EDGES OF SURROUNDING CONCRETE FLATWORK OR CURB AND SECURED IN PLACE. HOLD FABRIC 2" CLEAR OF TOP OF ADJACENT CURB AND CONCRETE FLATWORK SO IT IS NOT VISIBLE FROM SURFACE.

4.

PLACE AND FINISH STONE MULCH AS INDICATED IN DRAWINGS, ENSURING A SMOOTH, LEVEL TOP SURFACE FOR ALL STONE MULCH AREAS HELD APPROXIMATELY 1/2" BELOW THE TOP SURFACE OF ADJACENT PAVED AREAS OR METAL EDGING.

BARK MULCH MATERIAL & INSTALLATION

1.

TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR ALL AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON PLANTING PLANS.

1.1.

SIZE RANGE: MAXIMUM 2.5" TO 3"

1.2.

COLOR: NATURAL, UN-DYED

1.3.

PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.

2.

KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

TURF SEEDING:

1.

DELIVERY:

1.1.

DELIVER PACKAGED SEED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS LABELED AS TO NAME AND ADDRESS OF SUPPLIER; SPECIFIC BLEND OF SEED; AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.

2.

PROJECT CONDITIONS:

2.1.

SEED DURING ONE OF THE FOLLOWING PERIODS.

2.1.1.

SPRING SEEDING SEASON: APRIL 1 TO JUNE 15.

2.1.2.

FALL SEEDING SEASON: AUGUST 15 TO OCTOBER 1.

3.

PRODUCTS

3.0.1.

PROVIDE THE FOLLOWING FOR TURFGRASS SEED BASIS OF DESIGN: REINDEERS DELUXE 50 SEED MIX OR APPROVED EQUAL

3.0.2.

TURFGRASS SEED MIX TO BE FERTILIZED WITH 'SCOTT'S STARTER FERTILIZER' BY THE 'SCOTT'S MIRACLE-GRO COMPANY' OR APPROVED EQUAL.

4.

PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN MET.

5.

REMOVE ANY AND ALL UNDESIRABLE VEGETATION THAT HAS GERMINATED IN THE AREAS TO BE SEEDED OR SODDED. CONTRACTOR SHALL EVALUATE THE USE OF A BROAD SPECTRUM, NON-PERSISTENT GLYSOPHATE-BASED HERBICIDE BASED ON SITE CONDITIONS.

5.1.

DO NOT APPLY SEED UNTIL FIVE TO SEVEN DAYS AFTER LAST HERBICIDE TREATMENT.

6.

FINISH GRADING: GRADE AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS ½ INCH OF FINISH ELEVATION. ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE IMMEDIATELY SEEDED AND STABILIZED WITH EROSION CONTROL MATERIAL.

7.

MOISTEN PREPARED AREA BEFORE SEEDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE DRY BEFORE SEEDING OR SODDING. DO NOT CREATE MUDDY SOIL.

8.

NO SEEDING SHALL OCCUR ON FROZEN GROUND OR AT TEMPERATURES LOWER THAN 32 DEGREES FAHRENHEIT OR IN THE FOLLOWING 5 DAYS AFTER PLANNED SEEDING OR SODDING.

9.

SEEDING RATES TO BE PERFORMED IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.

NO-MOW MIX SEEDING:

1.

DELIVERY:

1.1.

DELIVER PACKAGED SEED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS LABELED AS TO NAME AND ADDRESS OF SUPPLIER; SPECIFIC BLEND OF SEED; AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.

2.

PROJECT CONDITIONS:

2.1.

SEED DURING ONE OF THE FOLLOWING PERIODS.

2.1.1.

SPRING SEEDING SEASON: APRIL 1 TO JUNE 15.

2.1.2.

FALL SEEDING SEASON: AUGUST 15 TO OCTOBER 1.

3.

PRODUCTS

3.0.1.

PROVIDE THE FOLLOWING FOR NO-MOW SEED MIX BASIS OF DESIGN: REINDERS NO MOW/LOW GROW MIX OR APPROVED EQUAL

3.0.2.

NO-MOW SEED MIX TO BE FERTILIZED WITH 'SCOTT'S STARTER FERTILIZER' BY THE 'SCOTT'S MIRACLE-GRO COMPANY' OR APPROVED EQUAL.

4.

PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN MET.

5.

REMOVE ANY AND ALL UNDESIRABLE VEGETATION THAT HAS GERMINATED IN THE AREAS TO BE SEEDED. CONTRACTOR SHALL EVALUATE THE USE OF A BROAD SPECTRUM, NON-PERSISTENT GLYSOPHATE-BASED HERBICIDE BASED ON SITE CONDITIONS.

5.1.

DO NOT APPLY SEED UNTIL FIVE TO SEVEN DAYS AFTER LAST HERBICIDE TREATMENT.

6.

FINISH GRADING: GRADE AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS ½ INCH OF FINISH ELEVATION. ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE IMMEDIATELY SEEDED AND STABILIZED WITH EROSION CONTROL MATERIAL.

7.

MOISTEN PREPARED AREA BEFORE SEEDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE DRY BEFORE SEEDING. DO NOT CREATE MUDDY SOIL.

8.

NO SEEDING SHALL OCCUR ON FROZEN GROUND OR AT TEMPERATURES LOWER THAN 32 DEGREES FAHRENHEIT OR IN THE FOLLOWING 5 DAYS AFTER PLANNED SEEDING OR SODDING.

9.

SEEDING RATES TO BE PERFORMED IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.

10.

IRRIGATE DURING THE ESTABLISHMENT PERIOD FOR 10 DAYS, AFTER THE ESTABLISHMENT PERIOD NO FERTILIZER OR IRRIGATION IS REQUIRED.

11.

MOW TO A HEIGHT OF 4-INCHES OCCASIONALLY, IF UN-MOWED GRASS WILL GROW TO APPROXIMATELY 12-INCHES AND BEND OVER.

CLEAN-UP AND PROTECTION

1.

DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.

2.

PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

3.

AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.

THE SIGMA GROUP

Single Source. Sound Solutions.

www.thesigmagroup.com

1300 West Canal Street

Milwaukee, WI 53233

Phone: 414-643-4200

Fax: 414-643-4210

SUSSEX HIGHLANDS SITE XII

HIGHLANDS COURT

SUSSEX, WI

LANDSCAPE SPECIFICATIONS

PRELIMINARY

NOT FOR

CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	4/26/2024
DSPS SUBMITTAL	5/23/2024
VILLAGE RESUBMITTAL	5/29/2024

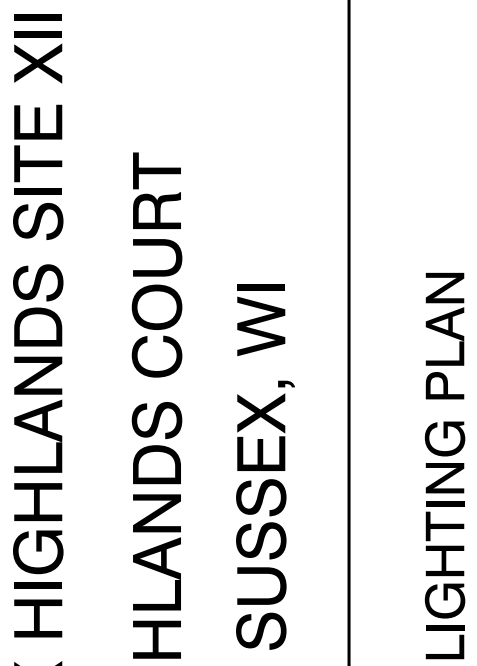
NO. REVISION	DATE

PROJECT NO:	21882
DESIGN DATE:	----
PLOT DATE:	2024.05.29
DRAWN BY:	HLJ
CHECKED BY:	----
APPROVED BY:	PJI
SHEET NO:	L300

I:\Wangard Partners\21882 - Sussex Highlands Sites III & X\0161 CAD\030_Production Sheets\400_Landscape\L300 Landscape Specifications.dwg

0.1	Minimum: 0.3FC
0.25	Maximum: 5.0FC
0.5	Average: 1.5FC
1	
3	

This is a detailed contour map of a site, likely for a construction project. The map shows a rectangular building footprint with several internal divisions. Some of these divisions are shaded with diagonal lines, possibly indicating specific materials or construction techniques. The map is overlaid with a grid of elevation contours, with labels indicating heights in feet (e.g., 100, 110, 120, 130, 140, 150). The contours show the topography of the site, with higher elevations generally towards the right side. A north arrow is located in the upper right corner, and a scale bar is in the lower right corner. The map is surrounded by a border containing the text 'www.ck12.org' repeated many times.



**PRELIMINARY
NOT FOR
CONSTRUCTION**

NO. REVISION DATE

PROJECT NO:	21882
DESIGN DATE:	----
LOT DATE:	2024.05.29
RAWN BY:	JTR
CHECKED BY:	----
APPROVED BY:	PJI
SHEET NO:	

LT-100



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
MIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

RENDERING FOR CONCEPTUAL REFERENCE ONLY; IMAGE MAY NOT REFLECT LATEST DESIGN. REFERENCE ELEVATIONS AND SCHEDULES FOR FINISHES.



CLUB CAR WASH

DRAWING INDEX

GENERAL	
A0.00	COVER SHEET
ARCHITECTURAL	
A0.01	LEGENDS & GENERAL NOTES
A0.10	ARCHITECTURAL SITE PLAN
A0.11	TRASH ENCLOSURE AND DETAILS
A1.01	FIRST FLOOR PLAN
A2.01	ENLARGED PLANS AND DETAILS
A3.01	ROOF PLAN AND DETAILS
A4.01	EXTERIOR ELEVATIONS
A5.01	WALL SECTIONS
A5.02	WALL SECTIONS
A5.03	WALL SECTIONS
A5.04	WALL SECTIONS
A5.05	WALL SECTIONS
A8.01	DOOR AND GLAZING SCHEDULES
A8.02	DOOR & WINDOW DETAILS
A9.01	REFLECTED CEILING PLAN
A11.10	PROJECT SPECIFICATIONS
A11.11	PROJECT SPECIFICATIONS
STRUCTURAL	
S100	COVER / GENERAL STRUCTURAL DATA
S200	FOUNDATION PLAN
S210	FOUNDATION DETAILS
S211	FOUNDATION DETAILS
S300	LOW ROOF FRAMING PLAN
S301	UPPER ROOF FRAMING PLAN
S310	FRAMING DETAILS
S311	FRAMING DETAILS
MEP	
MEP1	MECHANICAL, ELECTRICAL, PLUMBING COVER SHEET
MEP2	SITE UTILITIES PLAN
MEP3	SITE LIGHTING PLAN
EQ100	EQUIPMENT PLAN

MECHANICAL	
M100	HVAC PLAN
MD100	HVAC DETAILS AND SCHEDULES
ELECTRICAL	
EP100	POWER PLAN
EP101	POWER PLAN - UNDERGROUND CONDUITS
EP102	POWER ELEVATIONS
EP103	SECURITY CAMERA PLAN
EL100	LIGHTING PLAN
ED100	POWER DETAILS & SCHEDULES
ED200	TUNNEL CONTROLLER SCHEDULES
PLUMBING	
PS100	SANITARY SEWER AND VENT PLAN
PW100	WATER & GAS PIPING PLAN
PW101	PLUMBING ELEVATIONS
PD100	PLUMBING DETAILS & SCHEDULES

PROJECT TEAM

ARCHITECT
FINKLE + WILLIAMS ARCHITECTURE
8787 Renner Blvd., Suite 100
Lenexa, Kansas 66219
PH. 913.498.1550

CIVIL
ROBERT E. LEE & ASSOCIATES
1250 Centennial Centr Boulevard
Hobart, WI 54155
PH. 920.662.9641

LANDSCAPE
ROBERT E. LEE & ASSOCIATES
1250 Centennial Centr Boulevard
Hobart, WI 54155
PH. 920.662.9641

STRUCTURAL
CROCKETT ENGINEERING
1000 W Nifong Blvd, Bldg. 1
Columbia, MO 65203
PH. 573.447.0292

CONTRACTOR
TBD

MECHANICAL
TIMBERLAKE ENGINEERING
912 South Old Highway 63
Columbia, MO 65201
PH. 573.875.4365

PLUMBING
TIMBERLAKE ENGINEERING
912 South Old Highway 63
Columbia, MO 65201
PH. 573.875.4365

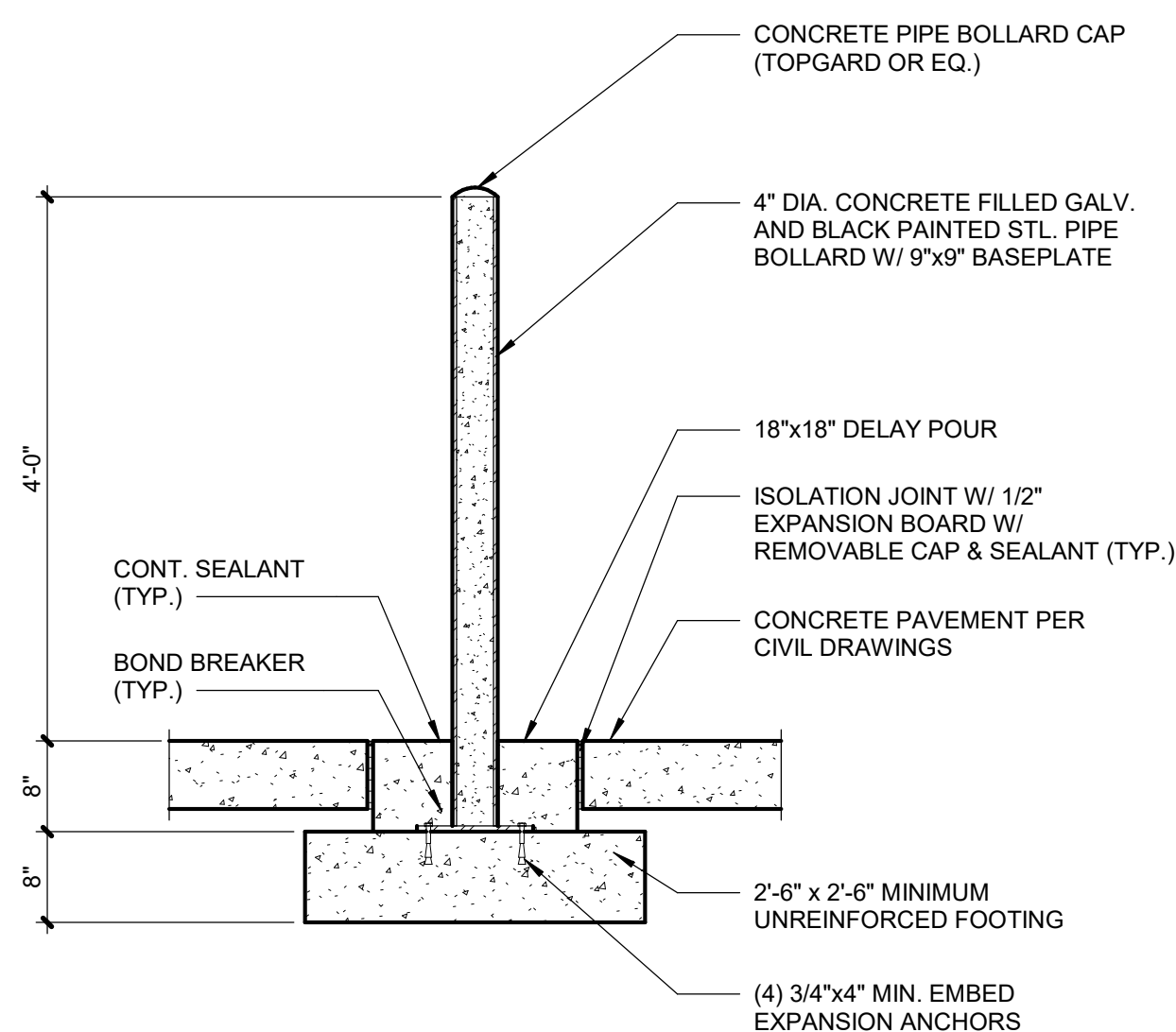
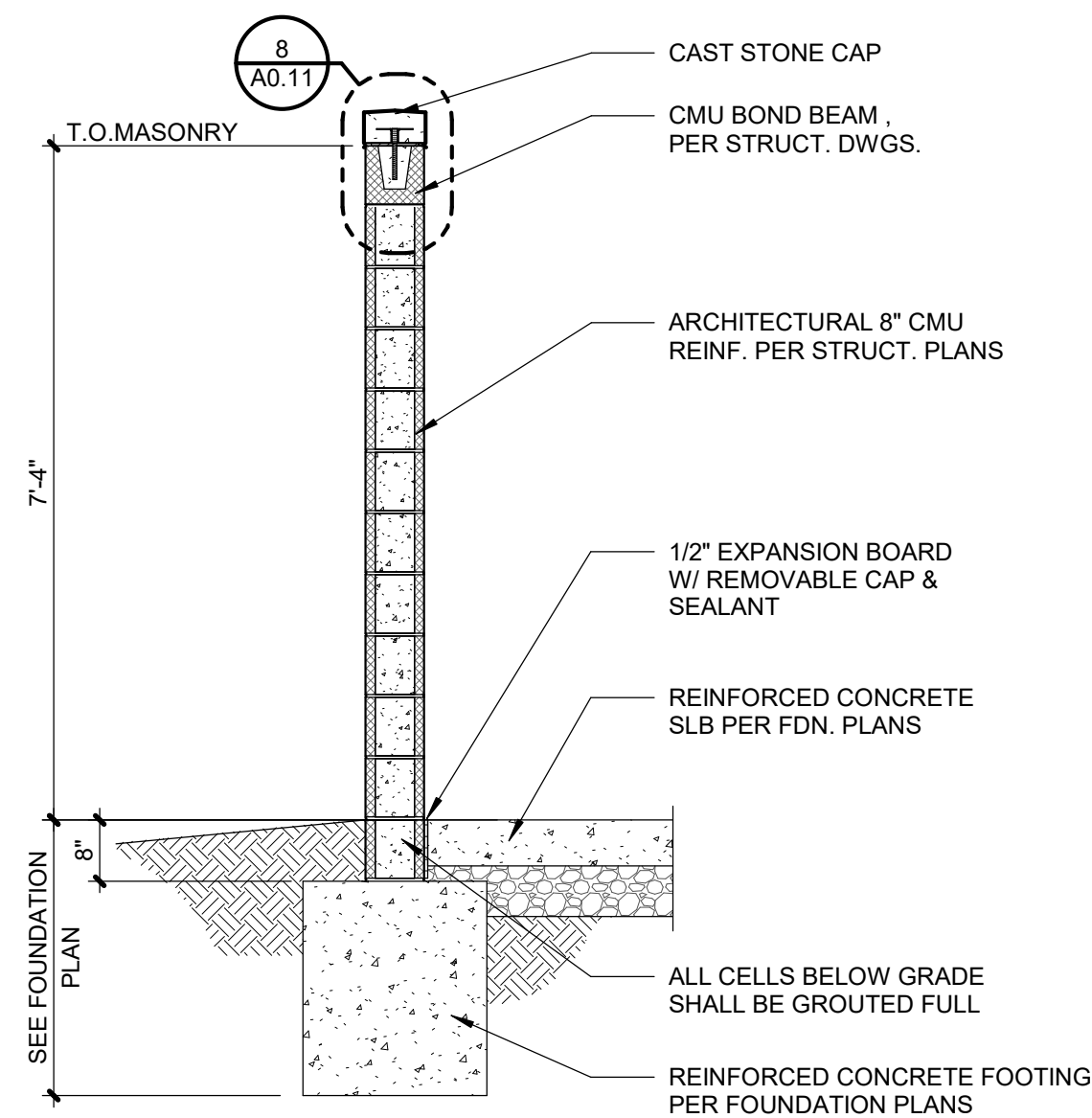
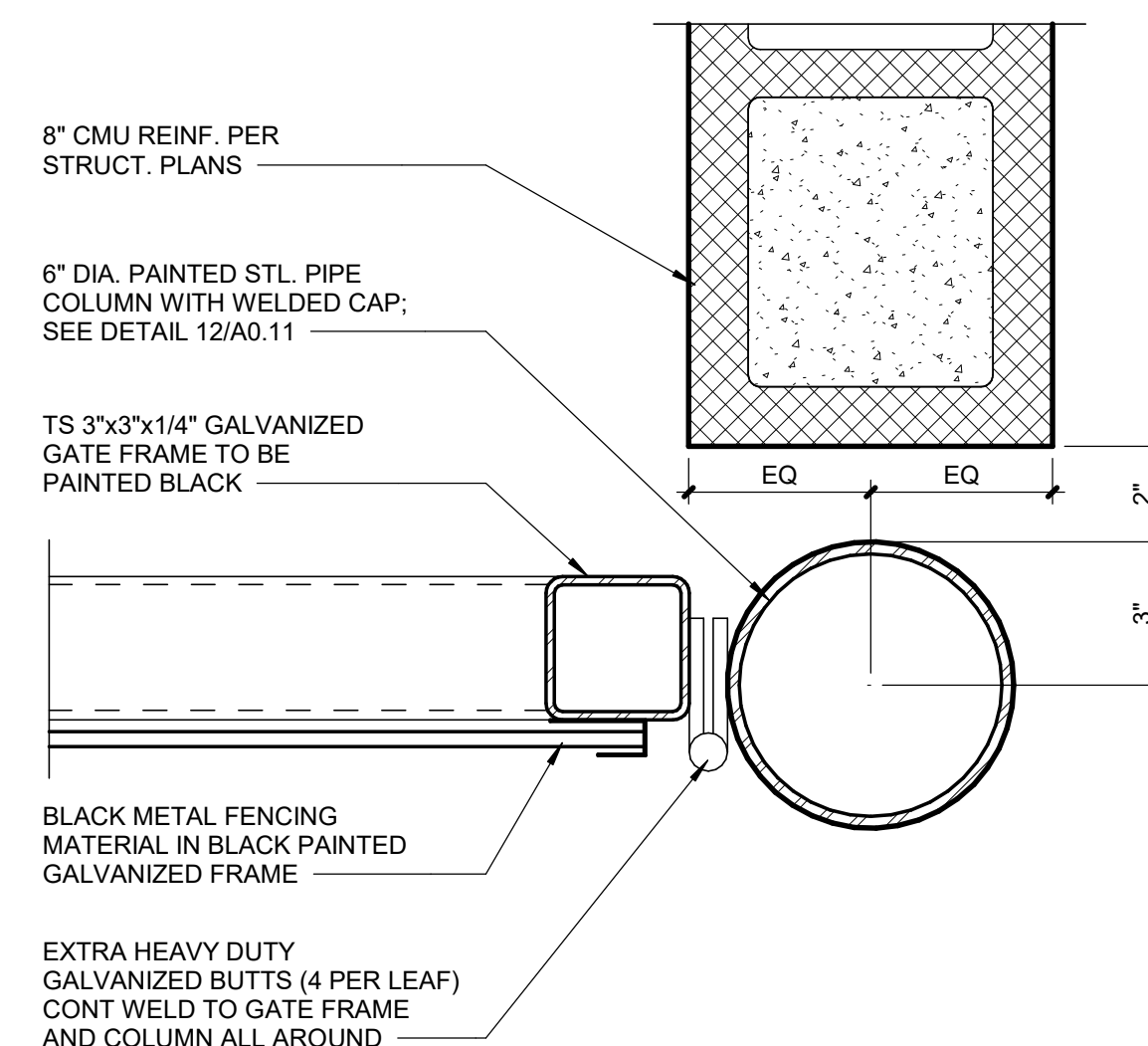
ELECTRICAL
TIMBERLAKE ENGINEERING
912 South Old Highway 63
Columbia, MO 65201
PH. 573.875.4365



FINKLE + WILLIAMS
ARCHITECTURE

PROJECT ADDRESS
W248N5221 Executive Dr.
Sussex, WI 53089

PROJECT NUMBER 20015.121
RELEASE DATE 05.03.2024
ISSUED FOR PERMIT SET
CURRENT REVISION

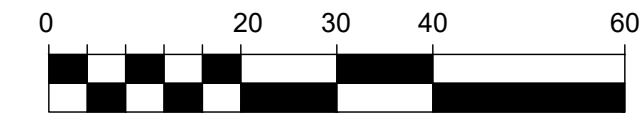




CLUB CAR WASH RENDERINGS



LANDSCAPE PLAN



LANDSCAPE INSTALLATION NOTES:

GENERAL:

- Landscape contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
- Landscape contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
- All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
- Quantities of material shown on plan take precedence over the specification list or legend.
- If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.

PLANTING:

- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
- All plant tags should be removed from material by landscape contractor.
- All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
- Edge all beds with a spade cut edge unless otherwise noted.
- All backfill around plant material rootballs should receive a soil mix of 4 parts (pulverized) topsoil to 1 part fine, organic compost.
- All wire baskets and stakes should be removed during planting.
- Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
- All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.

PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
PLA	9	Plantanus x acerifolia 'London Planetree'	2.5"
GYM	7	Gymnocladus dioica 'Kentucky Coffeetree'	2.5"
ARB	20	Thuja occidentalis 'Emerald Green'	6'

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
JUN	53	Juniperus x pfitzeriana 'Sea Green'	36"
VIB	33	Viburnum carlesii 'Korean Spice'	36"
BUX	39	Buxus x 'Green Velvet'	18"
SPI	19	Spirea japonica	18"
PAN	41	Panicum virgatum 'Heavy Metal'	#5

LANDSCAPE REQUIREMENTS:

All public off-street parking areas which serve five (5) vehicles or more shall be provided with accessory landscape areas totaling not less than fifteen (15) percent.

- Parking Sq. Ft. = 8,257.72 x 15% = 1,238.65
- Total landscape area provided = 1,904.74

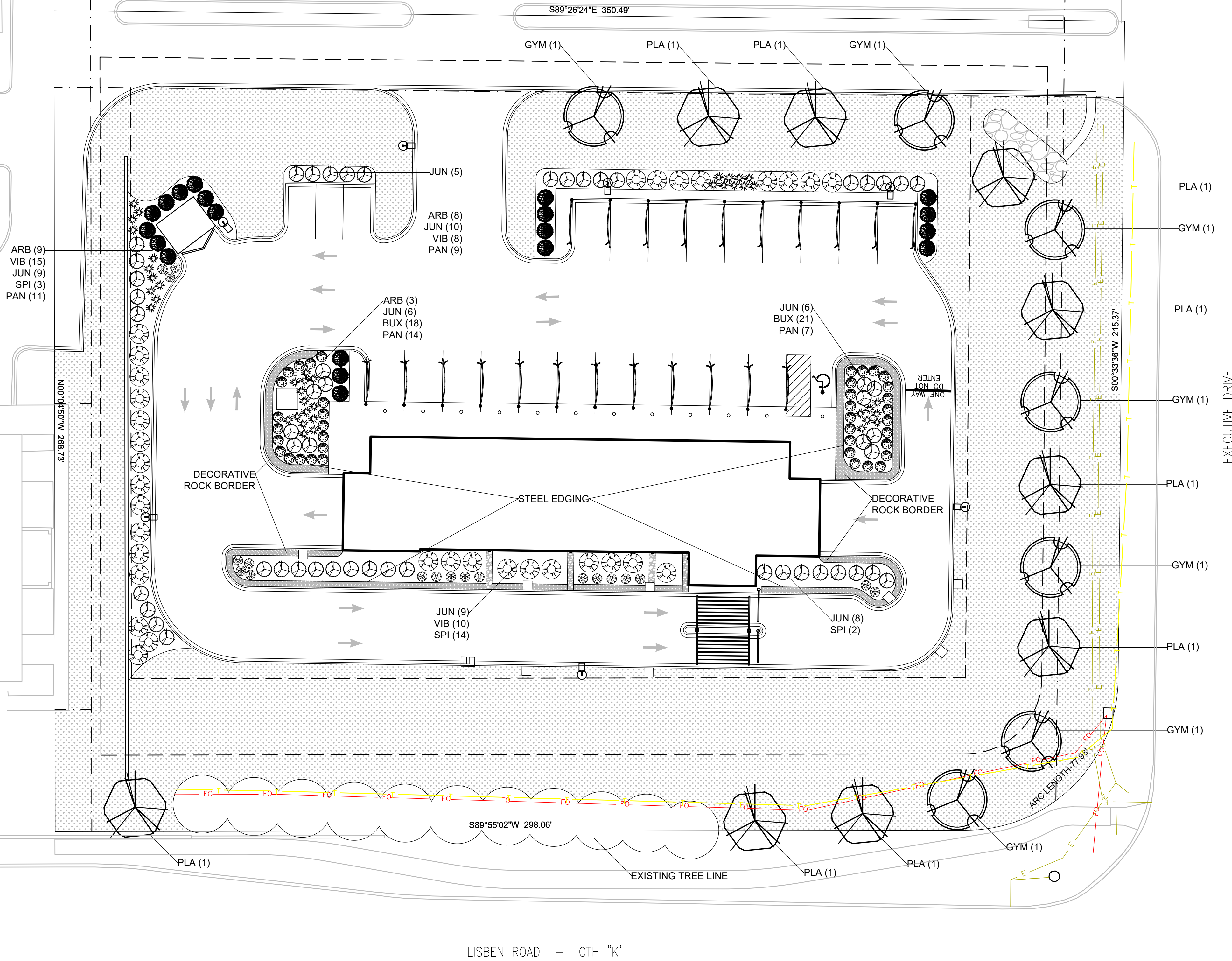
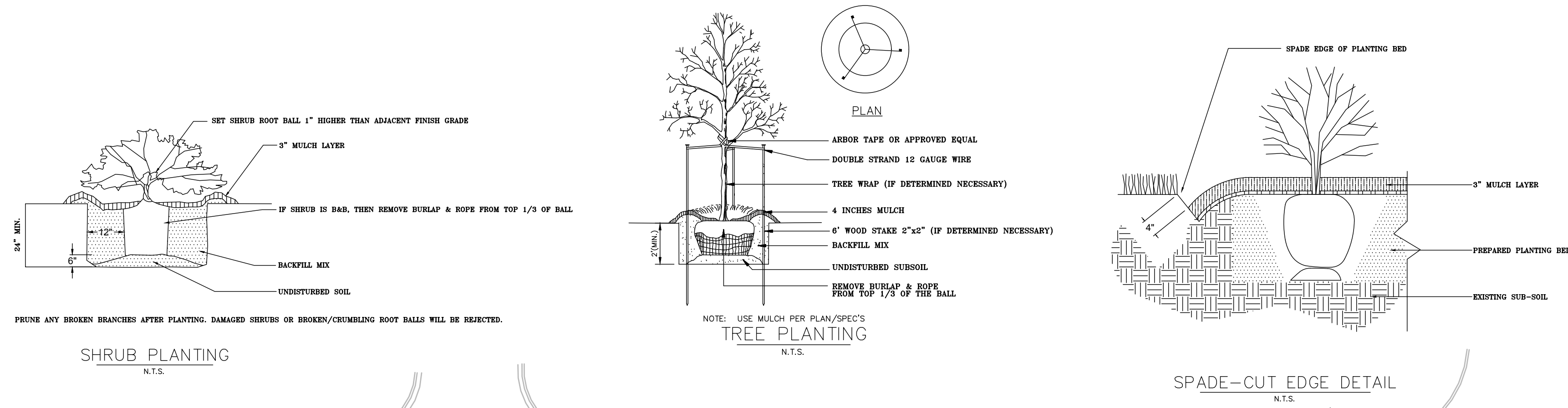
Street Trees: One (1) tree shall be planted for each forty (40) feet of frontage.

- Total street frontage = 592'
- 592' / 40' = 15 Trees

16 TREES PROVIDED

PLANT LEGEND:

-  LONDON PLANETREE
-  KENTUCKY COFFEETREE
-  ARBORVITAE 'EMERALD GREEN'
-  JUNIPER 'SEA GREEN'
-  VIBURNUM 'KOREAN SPICE'
-  BOXWOOD 'GREEN VELVET'
-  SPIREA, JAPONICA
-  SWITCH GRASS 'HEAVY METAL'



LISBEN ROAD - CTH "K"