



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, APRIL 16, 2024
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of March 19, 2024.
3. Consideration and possible action on Permitted Uses and Plans.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Discussion and possible action on a Conditional Use Permit for a Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.
 - b. Reconvene a Public hearing and discussion and possible action on a Conditional Use Permit for Mr. D's Carwash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.
 - c. Discussion and possible action on a Conditional Use Permit for Mr. D's Carwash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. Discussion and possible action on a resolution recommending the Village Board adopt an Ordinance amending the Land Use for the parcels identified by Tax Key Numbers 256.994.003, 256.994.001, 282.979.003, and 282.979.004 to the Medium Density Single Family Residential Land Use classification and the parcel identified by Tax Key Number 276.997.001 to the Commercial Land Use classification.
 - b. Consideration and possible action on a recommendation to the Village Board for a Rezoning Ordinance that would Rezone 64 parcels that were recently annexed into the Village of Sussex as part of the Cooperative Plan between the Village of Sussex and Town of Lisbon and the Village of Sussex.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**VILLAGE OF SUSSEX
PLAN COMMISSION - DRAFT
6:30PM TUESDAY, March 19, 2024
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:30pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Commissioners Mike Knapp, Roger Johnson, Debbie Anderson, Trustee Greg Zoellick, and Village President Anthony LeDonne

Members excused: Commissioners Jim Muckerheide and Mike Schulist

Others present: Community Development Director Gabe Gilbertson, Village Attorney John Macy, Village Administrator Jeremy Smith, Village Engineer Judy Neu, Assistant Village Administrator Kelsey McElroy-Anderson, Deputy Clerk Jen Boehm, applicants, and members of the public.

A quorum of the Village Board was not present at the meeting.

Consideration and possible action on the minutes on the Plan Commission meeting of February 20, 2024.

A motion by Zoellick, seconded by Anderson to approve the minutes of the Plan Commission meeting of February 20, 2024 as presented.

Motion carried 5-0

Discussion and possible action on a Plan of Operation for Sal's Pizza Restaurant Inc. located at N64W24370 Main Street.

A motion by Johnson, seconded by Zoellick to approve of the Plan of Operation for Sal's Pizza Restaurant Inc. located at N64W24370 Main Street and subject to the standard conditions of Exhibit A.

Motion carried 5-0

Public hearing and consideration and possible action on a Conditional Use Permit for M. D's Carwash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.

No one from the public spoke.

Davinder Toor, 12033 W Wilbur Ave was present and gave a brief explanation of the Plan of Operation. Hours of operation are 8:00am-7:00pm Monday-Saturday and 9:00am-5pm Sundays.

Matt Carey, 20725 Watertown Rd., Brookfield from Pinnacle Engineering was present and gave a brief explanation of car movement and car stacking.

A motion by LeDonne, seconded by Johnson to direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the April 16, 2024 Plan Commission meeting.

Motion carried 5-0

Consideration and possible action on a waiver of provisions from Section 18 Land Division and Development of the Municipal Code for Vista Run V.

Eric Oberski, N27W24025 Paul Ct, Pewaukee gave a brief overview.

A motion by Johnson, seconded by Anderson the Plan Commission grant Vista Run LLC a waiver from Section 18.0902(B) to establish 32 lots in the Vista Run V phase of the Vista Run subdivision based on the consideration of the following factors and factors that may be relevant to the matter and that they meet the criteria necessary :

- a. Whether the request for a waiver or modification, if granted, would be consistent with the general intent of the ordinance.
- b. Whether the request for a waiver or modification, if granted, would adversely affect property owners in the surrounding area.
- c. Whether the request for a waiver or modification, if granted, would benefit the petitioner's project in a way that is consistent with the municipality's interests.
- d. Whether petitioner is in full compliance with applicable ordinances and agreements with the municipality.
- e. Whether, instead of granting the request for a waiver or modification, the ordinance itself should be changed to accommodate the kind of situation presented by the petitioner.

Motion carried 5-0

Consideration and possible action on a Final Plat for the Bista Run V Subdivision for a portion of the parcel identified by Tax Key SUXV0227058006.

A motion by Anderson, seconded by Johnson to recommend the Plan Commission recommend approval to the Village Board of the Final Plat for Vista Run Phase V subject to the following conditions:

- a. The waiver would be consistent with the general intent of the ordinance.
- b. The waiver would not adversely affect property owners in the surrounding area.
- c. The waiver would benefit the petitioner's project in a way that is consistent with the municipality's interests.
- d. The petitioner is in compliance with applicable ordinances and agreements with the municipality.
- e. The ordinance does not need to be changed to accommodate the kind of situation presented by the petitioner.
- f. The stormwater pond is added to the Plat as an outlot and dedicated to the Village prior to recording the final plat.

Motion carried 5-0

Other Items for Future Discussion

Discussion on the Village Land Use Plan and rezoning of land annexed into the Village as part

of the Border Agreement with the Town of Lisbon.

Start the process to amend and rezone the land that was annexed from Lisbon. Property owners and neighbors will be mailed notices. For public participation, the notice will be posted, put on the Village website, and a public hearing will be held.

Discussion on the vacant land on Main Street owned by the Village of Sussex.

The CDA wants to hold onto the land for economic development. We will market on our website.

Discussion on the Downtown Plan and if an update is necessary.

Johnson would like a review and reassessment of the Plan every 10 years.

A motion be Knapp, seconded by Johnson to have the CDA consider a possible revision of the Downtown Plan.

Motion carried 5-0

Adjournment

A motion by LeDonne, seconded by Knapp to adjourn the meeting at 7:08 pm.

Motion carried 5-0

Respectfully submitted,
Jen Boehm
Deputy Clerk



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MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of April 16, 2024
DATE: Friday, April 12, 2024

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. **Minutes of the Plan Commission meeting of March 19, 2024.**
03. **Consideration and possible action on Permitted Uses and Site Plans.**
04. **Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans.**
 - A. **Discussion and possible action on a Conditional Use Permit for a Club Carwash located at W248N5221 Executive Dr in the B-3 Highway Business Zoning District.**

The subject property is zoned B-3 Highway Business and is located in the Sussex Gateway Retail Center development on the northeast corner of State Highway 164 and Lisbon Road. The land is currently vacant and the applicant is proposing to construct a Club Carwash. Section 17.0506(9)(A)(1) requires a Conditional Use Permit for vehicle washing in the B-3 Highway Business District.

The Municipal Code requires one stall per employee on the largest shift and according to the application, the largest shift would have 3 employees and the site is providing 4 parking stalls. The Code also requires room for 4 waiting vehicles per washing stall, the site provides room 18 waiting vehicles. The Code requires spaces for 2 vehicle vacuuming stalls and the site is providing 20 vacuuming stalls.

The Petitioner will need to prove the standards/conditions found in the Conditional Use section of the Zoning Code during the Public Hearing process. These standards/conditions are attached to this memo.

Policy Question:

1. Are there any concerns the Plan Commission has that they may want the applicant to address at the public hearing?

Action Items:

1. Direct staff to schedule the public hearing.

Staff Recommendation: Staff recommends the Plan Commission schedule the public hearing for the May 21, 2024 Plan Commission meeting.

B. Reconvene a Public hearing and discussion and possible action on a Conditional Use Permit for Mr. D's Carwash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.

The subject property is zoned B-3 Highway Business and is located directly north of Waukesha State Bank in the Metro Market commercial development. The land is currently vacant and the applicant is proposing to construct a Mr. D's Carwash. Section 17.0506(9)(A)(1) requires a Conditional Use Permit for vehicle washing in the B-3 Highway Business District.

The car wash would be oriented north/south on the west side of the property with vacuum stations on the east side of the building screened from Highway 164. Pay stations and vehicles stacking would also be on the east side of the property. The Municipal Code requires one stall per employee on the largest shift and according to the application, the largest shift would have 3 employees. The site plan is providing 4 dedicated parking spaces separate from the vacuum stations. The Code also requires enough room for 4 waiting vehicles per washing stall and space for 2 vehicles for vacuuming. There are 15 vacuum stations and space for 15+ waiting vehicles.

The Petitioner will need to prove the standards/conditions found in the Conditional Use section of the Zoning Code during the Public Hearing process. These standards/conditions are attached to this memo.

Architectural Review Board

The ARB reviewed the item at its April 3, 2024 meeting. The minutes from the meeting are below:

Motion by President LeDonne, second by Reidel to approve the site, architectural, and landscape plan for Mr. D's Carwash located at the parcel identified by Tax Key No. 231.997.014, subject to the following conditions:

1. Submitting a revised site plan to Staff that includes additional evergreen trees on the northern corner of the subject property to provide additional screening from the residential multi-family buildings to the north.
2. Submitting revised elevations to Staff that provide the required amount of window and door openings on the street yard elevation facing State Highway 164.
3. Submitting a lighting plan to Staff that meets the requirements of the Sussex Design Standards.

Policy Question:

1. Are there any concerns with the Conditional Use or Plan of Operation?

2. Are there any concerns from the public hearing you want added in the CU document?
3. A portion of the proposed development would encroach into a stormwater easement on the north side of the subject property and within this easement is a stormwater pipe that runs through the property. Staff expressed concerns that grading and improving the site over the stormwater pipe may damage it. Staff also explained that given the proposed layout of the business, if the pipe would need to be repaired or replaced in the future, it may force the business to close for the duration of the project because vehicles would not be able to enter the car wash. However, WisDOT determined that this is not a public easement, and the pipe and easement are ultimately owned by the owners of the subject land and they did not have any restrictions preventing the development from occurring within the easement.

While it is Village policy to not allow development to occur within easements and the Village remains opposed to proposed site plan, Staff agreed to proceed with the plans as submitted subject to the applicant recording a declaration with Waukesha County that addresses the Village's opposition to the proposed development and removes the Village's liability to be financially responsible for damage done to the stormwater pipe as a result of the development or for future repairs.

Action Items:

1. Close the public hearing.

Staff Recommendation: Staff recommends the Plan Commission close the public hearing.

C. Discussion and possible action on a Conditional Use Permit for Mr. D's Carwash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District.

Staff has prepared a conditional use document for consideration at this meeting. The Plan Commission has heard testimony on the application for the accessory apartment.

Policy Questions:

Has the Petitioner provided substantial evidence proving they meet the standards/regulations of the Ordinance, the conditions and standards of the Conditional Use Permit, and the other conditions as set forth by the Plan Commission?

If No, the deficiency will need to be detailed.

Has the Petitioner provided substantial evidence with regards to the following Standards/Regulations?

The Application is complete and consistent with 17.0502: Yes or No

The use(s) and plans are compliant with 17.0503 (Review of CU's): Yes or No

The use(s) and plans are compliant with 17.0200 (General Conditions): Yes or No

The uses(s) and plans are compliant with 17.0418 B-3 Highway Business District: Yes or No

The uses(s) and plans are compliant with 17. 1000 (Site Plan Review): Yes or No

Has the Petitioner provided substantial evidence and adequately addressed the findings of the impact report per 17.0506.A. Yes or No

Has the Petitioner provided substantial evidence with regards to the Conditional Use Permit as follows:

A.3.A. Site Plan Standards compliance: Yes or No

A.3.B. Plan of Operation compliance: Yes or No

A.3.C. Various Plan(s) compliance: Yes or No

A.4.-16. CU condition compliance: Yes or No

B-L. Administrative CU Condition compliance: Yes or No

Action Items:

1. Act on the Conditional Use.

Staff Recommendation: Staff recommends the Plan Commission approve the Conditional Use Permit for Mr. D's Carwash located at the property identified by Tax Key Number 231.997.014 in the B-3 Highway Business Zoning District subject to the standard conditions of Exhibit A, and the following conditions:

1. Recording the Declaration of Restrictions with the Waukesha County Register of Deeds and providing a copy of the recorded document to Village Staff.
2. Submitting a revised site plan to Staff that includes additional evergreen trees on the northern corner of the subject property to provide additional screening from the residential multi-family buildings to the north.
3. Submitting revised elevations to Staff that provide the required amount of window and door openings on the street yard elevation facing State Highway 164.
4. Submitting a lighting plan to Staff that meets the requirements of the Sussex Design Standards.
5. Submitting a Stormwater Management Plan and Stormwater Management Agreement for review and approval by the Village Engineer.

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.

A. Discussion and possible action on a resolution recommending the Village Board adopt an Ordinance amending the Land Use for the parcels identified by Tax Key Numbers 256.994.003, 256.994.001, 282.979.003, and 282.979.004 to the Medium Density Single Family Residential Land Use classification and the parcel identified by Tax Key Number 276.997.001 to the Commercial Land Use classification.

The Village Board approved a Cooperative Plan with the Town of Lisbon on January 25, 2022. The Cooperative Plan fixed the boundaries between the Village of Sussex and Town of Lisbon. Additionally, 65 parcels were detached from the Town and attached to the Village. Once attached to the Village, a Zoning classification is required to be applied to each parcel. However, before a Zoning classification can be applied to the parcels, they need to have a Land Use Classification. 5 of the 65 parcels attached to the Village does not have an existing Land Use Classification. The proposed Zoning for each of the parcels is consistent with the zoning of the adjacent properties, and the proposed Land Use Classification will be the appropriate Land Use Classification for the proposed Zoning.

A map and ordinance are included with the memo for the Plan Commission's review and consideration. This is the first step in the process the amend the Land Use Plan Map. If the Plan Commission approves the attached Resolution and recommends the Village Board adopt the attached Ordinance, the next step of the process would be notifying residents and adjacent municipalities for a public hearing at the May 28, 2024 Village Board meeting.

Policy Question:

1. Are there any concerns with the proposed amendment to the Land Use Plan Map?
2. Are there any concerns with the Resolution?

Action Items:

1. Act on the Resolution.
2. Direct staff to schedule a public hearing.

Staff Recommendation: Staff recommends the Plan Commission approve the Resolution and, to satisfy the public participation requirements, direct Staff to schedule a public hearing for the May 28, 2024 Village Board meeting and to recommend the Village Board adopt the Ordinance to amend the Land Use Plan Map, a component of the Comprehensive Plan, for the parcels identified by Tax Key Numbers 256.994.003, 256.994.001, 282.979.003, and 282.979.004 to the Medium Density Single Family Residential Land Use classification and the parcel identified by Tax Key Number 276.997.001 to the Commercial Land Use classification.

B. Consideration and possible action on a recommendation to the Village Board for a Rezoning Ordinance that would Rezone 64 parcels that were recently annexed into the Village of Sussex as part of the Cooperative Plan between the Village of Sussex and Town of Lisbon and the Village of Sussex.

The Village Board approved a Cooperative Plan with the Town of Lisbon on January 25, 2022. The Cooperative Plan fixed the boundaries between the Village of Sussex and Town of Lisbon. Additionally, 65 parcels were detached from the Town and attached to the Village. Once attached to the Village, a Zoning classification is required to be applied to each parcel. Between the time the parcels were annexed and now, the Parcel identified by Tax Key Number 203.993.001 has been rezoned to the TS-1

Traditional Suburban Residential District as part of the Golden Fields of Sussex subdivision development. There are 64 remaining parcels that require a Zoning classification be applied to.

In general, the zoning that is proposed for each parcel is consistent with adjacent parcels. A map and ordinance are included with the memo for the Plan Commission's review and consideration.

Policy Question:

1. Are there any concerns with the proposed amendment to the Zoning Map?
2. Are there any concerns with the Ordinance?

Action Items:

1. Act on the Ordinance.

Staff Recommendation:

Staff recommends the Plan Commission direct Staff to schedule a public hearing for the May 28, 2024 Village Board meeting and to recommend the Village Board adopt the proposed Ordinance rezoning the 64 parcels that were recently annexed into the Village of Sussex as part of the Cooperative Plan between the Village of Sussex and the former Town of Lisbon and the Village of Sussex.

06. Other Items for future discussion.

07. Adjournment.



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: MICHAEL LEIDIG Phone # (920) 662-9641

E-mail: MLEIDIG@RELEEINC.COM

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____
Employees Shifts

5. Days of Operation:

Put an X in box that
applies:
Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position

I am aware and approve of the business to be operating in the building
owned by _____.

Name

Date

Title or Position



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**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.


PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____



Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

Club Car Wash is a chain of car wash facilities known for its efficient and high-quality services. The operations of Club Car Wash typically follow a customer-centric model, aiming to provide convenience, speed, and cleanliness.

Summary of Operations

Membership Services

Club Car Wash offers tiered membership plans from Rookie to MVP that allow customers to enjoy unlimited washes for a monthly fee. This model encourages repeat business and provides customers with the flexibility to get their vehicles washed whenever they need. Club Car Wash also allows customers to pay for single washes one at a time like a typical car wash.

Wash Packages

Club Car Wash provides various wash packages tailored to different customer needs and budgets. From the Rookie Unlimited to the MVP Unlimited, customers can choose the level of service that suits them best.

Water Reuse Practices

Club Car Wash uses eco-friendly cleaning products and water recycling systems. Water is collected from the car wash tunnel trench and drains to an underground 3-tank system. The tanking system is designed to separate sediment from the collected water. The reclaim filtration system inside the equipment room suctions the water from the third tank where the water is most clarified. The water undergoes cyclone filtration as well as Ozone induction. Reclaimed water is circulated 24/7 between tanks and filtration system to resist the growth of undesirable anerobic bacteria as well as enhance the growth of aerobic bacteria that helps clarify the water. The clarified, reclaimed water is pumped to multiple pieces of car wash equipment to be used for washing non-essential to spot-free rinse (undercarriage washing, pre-soak, trench flush, etc). Approximately 25% of the fresh water used is reclaimed.

Vacuum Stations

In addition to car washes, Club Car Wash offers vacuum stations which are operational during business hours and are free for members, single wash customers, and the public alike to use. Each vacuum station also includes a trash receptacle which is emptied each hour to maintain a clean environment.

Overall, Club Car Wash operations are designed to provide customers with a convenient, fast, and reliable car washing experience while also incorporating environmentally friendly practices and a range of options to suit different needs and preferences.

IMPACT STATEMENT – CLUB CAR WASH SUSSEX

Impacts to Neighboring Properties

The Club Car Wash building is constructed from high quality materials and is intended to be visually appealing to bring value to the community and surrounding uses. Drainage and runoff are managed appropriately according to municipal standards to ensure no negative impacts are created for neighboring properties. Landscaping buffers and retaining walls are also proposed to help minimize any impacts on adjoining properties.

Traffic and Parking

Typically, Club Car Wash washes around 500 vehicles per day, with grand opening and dollar wash day numbers peaking at 1,000 cars per day. Even at its peak, this is still a smaller traffic impact than a typical fast-food restaurant. Club Car Wash can process a vehicle on average every 30 seconds, with the average vehicle taking about 7 minutes from start to finish. This speed ensures that cars are not being backed up and are continually flowing through the wash. Adequate vacuum stalls have been provided based on Club Car Wash's experience in the industry to support their customers.

Noise, Odor, Safety and Crime

Modern equipment is utilized on-site to keep noise to a minimum, and maintenance issues resulting in any increase in noise are promptly addressed to ensure a pleasant experience at the car wash. Odors are not anticipated to have any impact on neighboring properties or impact the property itself. Adequate lighting, well trained staff on-site, and monitoring equipment are present on Club Car Wash sites to ensure the safety of customers, employees, and neighboring properties.

Hours of Operation

Club Car Wash hours of operation are from Monday to Saturday from 7:00 AM to 8:00 PM during the summer and 7:00 AM to 7:00 PM during daylight savings. The car wash will only be open from 8:00 AM to 8:00 PM or 8:00 AM to 7:00 PM on Sundays.

Health, Sanitation and Maintenance

Club Car Wash intends to adhere to all health and safety requirements at this facility, including responsible handling and storage of chemicals. Club Car Wash prides itself on having a cleanly pleasing site. To help achieve this, sanitation receptacles are present outdoors on each vacuum stanchion to allow for easy access by customers cleaning their cars. Additionally, these receptacles are emptied approximately every hour to ensure no litter or spillage. The main trash enclosure is made from high quality materials to match the building aesthetic and is screened appropriately based on the landscaping code. Any maintenance issues noticed by staff or customers are promptly addressed to keep the site in good working order and ensure that it is operating as efficiently as possible.

The development of Club Car Wash is designed to be a positive addition to the community, offering convenient car washing services while being mindful of its impacts on neighboring properties, traffic, noise, safety, and the environment.

The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0418 B-3 Highway Business District

17.0418 B-3 HIGHWAY BUSINESS DISTRICT

The B-3 Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such traffic.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Hotels and motels
- (b) Bed and breakfast establishments
- (c) Restaurants, snack stands, and mobile food services. For a drivethrough the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (d) Bars
- (e) Food service contractors and caterers

2. Arts, Entertainment, and Recreation Services

- (a) Promoter, agent, artists offices/studio
- (b) Theater companies and dinner theaters, dance, musical groups, and performing arts companies.

3. Educational, Health Services, and Social Services

- (a) Fine arts and language schools and studios
- (b) Sports and recreation instruction
- (c) Automobile driving school
- (d) General medical services
- (e) Vocational rehabilitation services
- (f) Religious facilities
- (g) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
- (h) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 7.0603(K)(6)(h)(3) of this Ordinance.

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
- (e) Office equipment rental and leasing
- (f) Rental Centers

5. General Services

- (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Personal care and weight loss services

- (d) Funeral home and funeral services
- (e) Coin operated laundries and drycleaners
- (f) Dry cleaning and Laundry Services (non-industrial)
- (g) Photo finishing laboratories
- (h) General business offices
- (i) Travel and visitor services
- (j) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)
- (k) Animal Boarding in the B-3 district provided that the animals are domestic pets including (dogs, cats, hamsters or similar pet rodents, pet fish, reptiles and pet birds). In no way shall the operation be allowed to board wild animals or any pets not included in the list above. The boarding shall be for limited periods of time with no animal allowed to be continually boarded for longer than 3 weeks in row. No boarding facility may sell, trade, or in any other way exchange animals. The Plan Commission when determining the appropriateness of the site for animal boarding shall take into account the available space for outside animal activity and the impact the noise of such a facility will have on adjacent properties. An animal boarding operation shall be at least 1,000 feet from a residential zoned property, measured from the closest point where any boarded animal may be located to the closest residential zoning district property line.

The Plan Commission recognizes that customer's demands of animal boarding services and the culture related to taking care of pets is regularly evolving. These changes make it improbable to list all of the accessory uses of an animal boarding operation in the Code; therefore, the Plan Commission may consider accessory uses to the animal boarding operation such as, but not limited to; animal grooming, animal physical rehab, animal photography studios, retail sales of animal related products, if the Plan Commission finds the following:

- 1) The accessory use is consistent with the intent of the zoning district.
- 2) The accessory use is clearly established by the petitioner to be interrelated to and an accessory use of the principal animal boarding operation.
- 3) The site and or building are appropriately designed and located, or will be made so, to accommodate the accessory use and any impacts thereof.

6. Information Services

- (a) Radio/TV/Cable network, stations, news syndicates, excluding towers and dishes.
- (b) Telecommunications services
- (c) Motion picture and video production
- (d) Newspaper, printers, paper and software publishers, recording studio record production, telecommunications services and data processing.
- (e) Libraries and archives.

7. Professional, Technical, Scientific, and Administrative Services

- (a) Legal, notaries, and title services
- (b) Accountants, tax preparation, payroll, and other accounting services
- (c) Architects, landscape architects, engineering, surveying services
- (d) Interior, industrial, graphic, and fashion design services
- (e) Private investigators, locksmiths, security, and armored car services
- (f) Janitorial services
- (g) Pest control services
- (h) Packaging and labeling service

- (i) Veterinary Offices
- (j) Offices of holding companies and regional managing offices
- 8. Retail Trade
 - (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/packaged beverage and tobacco stores
 - (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Internet sales shopping/mail order business and vending machine sales
 - (m) Building supply stores and general sales of industrial products, such as building materials, electrical supplies, heating supplies, lighting supplies, paint and painting supplies, plumbing supplies, roofing supplies, wallpaper and wallpaper supplies, and windows and doors.
 - (n) Outdoor Power Equipment
 - (o) Garden Centers
 - (p) Manufactured/mobile home sales
- 9. Manufacturing/Assembly
 - (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.
- 10. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 11. Transportation and Warehousing
 - (a) Courier, delivery, postal service businesses
- 12. Parking Lots
 - (a) Parking lots are permitted without a principal structure, provided that the property owner submits a parking plan to the Plan Commission, and the Plan Commission approves the parking plan. The parking plan shall indicate whether the private parking area described in the parking plan may be used by the general public when the parking spots are not needed for the private use. If the plan so indicates, and if the plan is approved, then general public parking uses may be permitted upon such terms and conditions as are agreed upon in writing between the Village Board and the property owner, in a form approved by the Village Attorney. The Plan Commission shall approve the parking plan only if it finds all of the following:
 - (1) The lot where the proposed parking is located must be immediately adjacent to a lot that is zoned B-4 Central Mixed Use District that is proposed for development or change of use; and
 - (2) The adjacent B-4 Central Mixed Use District lot must have inadequate parking available on the lot to serve the new development or change of use, per the requirements of Section 17.0603 of this Code; and
 - (3) The parking plan must demonstrate that the parking lot will be in full compliance with all applicable requirements of this Code, except as to any

modifications that may be granted pursuant to Section 17.0603(L) of this Code;

and

- (4) Deed restrictions must be imposed and agreements must be entered between the adjacent lot owners, to the satisfaction of the Village Attorney, to allow the parking area to be used by the adjacent lot owner in compliance with the parking plan; and
- (5) Subject to such reasonable conditions as the Plan Commission may deem to be necessary or appropriate.

13. Housing. Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.

B. Permitted Accessory Uses

1. Accessory garages for storage of vehicles used in conjunction with the operation of the business or for occupants of the premises.
2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
3. Residential quarters for the owner or proprietor located in the same building as the business.
4. Rental efficiency and one-bedroom apartments on a non-ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

1. Lots shall have a minimum area of 10,000 square feet and shall be not less than 75 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

E. Building Height

1. No principal building or parts of a principal building shall exceed 30 feet in height.

F. Setback and Yards

1. There shall be a minimum building setback of 30 feet from the right-of-way of all streets.
2. There shall be a side yard on each side of all buildings not less than 15 feet in width.
3. There shall be a rear yard of not less than 25 feet.
4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Village Municipal Code.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve

as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be submitted to Plan Commission

1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

9. Retail Trade

- a) Vehicle sales, vehicle service, service of vehicle parts, vehicle parts sales including vehicle washing, vehicle repair stations, service of vehicle parts and vehicle parts sales in the B-2, B-3 and B-4 Districts No outside storage shall be permitted for vehicle parts sales even by issuance of a conditional use permit as set forth in 17.0506(A)(15)(e) of this Ordinance. All other outside storage that may be granted by CU shall be on a hard paved surface and shall be screened from view, or in the case of vehicle sales the landscaping shall be aesthetically pleasing to minimize the visual impact of a parking lot of vehicles.
- b) Gasoline service stations in the B-2 and B-3 districts provided that the use shall include traffic control measures to ameliorate-- traffic congestion; that lighting and glare shall not extend into adjacent residential neighborhoods; and that service islands shall comply with the minimum setback requirements of the district. Canopies over a gasoline service island may extend into front, side or rear yard areas, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

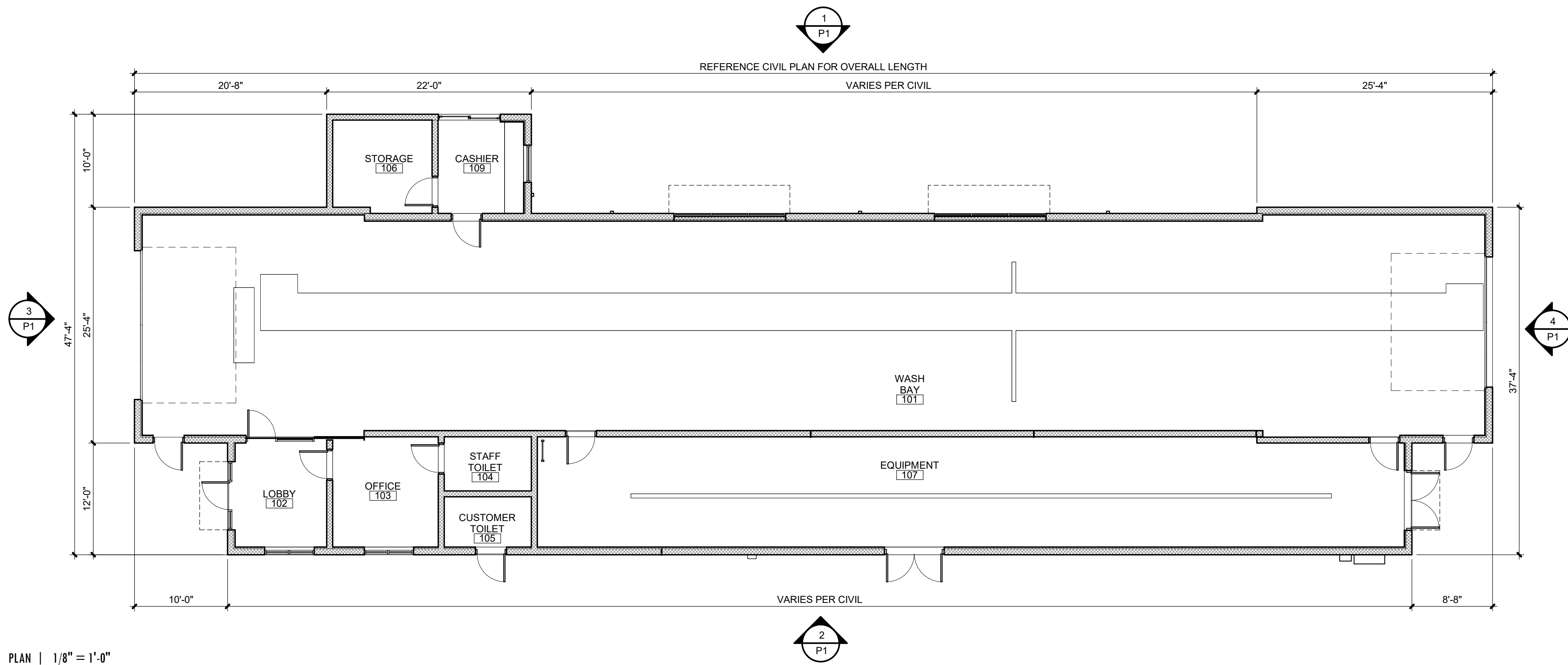
G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

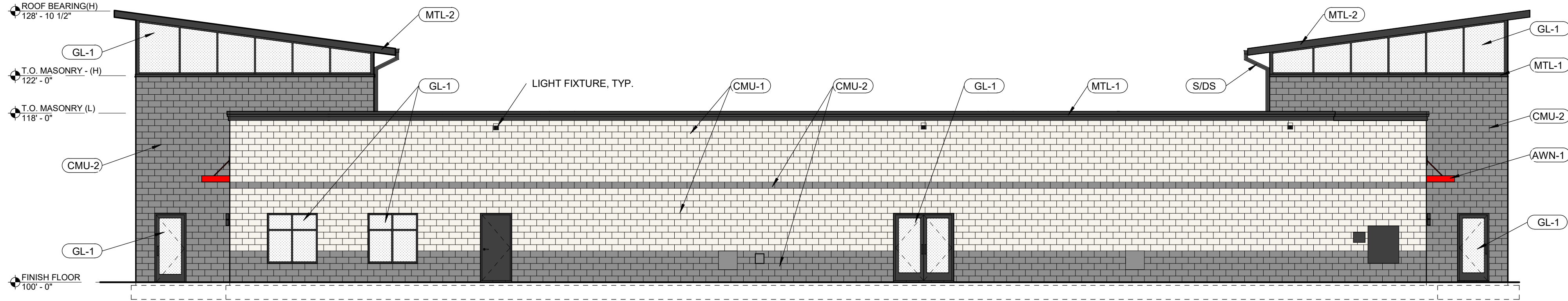
1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-ofway in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

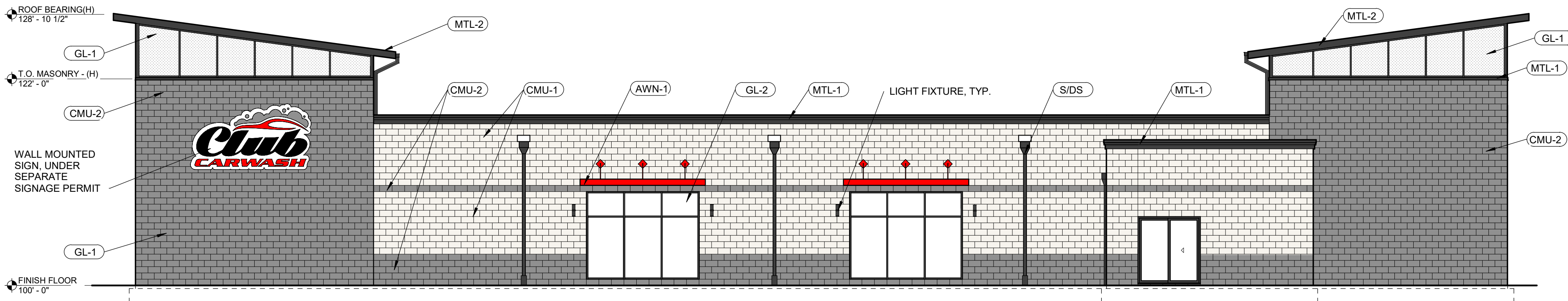
Any other standards from Chapter 17 that may be relevant.



PLAN | 1/8" = 1'-0"



ELEVATION 2 | 1/8" = 1'-0"

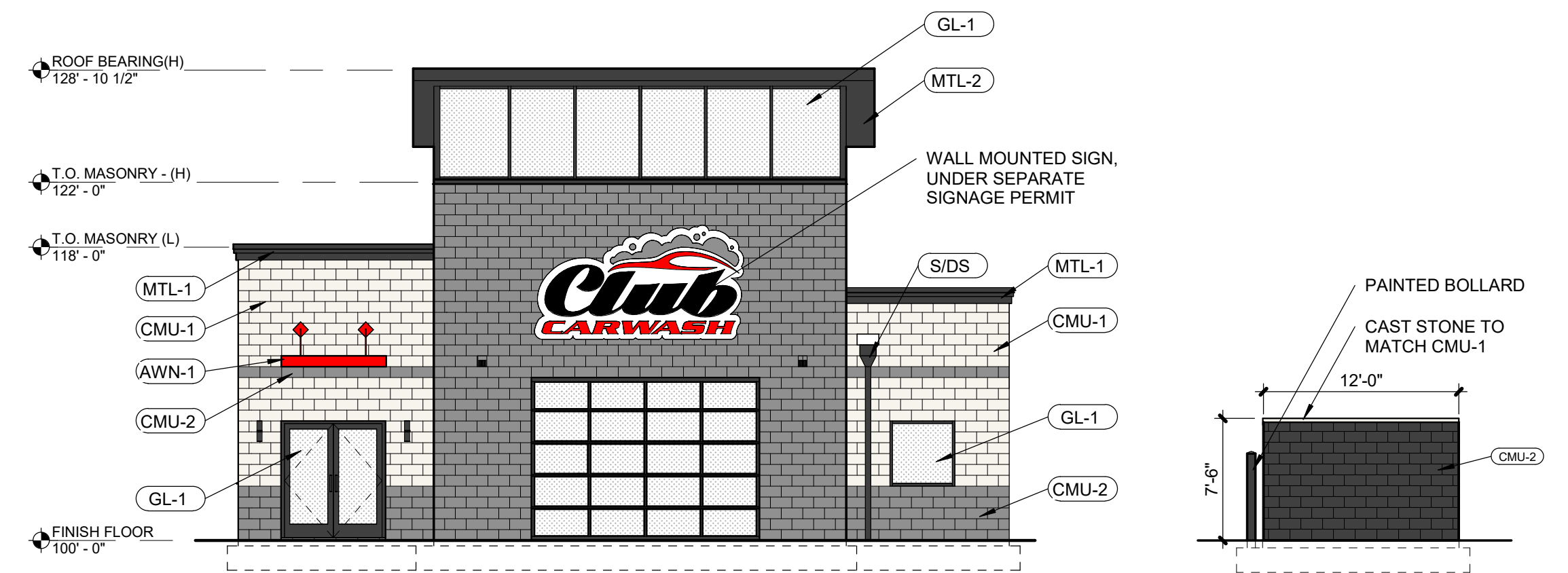


ELEVATION 1 | 1/8" = 1'-0"



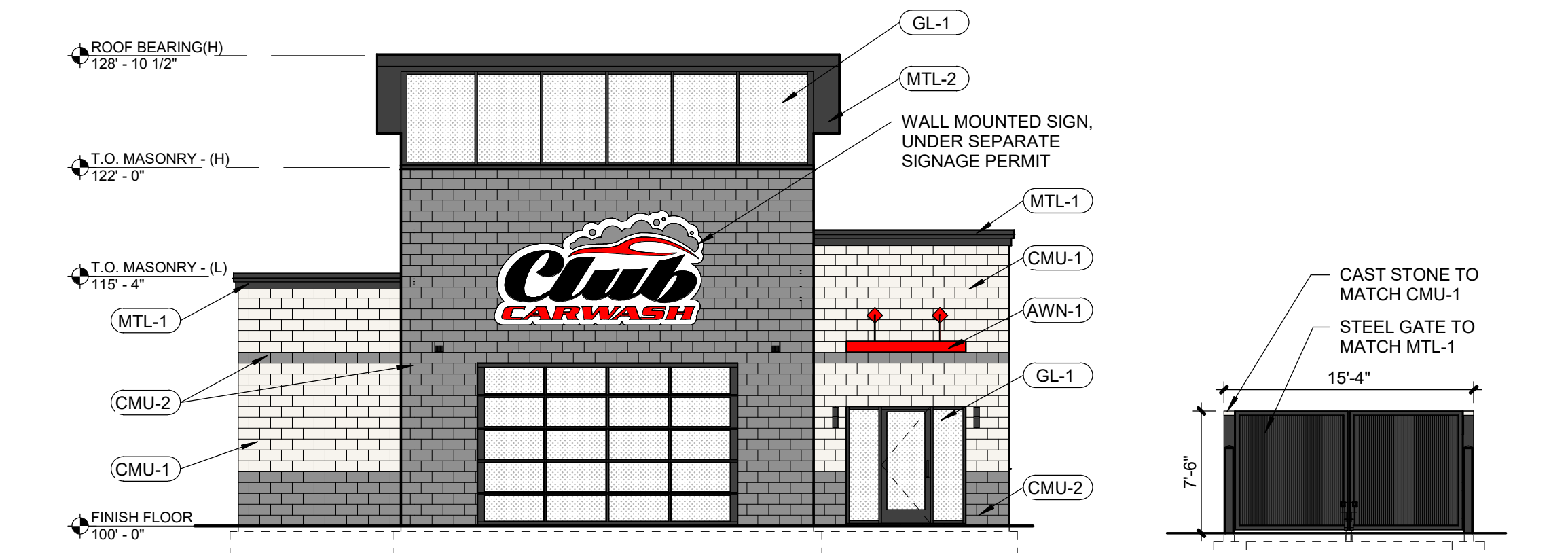
EXTERIOR MATERIAL LEGEND

CMU-1	8" CMU SMOOTH FACE BLOCK (COLOR: PAINT SW7009 PEARLY WHITE)	AWN-1	RED PREFABRICATED FLAT METAL AWNING PROVIDED AND INSTALLED BY OWNER
CMU-2	8" CMU SPLIT FACE BLOCK (COLOR: PAINT SW6990 CAVIAR)	S/DS	KYNAR-COATED SHEET METAL SCUPPER, DOWNSPOUT AND BOOT (COLOR: MATTE BLACK)
GL-1	BLACK ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM W/ CLEAR GLASS	MTL-1	KYNAR COATED METAL COPING (COLOR: MATTE BLACK)
GL-2	BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM W/ GRAY SPANDREL GLASS	MTL-2	18" WIDE STANDING SEAM METAL ROOF (COLOR: MATTE BLACK)



ELEVATION 4 | 1/8" = 1'-0"

TRASH ENCLOSURE- SIDE ELEVATION | 1/8" = 1'-0"



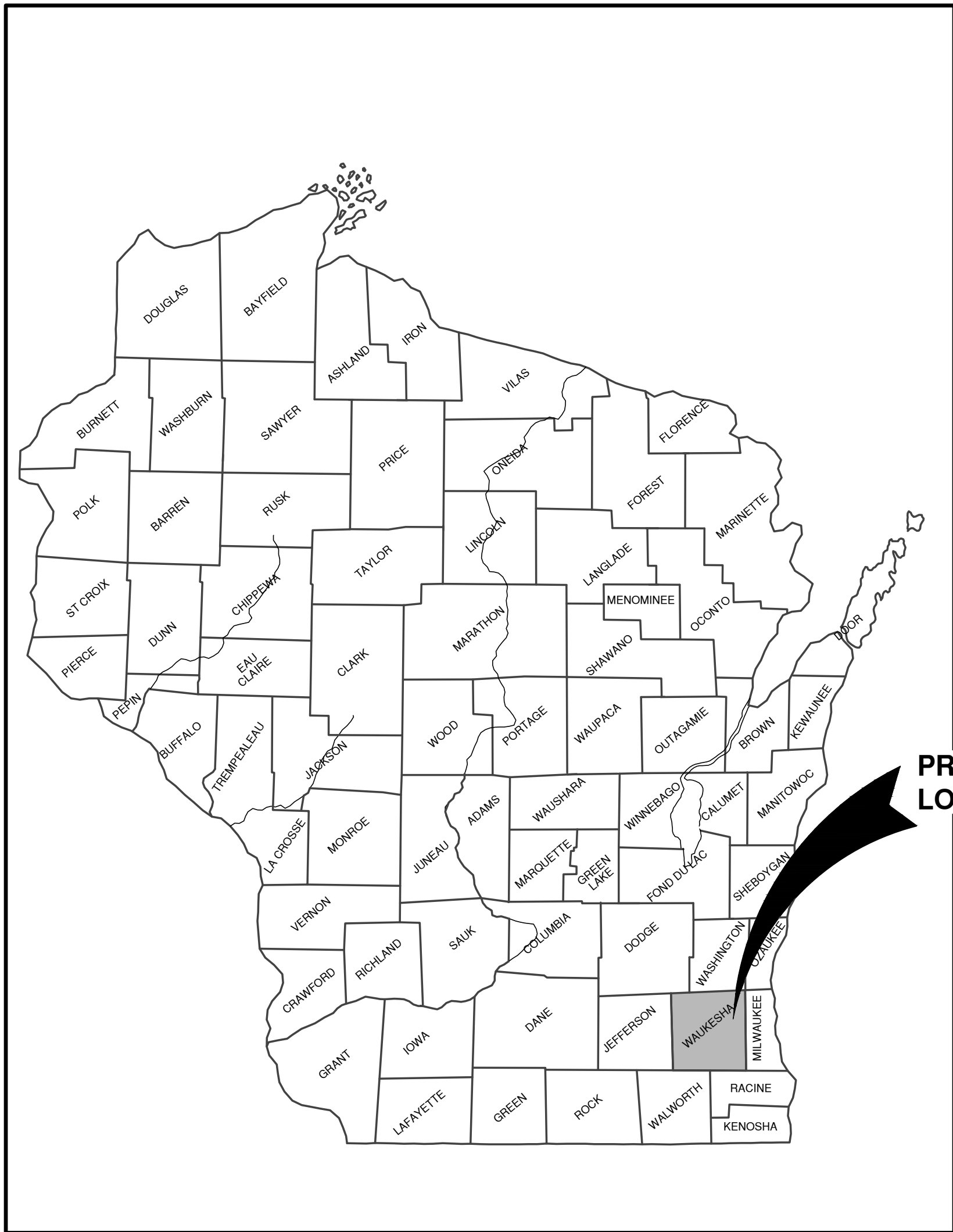
ELEVATION 3 | 1/8" = 1'-0"

TRASH ENCLOSURE- GATE ELEVATION | 1/8" = 1'-0"



5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



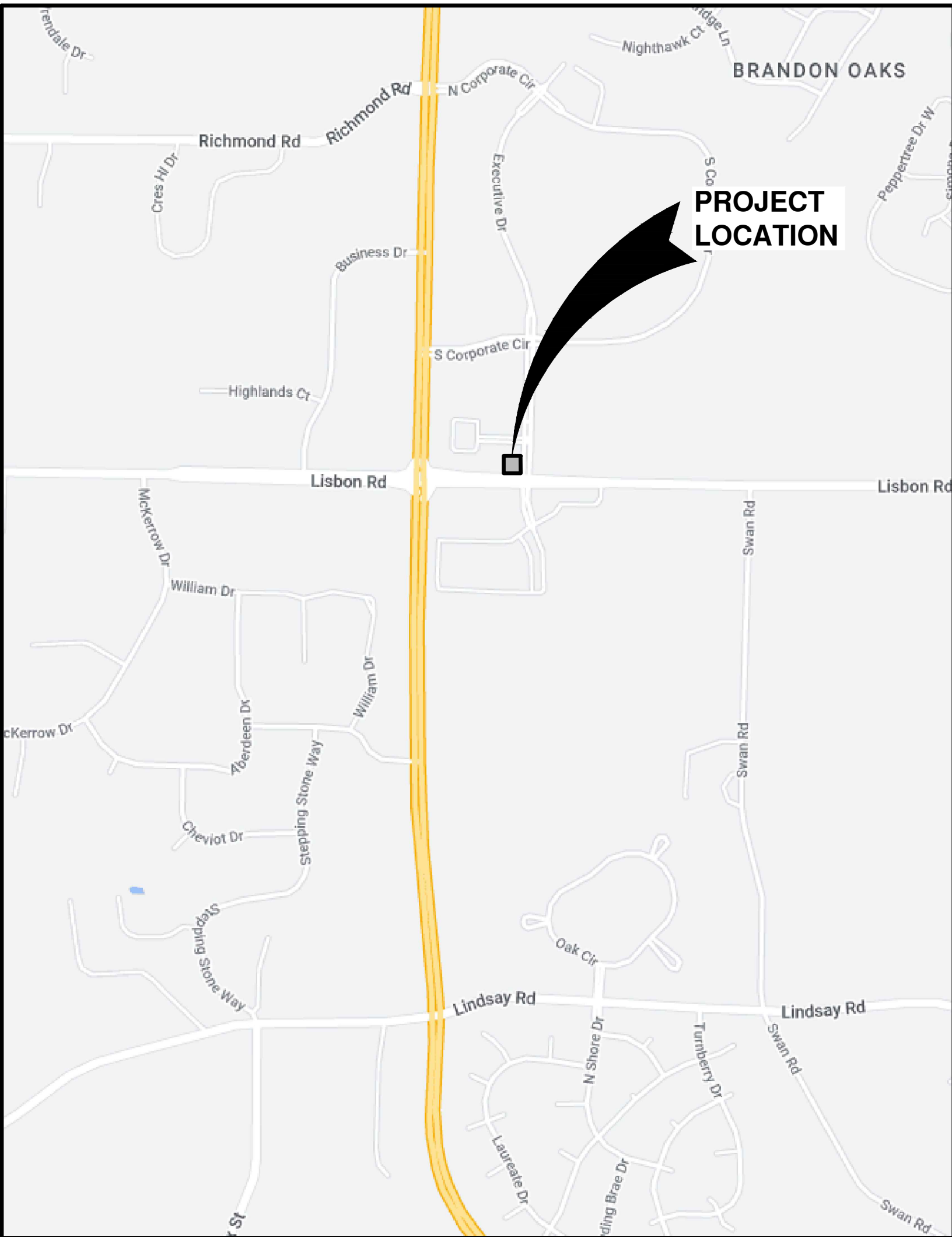
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING AND EROSION CONTROL PLAN
6	MISCELLANEOUS DETAILS
7	MISCELLANEOUS DETAILS
8	MISCELLANEOUS DETAILS
9	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
10	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
11	EROSION CONTROL - DITCH CHECK DETAILS
12	EROSION CONTROL - SHEET FLOW DETAILS
13	EROSION CONTROL - TRACKOUT CONTROL PRACTICES



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL	5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN	LOCATION MAPS AND INDEX TO DRAWINGS	DATE 03/2024 FILE 6256030C JOB NO. 6256030	Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releecinc.com	SHEET NO. C
								CHECKED AUB					
								DESIGNED MRL					

File: C:\Users\Ariana\AppData\Local\Temp\Ariana_19200_6258030T.dwg
Plot Date: Mar 26, 2024 at 2:14pm
GEO NOTES
LAYOUT:

OWNER INFORMATION:

CLUB CAR WASH
1591 E. PRATHERSVILLE ROAD
COLUMBIA, MO 65202

(573) 999-5178

CONTACT: JUSTIN BARNES

CONTRACTOR INFORMATION:

BAYLAND BUILDINGS
3323 BAY RIDGE COURT
HOBART, WI 54155

(920) 371-6200

CONTACT: DAVID O'BRIEN

UTILITY INFORMATION:

UTILITIES PRESENT:
VILLAGE OF SUSSEX DEPARTMENT OF PUBLIC WORKS, WAUKESHA COUNTY DEPARTMENT OF PUBLIC WORKS,
WE ENERGIES, AT&T, TIME WARNER CABLE, EVERSTREAM AND WINDSTREAM COMMUNICATIONS.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBER 20240502161, DATED 02/09/2024, VISIBLE OBSERVATION AND RECORD
UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE
MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
VILLAGE OF SUSSEX
NS9W23525 CLOVER DR.
SUSSEX, WI 53089

(262) 820-3130

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
WAUKESHA COUNTY
515 W MORELAND BL, RM. 220
WAUKESHA, WI 53188

(262) 548-7740

GAS & ELECTRIC:
WE ENERGIES
231 W MICHIGAN ST
MILWAUKEE, WI 53203
(414) 221-2345

TELECOMMUNICATIONS:
AT & T / SBC
777 E. WISCONSIN AV.
MILWAUKEE, WI 53202

(800) 792-2473

TELECOMMUNICATIONS:
TIME WARNER CABLE
1320 DR MARTIN LUTHER
KING DR.
MILWAUKEE, WI 53212

TELECOMMUNICATIONS:
EVERSTREAM
1228 EUCLID AVENUE
CLEVELAND, OH 44115

(844) 387-7876

TELECOMMUNICATIONS:
WINDSTREAM COMMUNICATIONS
4001 RODNEY PARHAM RD.
LITTLE ROCK, AR 72212

(501) 748-7000


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www.DiggersHotline.com

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WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

LEGEND

- FIRE HYDRANT
- WATER VALVE/CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- OPEN STORM MANHOLE
- STORM INLET
- STORM INLET MANHOLE
- TANK COVER
- SOIL BORING
- POST
- IRON PIPE/ROD
- PK NAIL


- POWER POLE
- POWER POLE W/GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- BOLLARD

- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP
- CULVERT
- WETLANDS
- HANDICAP PARKING

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE

- SANITARY SEWER (SIZE NOTED)
- FORCEMAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- CABLE TV LINE
- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

- | | | | | | | | |
|------|------------|------|----------------|-----|--------------------------------|------|--------------------------|
| GR. | GRAVEL | WM | WATERMAIN | VPC | VERTICAL POINT OF CURVATURE | B-B | BACK TO BACK (OF CURB) |
| BIT. | BITUMINOUS | HYD. | HYDRANT | VPI | VERTICAL POINT OF INTERSECTION | F-F | FACE TO FACE (OF CURB) |
| ASPH | ASPHALT | WV | WATER VALVE | VPT | VERTICAL POINT OF TANGENCY | R/W | RIGHT OF WAY |
| CONC | CONCRETE | SAN | SANITARY SEWER | PC | POINT OF CURVATURE | T/C | TOP OF CURB |
| SWG | SIDEWALK | MH | MANHOLE | PI | POINT OF INTERSECTION | F/L | FLOW LINE |
| BLDG | BUILDING | ST | STORM SEWER | PT | POINT OF TANGENCY | C/L | CENTERLINE |
| HSE | HOUSE | CB | CATCH BASIN | R | RADIUS | R/L | REFERENCE LINE |
| PED | PEDESTAL | TELE | TELEPHONE | EX | EXISTING | INV | INVERT |
| PP | POWER POLE | ELEC | ELECTRIC | PR | PROPOSED | CMP | CORRUGATED METAL PIPE |
| LP | LIGHT POLE | TV | TELEVISION | EOR | END OF RADIUS | RCP | REINFORCED CONCRETE PIPE |
| BM | BENCH MARK | STA. | STATION | BOC | BACK OF CURB | CULV | CULVERT |

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN	GENERAL NOTES	DATE 03/2024	 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releecinc.com	SHEET NO. 1
								CHECKED AJB			FILE 6258030T		
								DESIGNED MRL			JOB NO. 6258030		

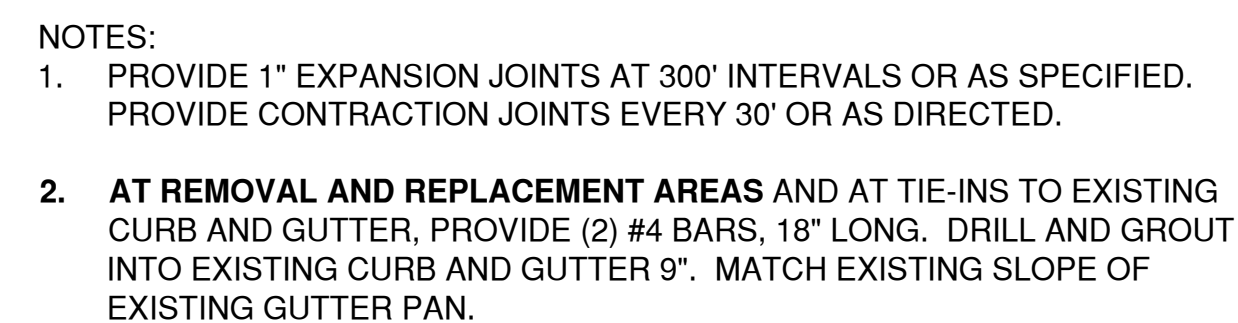


Diagram illustrating the cross-section of a curb and driveway structure. The diagram shows a curb cut at the driveway edge, with a 4% slope leading to a broom finish surface. The curb height is 10 inches, and the top of the curb is 2 inches above the broom finish surface. The driveway surface is 18 inches wide, and the curb width is 12 inches. The base consists of 3 inches of minimum compacted crushed aggregate base course material, gradation No. 2, over undisturbed soil. The broom finish surface is 6 inches minimum above the base. The curb cut is 6 inches high, and the driveway surface is 6 inches high. The diagram also indicates the location of (2) #4 continuous reinforcement bars where required.

Labels and Dimensions:

- CURB CUT AT DRIVEWAY
- (2) #4 CONTINUOUS WHERE REQUIRED
- BROOM FINISH SURFACES
- TOP OF CURB
- 10"
- 2"
- 6" R
- 6" R
- 3"
- 4% SLOPE
- 4"
- 6" MIN.
- 12"
- 18"
- UNDISTURBED SOIL
- 3" MINIMUM COMPACTED CRUSHED AGGREGATE BASE COURSE MATERIAL, GRADATION NO. 2

- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG, DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

Diagram illustrating the cross-section of a curb and gutter assembly, showing dimensions and materials:

- TOP OF CURB**: Indicated by a horizontal line.
- CURB CUT AT DRIVEWAY**: Indicated by a vertical line.
- (2) #4 CONTINUOUS WHERE REQUIRED**: Reinforcement specification.
- BROOM FINISH SURFACES**: Indicated by a horizontal line.
- 4% SLOPE**: Indicated by a dashed line.
- 3" R**: Radius of the curb cut.
- 6"**: Curb width.
- 12"**: Curb height.
- 6"**: Minimum depth of the broom finish surface.
- 12"**: Width of the base course material under the curb.
- 18"**: Width of the base course material under the gutter.
- 3" MINIMUM COMPACTED CRUSHED AGGREGATE BASE COURSE MATERIAL, GRADATION NO. 2**: Material specification for the base course.
- UNDISTURBED SOIL**: Indicated by a horizontal line.

- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

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CASTING REQUIREMENTS:
SANITARY MANHOLES:
 NEENAH 1500 FRAME AND NON ROCKING LID WITH CONCEALED PICK HOLES AND SELF-SEAL NEOPRENE "T" GASKET.
STORM MANHOLES:
 NEENAH R 1500 FRAME AND NON ROCKING LID WITH OPEN PICK HOLES.

TWO CONTINUOUS STRIPS OF 1/2" JOINT SEAL OR EQUAL BETWEEN ADJUSTING RINGS AND CASTING. COAT OUTSIDE OF ADJUSTING RINGS ONLY WITH SEWER JOINT COMPOUND AND WRAP WITH MN. 6 MIL POLYETHYLENE.

PVC COATED CAST IRON M.H. STEPS 16" O.C.

PRECAST CONCRETE MANHOLE SECTIONS

3'-0"

2'-0" DIA. MIN

4'-0" DIA.

ECCENTRIC REDUCING CONE (VERTICAL WALL OF ECCENTRIC CONE SHALL BE ON DOWNSTREAM SIDE OF MANHOLE. THIS DETAIL SHOWN ROTATED 90° FOR CLARITY.)

CONTINUOUS 1-1/4" X 1-1/4" JOINT SEAL OR EQUAL AT EACH JOINT

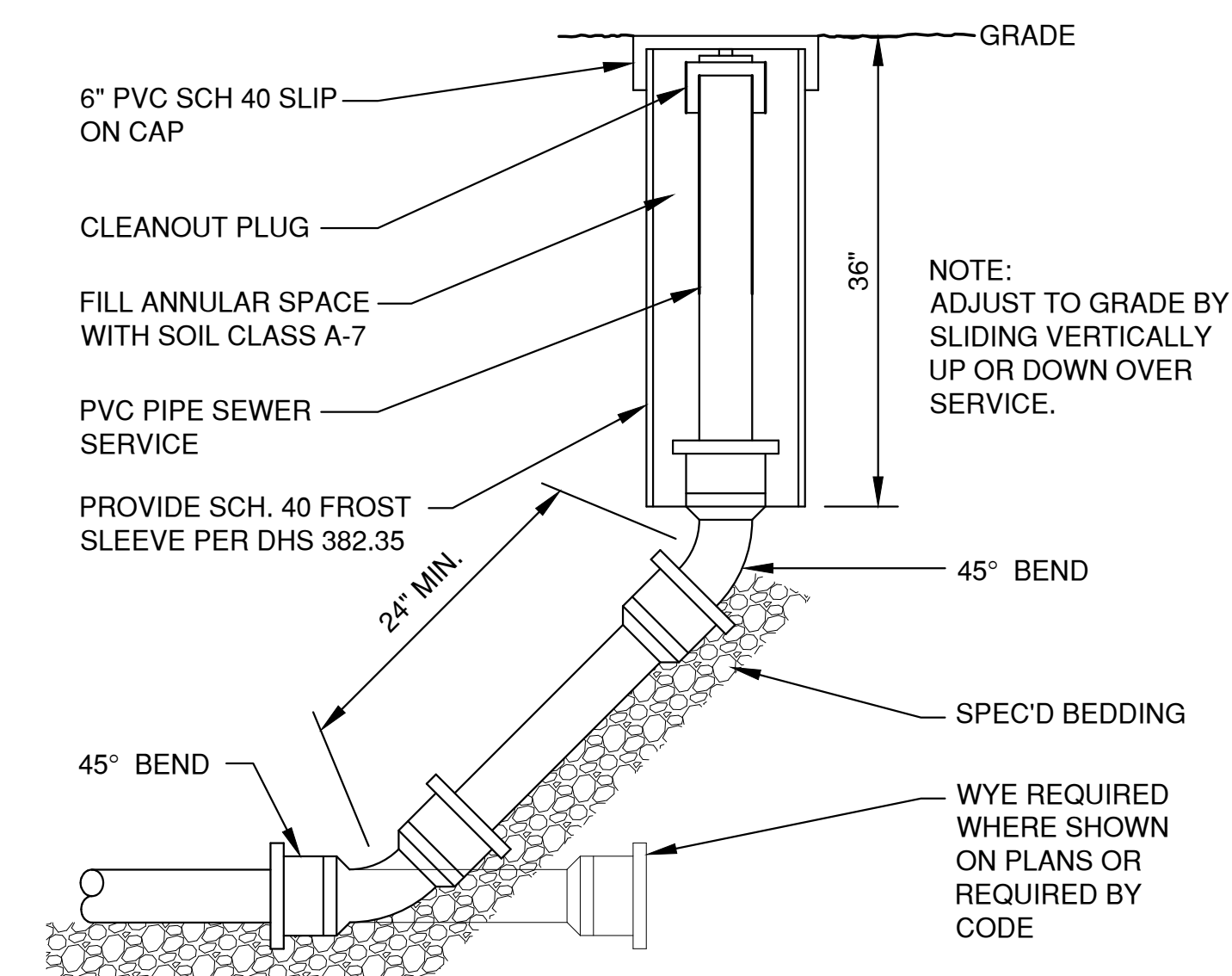
TONGUE AND GROOVE JOINT REQUIRED

FLEXIBLE PIPE TO MANHOLE CONNECTOR REQUIRED

5'-8" MIN.

8" PRECAST CONCRETE BASE

NOTE: CLEANOUT LINE TO BE THE SAME
SIZE AND MATERIAL AS SEWER MAIN



NOTE
CLEANOUT LINE TO BE THE SAME
SIZE AND MATERIAL AS SEWER MAIN.

STANDARD CLEANOUT
FRAME & COVER

6"
4"

24" SQUARE
CONC. PAD

4" (MIN) GRAVEL

CLEANOUT PLUG

FILL ANNULAR SPACE WITH
SOIL CLASS A-7

PROVIDE SCH. 40 FROST
SLEEVE PER DHS 382.35

24" MIN.

45° BEND

45° BEND

SPEC'D BEDDING

WYE REQUIRED
WHERE SHOWN
ON PLANS OR
REQUIRED BY
CODE

6"x6"-W2 x W2 WWF CENTER IN SLAB

CONCRETE SLAB


#4 CONTINUOUS

#4 x 2'-6" @ 18" O/C. ANCHOR MIN. 6" INTO STRUCTURE W/ 2-PART EPOXY ANCHORING COMPOUND.

1/2" EXPANSION JOINT WITH SELF LEVELING SEALANT WHEN CAST AGAINST STRUCTURE.

MIN. 4" COMPACTED SOIL CLASS C-3. MOISTEN IMMEDIATELY BEFORE PLACING CONCRETE

LAYOUT: DETAILS (1) Plot Date: Mar 27, 2024 - 9:47am

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE	 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 rel@inc.com	SHEET NO.
								CHECKED			03/2024		6
								AJB			FILE		
								DESIGNED			6258030DET		
								MEI			JOB NO.		
									202501				



TYPICAL SECTION



WALK WIDTH	CONTRACTION JOINT SPACING		EXPANSION JOINT SPACING
	TRANSVERSE	LONGITUDINAL	
4'	4'	NOT REQ'D	100' MAX.
5'	5'	NOT REQ'D.	100' MAX.
6'	6'	NOT REQ'D.	100' MAX.
8'	4'	4'	100' MAX.
10'	5'	5'	100' MAX.
12'	6'	6'	100' MAX.

SIDEWALK DETAIL



TYPE 'A' STORM INLET



TYPE 'A' STORM INLET

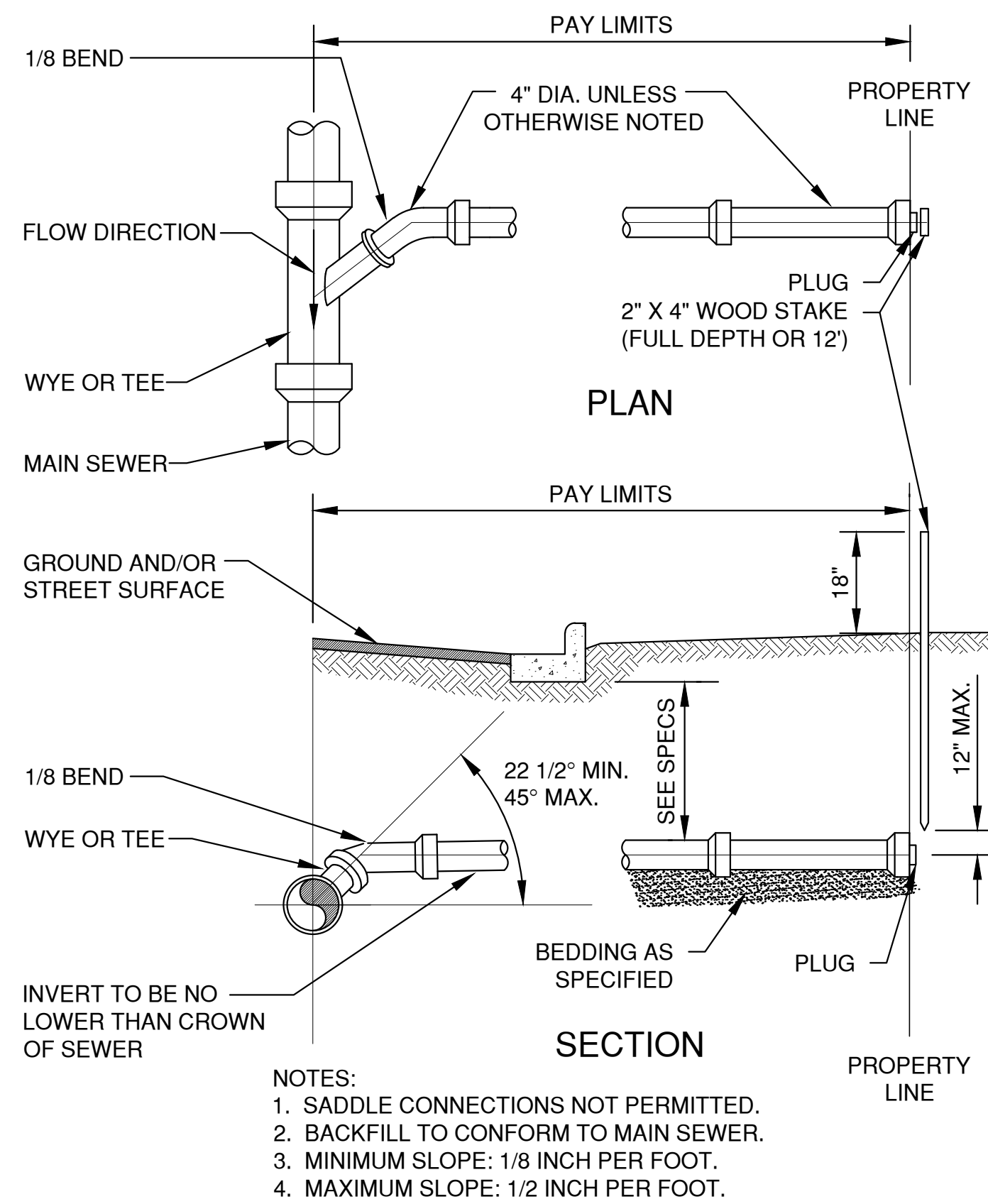


5221 EXECUTIVE DRIVE
FOR CLUB CAR WASH
VILLAGE OF SUSSEX
WAUKESHA COUNTY, WISCONSIN

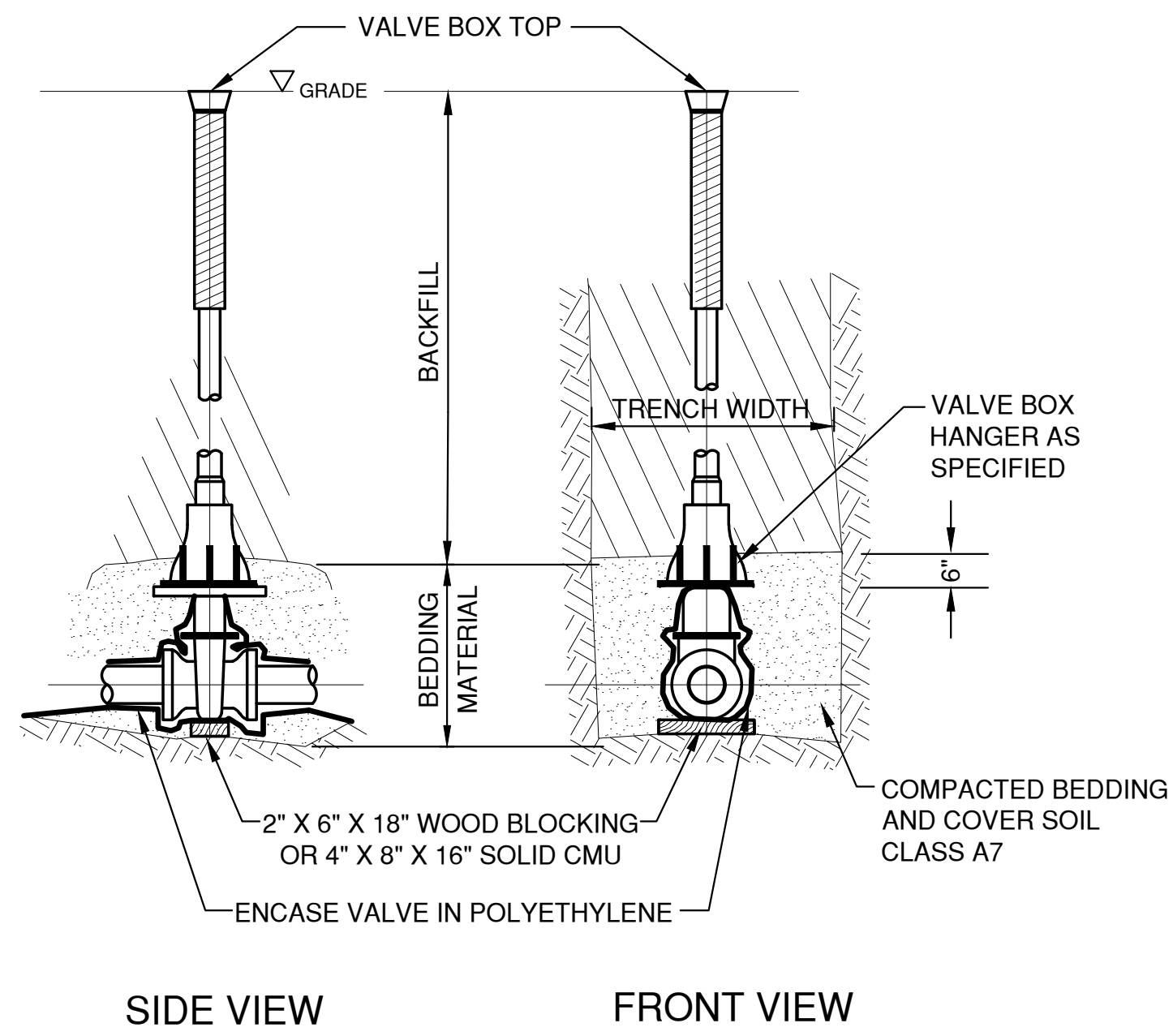
MISCELLANEOUS DETAILS

DATE 03/2024	 Robert E. Lee & Associates, Inc.	SHEET NO.
FILE 6258030DEET		7
JOB NO. 626801		1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com

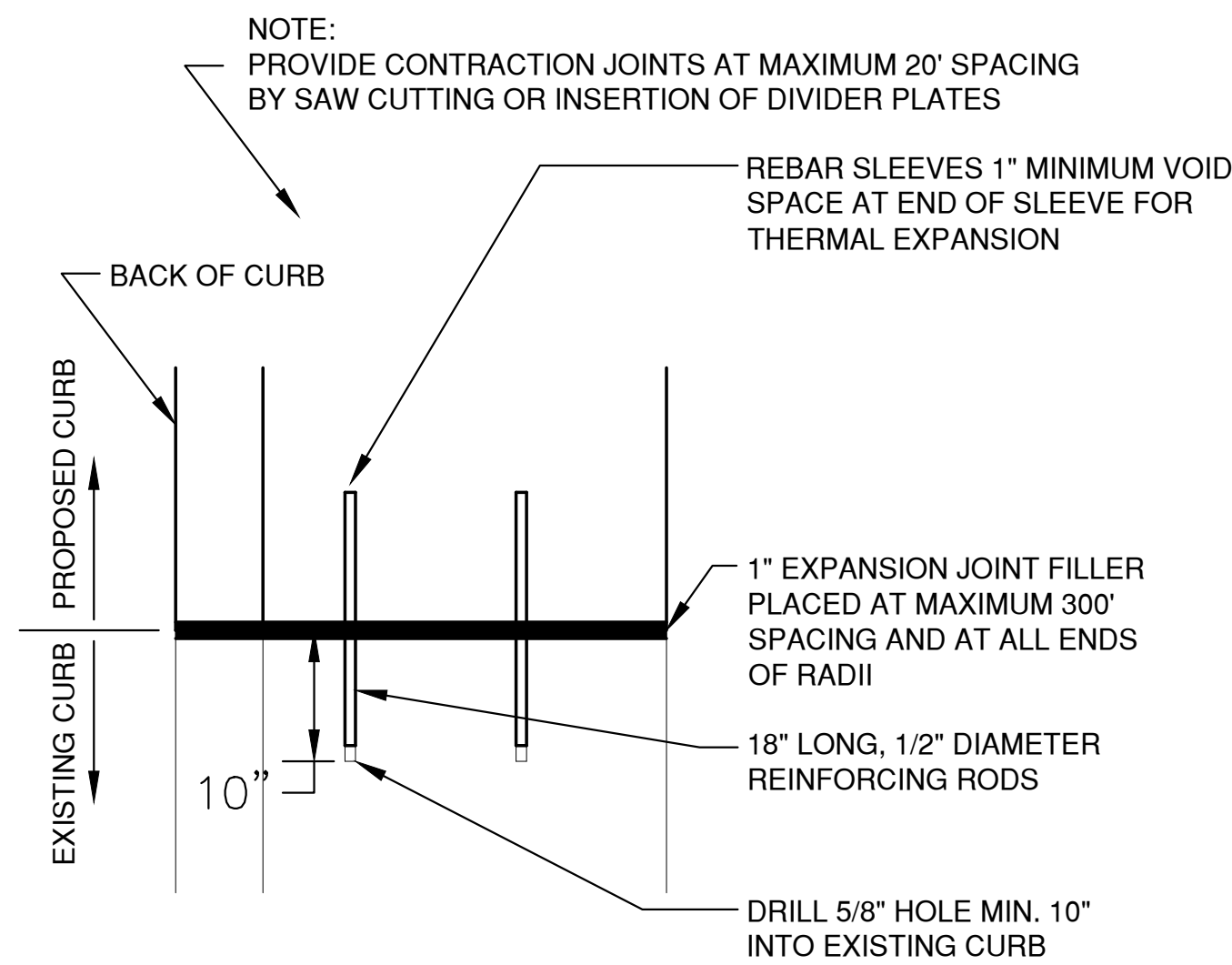
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LAYOUT: DETAILS (3)



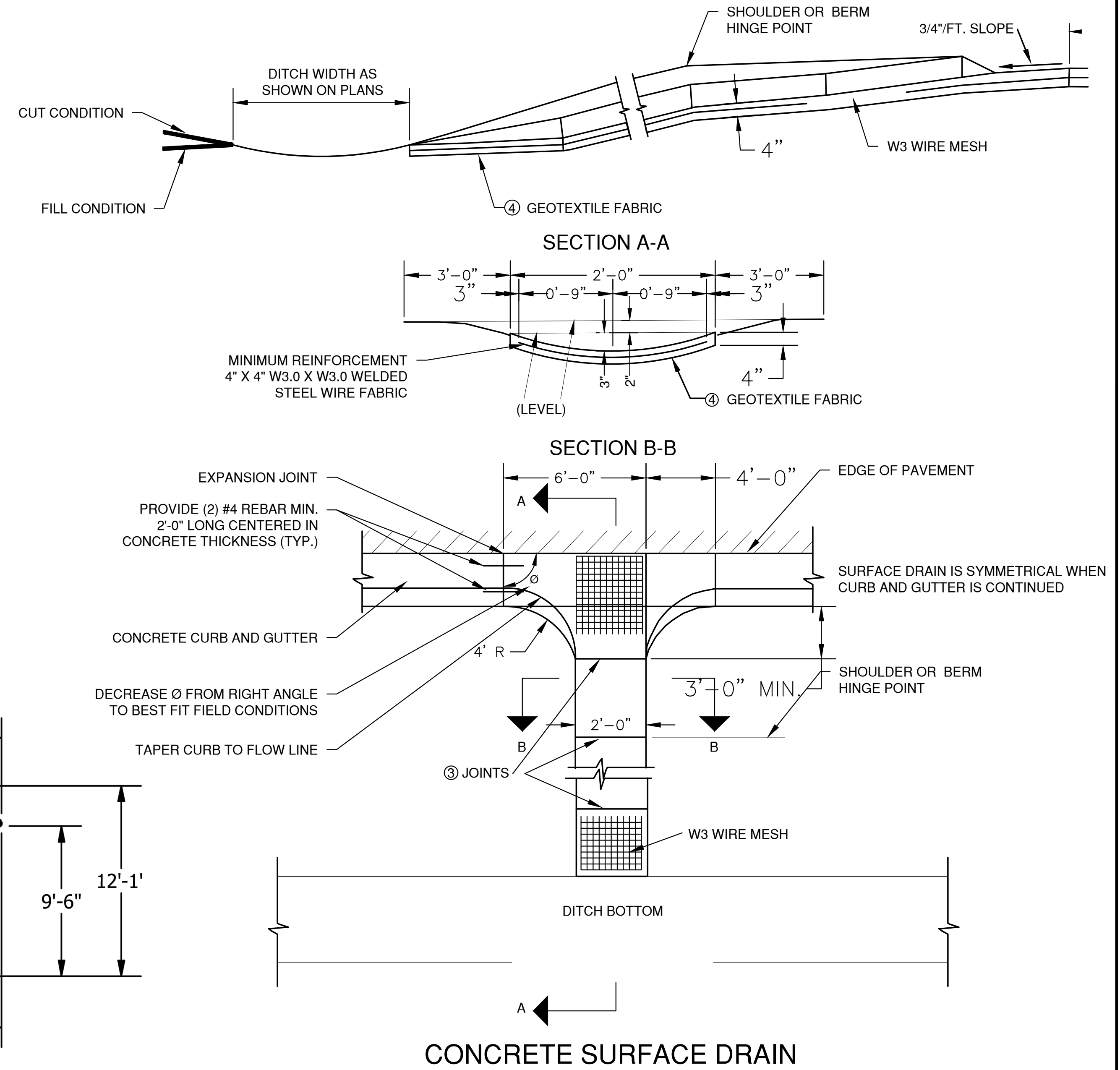
STANDARD SERVICE LATERAL



VALVE BOX SETTING



CURB TIE IN DETAIL



PAY STATION CANOPY

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								MRL
								CHECKED
								AJB
								DESIGNED
								MRL

5221 EXECUTIVE DRIVE
FOR CLUB CAR WASH
VILLAGE OF SUSSEX
WAUKESHA COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

DATE
03/2024
FILE
6256030DET
JOB NO.
6256030

REL Robert E. Lee
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com


SHEET NO.
8

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN	EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D	DATE	 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO.
								CHECKED			03/2024		9
								AJB			FILE		
								DESIGNED			6/25/2020EC		
								WEL	JOB NO.				

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

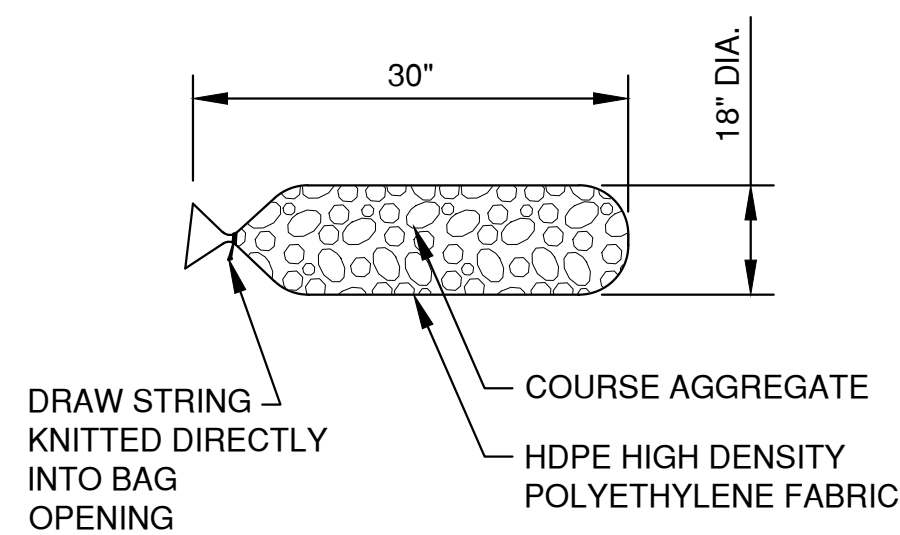


* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



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Plot Date: Mar 27, 2024 9:47am
3 DITCH CHECKS
LAYOUT

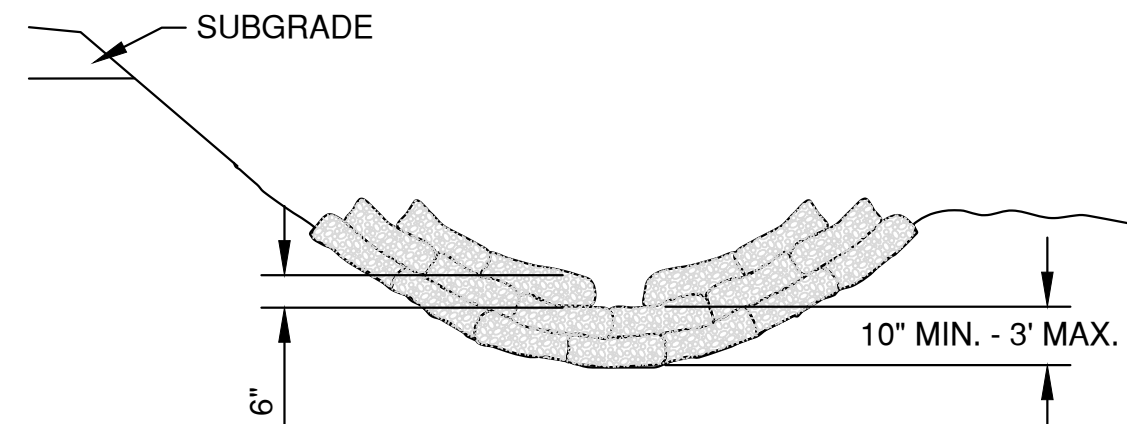


FILTER BAG DETAIL

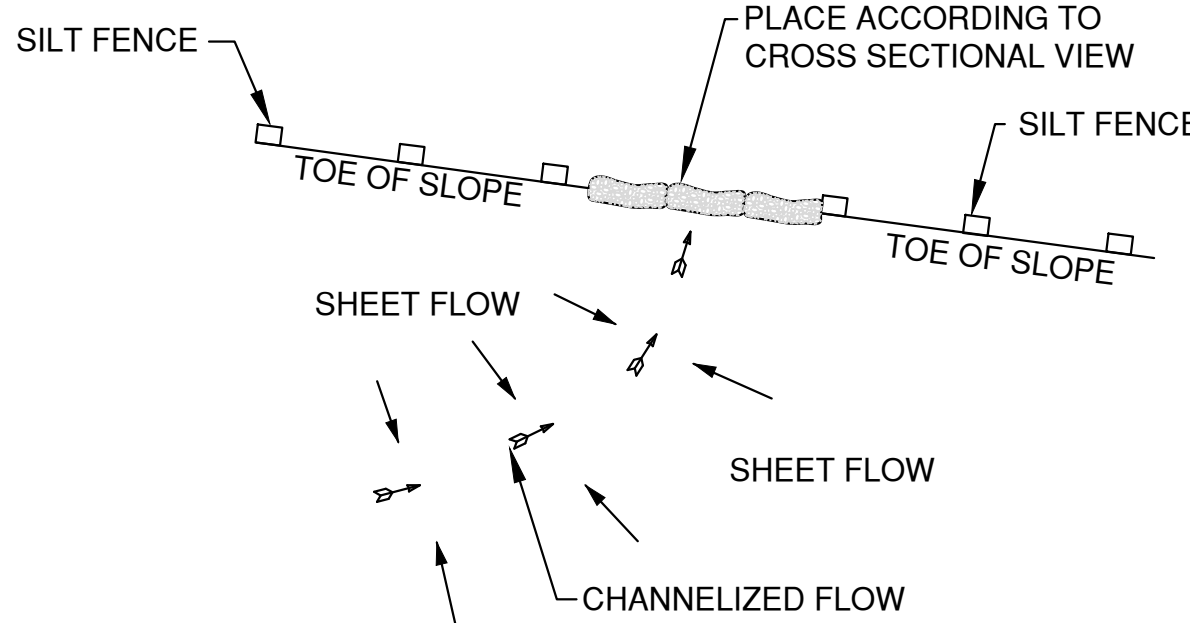
- NOTES:
- 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:
HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN 1/8" X 1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR STRENGTH AND DURABILITY.
 - USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS

SIEVE SIZE	SIZE NO. AASHTO No. 67 (1)
2 INCH (50 mm)	-
1 1/2 INCH (37.5mm)	-
1 INCH (25.0 mm)	100
3/4 INCH (19.0mm)	90-100
3/8 INCH (9.5mm)	20-55
No. 4 (4.75mm)	0-10
No. 8 (2.36mm)	0-5

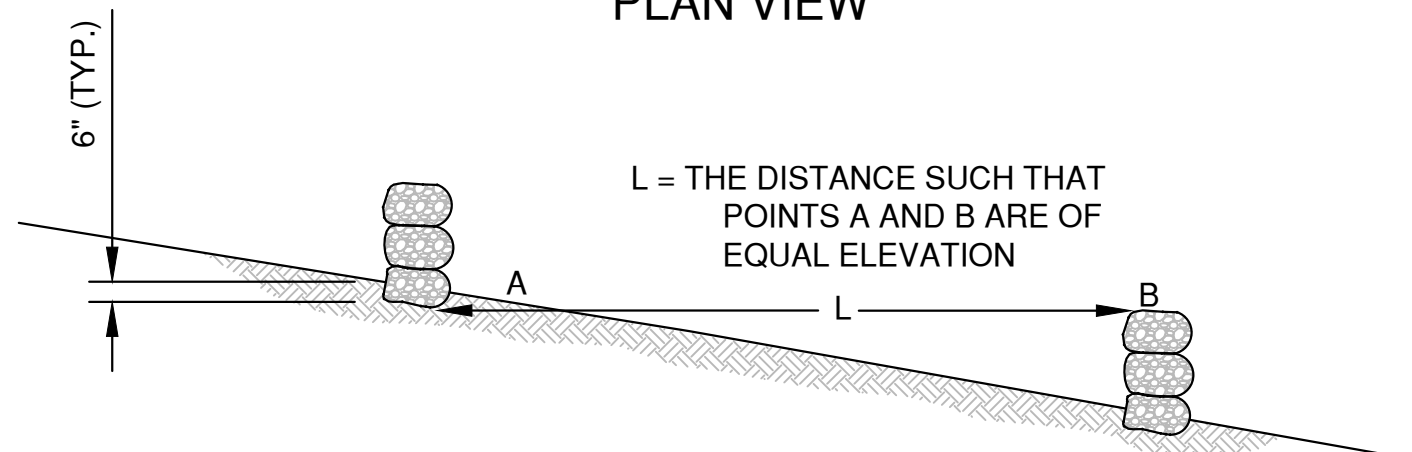
(1) SIZE No. ACCORDING TO AASHTO M 43



CROSS SECTIONAL VIEW



PLAN VIEW



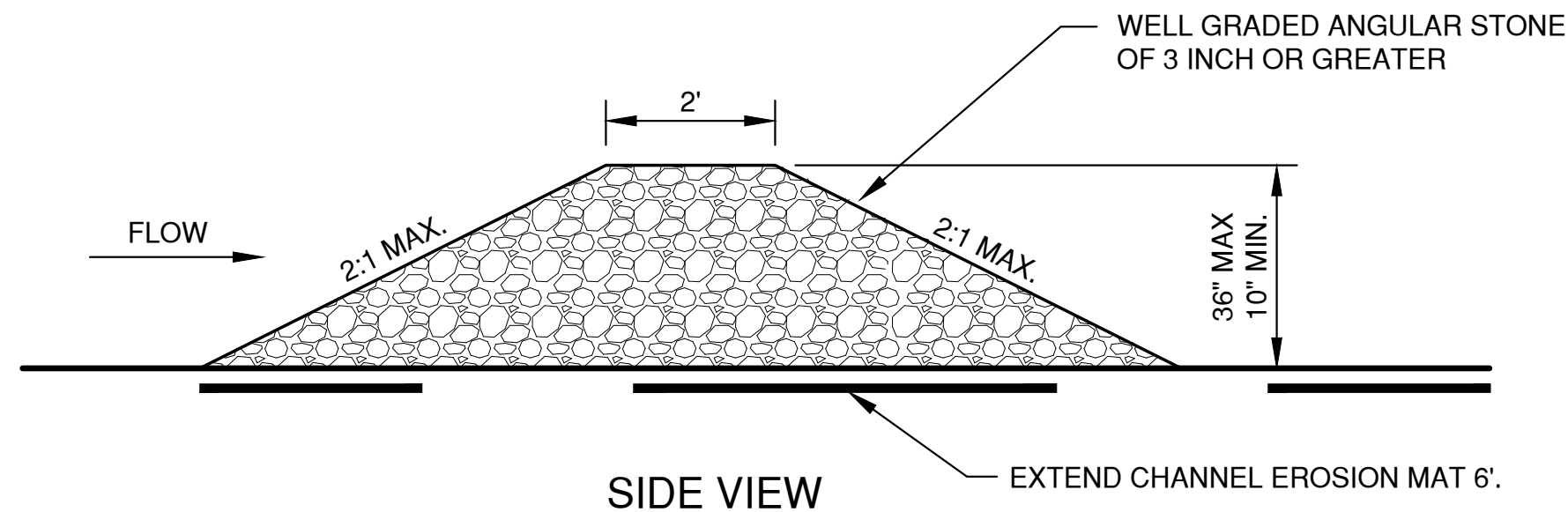
SIDE VIEW

DITCH CHECK DETAIL

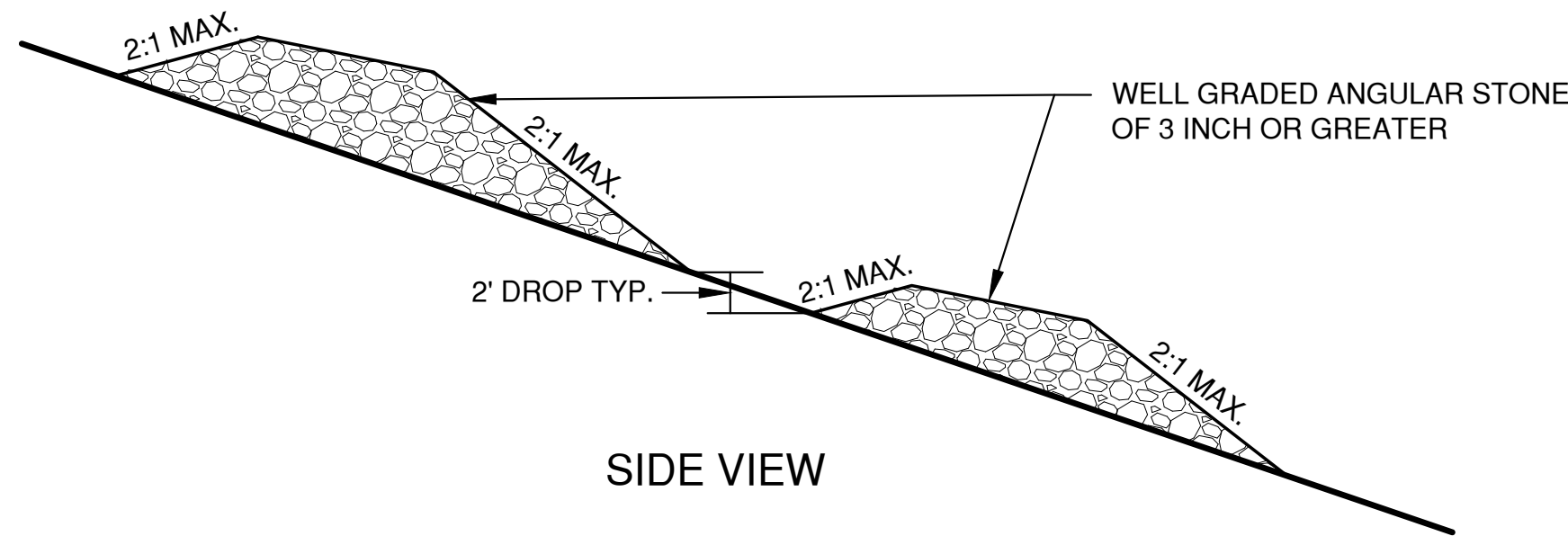
ROCK FILLED EROSION CONTROL BAGS TYPE B

DITCH CHECK GENERAL NOTES:

- DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
- AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
- DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.



SIDE VIEW




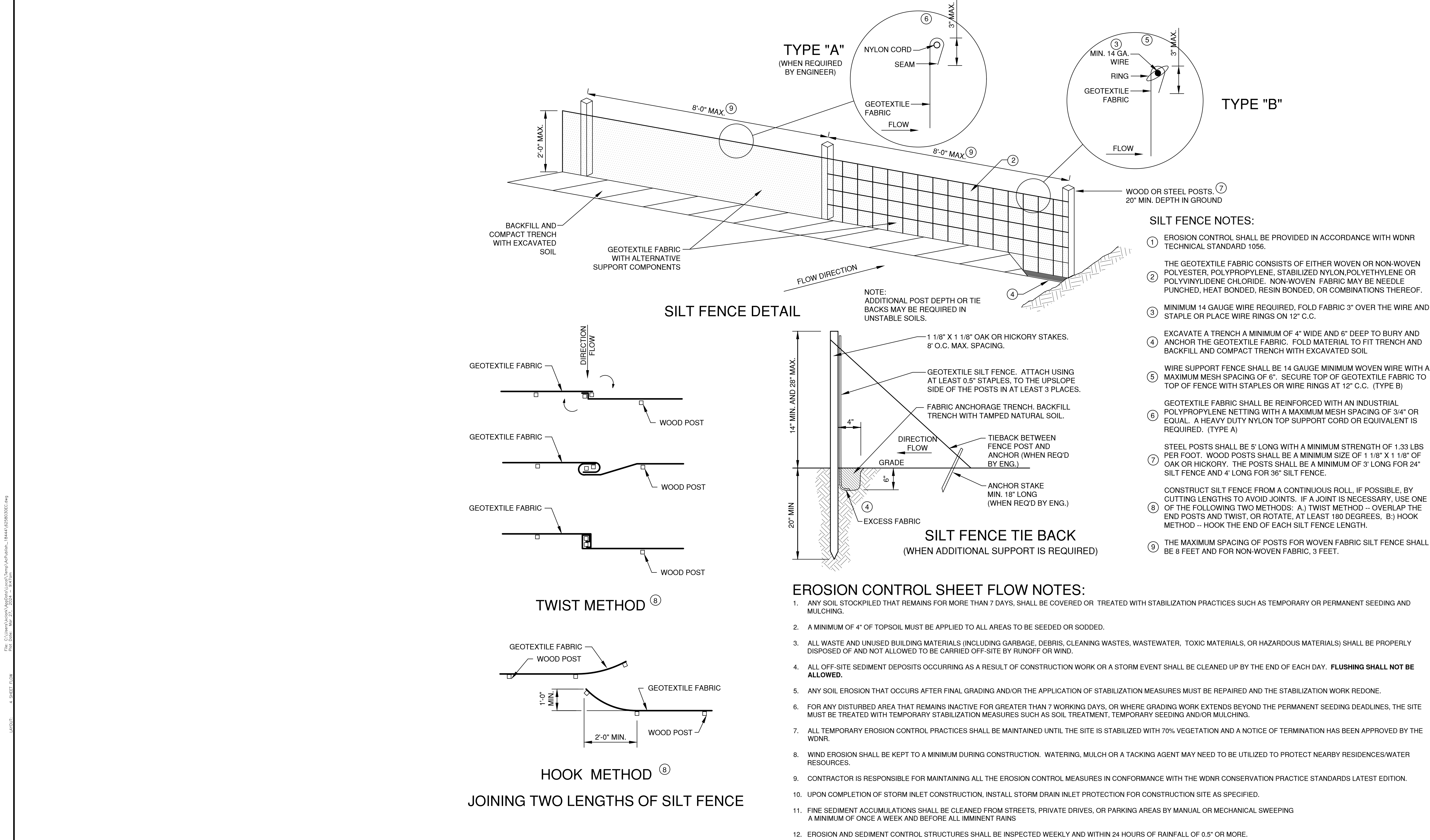
SIDE VIEW

TEMPORARY DITCH CHECK USING STONE TYPE C

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL	5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN	EROSION CONTROL DITCH CHECK DETAILS	DATE 03/2024 FILE 625803DEC JOB NO. 625803D	Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releecinc.com	SHEET NO. 11
								CHECKED AJB					
								DESIGNED MRL					

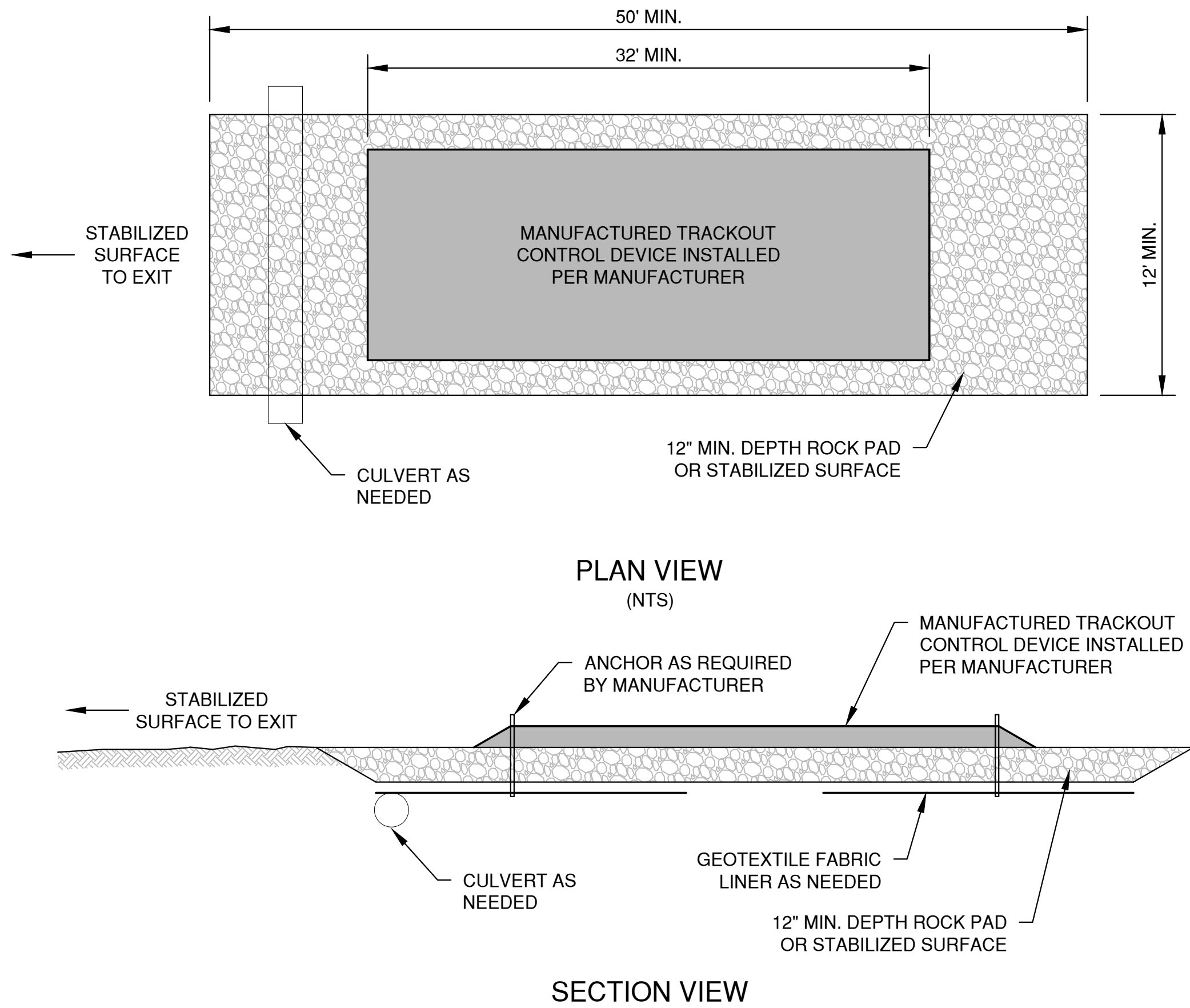
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Plot Date: Mar 27, 2024 9:47am
4 SHEET FLOW
LAYOUT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL	5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN	EROSION CONTROL SHEET FLOW DETAILS	DATE 03/2024	 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 12
								CHECKED AJB			FILE 6256030EC		
								DESIGNED MRL			JOB NO. 6256030		



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Plot Date: Mar 27, 2024 9:47am
LAYOUT: 5 TRACKOUT
LAYOUT: 5 TRACKOUT

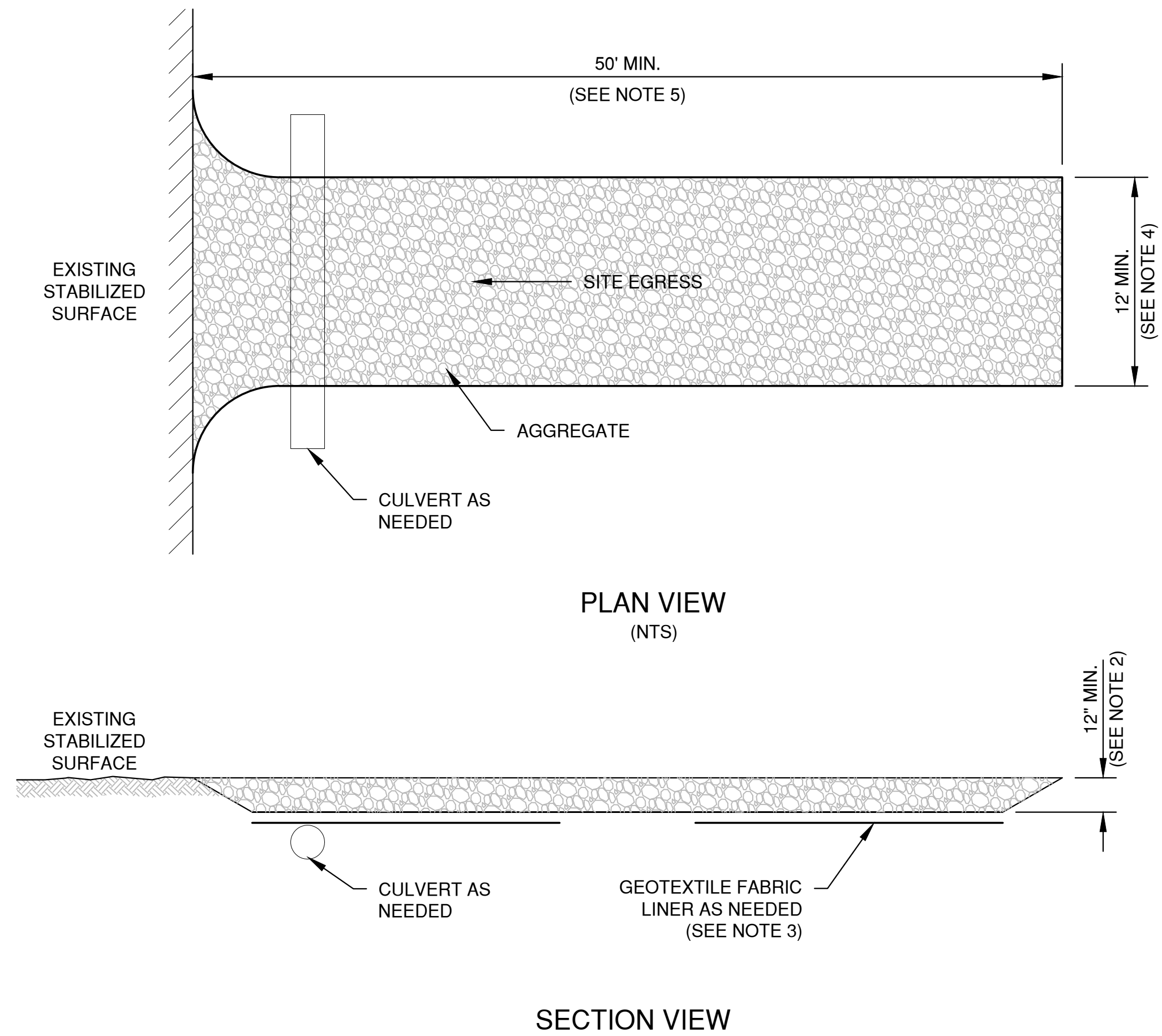
* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



NOTES:

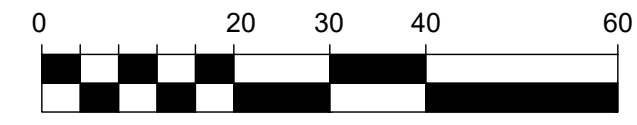
1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL	5221 EXECUTIVE DRIVE FOR CLUB CAR WASH VILLAGE OF SUSSEX WAUKESHA COUNTY, WISCONSIN	EROSION CONTROL TRACKOUT CONTROL PRACTICES	DATE 03/2024 FILE 6258030EC JOB NO. 6258030	Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releecinc.com	SHEET NO. 13
								CHECKED AJB					
								DESIGNED MRL					

LANDSCAPE PLAN



LANDSCAPE INSTALLATION NOTES:

GENERAL:

- Landscape contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
- Landscape contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
- All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
- Quantities of material shown on plan take precedence over the specification list or legend.
- If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.

PLANTING:

- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
- All plant tags should be removed from material by landscape contractor.
- All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
- Edge all beds with a spade cut edge unless otherwise noted.
- All backfill around plant material rootballs should receive a soil mix of 4 parts (pulverized) topsoil to 1 part fine, organic compost.
- All wire baskets and stakes should be removed during planting.
- Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
- All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.

PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
ACE	6	Acer saccharum 'Legacy'	2.5"
GLE	3	Gleditsia triacanthos f. inermis 'Skycole' SKYLINE	2.5"
ARB	20	Thuja occidentalis 'Emerald Green'	6'

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
JUN	23	Juniperus x pfizeriana 'Sea Green'	36"
VIB	18	Viburnum carlesii 'Korean Spice'	36"
SPI	3	Spirea japonica	18"
PAN	18	Panicum virgatum 'Heavy Metal'	#5

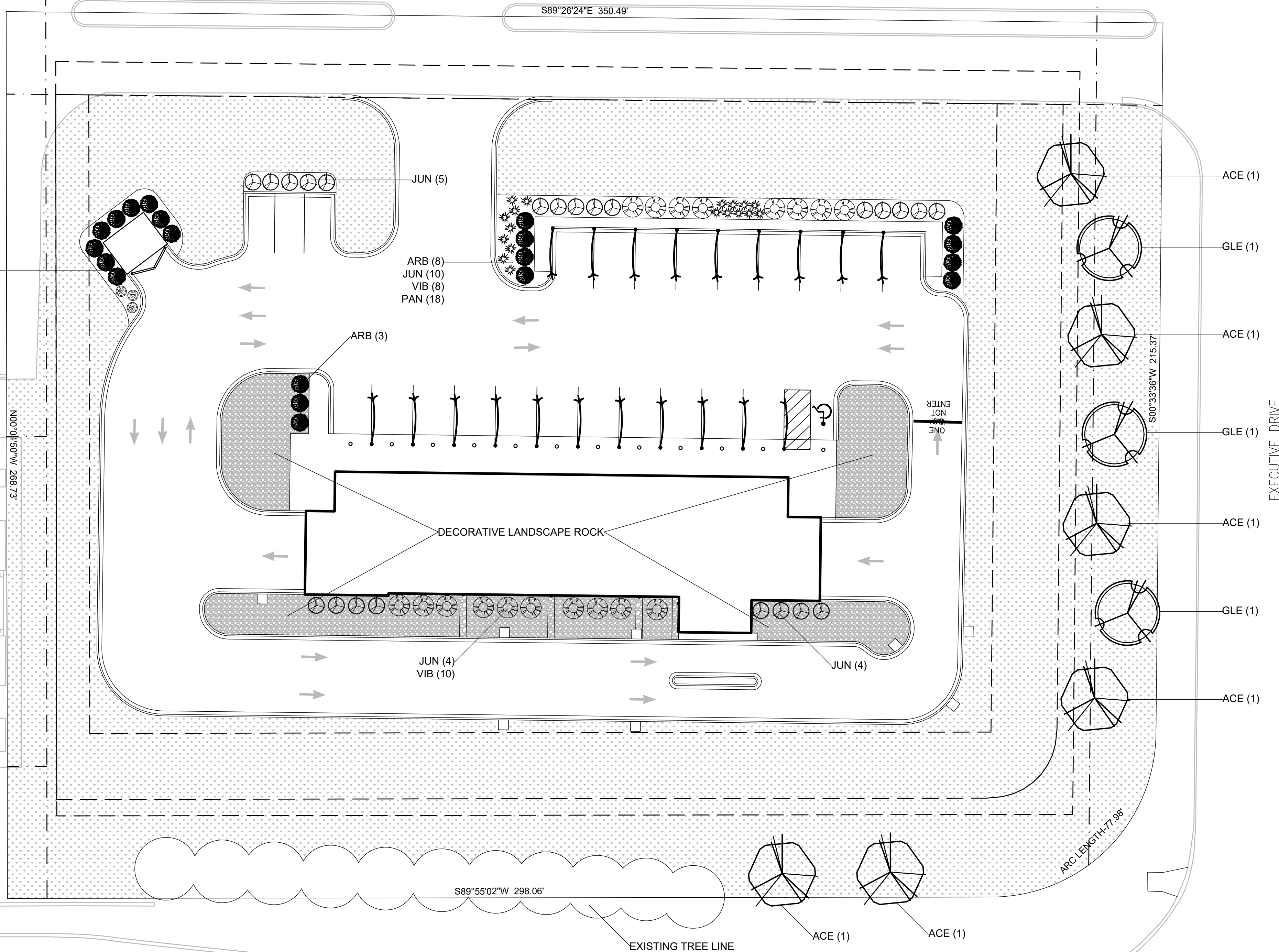
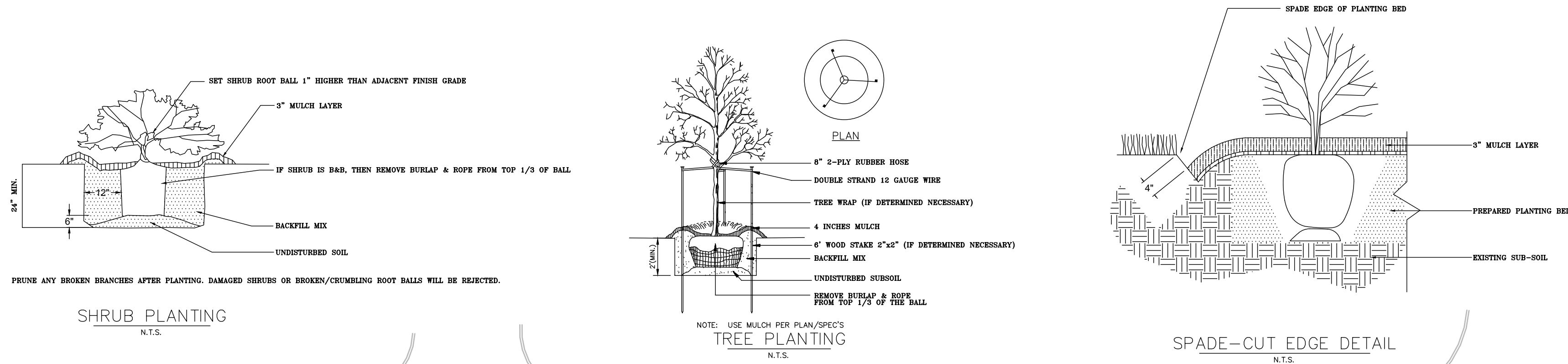
LANDSCAPE REQUIREMENTS:

- All public off-street parking areas which serve five (5) vehicles or more shall be provided with accessory landscape areas totaling not less than fifteen (15) percent.
- Parking Sq. Ft. = 8,257.72 x 15% = 1,238.65
 - Total landscape area provided = 1,904.74

- Street Trees: One (1) tree shall be planted for each forty (40) feet of frontage.
- Total street frontage = 374'
 - 374' / 40' = 9 Trees

PLANT LEGEND:

-  SUGAR MAPLE 'LEGACY'
-  HONEYLOCUST 'SKYLINE'
-  ARBORVITAE 'EMERALD GREEN'
-  JUNIPER 'SEA GREEN'
-  VIBURNUM 'KOREAN SPICE'
-  SPIREA, JAPONICA
-  SWITCH GRASS 'HEAVY METAL'





Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
<u> X </u> Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: _____ Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

**PAID 2/12/24
SQUARE**

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # 0231997014

Zoning: B-3

Address of Tenant Space: _____

1. Name of Business:

12033 W Wilbur Avenue, Greenfield, WI 53228

Business

12033 W Wilbur Avenue	Greenfield, WI 53228	414-666-1230
Address	City, State, Zip	Phone #
866-579-9274	mail@mrdcarwash.com	
Fax #	Email address	

2. Business owner contact information:

Davinder Toor

Contact

12033 W Wilbur Avenue	Greenfield, WI 53228	414-698-4896
Address	City, State, Zip	Phone #
866-579-9274	mail@mrdcarwash.com	
Fax #	Email address	

3. Building/Land owner contact information:

Surjit Toor

Contact

9520 W Woelfel Road	Franklin, WI 53228	414-234-0133
Address	City, State, Zip	Phone #
	toorsplaza@aol.com	
Fax #	Email address	

4. Number of Employees/Shifts: 12 2
Employees Shifts

5. Days of Operation:

Put an X in box that applies:
Hours
 Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
8A-7P	8A-7P	8A-7P	8A-7P	8A-7P	8A-7P	9A-5P

6. Is this an extension of an existing operation? No
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: _____
11. Dimension of area to be occupied 130.5' x 36' Total square footage 4705
If applicable list square footage according to 1st floor 4680 2nd floor N/A

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 19 Number of spaces needed per code 3
Number of spaces allocated for employee parking 3
Dimensions of parking lot 64' x 140' Is parking lot paved? Yes

13. Signage: What type of signage are you proposing for your business?

Monument Sign. Signage on Building - Sign permit will be applied for.

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Davinder Toor

07/25/2023

Name

Date

Member

Title or Position

I am aware and approve of the business to be operating in the building owned by _____.

Name

Date

Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Davinder Toor

12033 W Wilbur Avenue, Greenfield, WI 53228

Business Name: **Lake Country Dev 2 LLC**

Name of Owner and Address of the Property involved in the Request (if different from above):

Davinder Toor

Tax Key No. of the Property involved in the Request: SUXV **0231997014**

Signature of Property Owner and /or Authorized Agent

07/25/2023

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Lake Country Dev 2 LLC

Address: 12033 W Wilbur Avenue

Owner/Operator: Mr D Car Wash LLC - Member: Davinder Toor

Standard Industrial Classification #: 7542

How many people do you employ? 12

What are your businesses hours of work? M-Sat 8A to 7P, Sun 9A - 5P

Who is responsible for water quality? (List job titles)

Davinder Toor - Business Owner

Time and Duration of Discharge: During operating hours: M-Sat 8A to 7P, Sun 9A - 5P

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Avg Flow Rate: 14gpm Peak Flow Rate: 92gpm Flow will be highest from 11am to 2pm

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

The activity of the location is a car wash. As such, water is used with cleaning agents to remove dirt and road grime from the vehicles. This water will proceed to settling tanks to allow the bulk of the suspended solids to settle to the bottom. Then an oil-water separator will remove oil and grease before water is discharged.

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

The wastewater generated during car wash operations primarily consists of suspended solids, such as dirt and debris, along with dissolved cleaning agents. We utilize an oil-water separator to manage potential oil and grease discharge

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Lake Country Dev 2 LLC
Business Address: 525 E Sumner Street, Hartford, WI 53027
Business Phone #: 414-666-1230
Business Email: mail@mrdcarwash.com

Business Emergency Contacts

Name and Phone #: Davinder Toor 414-698-4896
Name and Phone #: Emma Bitting 414-313-8677
Name and Phone #: Nav Toor 414-380-4380
Building Owner Name: Davinder Toor
Building Owner Email: mail@mrdcarwash.com

Building Owner Emergency Contacts

Name and Phone #: Davinder Toor 414-698-4896
Name and Phone #: Emma Bitting 414-313-8677

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.
REVIEWED: _____
DESIGNED: _____
DRAFTED: RCH

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

FOR

MR. D CAR WASH

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

PLANS PREPARED FOR

MR. D CARWASH

MR. D CAR WASH

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

COVER SHEET

REVISIONS

_____	_____
_____	_____
_____	_____
_____	_____

PEG JOB #3005.00-WI	MAC	N.T.S.
PEG PM	08/20/23	SCALE

SHEET
C-1
OF
C-9

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FOR REVIEW ONLY

COVER SHEET

www.pinnacle-engr.com

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C & G	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
CB	CURB AND GUTTER	PT	POINT OF TANGENCY
CL	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
	CENTERLINE	R	RADIUS
EP	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
FF	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FG	FINISHED FLOOR	ST	STORM SEWER
FL	FINISHED GRADE	T	TANGENCY OF CURVE
FP	FLOW LINE	TB	TOP OF BANK
FR	FLOODPLAIN	TC	TOP OF CURB
FW	FRAME	TF	TOP OF FOUNDATION
HWL	FLOODWAY	TP	TOP OF PIPE
INV	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
	INVERT	TW	TOP OF WALK
MH	LENGTH OF CURVE	WM	WATER MAIN
	MANHOLE	Δ	INTERSECTION ANGLE

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	●
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	◁	▷
CONCRETE HEADWALL	∩	∩
VALVE BOX	⊗	⊗
FIRE HYDRANT	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—▶—	—▶—
FORCE MAIN	—▶—	—▶—
STORM SEWER	—▶—	—▶—
DRAIN TILE	—▶—	—▶—
WATER MAIN	— W —	— W —
FIRE PROTECTION	—	— FP —
ELECTRICAL CABLE	— E —	— E —
OVERHEAD WIRES	— OHW —	— OHW —
GAS MAIN	— G —	— G —
TELEPHONE LINE	— T —	— T —
UTILITY CROSSING	—	— (X) —
CAUTION EXISTING UTILITIES NEARBY		⚠ CAUTION ⚠
GRANULAR TRENCH BACKFILL		▨
LIGHTING	⊙	⊙
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
CONTOUR	— 749 —	— (749) —
SPOT ELEVATION	× (750.00)	◆ 750.00
WETLANDS	—	—
PRIMARY ENVIRONMENTAL CORRIDOR	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	— SF —	— SF —
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

CONTACTS:

CIVIL ENGINEER:
MATT CAREY, P.E.
PINNACLE ENGINEERING GROUP
20725 W. WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888

SURVEYOR:
JOHN P. KONOPACKI, P.L.S.
PINNACLE ENGINEERING GROUP
20725 W. WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888

DEVELOPER:
DAVIDER TOOR
TOOR CAPITAL
12033 W. WILBUR AVE
GREENFIELD, WI 53228
DAVIDER@TOORCAPITAL.US

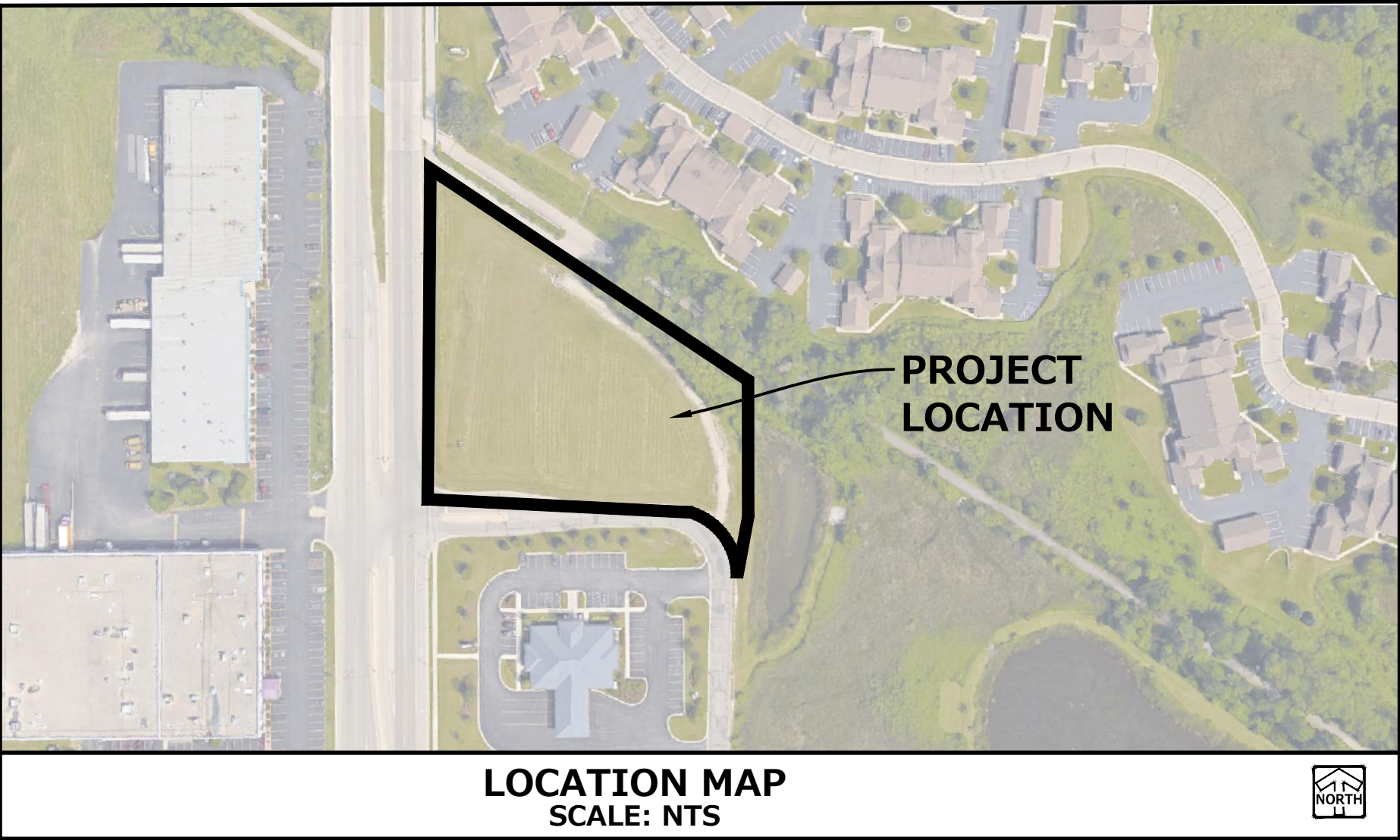
ARCHITECT:
STEVEN M. ESSER
PATERA ARCHITECTURE + ENGINEERING
4040 N. CALHOUN RD
BROOKFIELD, WI 53005
STEVE@PATERALLC.COM
(262) 786-6776

BENCHMARKS

SITE BENCHMARKS:

BENCHMARK = NW UPPER FLANGE BOLT HYDRANT
THE STATION IS LOCATED AT THE EAST SIDE OF STATE TRUNK HIGHWAY 164, HALFWAY BETWEEN THE INTERSECTION WITH BUGLINE RECREATIONAL TRAIL AND THE INTERSECTION WITH THE PRIVATE DRIVE SOUTH OF THE SITE.

DATUM: NAVD88
ELEVATION: 951.96



INDEX OF SHEETS

C-1	COVER SHEET
C-2	EXISTING CONDITIONS & DEMOLITION PLAN
C-3	SITE DIMENSIONAL & PAVING PLAN
C-4	GRADING PLAN
C-5	UTILITY PLAN
C-6	EROSION CONTROL PLAN
C-7 - C-9	CONSTRUCTION DETAILS
L-1 - L-2	LANDSCAPE PLAN

GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT HAS NOT YET BEEN PREPARED FOR THIS PROJECT. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND GOPHER STATE 811 ONE CALL IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING".
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

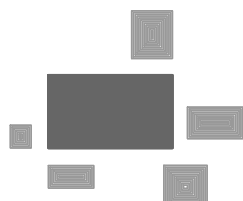


Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

PINNACLE ENGINEERING GROUP, LLC - ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

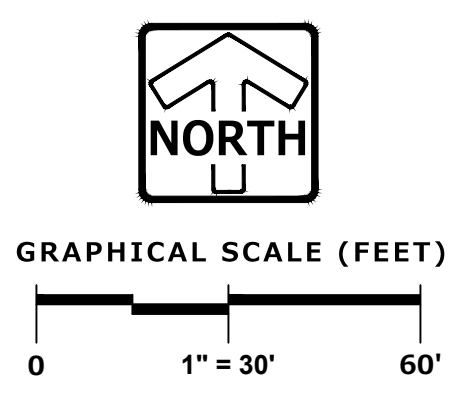
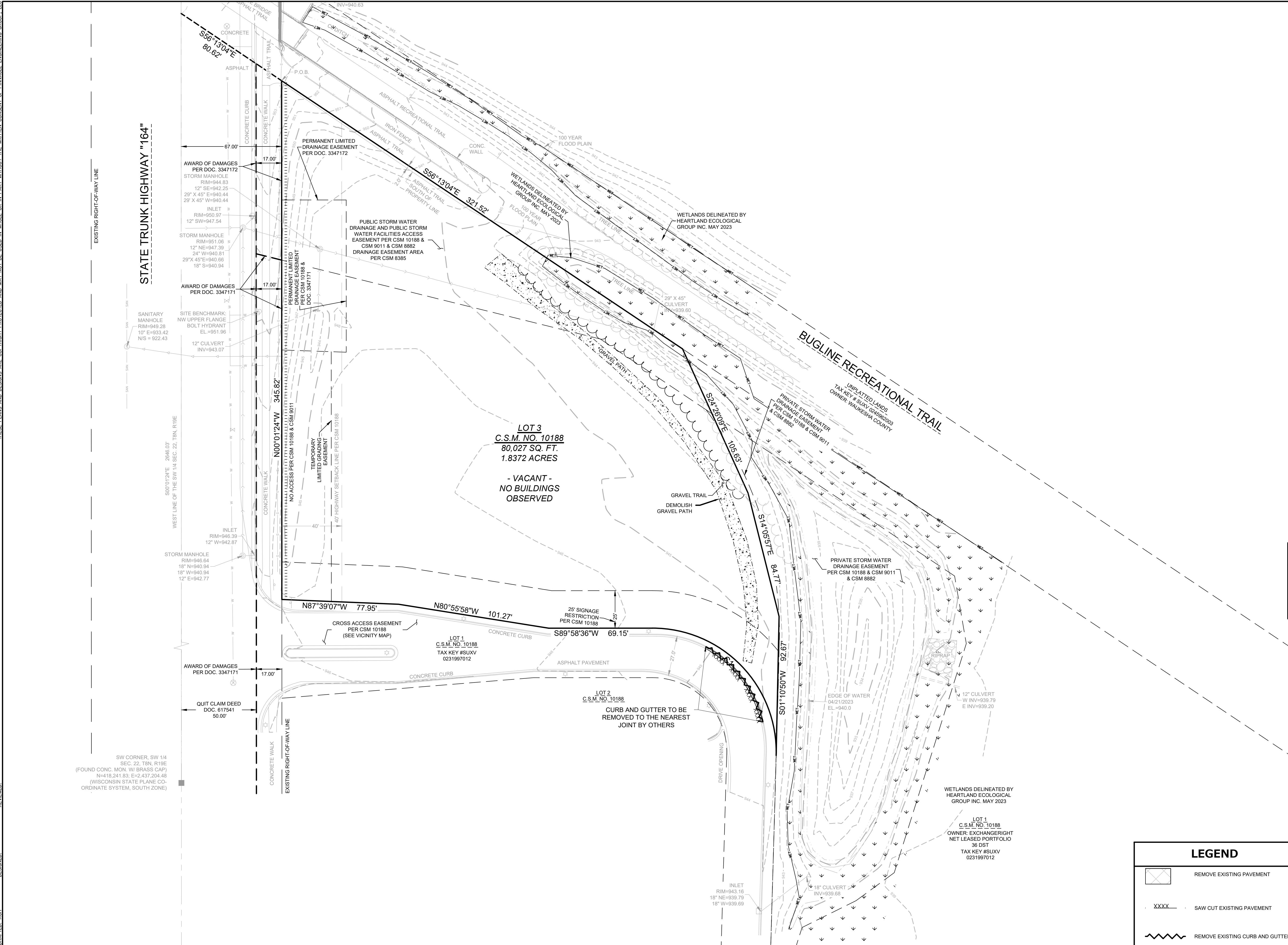


PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. REVIEWED: DESIGNED: DATED: RCH



EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

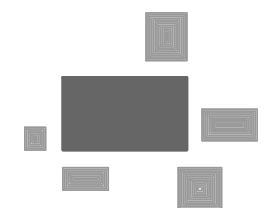
DEMOLITION & CLEARING

- CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENTAL ENTITIES ARE NOTIFIED OF THE WORK AND NECESSARY PERMITS ARE OBTAINED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G. - ARRANGE FOR ADEQUATE COLLECTION, AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.
- PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
- ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.
- PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.
- WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.
- COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE GRADED AGGREGATE OR COHESIVE STRUCTURAL FILL.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.

LEGEND

- REMOVE EXISTING PAVEMENT
- SAW CUT EXISTING PAVEMENT
- REMOVE EXISTING CURB AND GUTTER

REVISIONS



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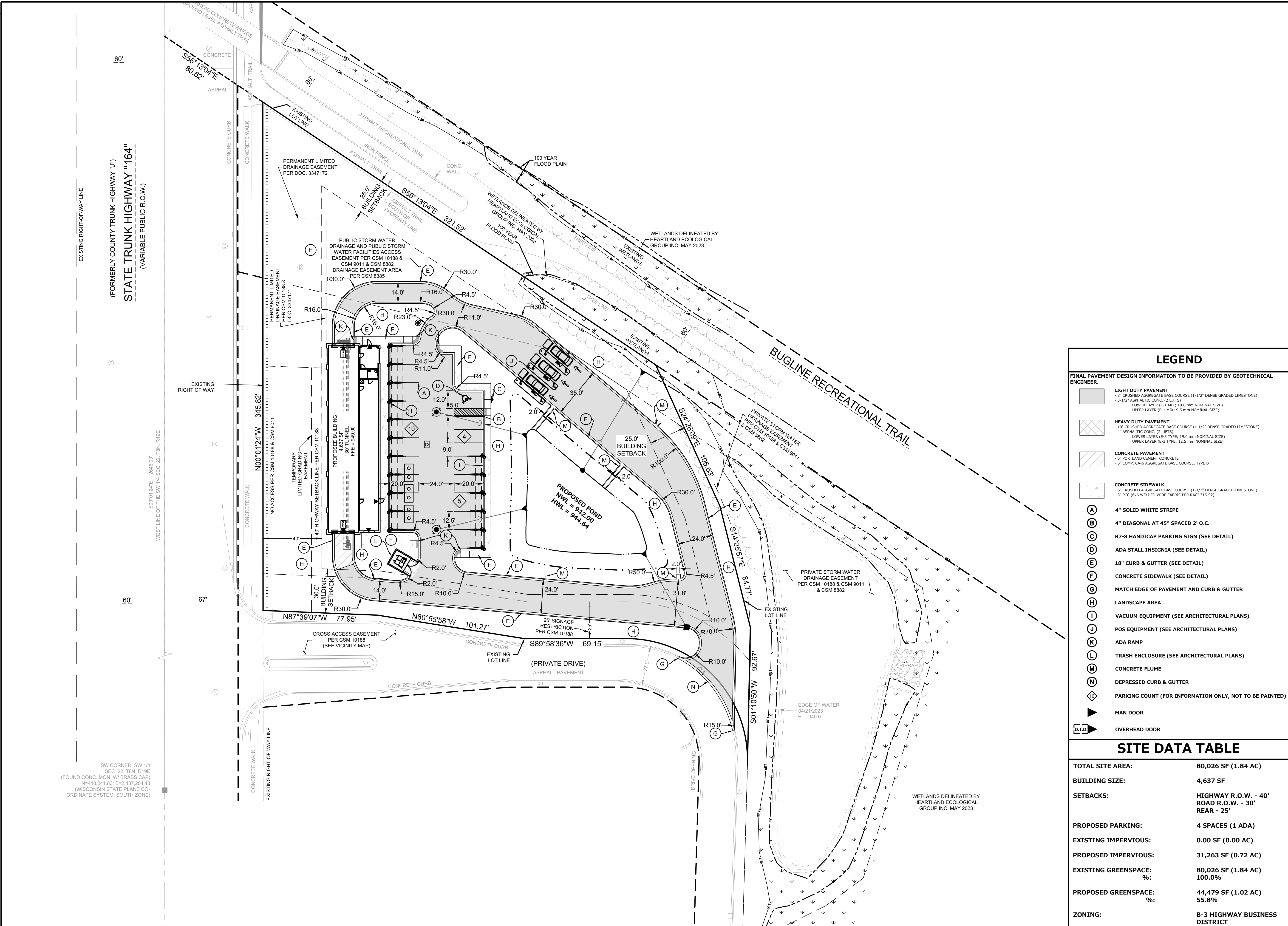
EXISTING CONDITIONS & DEMOLITION PLAN

REC JOB #3005.00-WI
MAC
EG PM
START DATE 08/20/23
SCALE 1" = 30'

SHEET
C-2
OF
C-9

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NOTES

- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
- ALL PROPOSED CURB AND GUTTER SHALL BE 18" CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED.
- ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
- REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
- SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF SUSSEX SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS-

CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.

WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN WEATHER IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).

GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.

SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.

ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

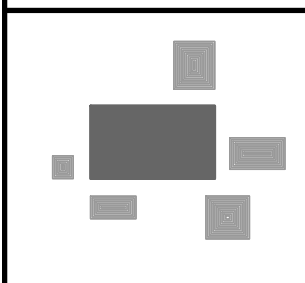
CONCRETE MATERIALS: CONCRETE PAVEMENT SHALL CONFORM TO SECTIONS 415, 416, AND 501, STATE HIGHWAY SPECIFICATIONS.

SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

DOWEL BARS: PLACE AT ALL TRANSVERSE AND LONGITUDINAL JOINTS IN TRUCK LOADING DOCK AREAS AND AT ALL TRANSVERSE JOINTS IN ENTRANCE AREAS/ROADS PER WISDOT 13C13.

TIE BARS: PLACE AT ALL LONGITUDINAL JOINTS IN ENTRANCE AREAS/ROADS PER WISDOT 13C01. PLACE IN CURB AND GUTTER PER WISDOT 8D01.

18. TIE BARS: PLACE AT ALL LONGITUDINAL JOINTS IN ENTRANCE AREAS/ROADS PER WISDOT 13C01. PLACE IN CURB AND GUTTER PER WISDOT 8D01.



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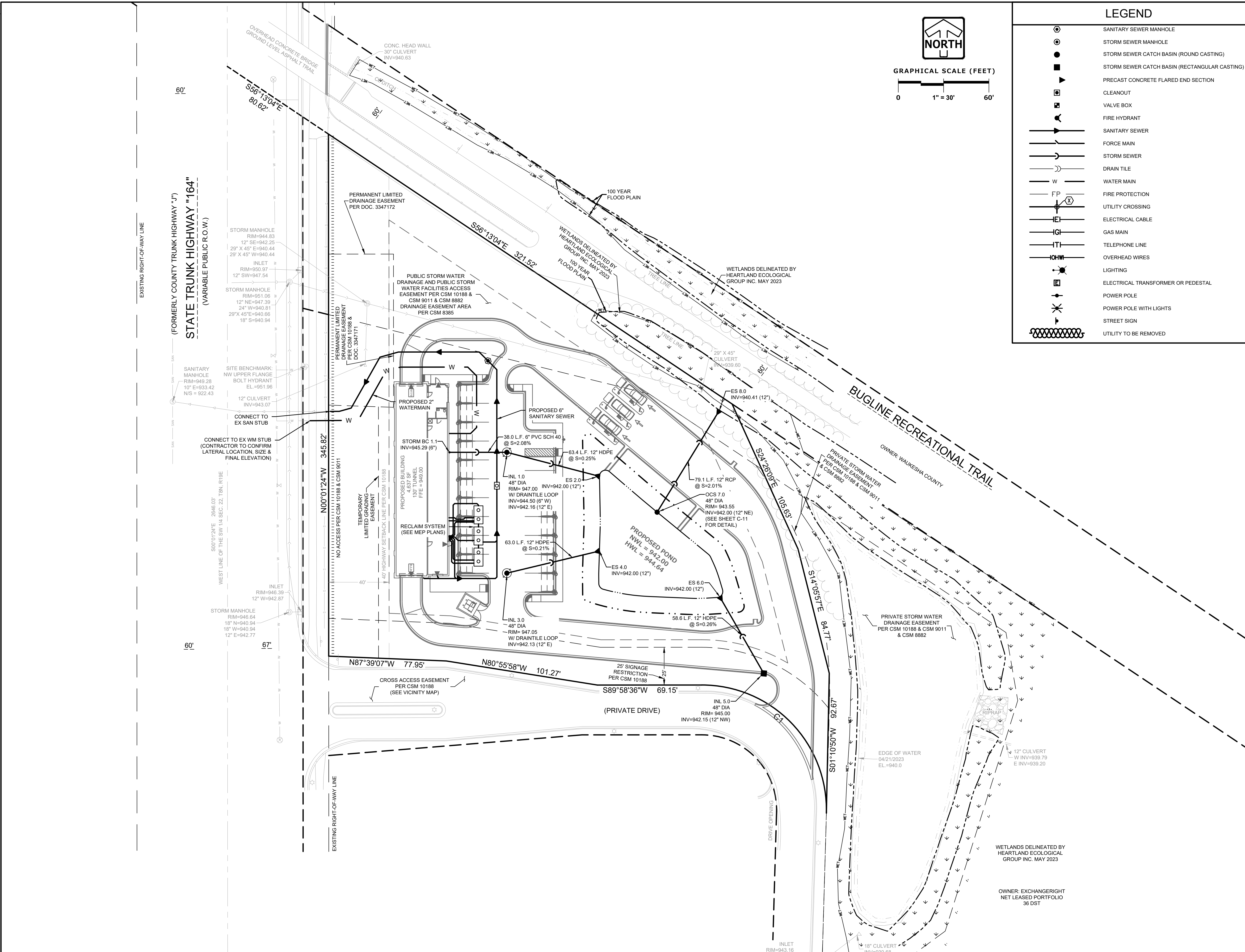
SITE DIMENSIONAL & PAVING PLAN

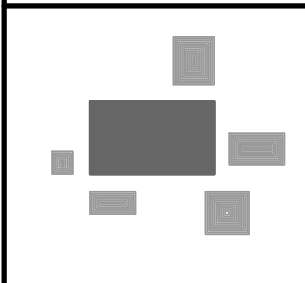
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10	REVISED PER COMMENTS	

REG. JOB NO. 3005.00-WI
MAC
REG. PM
START DATE: 08/20/23
SCALE: 1" = 30'

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UTILITY PLAN

REVISIONS	

REC	JOB NO	3005.00-WI

MAC	START DATE	08/20/23

SCALE	1" = 30'

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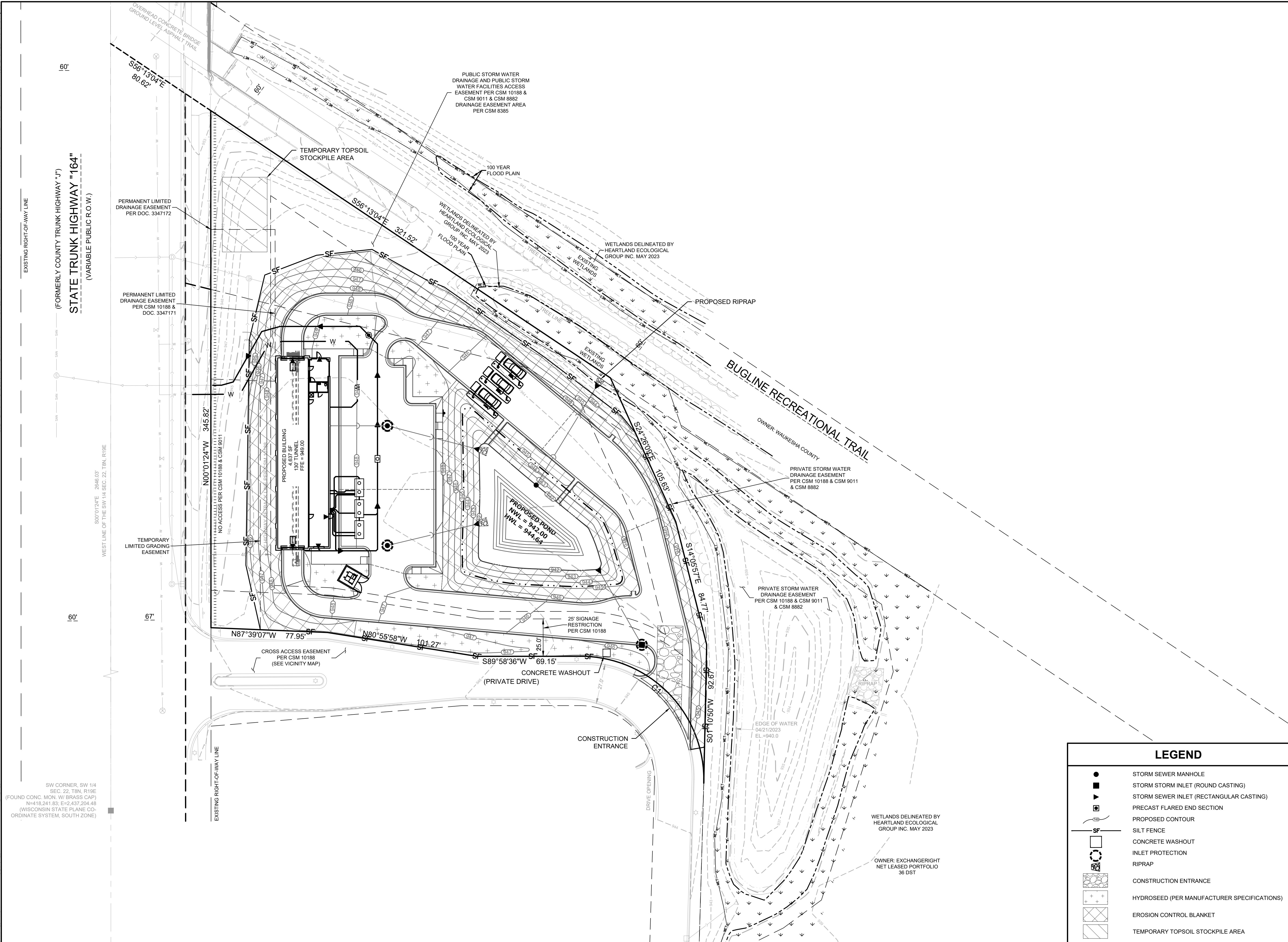
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GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:

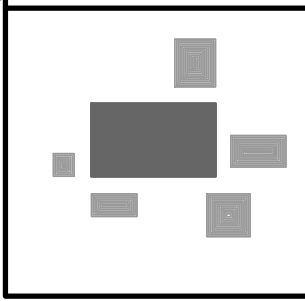
PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

LEGEND

- STORM SEWER MANHOLE
- STORM STORM INLET (ROUND CASTING)
- ▼ STORM SEWER INLET (RECTANGULAR CASTING)
- ▬ PRECAST FLARED END SECTION
- PROPOSED CONTOUR
- SILT FENCE
- CONCRETE WASHOUT
- INLET PROTECTION
- RIPRAP
- CONSTRUCTION ENTRANCE
- HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- EROSION CONTROL BLANKET
- TEMPORARY TOPSOIL STOCKPILE AREA



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EROSION CONTROL PLAN

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REG PM	MAC	OF	C-9
START DATE	08/20/23		
SCALE	1" = 30'		

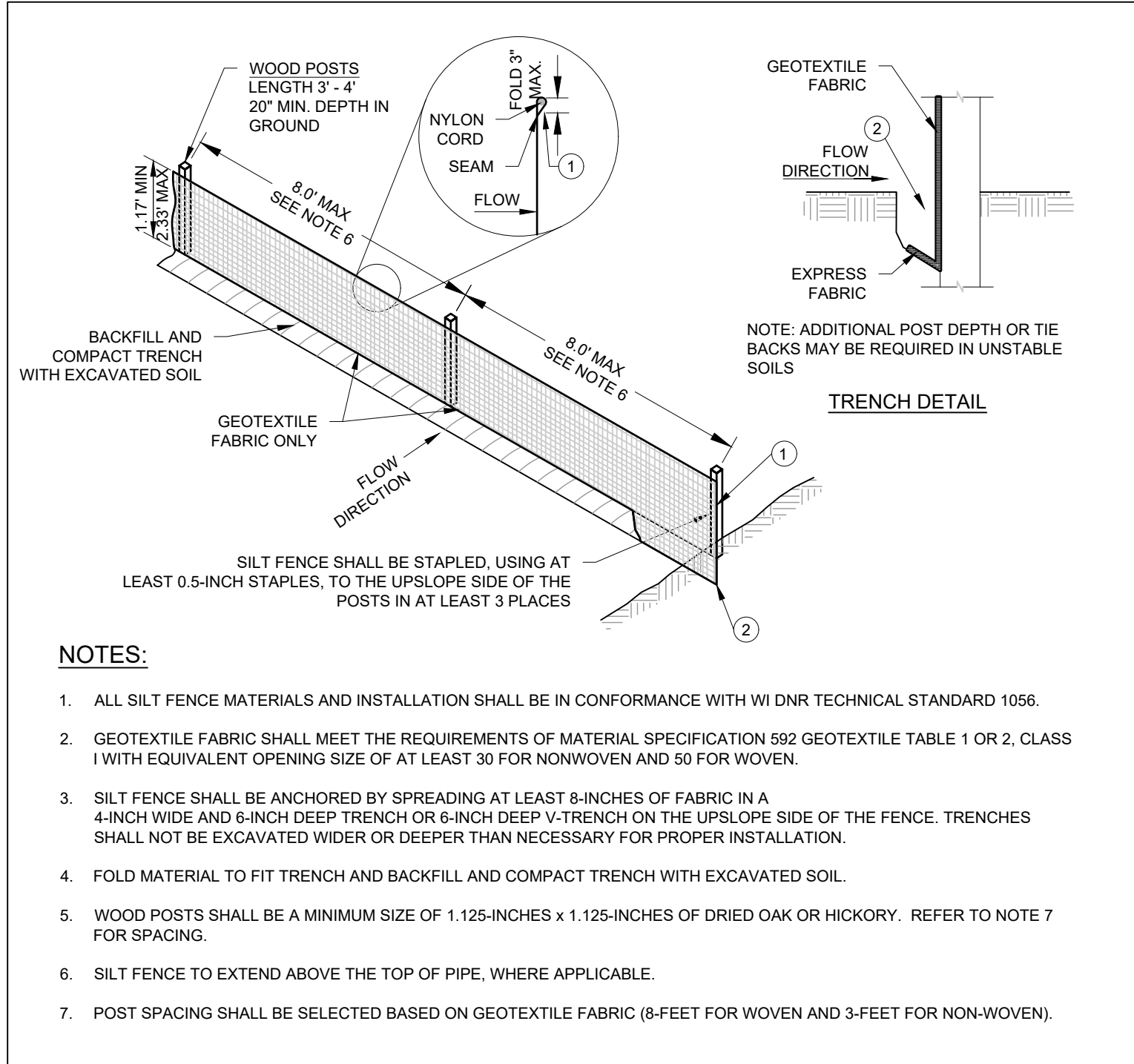
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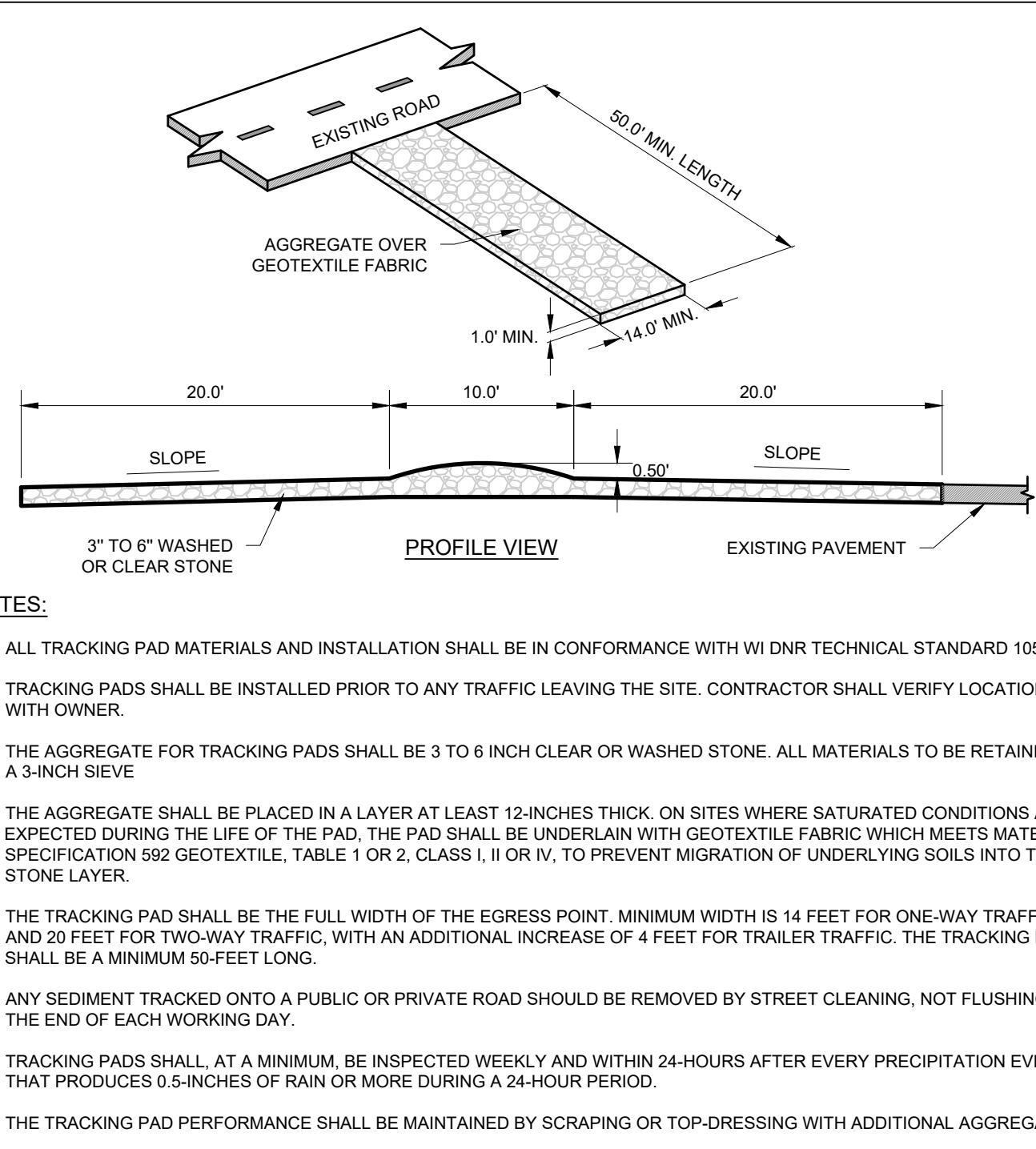
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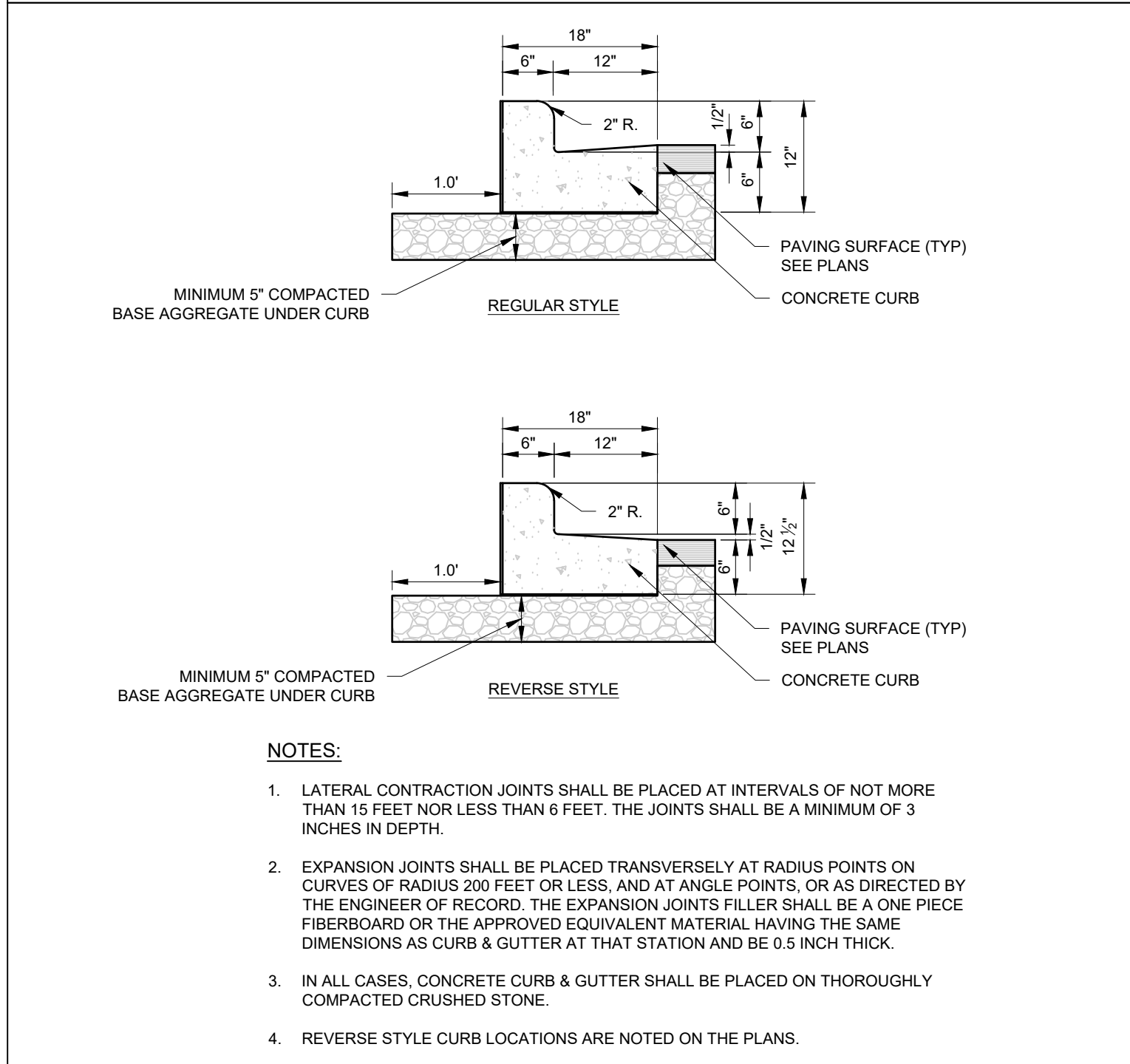
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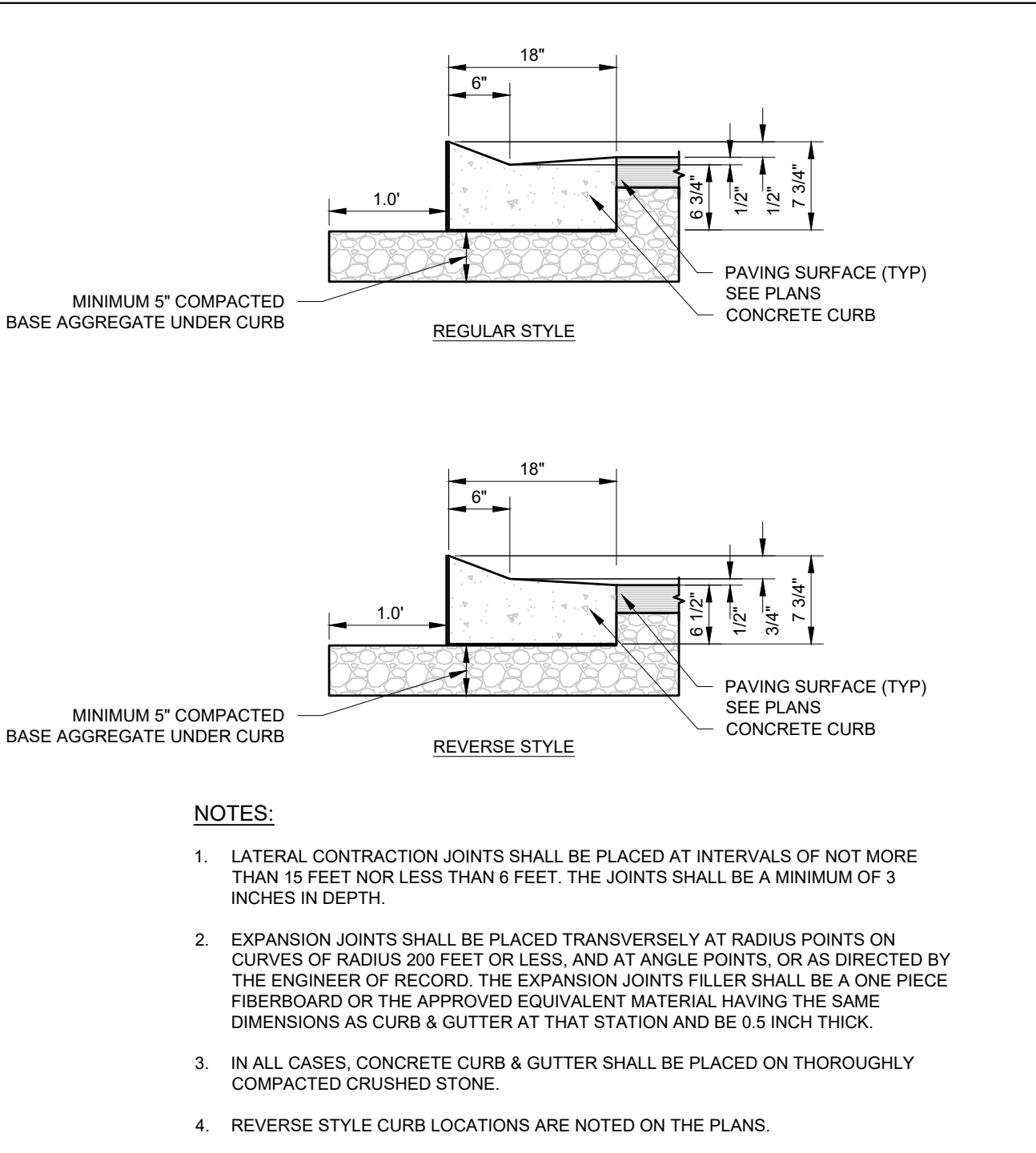
CONSTRUCTION ENTRANCE

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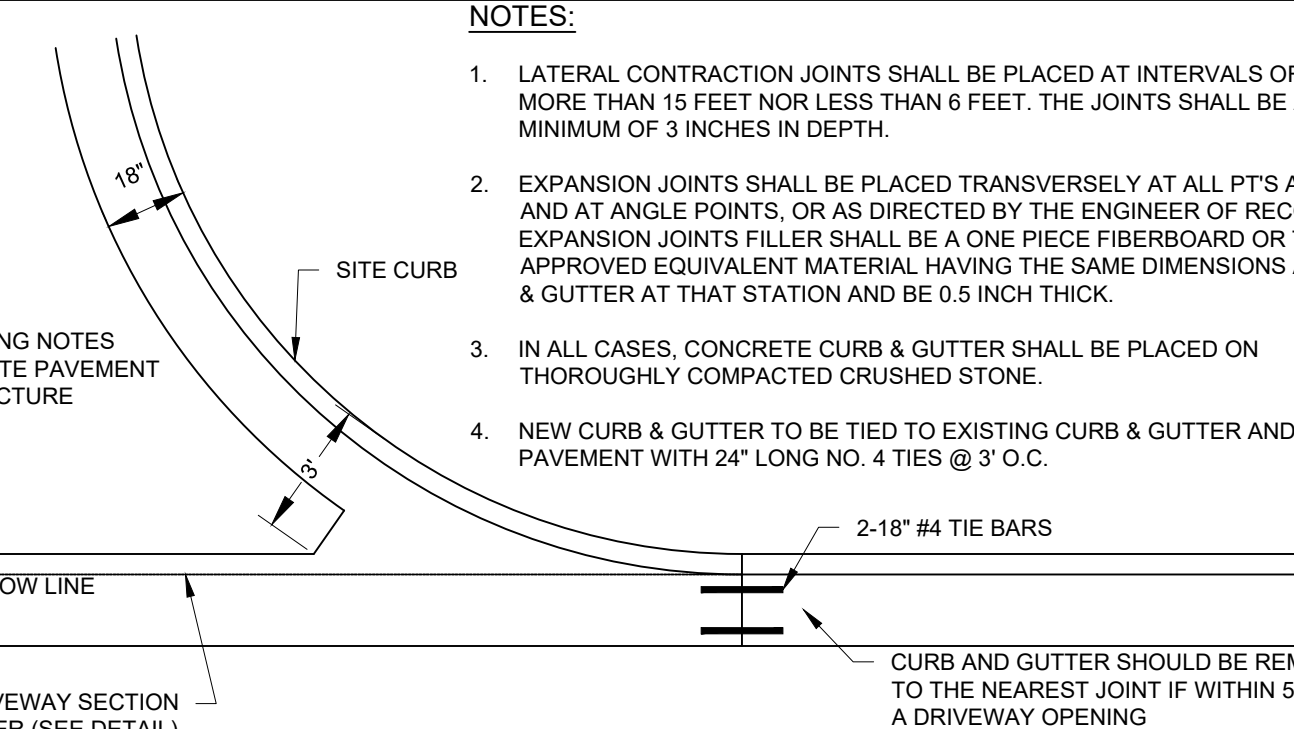
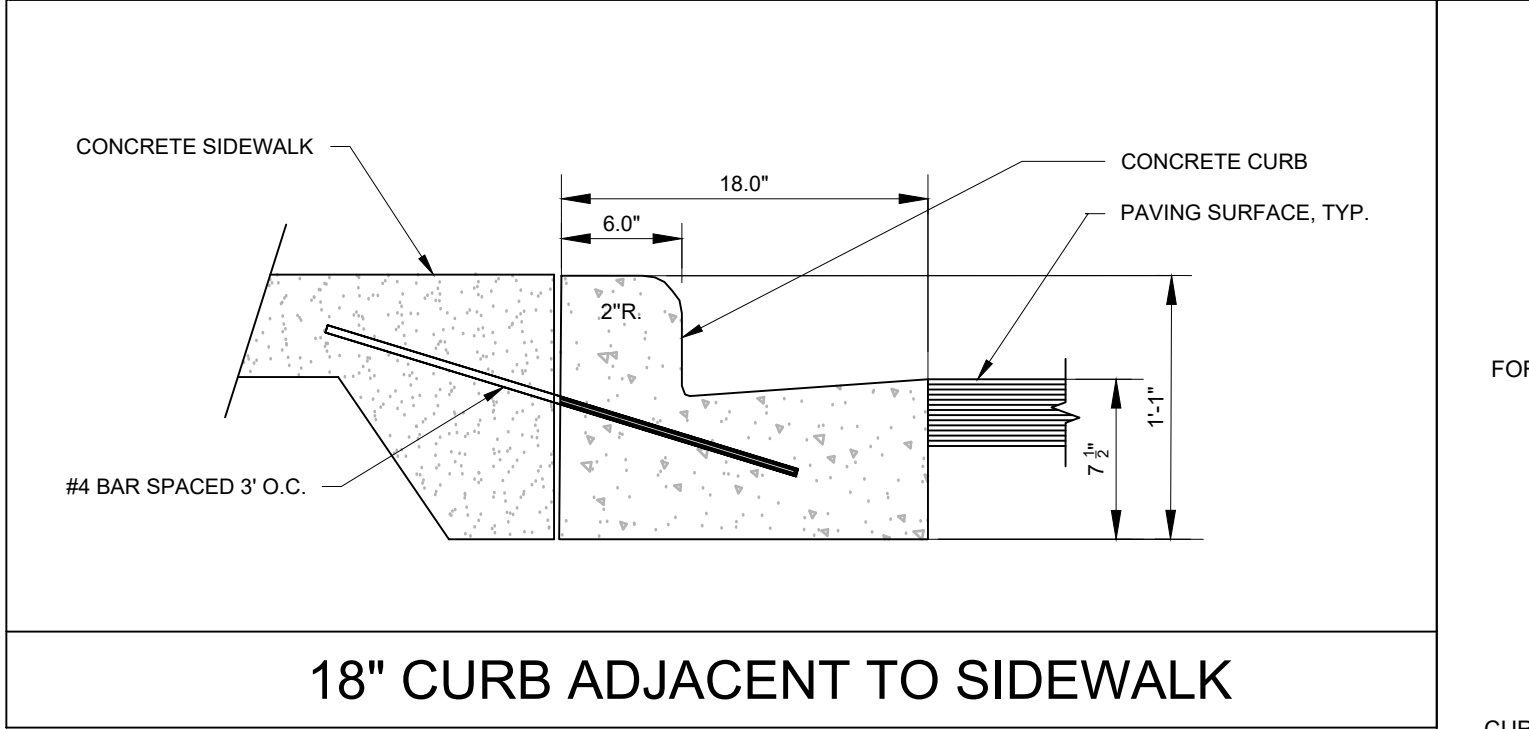
18" VERTICAL FACE CURB

#603-00 02-07-11



18" DEPRESSED CURB

#603-00 12-14-11



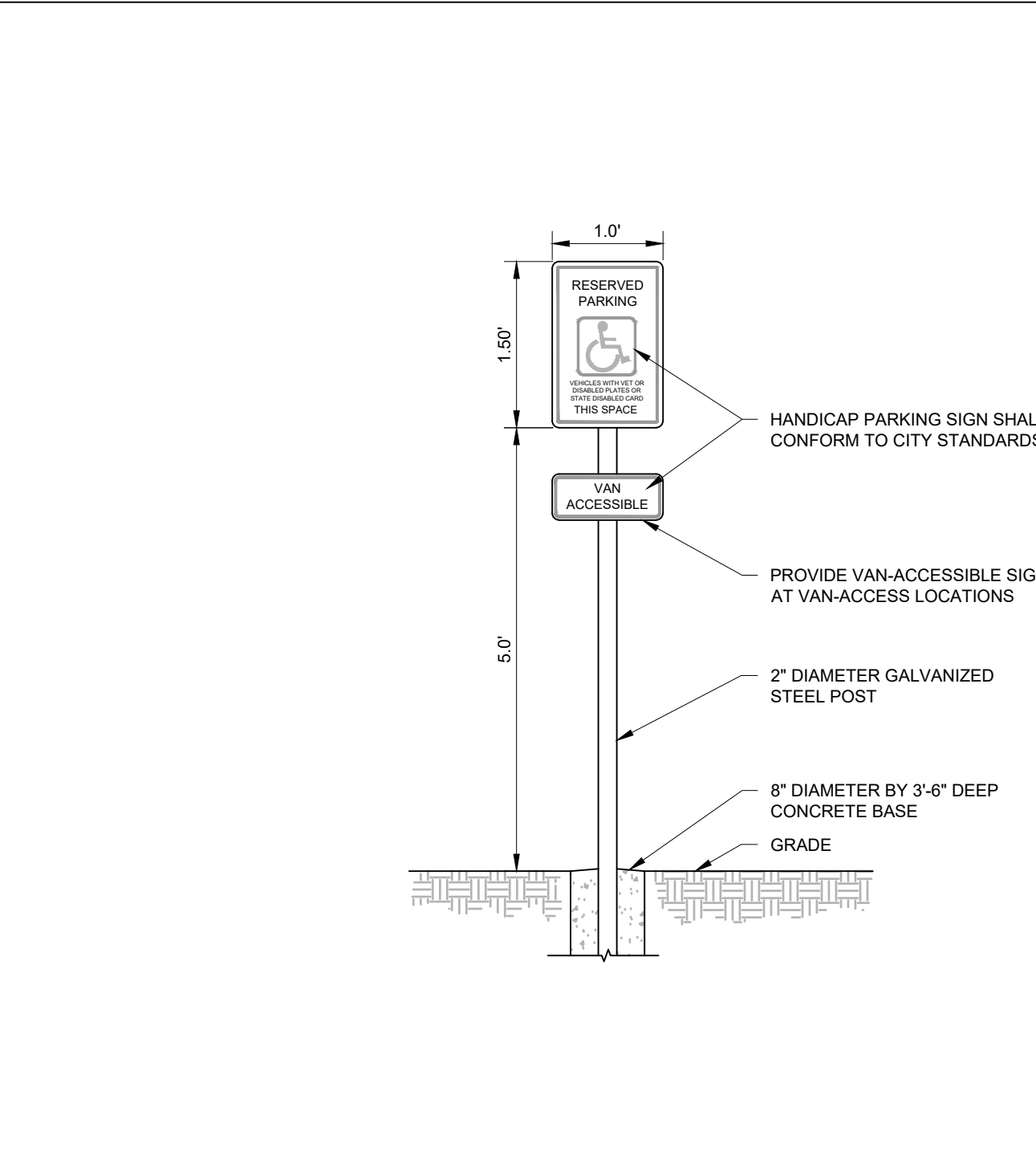
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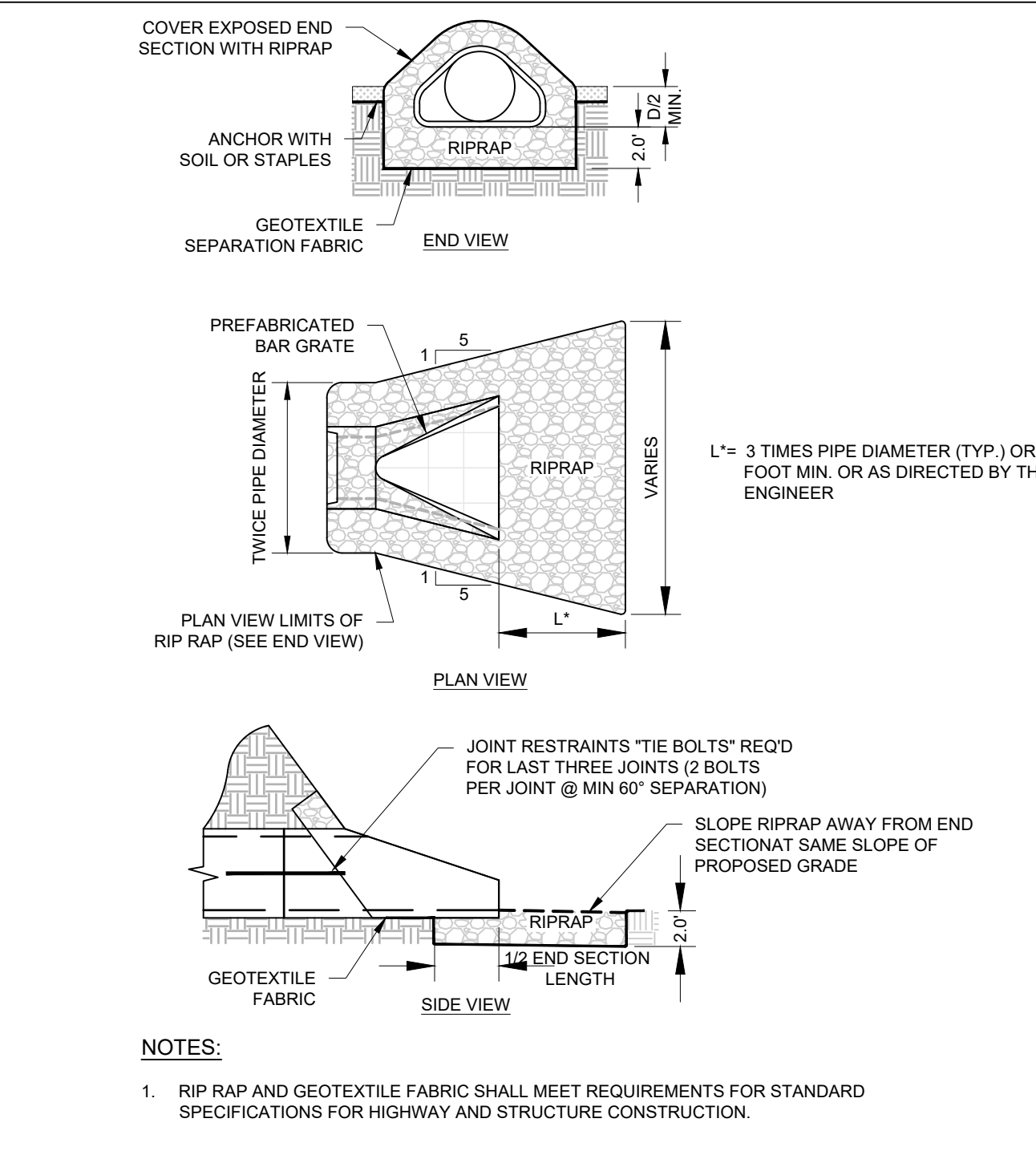
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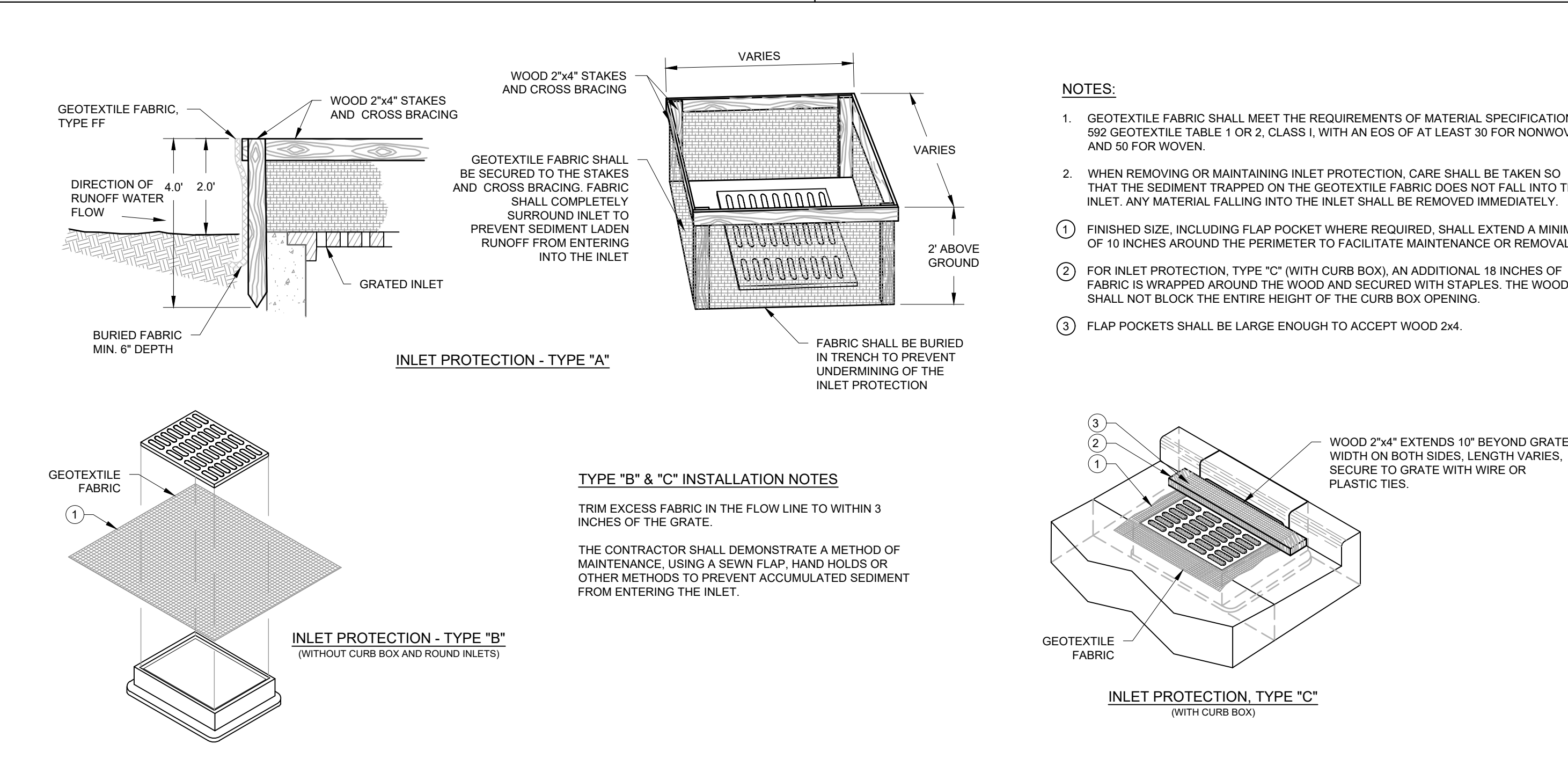
ADA SIGN

#708 10-11-12



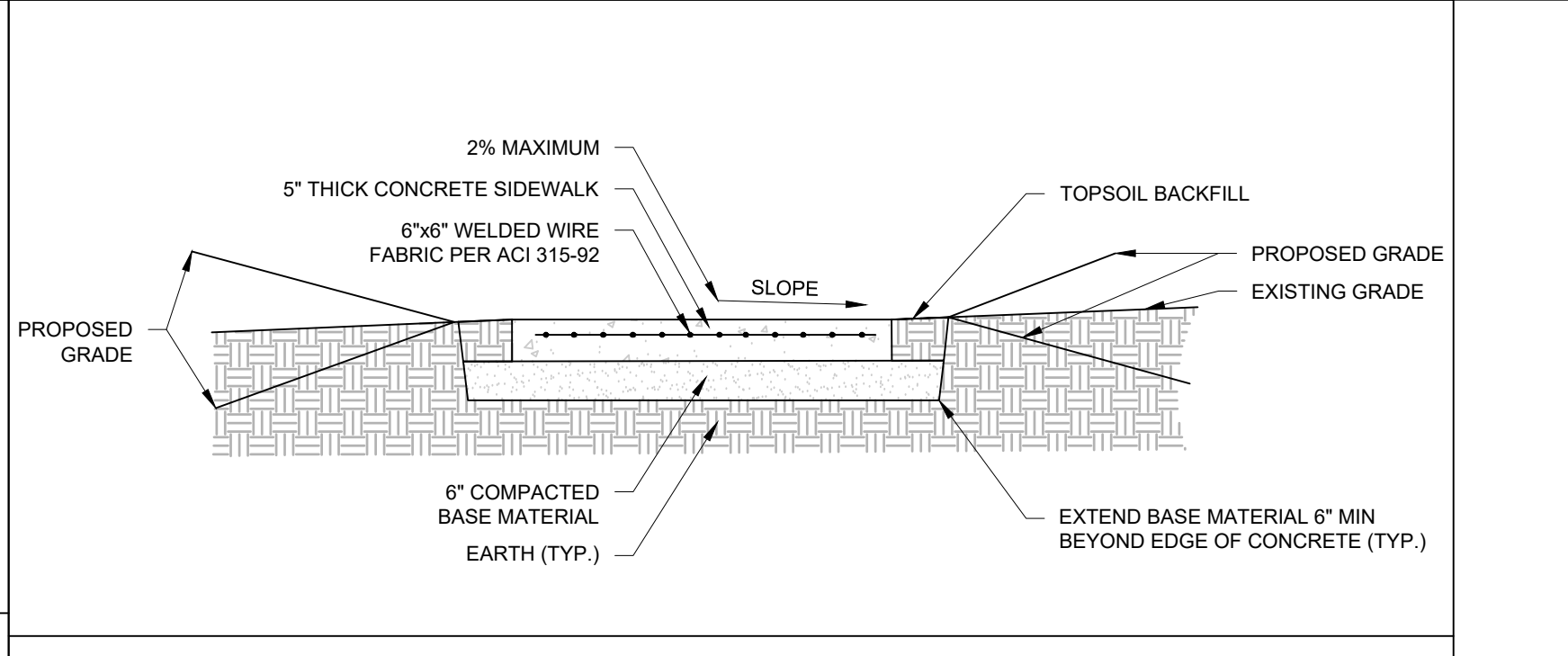
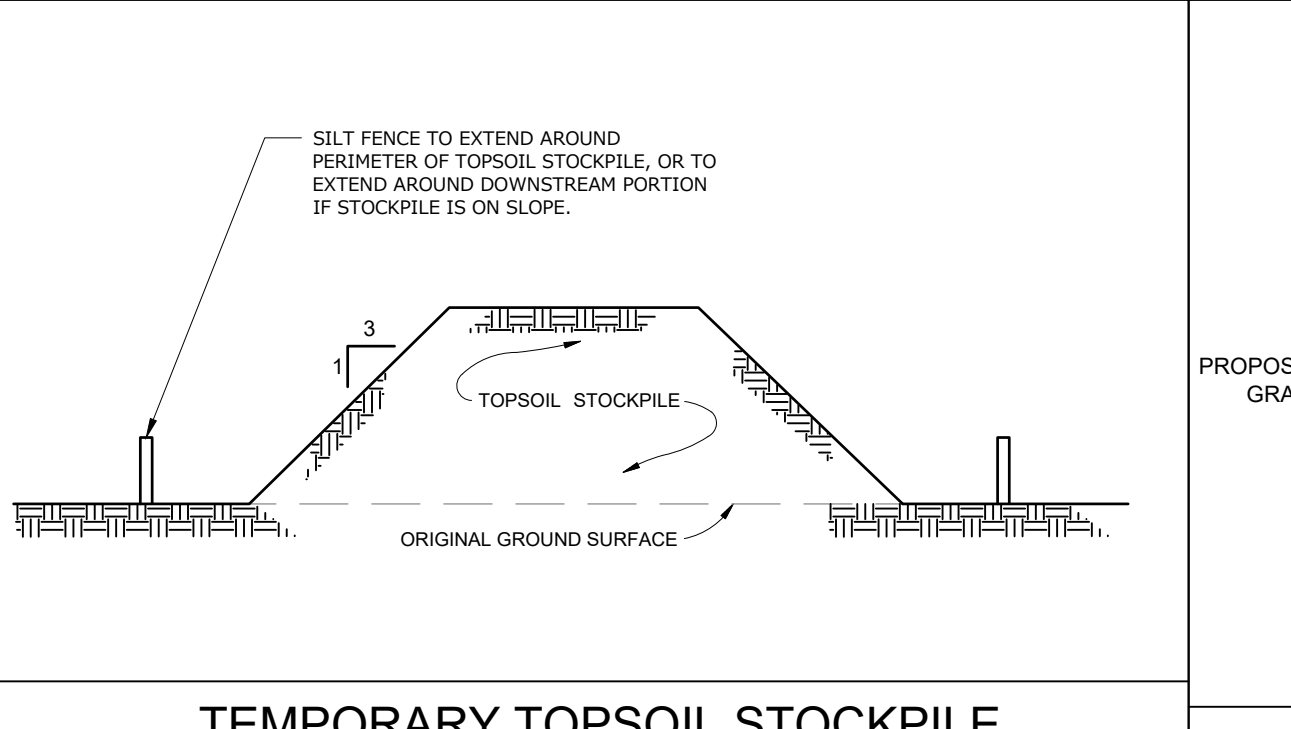
RIP RAP AT END SECTIONS

#124 10-09-12



INLET PROTECTION

#108 01-24-13



REVISIONS		SHEET	
1		C-7	
2		C-8	
3		C-9	

PEG JOB NO. 3005.00-WI
MAC
PEG PM
START DATE 08/20/23
SCALE N.T.S.
SHEET C-7 of C-9
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REVIEWED:

DESIGNED:

DRAWN:

PIPE DIA.	APPROX. QTY. (lbs)	WALL (in)	A (in)	B (in)	C (in)	D (in)	E (in)	G (in)	R (in)	APPROX. SLOPE
12"	530	2	4	24	4'-0 7/8"	8'-0 7/8"	24	2	9	1:2.4
15"	740	2 1/4	6	27	3'-10"	6'-1"	30	2 1/4"	11	1:2.4
18"	990	2 1/2	9	27	3'-10"	6'-1"	36	2 1/2	12	1:2.4
21"	1280	2 3/4	9	35	3'-6"	6'-1"	3'-6"	2 3/4	13	1:2.4
24"	1520	3	9 1/2	3'-7 1/2"	30	6'-1 1/2"	4'-0"	3	14	1:2.5
27"	1930	3 1/4	10 1/2	4'-0"	25 1/2	6'-1 1/2"	4'-6"	3 1/4	14 1/2	1:2.4
30"	2190	3 1/2	12	4'-6"	19 3/4	6'-1 3/4"	5'-0"	3 1/2	15	1:2.5
33"	3200	3 3/4	13 1/2	4'-10 1/2"	39 1/4	8'-1 3/4"	5'-6"	3 3/4	17 1/2	1:2.5
36"	4100	4	15	5'-3"	34 3/4	8'-1 3/4"	6'-0"	4	20	1:2.5
42"	5380	4 1/2	21	5'-3"	35	8'-2"	6'-6"	4 1/2	22	1:2.5
48"	6550	5	24	6'-0"	26	8'-2"	7'-0"	5	22	1:2.5
54"	8240	5 1/2	27	5'-5"	35	8'-4"	7'-6"	5 1/2	24	1:2.0
60"	8730	6	35	5'-0"	39	8'-3"	8'-0"	5	*	1:1.9
66"	10710	6 1/2	30	6'-0"	27	8'-3"	8'-6"	5 1/2	*	1:1.7
72"	12620	7	36	6'-6"	21	8'-3"	9'-0"	6	*	1:1.8
78"	14770	7 1/2	36	7'-6"	21	9'-3"	9'-6"	6 1/2	*	1:1.8
84"	18160	8	36	7'-6 1/2"	21	9'-3 1/2"	10'-0"	6 1/2	*	1:1.6

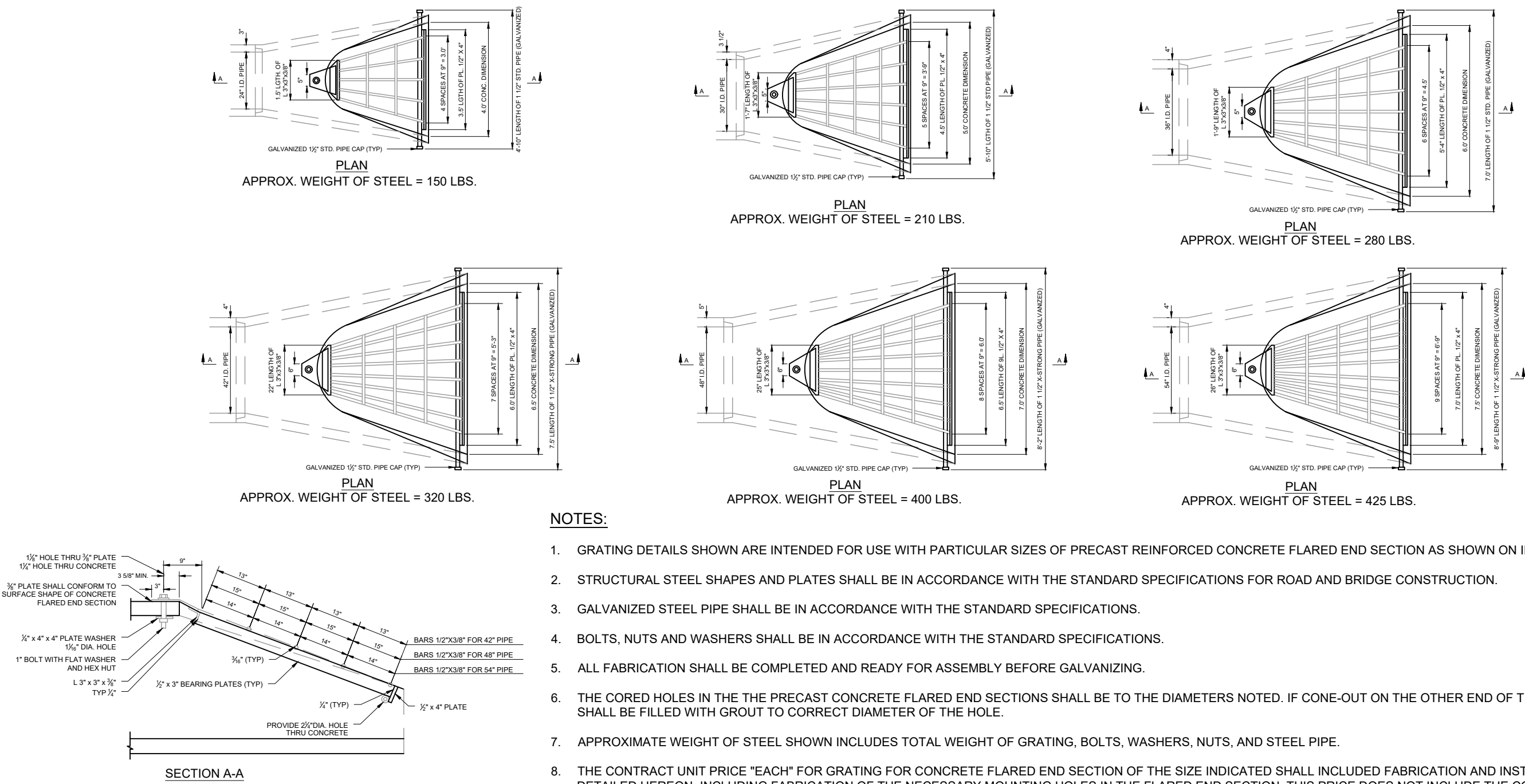
* RADIUS AS FURNISHED BY MANUFACTURER

NOTES:

1. PRECAST CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS 3, WALL B REINFORCED CONCRETE PIPE.
2. PRECAST CONCRETE FLARED END SECTIONS FOR PIPE DIAMETER REQUIRED SHALL BE AS INDICATED ON DETAIL PLAN FOR EACH INDIVIDUAL INSTALLATION.
3. THIS ITEM SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR PRECAST CONCRETE FLARED END SECTION OF THE DIAMETER SPECIFIED WHICH PRICE INCLUDES PROVIDING AND INSTALLATION OF EACH END SECTION SPECIFIED.
4. GRATES, WHERE SPECIFIED, SHALL BE PROVIDED FOR ALL PRECAST REINFORCED CONCRETE FLARED END SECTIONS.

PRECAST FLARED END SECTIONS

#312-A 6/18/13

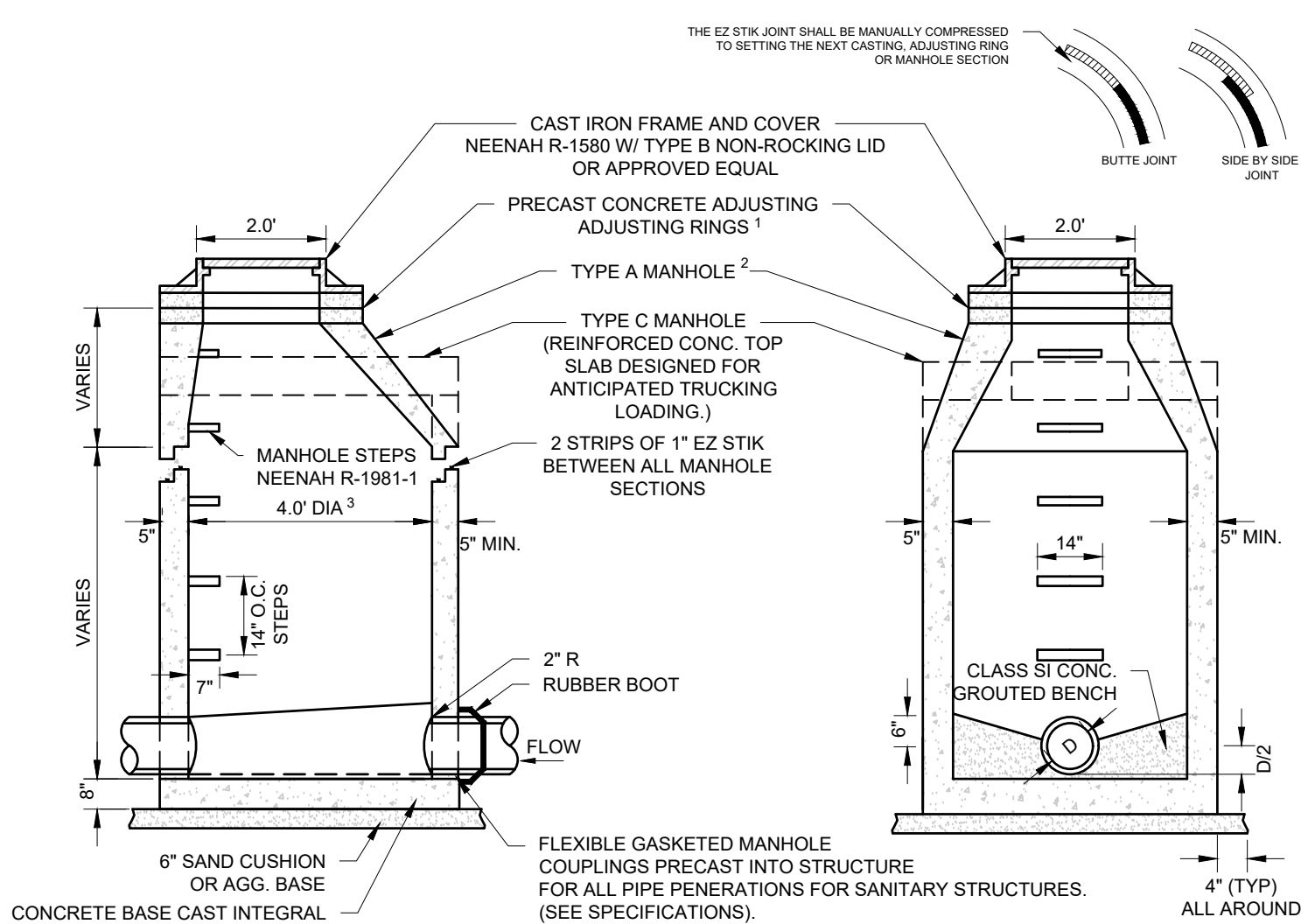


FLARED END SECTION GRATES

#313 6/18/13

DETECTABLE WARNING TRUNCATED DOMES

#705 4/28/13



NOTES:

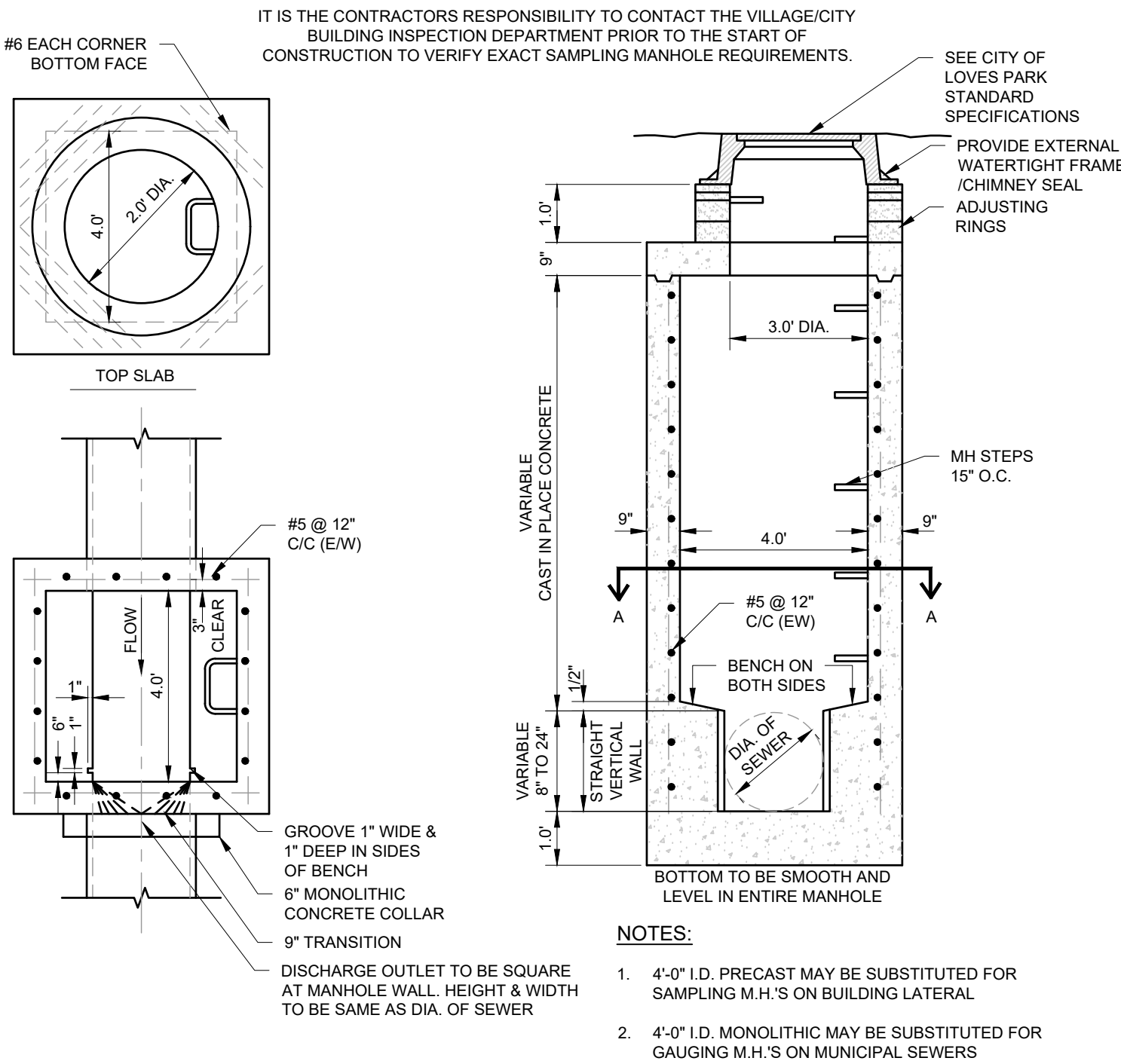
1. 1\"/>
2. THE FLAT TOP MAYBE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT THE USE OF A TAPERED TOP.
3. STRUCTURE TO BE 4'-0\"/>

SANITARY MANHOLE

#400 10-10-12

CATCH BASIN - UNDERDRAIN

DETAIL NUMBER AND REVISION DATA

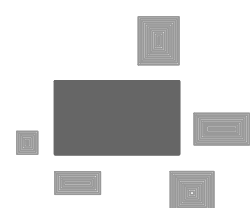


NOTES:

1. 4'-0\"/>
2. 4'-0\"/>

SAMPLING AND GAUGING MANHOLE

#403 01/28/13



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BROOKFIELD, WI 53186
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MR. D CAR WASH

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

CONSTRUCTION DETAILS

REVISIONS

REG JOB NO. 3005.00-WI

MAC

START DATE 08/30/23

SCALE N.T.S.

SHEET
C-8
C-9

CONSTRUCTION DETAILS

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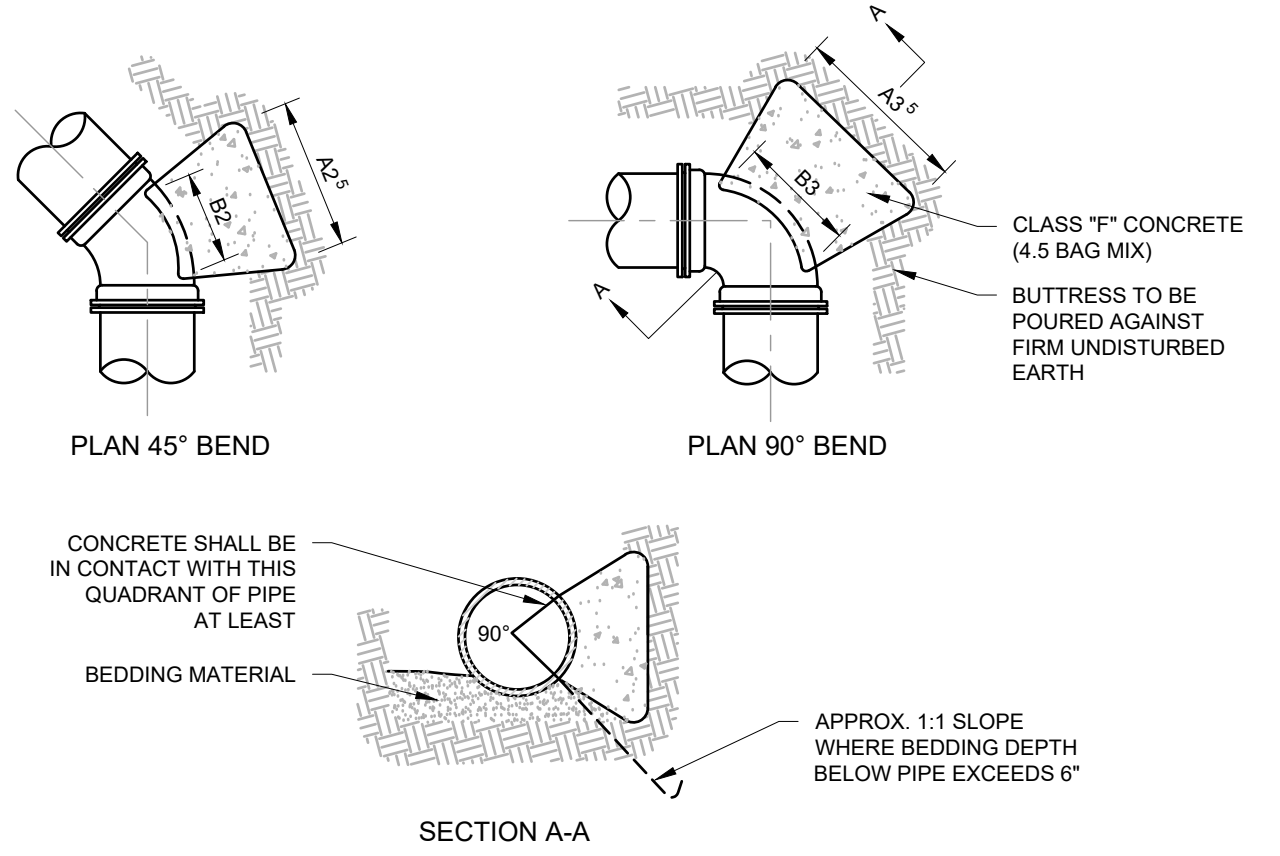
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DESIGNED: RCH

DRAFTED: RCH

REVIEWED:

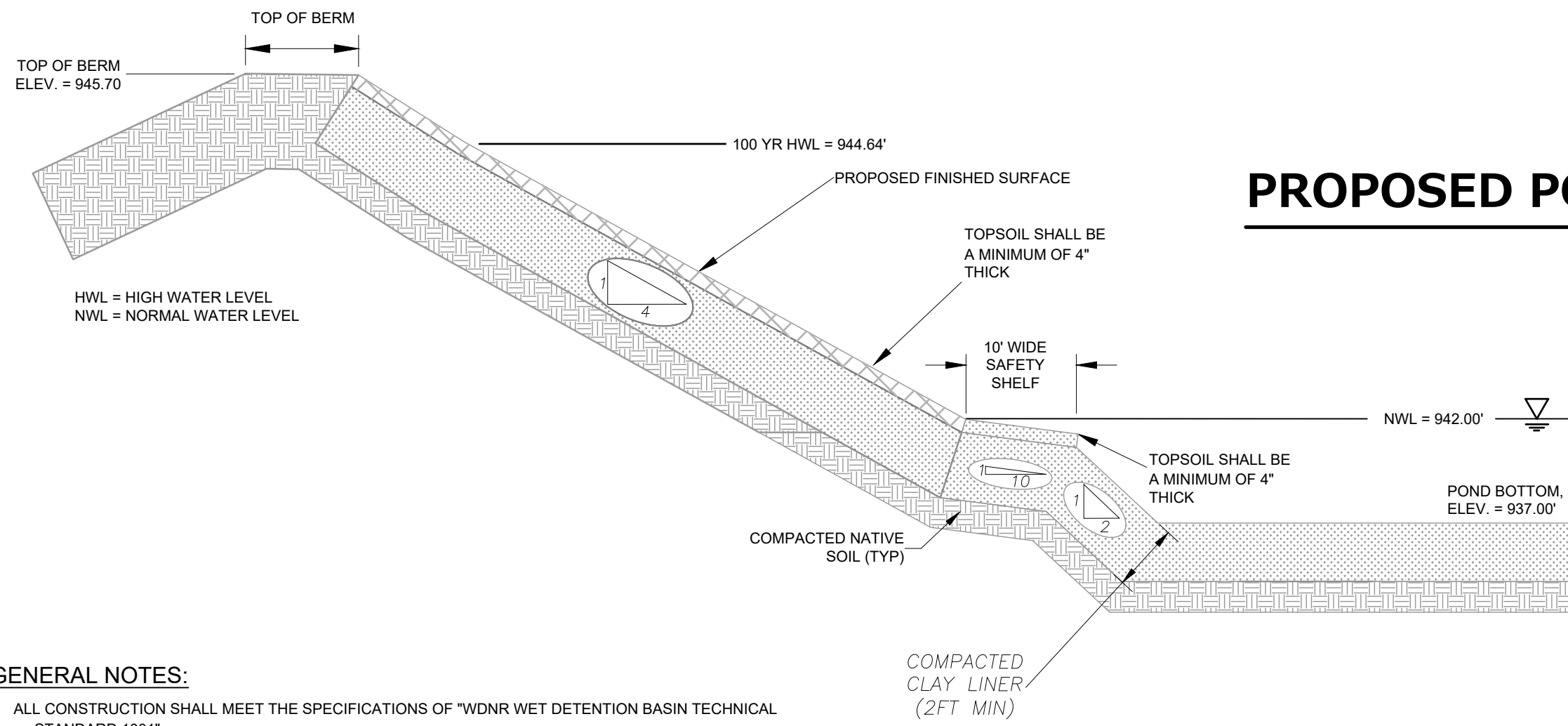


PIPE SIZE	22 1/2° BENDS		45° BENDS		90° BENDS	
	A1	B1	A2	B2	A3	B3
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-8"
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
20"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

- NOTES:
1. PROVIDE THRUST BLOCKING TO PREVENT MOVEMENT OF LINES UNDER PRESSURE AT BENDS, TEES, CAPS, VALVES, HYDRANTS, AND AT POINTS SPECIFIED BY THE ENGINEER
 2. ALL BLOCKING SHALL BE WITH POURED CLASS SI CONCRETE AGAINST UNDISTURBED VERTICAL EARTH SURFACE
 3. THRUST BLOCKS TO BE AT ALL BENDS 1 1/4" OR GREATER
 4. THE COST OF INSTALLING THE THRUST BLOCK SHALL BE INCIDENTAL TO THE CONSTRUCTION OF THE WATER
 5. DIMENSION A2 & A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J BOLTS

THRUST BLOCK

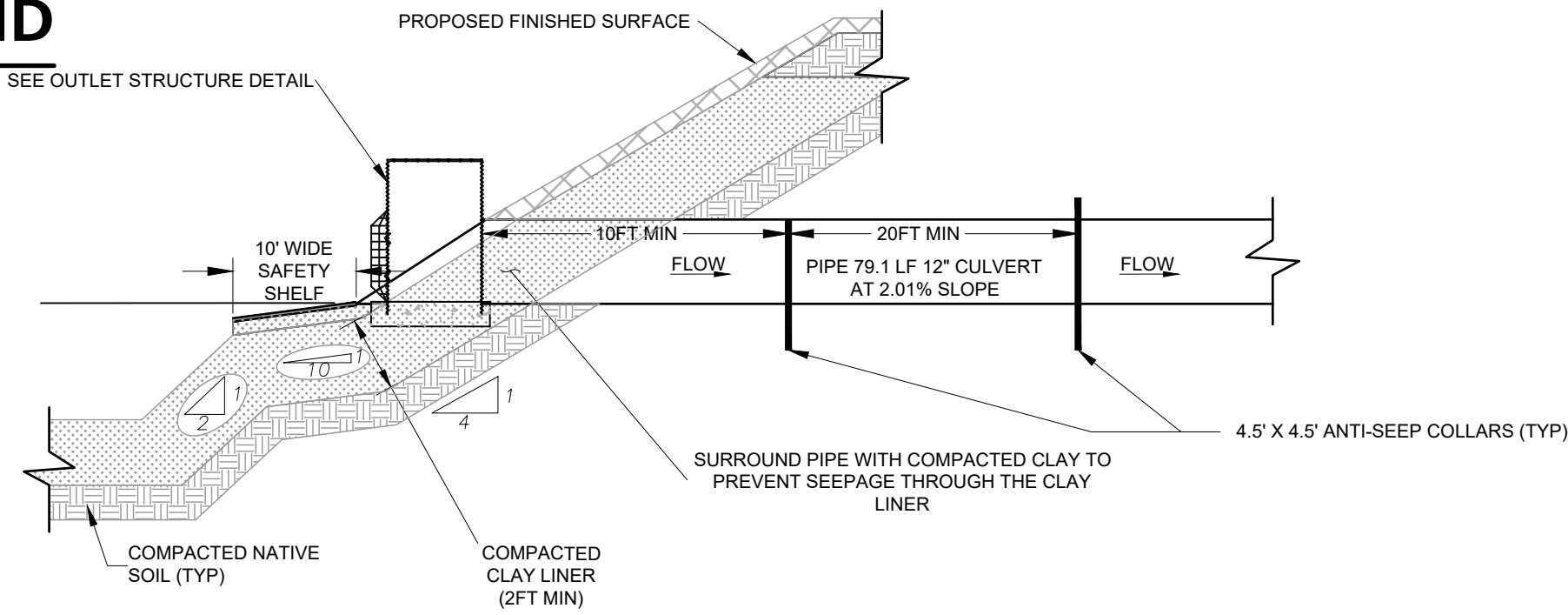
#002 10-10-12



GENERAL NOTES:

1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION BASIN TECHNICAL STANDARD 1001".
2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
3. RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH (ASTM C-76/C443) WITH RUBBER GASKETS.
4. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
5. CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN-PLACE AT THE POND SIDE SLOPES OR OTHER ON-SITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
6. FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

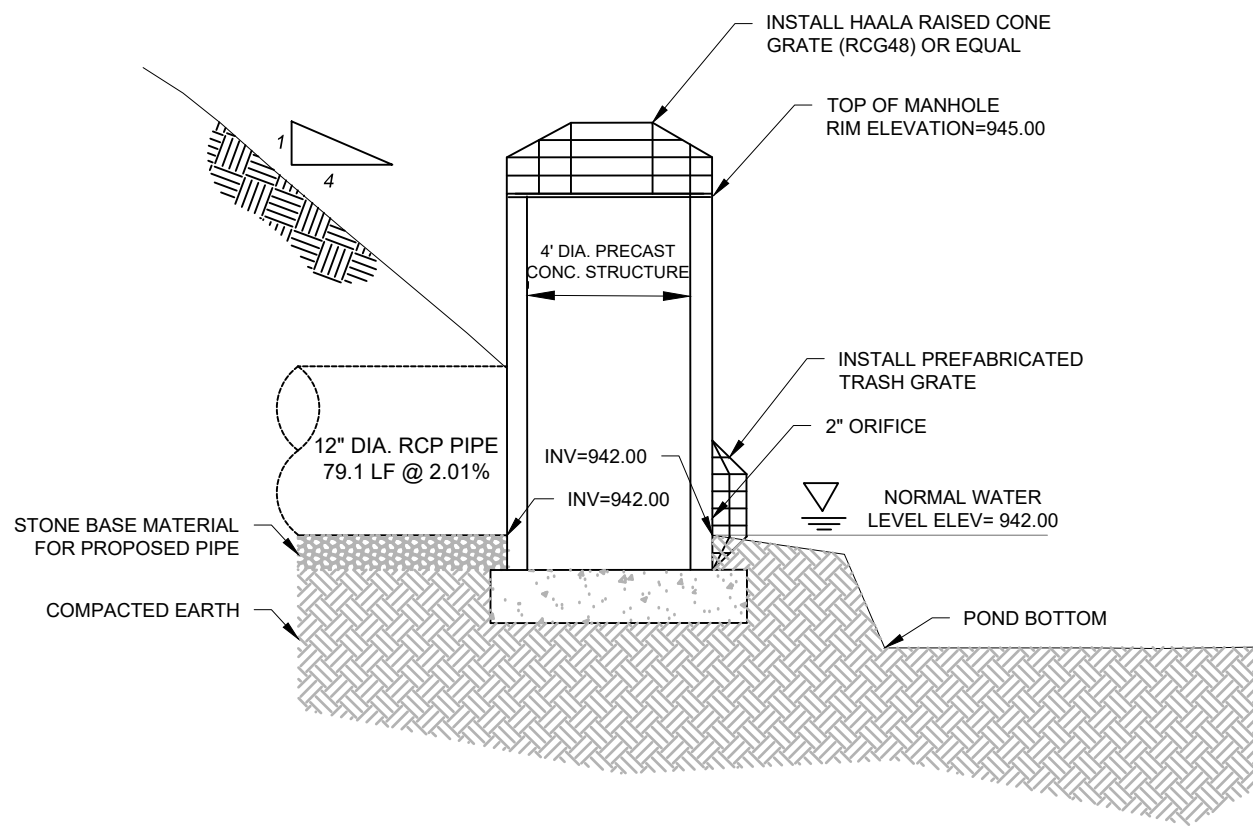
PROPOSED POND CROSS SECTION
NTS



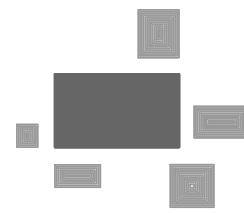
NOTES:

1. CONTRACTOR SHALL POSITION ANTI-SEEP COLLAR SUCH THAT THE COLLARS ARE COMPLETELY CONTAINED WITHIN EMBANKMENT.
2. INSTALL FILTER FABRIC OVER CONSTRUCTION ORIFICE TO PREVENT SEDIMENT DEPOSITION IN THE POND OUTLET PIPE.

PROPOSED POND OUTLET PIPE
NTS



PROPOSED POND OCS 7.0
NTS



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MR. D CAR WASH

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

CONSTRUCTION DETAILS

REVISIONS

—	—	—	—
—	—	—	—
—	—	—	—
—	—	—	—

REG JOB NO: 3005.00-WI
MAC
REG PM
START DATE: 08/30/23
SCALE: N.T.S.

SHEET
C-9
of
C-9

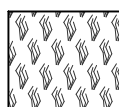

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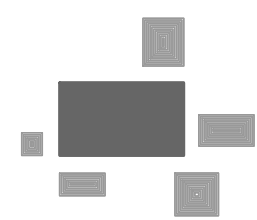
CONSTRUCTION DETAILS

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PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
AFS	6	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5' Cal.	50' T x 35' W	
CFK	3	Carpinus caroliniana 'JN Strain'	Fire King Muscledow	1.5' Cal.	30' T x 30' W	
CCH	3	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	2.5' Cal.	50' T x 40' W	
TRL	3	Tilia americana 'Redmond'	Redmond American Linden	2.5' Cal.	50' T x 35' W	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
CA	3	Cornus sanguinea 'Cato'	Arctic Sun® Bloodtwig Dogwood	15' Ht.	4' T x 4' W	
CW2	10	Cotinus coggygia 'Lilla'	Lilla Dwarf Smoke Tree	24" Ht.	4' T x 4' W	
PS	12	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	2' Ht.	5' T x 4' W	
SO2	10	Sambucus racemosa 'SMNSRD4'	Lemony Lace Elderberry	15" Ht.	4' T x 5' W	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
J12	10	Juniperus chinensis 'Iowa'	Iowa Juniper	4' Ht.	13' T x 5' W	
TH3	12	Thuja occidentalis 'Hetzi Midget'	Hetzi Midget Arborvitae	18" Ht.	3' T x 3' W	
TH	11	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	4' Ht.	14' T x 4' W	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
CO2	6	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	1 gal.	2' T x 2' W	
ML	20	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass	1 gal.	24" T x 15" W	
PH	10	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	1 gal.	4' T x 3' W	
SS	28	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	1 gal.	4' T x 2' W	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CD	44	Coreopsis x 'Dream Catcher'	Dream Catcher Tickseed	4.5" Cont.	15" o.c.	18" T x 18" W
EB	34	Echinacea x 'Big Sky Sunrise'	Big Sky Sunrise Coneflower	4.5" Cont.	15" o.c.	30" T x 18" W
EC	10	Echinacea x 'Cheyenne Spirit'	Cheyenne Spirit Coneflower	4.5" Cont.	18" o.c.	28" T x 18" W
AGRECOL MIXES	QTY	BOTANICAL NAME	COMMON NAME	REMARKS		
	3,601 sf	Rainwater Renewal	Agrecol Rainwater Renewal Seed Mix			
TURF	QTY	BOTANICAL NAME	COMMON NAME	REMARKS		
	36,525 sf	Turf Hydrosed	Reinders - Cadet 70/30 Fescue/Blue Mix			



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MR. D CAR WASH

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

LANDSCAPE PLAN

REVISIONS		

REG JOB No 3005.00-WI

EG PM MACSTART DATE 08/30/23

SHEET
L-1
OF
L-2



Document Number	DECLARATION OF RESTRICTIONS	
Document Title		
<p>NOW, THEREFORE, Declarant for itself and on behalf of its successors, heirs, assigns, and transferees, including, without limitation, any owners and/or users of the Property does hereby declare and agree that the Property shall be hereinafter subject to the restrictions, covenants, obligations and agreements set forth in this Declaration which shall run with the Property and shall be binding upon Declarant and its successors, heirs, assigns, and transferees, including, without limitation, any owners and/or users of the Property.</p>		
<p>1. A storm sewer pipe has been identified by the Wisconsin Department of Transportation as running underneath, and through, the Property within the “Public Storm Water Drainage and Public Storm Water Facilities Access Easement” identified in Certified Survey Map No. 9011 recorded with the Waukesha County Register of Deeds (the "Easement").</p>		<p>Recording Area</p> <p>Name and Return Address:</p>
<p>2. Declarant has requested that the Village of Sussex approve a conditional use permit to permit development of the Property that includes improvements within and over the Easement.</p>		<p>Tax Identification Number:</p>
<p>3. As a condition of the Village of Sussex, Wisconsin’s approval of Declarant’s proposed improvements within and over the Easement, the Village of Sussex, Wisconsin has directed that Declarant acknowledge by means of the recording of this instrument that the Village of Sussex: (a) is not the owner of the stormwater facilities located within the aforesaid Easement; (b) has no duty to maintain the pipe that will be located under Declarant’s proposed improvements or any other storm water facilities located on the Property; (c) whether by its approval of any conditional use permit or other permit(s) arising out of or related to Declarant’s proposed improvements to the Property, does not endorse the construction improvements within the Easement; and (d) that Declarant assumes responsibilities for all costs and expenses arising out or related to repair or maintenance to the storm water facilities within the Easement.</p>		
<p>4. Declarant, while it is the owner of the Property, and thereafter any successor in interest to the Property, shall be responsible for the costs and expenses for the repair and maintenance of the storm sewer pipe to the extent caused by Declarant or owner’s construction or operations on the Property. Notwithstanding the foregoing, nothing herein shall prevent or preclude the Declarant, or its successors in interest to the Property, from seeking recoupment or contribution from any other party that is an owner of the storm sewer pipe, or legally responsible for maintenance or repair of the storm sewer pipe provided, however, that no person or party shall be entitled to reimbursement or contribution from the Village of Sussex, Wisconsin.</p>		

5. Declarant acknowledges that the costs and expenses for any future maintenance or repairs not encompassed by Section 4, above, and the costs and expenses for any future movement, reconfiguration, reconstruction, or replacement of any storm water facility or facilities within the Easement shall be determined between the Declarant, or the then-current Owner of the Property and the Wisconsin Department of Transportation ~~and~~/or any other person or party having an interest in such storm water facility or facilities.
6. This Declaration of Restrictions shall not be released or amended absent the written approval of the Village of Sussex that is recorded in the office of the Waukesha County Register of Deeds.

Declarant (together with its successors and assigns), and the Village of Sussex shall be entitled to enforce this Declaration of Restrictions.

Signed _____, 20____:

DECLARANT:

Lake Country Dev 2 LLC, a Wisconsin limited liability Company

By: _____
 Davinder Toor,
 Managing Member

STATE OF WISCONSIN)
) ss.
 COUNTY OF WAUKESHA)

Personally came before me on this ____ day of _____, 20____, the above-named Davinder Toor executed the foregoing instrument and acknowledged the same.

 NOTARY PUBLIC, STATE OF WI
 Print Name: _____
 My Commission Expires: _____

The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0418 B-3 Highway Business District

17.0418 B-3 HIGHWAY BUSINESS DISTRICT

The B-3 Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such traffic.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Hotels and motels
- (b) Bed and breakfast establishments
- (c) Restaurants, snack stands, and mobile food services. For a drivethrough the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (d) Bars
- (e) Food service contractors and caterers

2. Arts, Entertainment, and Recreation Services

- (a) Promoter, agent, artists offices/studio
- (b) Theater companies and dinner theaters, dance, musical groups, and performing arts companies.

3. Educational, Health Services, and Social Services

- (a) Fine arts and language schools and studios
- (b) Sports and recreation instruction
- (c) Automobile driving school
- (d) General medical services
- (e) Vocational rehabilitation services
- (f) Religious facilities
- (g) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
- (h) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 7.0603(K)(6)(h)(3) of this Ordinance.

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
- (e) Office equipment rental and leasing
- (f) Rental Centers

5. General Services

- (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Personal care and weight loss services

- (d) Funeral home and funeral services
- (e) Coin operated laundries and drycleaners
- (f) Dry cleaning and Laundry Services (non-industrial)
- (g) Photo finishing laboratories
- (h) General business offices
- (i) Travel and visitor services
- (j) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)
- (k) Animal Boarding in the B-3 district provided that the animals are domestic pets including (dogs, cats, hamsters or similar pet rodents, pet fish, reptiles and pet birds). In no way shall the operation be allowed to board wild animals or any pets not included in the list above. The boarding shall be for limited periods of time with no animal allowed to be continually boarded for longer than 3 weeks in row. No boarding facility may sell, trade, or in any other way exchange animals. The Plan Commission when determining the appropriateness of the site for animal boarding shall take into account the available space for outside animal activity and the impact the noise of such a facility will have on adjacent properties. An animal boarding operation shall be at least 1,000 feet from a residential zoned property, measured from the closest point where any boarded animal may be located to the closest residential zoning district property line.

The Plan Commission recognizes that customer's demands of animal boarding services and the culture related to taking care of pets is regularly evolving. These changes make it improbable to list all of the accessory uses of an animal boarding operation in the Code; therefore, the Plan Commission may consider accessory uses to the animal boarding operation such as, but not limited to; animal grooming, animal physical rehab, animal photography studios, retail sales of animal related products, if the Plan Commission finds the following:

- 1) The accessory use is consistent with the intent of the zoning district.
- 2) The accessory use is clearly established by the petitioner to be interrelated to and an accessory use of the principal animal boarding operation.
- 3) The site and or building are appropriately designed and located, or will be made so, to accommodate the accessory use and any impacts thereof.

6. Information Services

- (a) Radio/TV/Cable network, stations, news syndicates, excluding towers and dishes.
- (b) Telecommunications services
- (c) Motion picture and video production
- (d) Newspaper, printers, paper and software publishers, recording studio record production, telecommunications services and data processing.
- (e) Libraries and archives.

7. Professional, Technical, Scientific, and Administrative Services

- (a) Legal, notaries, and title services
- (b) Accountants, tax preparation, payroll, and other accounting services
- (c) Architects, landscape architects, engineering, surveying services
- (d) Interior, industrial, graphic, and fashion design services
- (e) Private investigators, locksmiths, security, and armored car services
- (f) Janitorial services
- (g) Pest control services
- (h) Packaging and labeling service

- (i) Veterinary Offices
 - (j) Offices of holding companies and regional managing offices
8. Retail Trade
- (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/packaged beverage and tobacco stores
 - (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Internet sales shopping/mail order business and vending machine sales
 - (m) Building supply stores and general sales of industrial products, such as building materials, electrical supplies, heating supplies, lighting supplies, paint and painting supplies, plumbing supplies, roofing supplies, wallpaper and wallpaper supplies, and windows and doors.
 - (n) Outdoor Power Equipment
 - (o) Garden Centers
 - (p) Manufactured/mobile home sales
9. Manufacturing/Assembly
- (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.
10. Public Administration and Government Services
- (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
11. Transportation and Warehousing
- (a) Courier, delivery, postal service businesses
12. Parking Lots
- (a) Parking lots are permitted without a principal structure, provided that the property owner submits a parking plan to the Plan Commission, and the Plan Commission approves the parking plan. The parking plan shall indicate whether the private parking area described in the parking plan may be used by the general public when the parking spots are not needed for the private use. If the plan so indicates, and if the plan is approved, then general public parking uses may be permitted upon such terms and conditions as are agreed upon in writing between the Village Board and the property owner, in a form approved by the Village Attorney. The Plan Commission shall approve the parking plan only if it finds all of the following:
 - (1) The lot where the proposed parking is located must be immediately adjacent to a lot that is zoned B-4 Central Mixed Use District that is proposed for development or change of use; and
 - (2) The adjacent B-4 Central Mixed Use District lot must have inadequate parking available on the lot to serve the new development or change of use, per the requirements of Section 17.0603 of this Code; and
 - (3) The parking plan must demonstrate that the parking lot will be in full compliance with all applicable requirements of this Code, except as to any

modifications that may be granted pursuant to Section 17.0603(L) of this Code;

and

- (4) Deed restrictions must be imposed and agreements must be entered between the adjacent lot owners, to the satisfaction of the Village Attorney, to allow the parking area to be used by the adjacent lot owner in compliance with the parking plan; and
- (5) Subject to such reasonable conditions as the Plan Commission may deem to be necessary or appropriate.

13. Housing. Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.

B. Permitted Accessory Uses

1. Accessory garages for storage of vehicles used in conjunction with the operation of the business or for occupants of the premises.
2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
3. Residential quarters for the owner or proprietor located in the same building as the business.
4. Rental efficiency and one-bedroom apartments on a non-ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

1. Lots shall have a minimum area of 10,000 square feet and shall be not less than 75 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

E. Building Height

1. No principal building or parts of a principal building shall exceed 30 feet in height.

F. Setback and Yards

1. There shall be a minimum building setback of 30 feet from the right-of-way of all streets.
2. There shall be a side yard on each side of all buildings not less than 15 feet in width.
3. There shall be a rear yard of not less than 25 feet.
4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Village Municipal Code.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve

as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be submitted to Plan Commission

1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

9. Retail Trade

- a) Vehicle sales, vehicle service, service of vehicle parts, vehicle parts sales including vehicle washing, vehicle repair stations, service of vehicle parts and vehicle parts sales in the B-2, B-3 and B-4 Districts No outside storage shall be permitted for vehicle parts sales even by issuance of a conditional use permit as set forth in 17.0506(A)(15)(e) of this Ordinance. All other outside storage that may be granted by CU shall be on a hard paved surface and shall be screened from view, or in the case of vehicle sales the landscaping shall be aesthetically pleasing to minimize the visual impact of a parking lot of vehicles.
- b) Gasoline service stations in the B-2 and B-3 districts provided that the use shall include traffic control measures to ameliorate-- traffic congestion; that lighting and glare shall not extend into adjacent residential neighborhoods; and that service islands shall comply with the minimum setback requirements of the district. Canopies over a gasoline service island may extend into front, side or rear yard areas, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-ofway in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

Impact Study

Proposed Express Car Wash Facility

Introduction	2
Background of the express car wash	2
Purpose of the impact study	2
Site Information	3
Hours of operation	3
Location of the subject parcel	3
Surrounding land uses	4
Access points and roadways	9
Traffic Analysis	11
Traffic volume data collection	11
Trip generation and distribution analysis	11
Trip Generation	11
Trip Distribution	12
Trip Characteristics	16
Hourly Trip Generation Distribution	16
Parking demand analysis	20
Impact Analysis	20
Analysis of the impact to the surrounding roadways	20
Evaluation of the impact on pedestrian and bicycle traffic	21
Analysis of the impact on parking demand	21
DOT Analysis	21
Other Impact Analyses and Considerations	22
Noise Impact	22
Odor Impact	25
Safety Considerations	26
Crime Impact	27
Health and Sanitation Considerations	29
Property Maintenance Considerations	29
References	30
List of sources used in the study	30

Introduction

Background of the express car wash

The express car wash is a modern car cleaning facility that provides customers with a quick and efficient way to wash their cars. The facility is designed to cater to busy customers who value their time and want to have their cars cleaned quickly and conveniently. Express car washes typically use automated systems to clean cars, and they are capable of processing relatively large volumes of cars per hour when compared to in-bay automatics, the type of car wash commonly found at gas stations.

The express car wash concept has been gaining popularity in recent years due to its convenience, affordability, and speed. Customers can typically get their cars washed and dried within a few minutes, which makes it an attractive option for those with busy schedules.

The proposed express car wash will be located near roadways with significant traffic volumes, making it easily accessible to a large number of potential customers. The site will be situated on a parcel with ample space for car queuing, parking, and maneuvering. The facility will include one car wash bay, vacuum stations, and payment kiosks.

As part of the traffic impact study, we will evaluate the potential effects of the proposed express car wash on the surrounding roadways, including traffic volumes, parking, and pedestrian or bicycle traffic.

Purpose of the impact study

The purpose of this impact study is to evaluate the potential impacts of the proposed express car wash on the surrounding roadways, environment, and community. The study will examine the potential effects of the car wash on surrounding roadways, pedestrians and bicyclists, and parking, as well as other non-traffic related considerations.

The results of the impact study will be used to inform decision-making and to ensure that the proposed express car wash is designed and operated in a way that minimizes its potential impacts on its surroundings.

Site Information

Hours of operation

The planned hours of operation for the car wash business are 7am to 8pm daily. At discretion, and based on business generation, the car wash may close early on certain days, such as Sunday, or may not open at all on certain days, such as holidays.

Location of the subject parcel

The proposed location of the car wash is a vacant lot next door in the Pick N' Save grocery store anchored development, next door to Waukesha State Bank, which is located at W249N6688 WI-164, Sussex, WI 53089, in the municipality of the Village of Sussex.

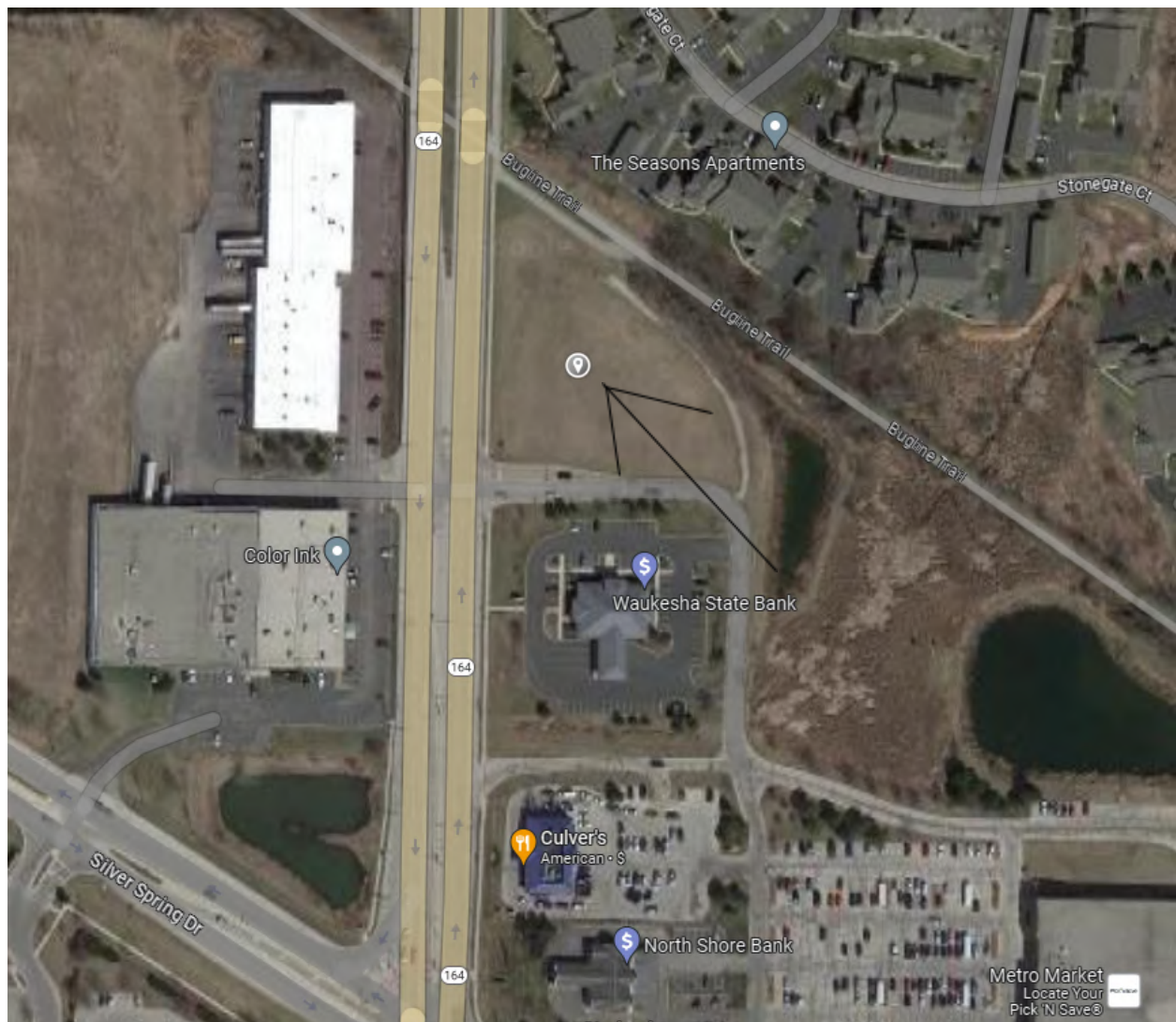


Figure 1: Subject parcel indicated by the black arrow

The legal description of the parcel is as follows:

LOT 3 CSM #10188 VOL 96/73 REC AS DOC #3377422 PT SW1/4 SEC 22 T8N R19E

The property is situated near the intersection of State Trunk Highway 164 (WI-164), a Wisconsin state highway running from Slinger to Waterford, and Silver Spring Dr, which become Main Street as it runs through Sussex to the east.

Surrounding land uses

The subject parcel is zoned B-3 - Highway Business. The neighboring Pick 'N Save outlots are also zone B-3, while the grocery store itself and the remaining land around the intersection is zoned B-2 - Regional Business.

To the north, outside of the Pick 'N Save anchored development is an Rm-1 - Multifamily Residential zoning district where Stonegate Apartments are located. The Bugline Trail is an existing feature that acts as a barrier between the apartments and the proposed development parcel.



Figure 2: Map of zoning districts



Figure 3: Parcel is separated from neighboring zoning districts



Figure 4: Waukesha State Bank

W249N6688 WI-164, Sussex, WI 53089

A 2.039 acre parcel used as a bank office with three drive-through lanes



Figure 5: Culvers

W249N6620 WI-164, Sussex, WI 53089

A 1.344 acre parcel used as a restaurant with a drive-through.



Figure 6: Pick N' Save Grocery Store

N65W24838 Main St, Sussex, WI 53089

A 15.833 acre site with a Pick N' Save (Metro Market) grocery store and an attached multi-unit strip center, along with a substantial parking field.



Figure 7: Flex Office / Warehouse Building

W250N6741 WI-164, Sussex, WI 53089

Located across WI164 to the west of the subject site, the 4.4 acre site is used for various businesses.



Figure 8: Color Ink

W250N6681 WI-164, Sussex, WI 53089

The site is a light manufacturing type of building that houses a commercial printing business.

Access points and roadways

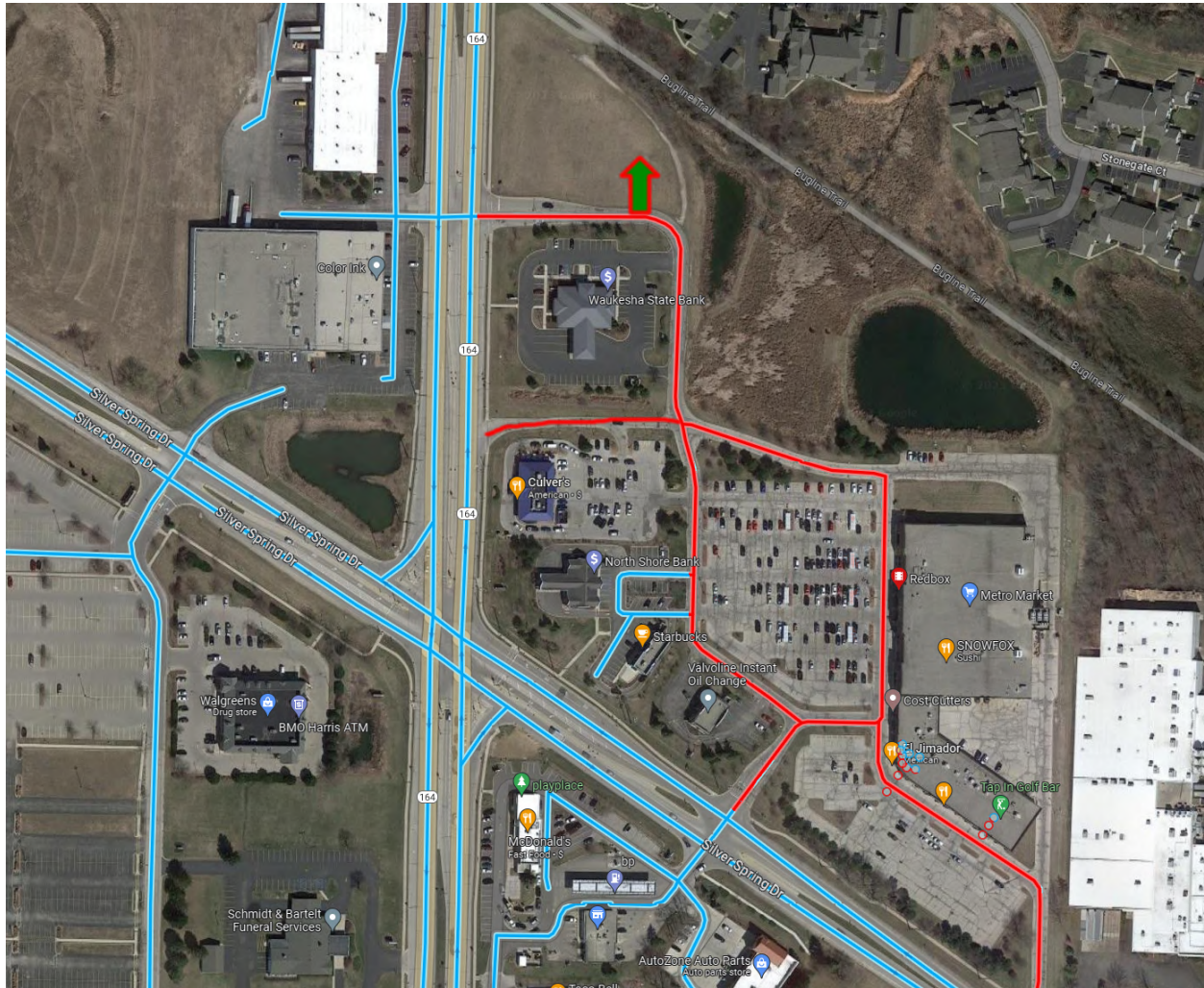


Figure 9: Paths that vehicles can follow to access the subject parcel.

There are two directions of access to the subject parcel. First, traffic can enter from WI-164. This traffic will enter at the northernmost access to the development and continue left into the parcel. Both NB and SB traffic have dedicated turn lanes to access the development at this point.



Figure 10: Dedicated right turn lane for NB traffic on WI164



Figure 11: Dedicated left turn lane for SB traffic on WI164

Alternatively, vehicles may also access the subject parcel by traveling through the Pick 'N Save anchored development. This means of access is less convenient and more time-consuming for traffic coming directly to the subject parcel. It is anticipated that only customers patronizing the other businesses in the development before coming to the subject parcel would access in this manner.

Given that the bulk of traffic will be coming in directly from WI164, it is important to assess the impact of the traffic on that roadway. In 2002, when the access point north of Waukesha State bank was added and connected to WI164, WisDOT installed the two dedicated turn lanes. The NB right turn lane is $\approx 300'$ long and the SB left turn lane is $\approx 220'$ long. Given the large turn lanes available, and the access to the parcel will be set back to the east on the access road

≈200' from WI164, there is ample space available to ensure that accessing motorists are clear from the lanes of traffic and will not impact flowing traffic on WI164.

Traffic Analysis

Traffic volume data collection

Various methods are employed in the general collection of traffic volume data. This study relies on three key data sources. The first is data obtained from Inrix, one of the world's leading traffic data providers. The second is data from Placer AI, a world-class mobile analytics platform that offers full market intelligence including traffic and trip information by collecting and analyzing mobile phone GPS data. The third method employed is traditional, in-person traffic counting. This method allows for the analysis of driver habits and unique conditions of the subject property.

Trip generation and distribution analysis

Trip Generation

The trip generation analysis estimates the number of vehicle trips generated by the proposed express car wash. This estimate is used to evaluate the potential impacts of the express car wash on the surrounding roadways.

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th edition, provides trip generation rates for various land uses. According to the manual, an express car wash generates an average of 500 daily trips per bay. The proposed car wash is a single-bay wash and would therefore be subject to an average of 500 trips per day. However, an average of 500 trips per day would result in the car wash having an annual wash volume of 182,500 vehicles. This amount of washes would put the car wash in the top 2% of car wash businesses by wash volume in the State of Wisconsin. Furthermore, all express washes with volume at that level are located in large metropolitan areas. The estimates for this car wash's volume range from 55,000 to 75,000 vehicles per year. Therefore, for the purposes of this study the upper limit of the range, 75,000 vehicles per year will be used. Thereby, the trip generation average is calculated to be 205 cars per day.

In addition to the daily trips, peak hour trips are also estimated to evaluate the potential impacts of the express car wash during the busiest hour of the day. The peak hour trip generation rate is estimated based on the maximum number of vehicle trips expected to occur during any hour of operation. The ITE Trip Generation Manual, 10th edition, provides peak-hour trip generation rates for various land uses. Based on these rates, the proposed express car wash would be expected to generate 150 peak-hour trips. However, car wash design standards indicate the volume of cars that can actually be washed in an hour is directly correlated to the length of the

car wash. This is because the car wash's length dictates the amount of cleaning equipment that can be installed and thereby the speed at which vehicles can be processed through the wash. This standard is defined as one car per hour per foot of car wash conveyor length. As the subject express car wash is planned to be 126' long, the peak number of vehicles per hour that can be processed is also 126. As such, this study calculates the peak-hour trip generation to be 126 vehicles.

The trip generation estimates are based on typical operating conditions and may vary depending on factors such as seasonality, weather conditions, and special events. The estimates are also subject to change based on the actual operation of the express car wash.

The trip generation estimates will be used in the subsequent analyses to evaluate the potential impacts of the express car wash on the surrounding roadways, parking, and pedestrian and bicycle access.

Trip Distribution

The trip distribution analysis studies where the trips generated by the express car wash are expected to originate from and where they will be going. To do this, the study has looked at other express car washes to find patterns that can be applied to the express car wash operation generally. Below are trip distribution charts for four express car washes in WI.

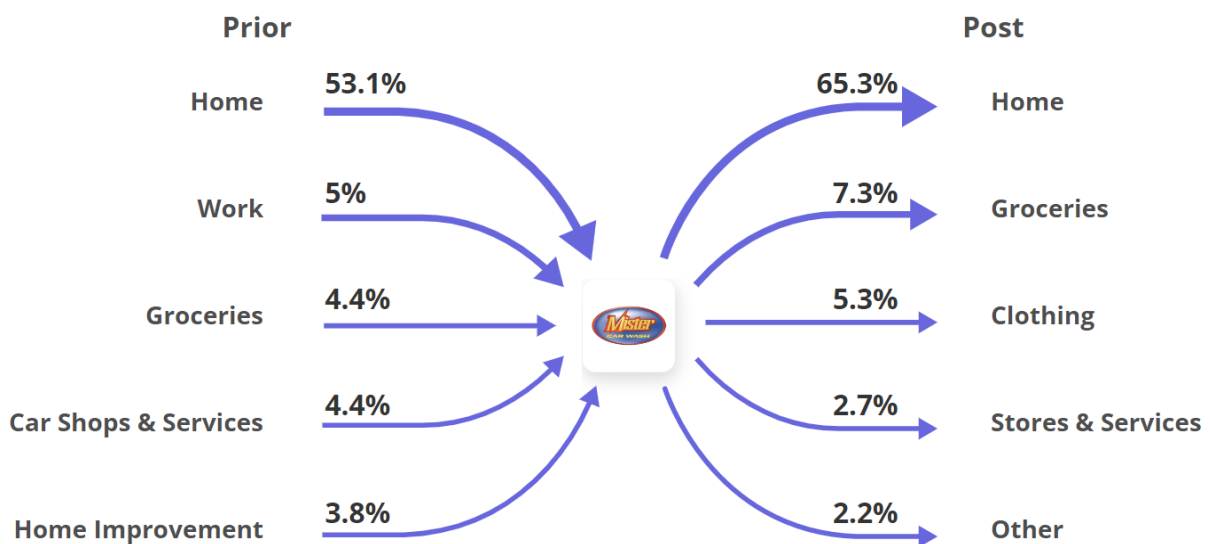


Figure 12: Trip Distribution - Car Wash A - Mister Car Wash - Franklin, WI (Source: Placer AI)

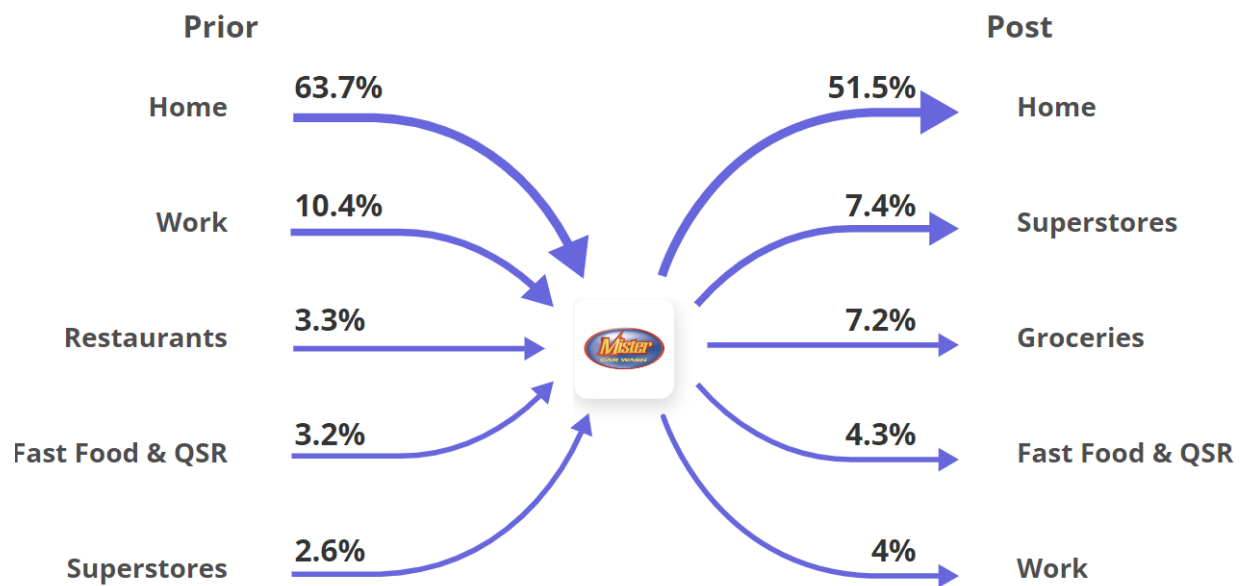


Figure 13: Trip Distribution - Car Wash B - Mister Car Wash - West Milwaukee, WI (Source: Placer AI)

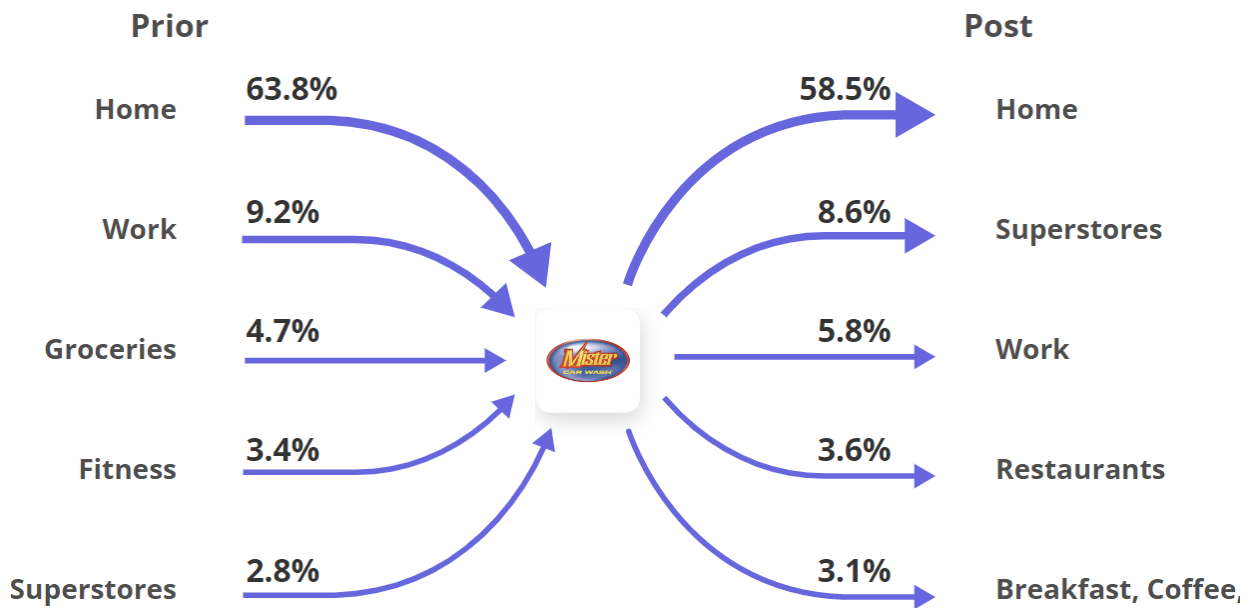


Figure 14: Trip Distribution - Car Wash C - Mister Car Wash - Greenfield, WI (Source: Placer AI)

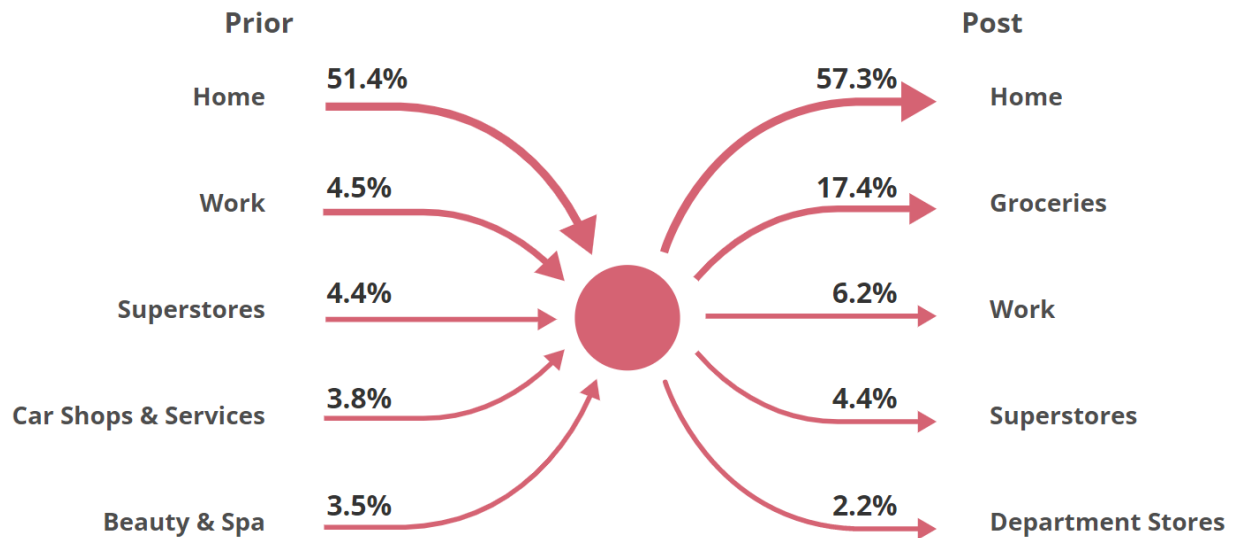


Figure 15: Trip Distribution - Car Wash D - Tsunami Car Wash - Greenfield, WI (Source: Placer AI)

Given the data set of examples above, a trend can be seen.

Car Wash A is across the street from a Pick N' Save grocery Store and 7.4% of customers leaving the car wash go to the grocery store. Car Wash B shows 14.6% of leaving customers going to a grocery or superstore. Car Wash C is across the street from a Walmart Supercenter and 8.6% of customers leaving the car wash go to the superstore. Car Wash D is adjacent to a Meijer store and shows that 21.8% of leaving customers either go to a grocery or superstore. The average incoming traffic to the car wash from these categories is 13.1%.

Overlap of these categories is also found on the incoming trip side of the charts. Among the studied data set, an average of 4.7% of visitors are arriving at the car wash from a superstore or grocery store.

Given that the subject express car wash is adjacent to a Pick N' Save grocery store, an assumption can be made that an average of 13% of customers leaving the car wash will go to the grocery store next door, while an average of 5% of customers arriving at the car wash will be coming from the grocery store.

Metrics

Jun 1 - Jun 30, 2023

Metrics	
<div><div></div><div>Metro Market (Nearby Ac... N65W24838 Main Street, Sussex, WI...</div></div>	
Visits	83.7K
Visits / sq ft	0.43
Size - sq ft	196.3K
Visitors	44.3K
Visit Frequency	1.89

Mobile cellphone data from Placer AI also reveals that Pick N' Save, as an existing and established business, has visits in excess of 83,000 per month with 44,000 unique monthly visitors. These numbers are far in excess of the roughly 6,000 monthly visits that the express car wash is expected to generate. Thereby, the study is able to assume that overlapping customers between the grocery and car wash segments are already Pick N' Save customers and those trips will not be new trips, but instead would occur with or without the express car wash.

Figure 16: Visits to Pick N' Save in June 2023

Given the data set and overlap assumptions, the following data summarizes trips generated by the subject express car wash.

	Trips	Percentage
Calculated Monthly Trips Generated	6000	100%
Overlap on Incoming Trips with Grocery	300	5%
Overlap on Outgoing Trips with Grocery	780	13%
Net New Trips Generated	4920	82%

Figure: 17: Monthly trips generated by the subject express car wash

Trip Characteristics

Trip characteristics describe the types of vehicles that are expected to visit the express car wash. This information is used to estimate the potential impact on the surrounding roadways and intersections. Typically, a trip generation can have a larger negative impact on the surrounding roadways if the vehicles visiting the property have negative characteristics, such as moving at a higher-than-average rate of speed, being larger than a typical vehicle, or being heavier than an average vehicle. These types of characteristics can cause issues such as excessive wear to the roadways due to weight or speed, or causing additional congestion to roadways due to vehicle size. In the case of the express car wash, all customer vehicles have to be able to fit in the wash bay. This means that size regulations are imposed, making sure that a vehicle is no shorter than 6' long, no longer than 28' feet long, and no taller than 7'2" in height. Also, vehicles with features not typically found on passenger automobiles will be rejected. These include but are not limited to large trailer hitches, trailers, oversized tires, lifted vehicles, brush guards, etc.

Due to the limiting factors that a car wash can process, customer vehicles are limited to what would be considered a typical passenger vehicle. These vehicles will include factory standard coupes, sedans, station wagons, mini-vans, pick-up trucks, and SUVs.

The express car wash does not have a dock and does not typically receive deliveries of products or supplies from large trucks. Deliveries will typically come in a large van or from a parcel service such as UPS or Fed Ex. Therefore, semi-truck traffic-generated concerns are not applicable to the operation.

Hourly Trip Generation Distribution

Hourly trip generation was studied using two methods. The first method analyzed actual car counts from point of sale data for a car wash determined to be in a regionally and locally similar location, and of a similar size and scope of the subject proposed car wash. The second method used mobile phone data from Placer AI to analyze other similar express car washes.

Method One:

By analyzing the point of sale data of a similar car wash, we were able to get actual data on visitors with no extrapolation necessary. This data was studied on a daily basis for the periods of July 11th to July 17th, 2022, and January 2nd to 15th, 2023. This provided a blend of information from both summer and winter months while pulling more data from the winter when the car wash generates more traffic. Then across the data set, the total visits were tabulated by day of the week and hour of the day to create an hourly distribution. The data is depicted below.

Hour	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Total	% of Total
12 AM	0	0	0	0	0	0	0	0	0%
01 AM	0	0	0	0	0	0	0	0	0%
02 AM	0	0	0	0	0	0	0	0	0%
03 AM	0	0	0	0	0	0	0	0	0%
04 AM	0	0	0	0	0	0	0	0	0%
05 AM	0	0	0	0	0	0	0	0	0%
06 AM	0	0	0	0	0	0	1	1	0%
07 AM	26	21	14	13	16	20	13	123	2%
08 AM	57	43	19	14	28	48	22	231	4%
09 AM	75	55	34	30	39	76	61	370	6%
10 AM	96	82	56	53	50	93	60	490	9%
11 AM	104	83	81	52	47	103	101	571	10%
12 PM	124	87	73	73	50	100	111	618	11%
01 PM	131	61	90	63	53	123	88	609	11%
02 PM	130	55	99	69	60	139	97	649	11%
03 PM	130	58	130	79	62	130	80	669	12%
04 PM	106	99	72	77	69	121	60	604	11%
05 PM	84	53	63	41	33	44	40	358	6%
06 PM	42	31	45	52	30	28	24	252	4%
07 PM	35	29	33	23	21	27	11	179	3%
08 PM	0	0	0	0	0	0	0	0	0%
09 PM	0	0	0	0	0	0	0	0	0%
10 PM	0	0	0	0	0	0	0	0	0%
11 PM	0	0	0	0	0	0	0	0	0%
	1140	757	809	639	558	1052	769	5724	

Figure 18: Hourly volume distribution from point of sale data

This data set was from a car wash that is open from 7 am to 8 pm. The data shows that the significant trip generation hours with more than 10% of the daily average traffic occur between 11 am and 5 pm, with the busiest hour being the 3 pm hour, and the greatest three-hour volume distribution occurring between 2 pm and 5 pm.

Method Two:

By analyzing mobile GPS phone data, extrapolation is used to derive hourly visit counts for car washes that are in the Placer AI database. Below are hourly visit distributions for sample car washes.

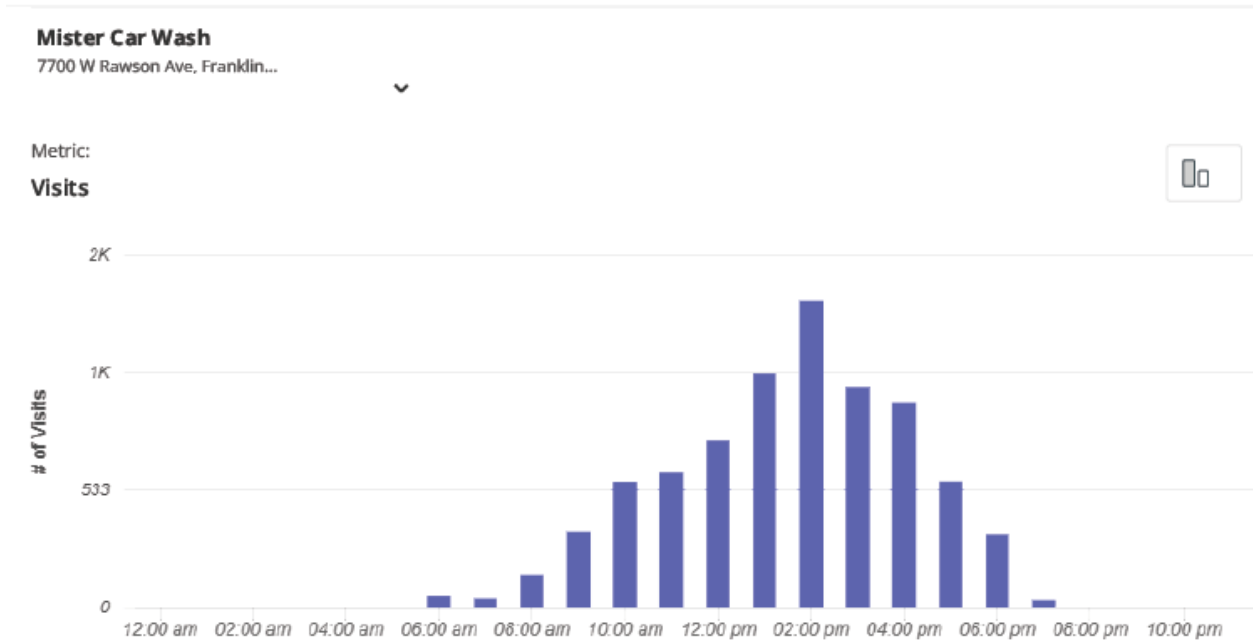


Figure 19: Placer AI hourly distribution of sample car wash A

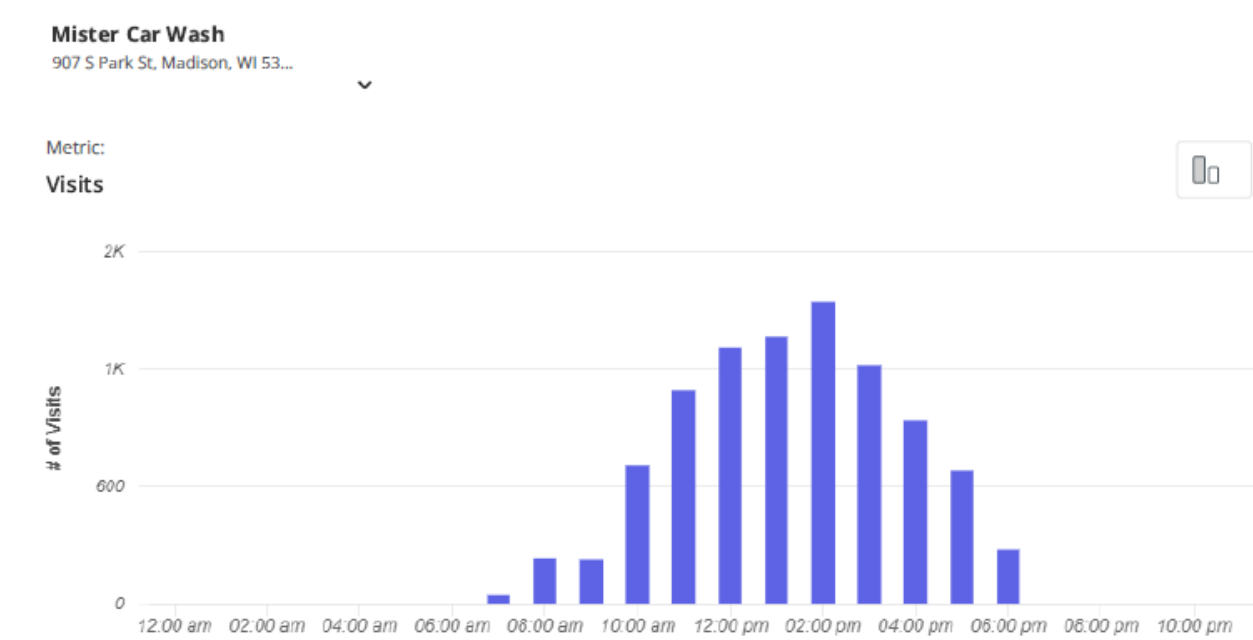


Figure 20: Placer AI hourly distribution of sample car wash B

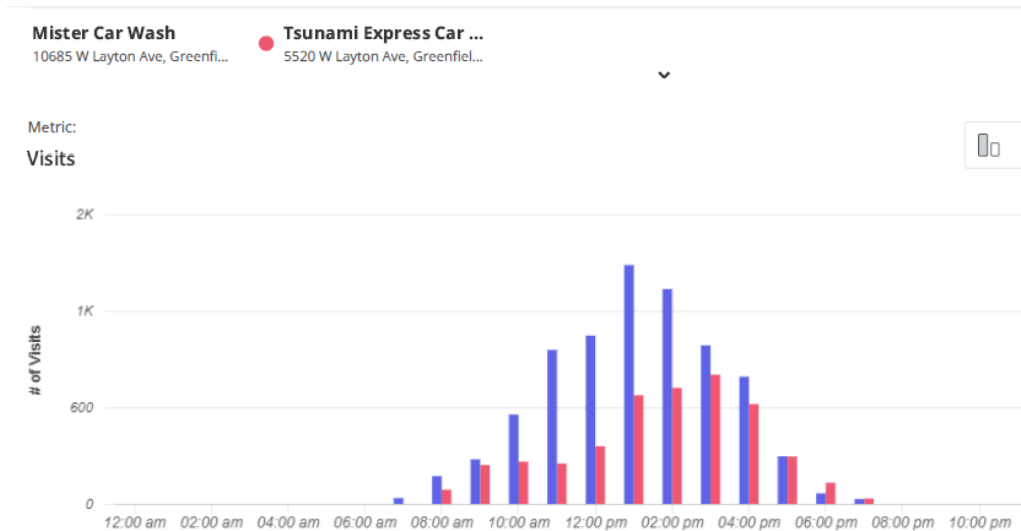


Figure 21: Placer AI hourly distribution of sample car washes C and D

Across this given data set, there is variation in the peak hour. One location has a peak hour of 1 pm, two locations have a peak hour of 2 pm, and the last has a 3 pm peak hour. Still, the cell phone collected data shows roughly the same distribution as Method One found.

Given the two methodologies and the only slight variation found, the study suggests light trip generation during morning hours, peak generation in the early afternoon, and light generation in the evening hours.

With the strong overlap in the express car wash and grocery industry segments as demonstrated above in the Trip Generation section, one would expect to find a similar distribution when looking at the hourly visits of a grocery store. Indeed, when analyzing the mobile phone Placer AI data for the Pick N' Save grocery store adjacent to the subject property, a similar distribution is found with peak generation hours between the 2 pm and 5 pm hours.

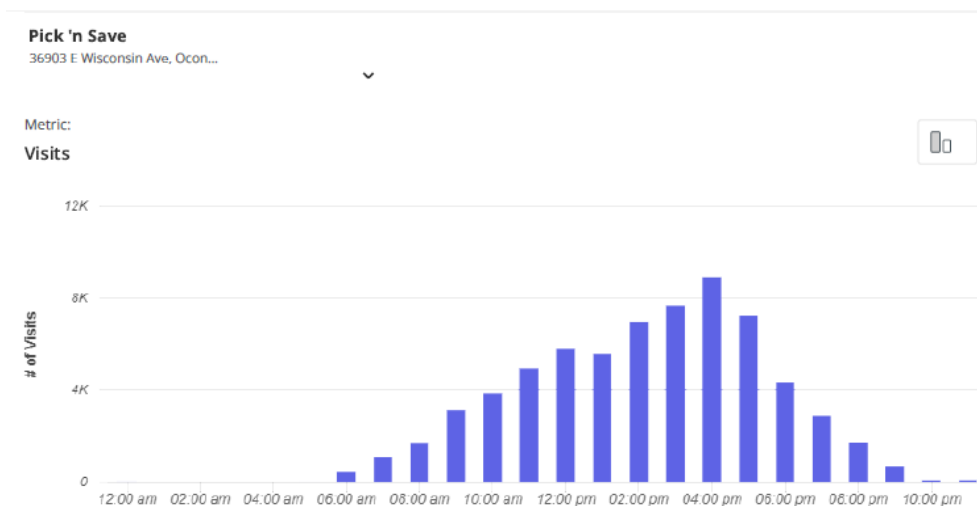


Figure 22: Placer AI hourly distribution for Pick N' Save

The similarity of the hourly distribution expected for the car wash, and the demonstrated hourly distribution of the Pick N' Save grocery store further supports the conclusion that there will be a strong overlap in customers of one business using the same trip to utilize the other business. This conclusion indicates that the overall trip generation impact on the area will be lower than if the subject car wash were not next to the grocery store.

Parking demand analysis

The parking demands of an express car wash are minimal. The operation will typically have between 2 and 3 employee vehicles parked throughout the day. Customer vehicles will park only sporadically as customers may seek out an employee to answer questions about the car wash or their membership. Customers will use designated vacuum stalls to stop their vehicles and self-vacuum the interior of the vehicle. However, customers stay with their vehicles during this process and typically utilize the stalls for an average of five minutes.

Given this business model, parking is of minimal importance and impact. The parking demands will be easily accommodated on the site plan with only 2-3 parking spaces necessary.

Impact Analysis

Analysis of the impact to the surrounding roadways

A number of factors found in the preceding study mitigate the impact of the express car wash on the surrounding roadways.

- Access to the subject property is not directly on the traffic-generating road of WI164. Instead, the subject property is accessed from the access road.
- Traffic turning on to access road from WI164 has significantly long turn lanes available for both directions of traffic.
- The trip generation of the express car wash is mitigated by the overlap of shared customers with the grocery store.
- The vehicle characteristics of generated trips will not contribute to excessive wear to the surrounding roadways.
- The traffic generated by the express car wash is expected to be less than 7% of the traffic currently being generated by just the Pick N' Save grocery store, not to mention the other businesses in the shopping center.

New trip generation analyzed earlier in this report is estimated to be 4,920 vehicles per month, divided by 30 days per month is an average of 164 trips per day. Given the above-referenced hourly distribution, during the peak hour of operation, 12% of the daily trips are expected to be generated. This calculates to 20 newly generated trips during the peak hour, or an average rate of 1 vehicle every 3 minutes.

Given this low rate of trip generation, the express car wash is expected to have a minimal impact on the traffic of the surrounding roadways.

Evaluation of the impact on pedestrian and bicycle traffic

The subject property is not impacted by pedestrian or bicycle traffic. The property has no sidewalks, walking paths, bicycle paths, or bicycle lanes along the adjacent street, WI164. Additionally, during the course of this study, traffic was physically watched at various times on various days, and no pedestrians or bicyclists were observed near the subject property during that time. As such, the proposed car wash development is expected to have no impact on pedestrian and bicycle traffic.

The Bugline Trail, a 15.6-mile trail extending from Menomonee Falls to Merton is adjacent to the property. However, the trail is clearly defined and will not be impacted by traffic on the subject parcel or traffic resulting from the subject parcel.

Analysis of the impact on parking demand

Given the design of the subject express car wash to be self-contained on its own parcel and given its low parking demands, there is no expected impact to the parking demand on the neighboring parcel. No street parking exists on any adjacent roadways, and as such, no parking demand impact will be made to roadways due to the express car wash.

DOT Analysis

In 2021, the Wisconsin Department of Transportation commissioned a Traffic Impact Study completed by Traffic Analysis and Design Inc (TADI). The report dated October 29, 2021, studied the Wildflower Farms Development and included the subject parcel as an off-site development. The study assumed a use of the subject parcel as a high-turnover restaurant.

In August of 2022, Art Baumann, Traffic Operations Engineer for the Wisconsin Department of Transportation, was contacted with regard to the potential development of an express car wash on the subject parcel. On August 24, 2022, Mr. Baumann provided the following response:

I have reviewed the proposed car wash compared to the high-turnover sit-down (Applebee's, Olive Garden, etc. type use) restaurant that was assumed to be constructed on this site. The car wash will have slightly higher PM peak hour volumes than the restaurant, but will be comparable on Saturdays. There may be occasions (4-5 times per year) where the car wash has a significantly higher trip rate. These usually occur a few days after a snowstorm. We don't usually analyze these rare high peak periods as part of our Traffic Impact Analyses since they don't occur often.

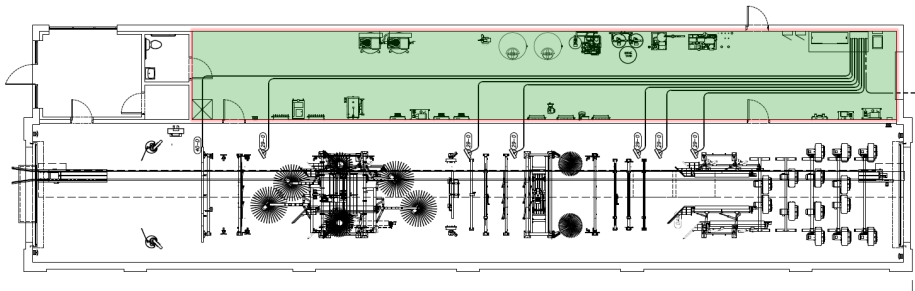
As a result, WisDOT will not require an update to the TIA that was performed for this site.

Given the position of the Department of Transportation, it is concluded that it is their opinion that with the existing TIA on file, no additional impact needs to be studied and existing traffic control features are adequate for the proposed development.

Other Impact Analyses and Considerations

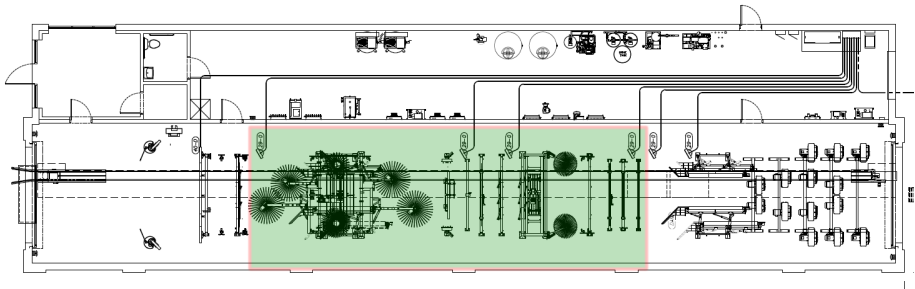
Noise Impact

The express car wash operation washing equipment is broken into three areas: washing, drying, and support. Each of those segments can be further divided into subsets, but for the purposes of this study, they are irrelevant. The support equipment is contained in the equipment room. While this equipment can be loud, it is confined to an enclosed all-block-constructed room.

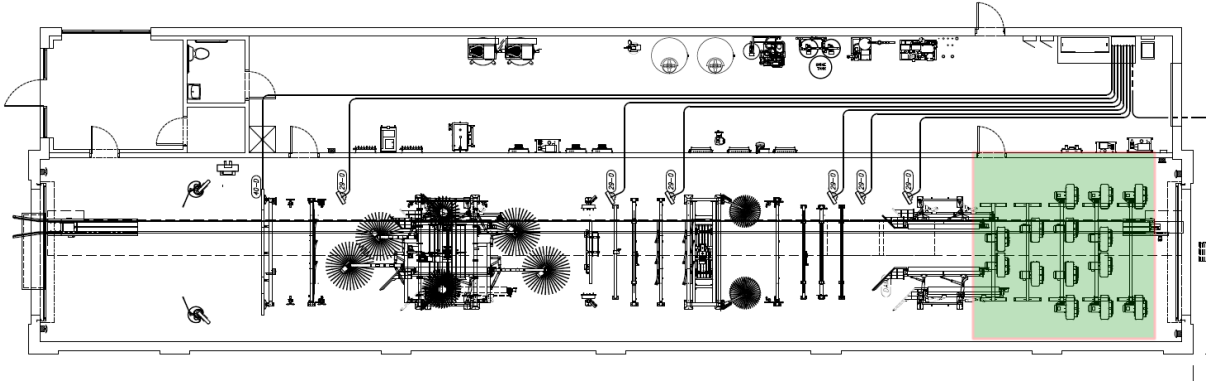


Noise is contained within the room and produces minimal to zero impact on the surrounding environment. On the other hand, equipment within the washing bay is exposed to the environment as the overhead garage doors at the entrance and exit of the bay are often open. This presents a greater chance of noise pollution in the environment.

The washing equipment produces noise in a variety of ways. For example, spinning brushes make sound when making contact with a vehicle, water sprayers make noise as they eject water and when the water impacts a surface, and air pistons that are used to move equipment eject a hissing sounds when actuated. However, none of these pieces of equipment are subjectively loud. Furthermore, their placement in the center of the wash bay means their sound can not be heard from outside of the building and they produce no noise pollution in the environment.

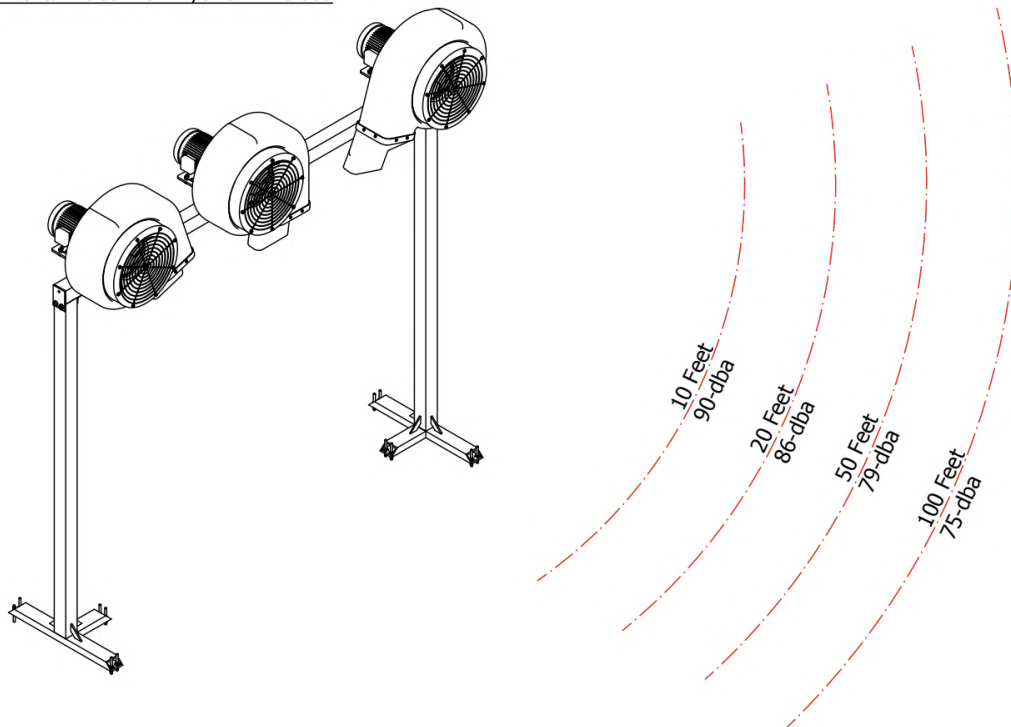



The drying equipment poses the greatest risk of noise from the car wash equipment escaping into the environment. The drying equipment is located at the end of the car wash near the exit door. While car wash dryers are not inherently noisy, their job is to move a large volume of air at a high speed. It is this movement of air that causes the noise.



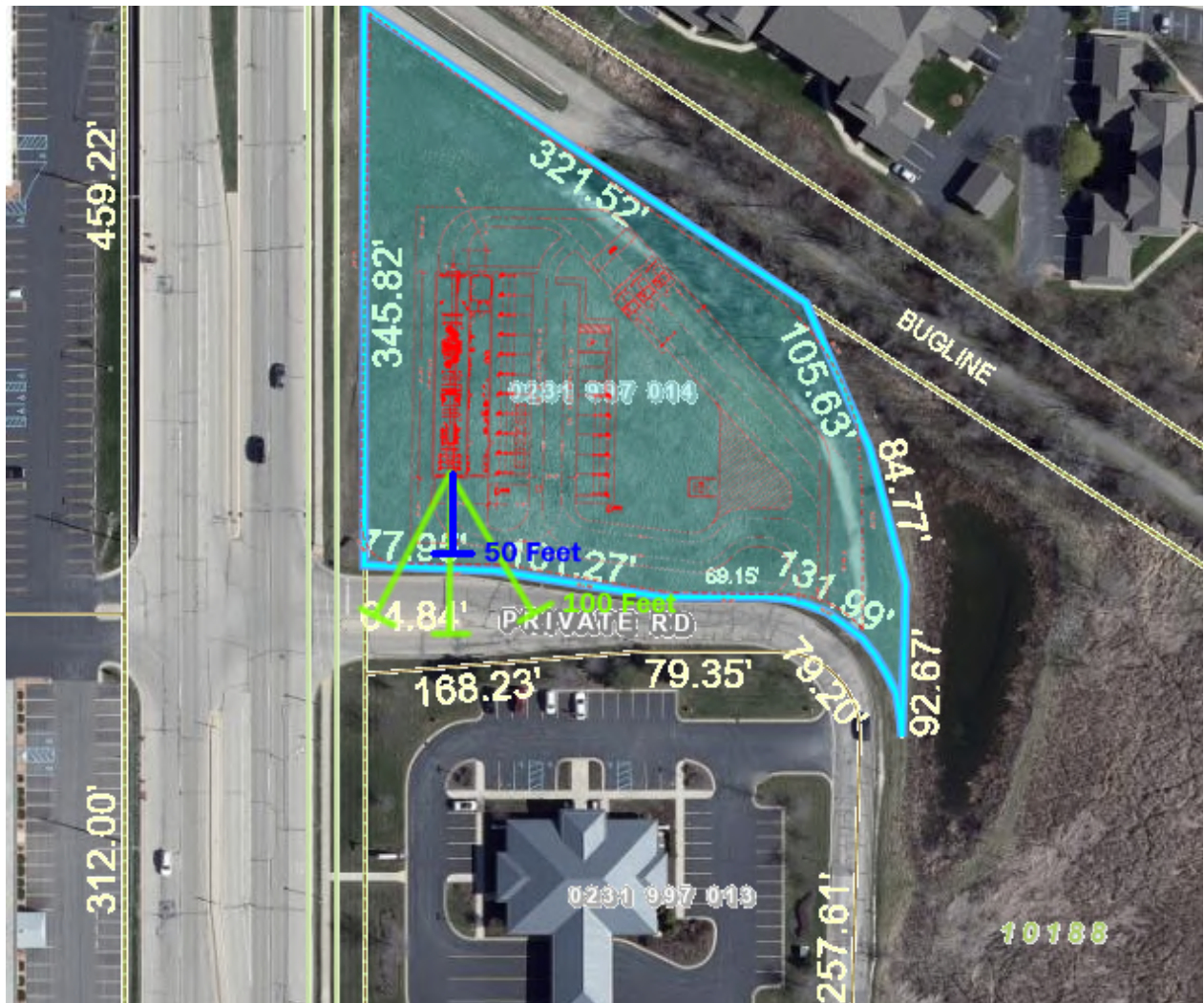
The car wash equipment manufacturer, Sonny's Enterprises, has conducted noise measurement studies on the car wash blowers. Their study results are shown below.

Environmental Noise with Dryer OFF: 70 dba



MATERIAL	 THIRD ANGLE PROJECTION BREAK ALL SHARP CORNERS PART TO BE FREE OF BURRS UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES	MACHINING TOLERANCES FRACTIONS 1/16" XX DECIMAL ± 0.030 XXX DECIMAL ± 0.005 ANGULARITY ± 2° FINISH 125	DRAWN LVerdecia APPROVED 8/26/2011	SONNY'S ENTERPRISES THE CARWASH FACTORY		
			8/1/2012			
			CATEGORY BLOWER	DESCRIPTION BLOWER ASSEMBLY, ONE ARCH 45HP		
			THIS SHEET CONTAINS CONFIDENTIAL INFORMATION, IMAGES AND TRADE SECRETS OF SONNY'S ENTERPRISES, INC. ANY UNAUTHORIZED USE OR DISCLOSURE OF ANY PORTION THEREOF IS STRICTLY PROHIBITED. THIS WORK IS THE EXCLUSIVE PROPERTY OF SONNY'S ENTERPRISES, INC. ALL RIGHTS ARE RESERVED.			PART NUMBER BL1-45HP-1

Based on the manufacturer-provided information, it is seen that at a distance of 50' from the dryers, the sound levels are down to 79dba, and at a distance of 100', the sound is down to 75dba. According to the US Department of Transportation, highway traffic noise typically ranges from 70dba to 80dba at a distance of 50'¹. At the same distance of 50', the blower noise is similarly in this range. As such, the car wash is not expected to produce any more noise than typical traffic levels.



Given the distance of the dryers from the lot line, noise at the lot line will be within the range of noise produced by the highway traffic.

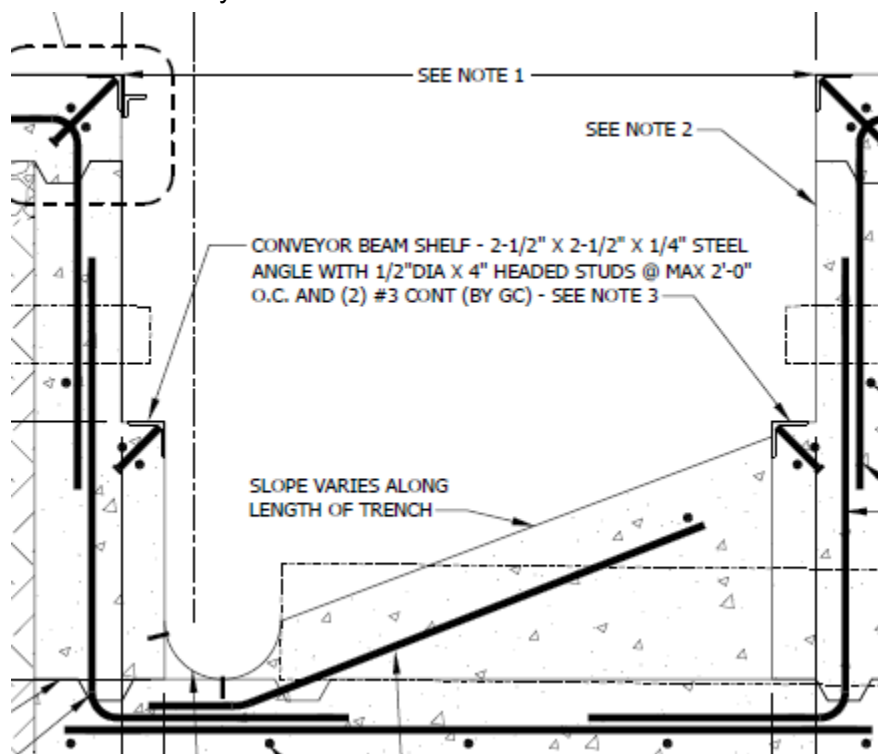
¹ <https://highways.dot.gov/public-roads/julyaugust-2003/living-noise>

Odor Impact

The car wash operation is designed to be a pleasant and inviting environment for customers to bring their vehicles. Scents and fragrances are a part of the experience for the clients. These smells are used to convey a “clean” and “fresh” feeling associating the smell of the car wash to the clean-looking vehicle expectation of the customer. As such, most people find the smells used in the car wash surfactants and waxes pleasing.

On the other hand, dirt and grime are being removed from the vehicle and are retained in the car wash. Over time, these substances can develop a foul smell. To mitigate this effect, the car wash uses a three-pronged approach.

- 1.) The car wash trench is the latest design, referred to as a self-cleaning trench. The sloped design does not allow dirt to sit and collect in the long trench in the wash bay. This is different from the old style of trench called a shelf design. In a shelf design, the surface of the trench is relatively flat and allows dirt to collect both on the trench floor as well as the on the shelf below the conveyor track. With the new design, there is no shelf below the conveyor track and there is no flat floor to hold dirt.



- 2.) While dirt is no longer being collected in the wash bay, it has to be collected somewhere. As such, it flows from the wash bay to the collection pits underground. Here dirt is allowed to accumulate while not being exposed to an open environment.
- 3.) Most importantly, car wash collection pits must be emptied and cleaned regularly. It is part of regular car wash maintenance to have a qualified contractor remove all dirt from the pits and use a jet sprayer to clean up any remaining debris. This process will be scheduled for regular intervals with the service provider.

Safety Considerations

In an express car wash, safety is a high-level consideration and goes into the design and decision-making processes. Safety considerations are generally divided into three categories: customer safety, employee safety, and technician safety.

In an express car wash, customers do not leave their vehicles during the washing process. From the time that the customer enters the property, they will stay in their vehicle for the entire wash process. Customers are not allowed to exit their vehicles or enter the equipment room or the wash bay. This keeps them safe from moving equipment and other vehicles in the wash process. After washing, customers have the option to use the self-service vacuums if they wish. The vacuum area can be an active environment, with vehicles entering and exiting the area. Vacuum stalls are clearly marked and trash cans are provided at each vacuum stall to ensure that customers do not need to walk around the parking lot area. The risk to the safety of customers is the same as it would be in any other parking lot situation and customers are expected to conduct themselves as such.

Employees are subject to a greater level of risk. They are working in an environment with moving wash equipment, chemical applications, and moving vehicles. To mitigate the risk to employees, a rigorous training program is designed to ensure that all employees stay safe while working at the car wash. Some of the processes in the training include:

- How to direct and guide drivers without putting yourself in the path of their vehicles
- How to work with car wash chemicals and how to use MSDS information in the event of an accident
- How to perform work duties without exposing yourself to moving equipment

With proper training and adherence to policies, the car wash can be a fun and safe environment in which to work.

Car wash repairs are generally completed by a car wash repair technician, either employed by a car wash equipment service company, or by the car wash company themselves. These technicians are factory trained by the manufacturer to repair car wash equipment. However, dangers in working on machinery exist in any such environment. As such, it is essential that a lockout system is utilized. A lockout system, commonly known as a Lockout-Tagout (LOTO) system, is a critical safety procedure used to protect workers from hazardous energy sources when repairing, servicing, or maintaining machinery and equipment. The purpose of the lockout system is to prevent the accidental release of energy or inadvertent activation of equipment that could cause injury or harm to employees working on the machinery.

The lockout process typically involves the following steps:

1. Identification: Before any repair or maintenance work begins, the authorized personnel must identify all energy sources associated with the machinery. This includes electrical, mechanical, hydraulic, pneumatic, and other sources of energy that could pose a risk to workers.

2. Notification: A formal notification is issued to all affected employees, informing them about the lockout process and the specific machinery involved. The notification should include the reason for the lockout, the expected duration, and the authorized personnel responsible for performing the lockout.

3. Isolation: The energy sources identified in the first step are physically isolated or disconnected from the machinery. This may involve turning off switches, closing valves, unplugging power cords, or shutting down relevant systems. Each energy source is secured in the "off" or "neutral" position, and multiple lockout devices may be used to ensure complete isolation.

4. Locking: Each authorized worker involved in the repair or maintenance task applies a lockout device to the energy isolation points. This lockout device prevents anyone else from re-energizing the machinery while the work is ongoing.

5. Verification: After locking out the energy sources, the authorized personnel must verify that the machinery is truly de-energized and poses no risk. This verification may involve trying to start the machinery, checking indicator lights, or using appropriate testing equipment.

6. Tagging: In addition to the locks, warning tags are placed on the locked-out machinery to indicate that it is undergoing maintenance or repair and should not be energized. These tags often contain essential information, such as the reason for the lockout and contact information for the responsible personnel.

7. Work Completion: Once the repair or maintenance work is completed, the workers must follow a specific procedure to remove the lockout devices and restore energy to the machinery safely. This process may involve reversing the steps taken during the lockout, retesting the machinery, and notifying affected personnel that the equipment is back in operation.

The lockout system is an integral part of workplace safety, ensuring that workers are protected from accidental energization and potential harm during machinery repair and maintenance. It requires clear communication, strict adherence to procedures, and ongoing training to guarantee its effective implementation and safeguard the well-being of employees.

Crime Impact

Businesses that maintain substantial cash reserves are susceptible to becoming prime targets for robbery or burglary due to the allure of easily attainable funds. The conspicuous presence of liquid capital within business premises entices opportunistic criminals seeking swift financial gains without the intricacies associated with digital transactions. Perceived vulnerabilities in the security infrastructure and a perceived lack of scrutiny render such establishments appealing prospects for illicit activities. Moreover, businesses engaged in frequent cash transactions inadvertently divulge their cash management practices, unwittingly furnishing prospective wrongdoers with valuable intelligence. This becomes particularly pertinent in socio-economic

environments where disparities exist, as businesses showcasing apparent affluence may attract criminal attention driven by desperate circumstances. Effective risk mitigation strategies necessitate the rigorous implementation of robust security protocols, encompassing advanced surveillance systems, sophisticated alarm systems, and stringent cash handling procedures. By fortifying cash resources and fostering a secure environment, businesses can substantially curtail the susceptibility of falling prey to robbery or burglary.

The express car wash industry in particular has addressed many of the concerns with the adoption of payment kiosks. These kiosks collect the cash from the customer and provide the change to the customer without employee involvement. Potential criminals are deterred by the cash being housed in locked, fortified kiosks. Furthermore, the increased use of credit cards for single wash transactions and monthly membership fees further reduces the amount of cash on hand for the operation.

Businesses also attract crime when they have inventory available for theft by criminals. Large retailers often attract criminals due to the items that can be stolen, often at high values. These items are then sold on the black market to generate cash. These thefts are becoming more brazen and can lead to the development of crime rings and organized crime. The car wash, however, has no inventory to be stolen. The only product the car wash sells is the car wash service itself.

Given the lack of access to cash on the premises and the lack of inventory, the car wash is not expected to become a target for criminals. As such, the car wash will not have a negative impact on crime in the community.

Health and Sanitation Considerations

Health and sanitation are a focus of any business that has employees and customers. The following procedures are considerations of the business to ensure a healthy environment:

- Regular cleaning schedule for the restroom including restocking supplies, cleaning, and sanitizing of surfaces.
- Regular cleaning and sanitizing of the payment kiosks.
- Regular cleaning and sanitizing of customer-use vacuum equipment.
- Regular emptying of trash receptacles on the premises.
- Regular pressure washing of the parking lot, vacuum areas, and walkways.
- Regular cleaning and sanitizing of the employee office area and surfaces.

Property Maintenance Considerations

As a newly developed site, property maintenance will be a key component to the longevity of the business and the protection of the investment for its development. The following procedures are considerations to ensure proper maintenance of the property:

- Regular inspections and repairs of the roofing system.
- Regular inspection and repairs of the block wall construction.
- Adherence to a preventive maintenance schedule for all car wash equipment.
- Touch up of painted surfaces as needed.
- Regular moving of grass-covered areas.
- Regular watering, pruning, weeding, and replacement (as necessary) of all landscape plantings.
- Regular turning or replacement of mulch in planting beds.

References

List of sources used in the study

<https://www.villagesussex.org/>

<https://www.villagesussex.org/home/showpublisheddocument/620/637618467266770000>

https://prd1.waukcogeo.com/HTML5Viewer/?viewer=html_viewer_ext

<https://google.com/maps>

<https://tax.waukeshacounty.gov/>

<https://maps.ags.ruekert-mielke.com/Html5Viewer/Index.html?viewer=sussex>

<https://wisdot.maps.arcgis.com/>

<https://www.ite.org/>

<https://highways.dot.gov/public-roads/julyaugust-2003/living-noise>

Document Number

RCA SEWER AGREEMENT
MR D’S CARWASH

Recording Area

Name and Return Address:

Gabriel Gilbertson,. Dev. Director
Village of Sussex
N64W23760 Main Street
Sussex, WI 53089

Tax Identification Number (PIN)

SUXV0231997014

THIS INSTRUMENT WAS DRAFTED BY: Attorney John Macy Arenz, Molter, Macy, Riffle, Larson & Bitar
Municipal Law & Litigation Group, S.C.

AGREEMENT

THIS AGREEMENT dated this ____ day of _____, 2024, between Davinder Toor, agent of Mr. D Carwash (hereinafter collectively “Petitioners”), and the Village of Sussex, a municipal corporation of the State of Wisconsin, located in Waukesha County (hereinafter referred to as the “Village”).

WHEREAS, Petitioner desires to construct a carwash on the parcel identified by Tax Key Number SUXV0231997014 in the Village of Sussex, Waukesha County, Wisconsin (hereinafter referred to the “Property”); and

WHEREAS, pursuant to the conditions of approval for the Conditional Use Permit and Building Permit and based upon annual projected water usage of 3,397,500 gallons per year the Village levied a reserve capacity assessment for sanitary sewer systems in the amount of \$6,191 per REC (A REC is 52,000 gallons) which equates to 65 RECs; and

WHEREAS, pursuant to the conditions of approval for the Conditional Use Permit and prior to the issuance of a building permit Petitioner shall pay the Village the fee of \$402,415.00 for the reserve capacity assessment (RCA) for sanitary sewer systems to be used by the Village in the Village’s sanitary sewerage collection and treatment facilities; and

WHEREAS, Petitioner does not have precise water usage data nor can the Village precisely calculate the water usage that this use will have, but rather has estimated usage figures; and

WHEREAS, Petitioner and the Village shall enter into an agreement regarding the reserve capacity assessment for sanitary sewer systems in the event that actual water usage exceeds the projected water usage of 3,397,500 gallons.

NOW, THEREFORE, in consideration of the foregoing, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the parties hereto, Petitioner and the Village hereby agree as follows:

1. Reserve Capacity Assessment- Sanitary Sewer.

As provided in the Village Land Division and Development Ordinance, the Petitioner has paid as a one-time fee a reserve capacity assessment to be used by the Village in the Village’s sanitary sewerage collection and treatment facilities for the benefit of Mr. D’s Carwash. The projected reserve capacity assessment was based upon water usage of 65 RECs at a rate of \$6,191 per REC, for a sum of \$402,415.00, which sum shall be paid prior to the issuance of a building permit.

In the event that actual water usage by Petitioner exceeds 3,397,500 gallons per year, the Village may levy an assessment against the Property based upon the difference between the 3,397,500 gallons and the actual water used per year. If there is additional water usage the charge will be based on the number of additional REC’s and fractions therein multiplied by the rate per REC in effect for that year.

Petitioner hereby waives, pursuant to Section 66.0703(7)(b), Wisconsin Statutes, any and all requirements of the Wisconsin Statutes which must be met prior to the imposition of special assessments, including, but not limited to, the notice and hearing requirements of

Chapter 66, Subsection VII, Wisconsin Statutes and agrees that the Village may proceed immediately to levy the Special Assessments as outlined herein.

Petitioner further waived its right to appeal from the Special Assessments and stipulates that the amount of the Special Assessment levied against its property has been determined on a reasonable basis and the benefits to its property from the proposed improvements exceed the amount of the Special Assessment against such property.

In addition, Petitioner waives its right under Section 66.0627 and agrees to promptly pay any special charges which may be levied against its property. The municipality shall levy such assessments in conformity with this Agreement, pursuant to Chapter 66 Subchapter VII and Section 66.0627, Wisconsin Statutes.

2. The Village will look at REC usage annually for the first five years after occupancy of the building is granted to verify water usage per this agreement. Petitioner also understands that if changes are made to the use of the facility that result in additional water/sewer usage that additional REC's may be due at that time of change of use of the facility, if such use occurs.

The Village does not waive any rights provided under Sussex Sewer Service Code, including those with regard to enlargement, adjustment, termination or limitation to any changes to charges.

3. This agreement is binding upon Petitioner, owners, their successors and assigns, and any and all future owners of the property (the "Successors").

Approved on _____, 2024

Petitioner

By: _____

Date _____

Owner(s) Print name: _____

State of _____

County of _____

Personally came before me this _____ day of _____ 2024 the above named _____, Authorized Signatory of Mr. D's Carwash, the foregoing instrument and acknowledgement the same.

Notary printed name: _____

My commission expires _____

2024
VILLAGE OF SUSSEX ORDER GRANTING A
CONDITIONAL USE AND PRESCRIBING CONDITIONS
FOR A CARWASH FACILITY FOR
IN THE B-3 HIGHWAY BUSINESS ZONING DISTRICT
DISTRICT IN THE VILLAGE OF SUSSEX

WHEREAS, an application has been filed by Davinder Toor, agent of Mr. D Carwash, on the subject property (hereinafter collectively “Petitioners”); and

WHEREAS, the Petitioner is requesting a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for the property identified by Tax Key Number SUXV0231997014, in the Village of Sussex, Wisconsin, all as described on **Exhibit A** attached hereto and incorporated herein (hereinafter “Subject Property”); and

WHEREAS, upon referral of the application by the Village Clerk, the Plan Commission for the Village of Sussex determined that the application met all requirements as set forth in Section 17.0502 and scheduled a public hearing thereon as soon as practical; and

WHEREAS, upon publication of the required “Notice of Public Hearing” and mailing of said “Notice of Public Hearing” to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on March 19, 2024 and April 16, 2024 as required by Section 17.0505 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Plan Commission has followed the review procedures of Section 17.0503 by reviewing the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation; and

WHEREAS, the Subject Property is zoned B-3 Highway Business District; and

WHEREAS, a new carwash facility at the subject property requires a conditional use permit under Section 17.0506(9)(A)(1); and

WHEREAS, the Plan Commission for the Village of Sussex finds that the petitioner’s proposed conditional use, if said use is carried out in strict compliance with the conditions described herein, is not adverse to the public health, safety, or welfare; it is not in conflict with the spirit or intent of the Village of Sussex Zoning Ordinance; and it is not otherwise detrimental to the community and particularly the surrounding neighborhood; and

WHEREAS, the Plan Commission for the Village of Sussex, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a conditional use permit for the Subject Property is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by the Petitioners for a new carwash facility as set forth in Section 17.0506 Conditional Uses if approved as part of a Plan of Operation and site plan; and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use is granted for the Petitioner for the above enumerated uses, incorporating the findings as set forth above and subject to the following conditions:
1. Presentation Compliance. The new carwash facility is approved herein on the Subject Property, and the use thereof, shall be used in substantial conformity with the presentation at the Public Hearings before the Plan Commission held on March 19, 2024 and April 16, 2024.
 2. Subject Property. This conditional use permit issued to the Petitioners, shall be limited to the property described in **Exhibit A** attached hereto and incorporated herein and to the site plan presented at public hearing.
 3. Plans. The Petitioners are required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Village Clerk for the Village of Sussex in order for this Conditional Use to be in effect. The Petitioner shall be entitled to amend or change any plan contemplated herein subject to the specific language of the Conditional use and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial amendment or change in any plan contemplated herein as solely determined by the Plan Commission. If the Plan Commission for the Village of Sussex feels, in its sole discretion, that the amendment or change to any plan contemplated herein is substantial, the amendment or change will require a new permit and all Village procedures in place at the time must be followed.
 - A. Site Plan. The Petitioners shall comply with the site plan, which shall be attached hereto and incorporated herein as **Exhibit B**.
 - B. Plan of Operation. The Petitioners shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meetings. Once approved the plan of operation shall be attached hereto and incorporated herein as **Exhibit C**.
 - C. Traffic, Access, Loading, and Parking Plans. The Petitioner shall comply with the existing traffic parking, loading, and egress plan for the subject property on file with the Village Clerk.
 - D. Lighting Plan. The Petitioner shall maintain the proposed lighting plan for the Subject Property on file with the Village Clerk
 - E. Signage Plan. The Petitioner must submit a signage plan for the subject property on file with the Village Clerk.

- F. Public Improvements. All public improvements shall be permitted through the Village of Sussex.
 - G. Sewer, Water, Stormwater and Erosion Control Plans. The Petitioner shall comply with the specific sewer, water, stormwater, and erosion control plans on file with the Village Clerk.
 - H. Fence, Landscaping, Berm, and Open Space Utilization Plan. The Petitioner shall comply with the specific Fence, Landscaping, Berm, and Open Space Utilization Plan for the Subject Property incorporated herein as **Exhibit D**.
 - I. Architectural and Building Plan. The Petitioner shall comply with the specific Architectural and Building Plan for the Subject Property incorporated herein as **Exhibit E**.
 - J. Outdoor Storage and Uses Plan. There shall be no outdoor storage at the subject property associated with the carwash facility. If the Petitioner wishes to have additional outdoor storage they must seek approval from the Plan Commission without a new public hearing unless the Plan Commission determines a public hearing is necessary.
- 4. Adult-Oriented Materials. No adult-oriented materials or pornographic videotapes, magazines, or gift items will be sold or rented from the subject facility.
 - 5. Licenses. The Petitioner shall be required to obtain any and all required licenses and permits from the Village, County, State, and Federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.
 - 6. Laws. The Petitioner shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
 - 7. Building and Fire Inspection. The Petitioner is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.
 - 8. Aesthetics. The Petitioner is required to properly maintain the Subject Property at all times and in full compliance with the Village Property Maintenance Code, Section 9.07 of the Village of Sussex Code all to the satisfaction of the Plan Commission for the Village of Sussex.
 - 9. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property. No junk vehicles, trailers, or other pieces of equipment that are inoperable shall be stored on the Subject Property.
 - 10. Temporary Use or Activity. No temporary use or special activity or event shall be permitted without prior approval of the Plan Commission of the Village of Sussex and the same must be in compliance with all ordinance, rules, and regulations of the Village of Sussex and all necessary permits must be obtained except for as allowed by Outdoor Establishment Permit under Chapter 4 or Auxiliary Use under Section 17.0710.

11. Fees and Expenses. The Petitioner, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the Petitioner with copies of all itemized invoices.
 12. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the Petitioner.
 13. Complaints. In the event the Petitioner receives any complaints with regard to the operation authorized by this conditional use, the Petitioner shall respond to such complaints in writing within a reasonable time not to exceed two weeks from the date of the complaint and shall provide a copy of the written response to the Sussex Village Administrator within the same period of time. If the complaint was made in writing, the copy provided to the Village Administrator shall include a copy of the complaint.
 14. No Nuisance. The Village reserves the right to rescind its approval of this conditional use permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Petitioner is given an opportunity to be heard on the matter and, if so rescinded the Petitioner and Subject Property shall thereupon be immediately subject to the Village of Sussex Zoning Ordinances , as applicable, regarding the use of the Subject Property as though no conditional use permit was granted.
 15. Subject to Acceptance. Subject to the Owner approving in writing the issuance of the same and Petitioner acknowledging in writing that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Petitioner will therefore need to re-commence the application process.
 16. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate.
 17. Subject to filing. The Declarations of Restrictions attached as **Exhibit F** shall be filed with the Waukesha County Register of Deeds and a copy of the recorded document on file with the Village Clerk.
 18. RCA Sewer Agreement. The Petitioner shall enter into an RCA Sewer Agreement with the Village of Sussex attached as **Exhibit G**.
- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of

the Subject Property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.

- D. This conditional use hereby authorized shall be confined to the Subject Property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.
- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the Petitioner be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized herein, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Plan Commission, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed.
- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- I. This conditional use permit shall be effective subject to the following:
 - 1. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes, the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.
 - 2. This conditional use may be reviewed annually. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.
- J. Upon acceptance by Petitioner of this conditional use permit, all prior conditional use permits granted to the Subject Property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect

of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.

- L. If any paragraph or phrase of this conditional use order is declared by a Court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific paragraph or phrase thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of this order. The remainder of the order shall remain in full force and effect.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the Petitioner.

Approved this _____ day of _____, 2024 BY THE PLAN COMMISSION FOR THE VILLAGE OF SUSSEX

Anthony LeDonne
Village President

Jennifer Moore
Village Clerk

PETITIONER ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.

Dated this _____ day of _____, 2024

Agent

This conditional use was drafted by Jeremy Smith, Village Administrator off of a model by Attorney John P. Macy ARENZ, MOLTER, MACY & RIFFLE, S.C., Village Attorneys for the Village of Sussex.

EXHIBIT A

LOT 3 CSM #10188 VOL 96/73 REC AS DOC #3377422 PT SW1/4 SEC 22 T8N R19E

8



EXHIBIT C



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
<u>X</u> Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: _____ Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

**PAID 2/12/24
SQUARE**

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

EXHIBIT C

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position

I am aware and approve of the business to be operating in the building
owned by _____.

Name

Date

Title or Position



EXHIBIT C

N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

VILLAGE OF SUSSEX PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.


PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____



Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

EXHIBIT C



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



EXHIBIT C

Village of Sussex Fire Department

N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

**Business
Email:** _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

EXHIBIT D

Landscape Plan

EXHIBIT E

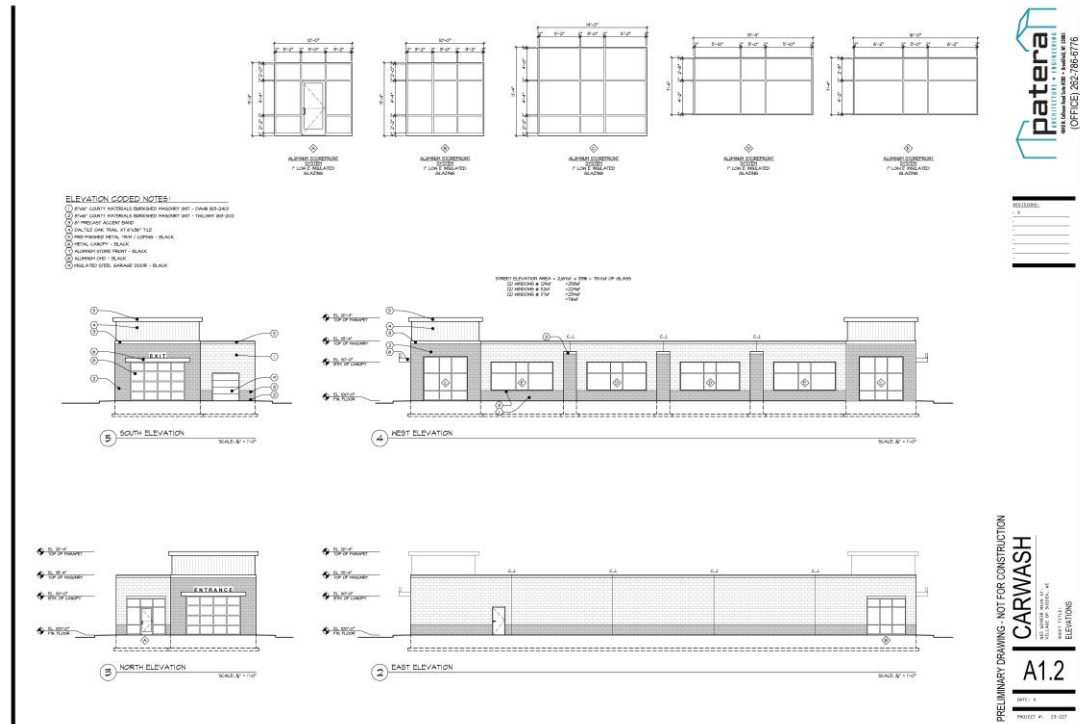


EXHIBIT F

Document Number	DECLARATION OF RESTRICTIONS Document Title	
<p>NOW, THEREFORE, Declarant for itself and on behalf of its successors, heirs, assigns, and transferees, including, without limitation, any owners and/or users of the Property does hereby declare and agree that the Property shall be hereinafter subject to the restrictions, covenants, obligations and agreements set forth in this Declaration which shall run with the Property and shall be binding upon Declarant and its successors, heirs, assigns, and transferees, including, without limitation, any owners and/or users of the Property.</p> <ol style="list-style-type: none">1. A storm sewer pipe has been identified by the Wisconsin Department of Transportation as running underneath, and through, the Property within the "Public Storm Water Drainage and Public Storm Water Facilities Access Easement" identified in Certified Survey Map No. 9011 recorded with the Waukesha County Register of Deeds (the "Easement").2. Declarant has requested that the Village of Sussex approve a conditional use permit to permit development of the Property that includes improvements within and over the Easement.3. As a condition of the Village of Sussex, Wisconsin's approval of Declarant's proposed improvements within and over the Easement, the Village of Sussex, Wisconsin has directed that Declarant acknowledge by means of the recording of this instrument that the Village of Sussex: (a) is not the owner of the stormwater facilities located within the aforesaid Easement; (b) has no duty to maintain the pipe that will be located under Declarant's proposed improvements or any other storm water facilities located on the Property; (c) whether by its approval of any conditional use permit or other permit(s) arising out of or related to Declarant's proposed improvements to the Property, does not endorse the construction improvements within the Easement; and (d) that Declarant assumes responsibilities for all costs and expenses arising out or related to repair or maintenance to the storm water facilities within the Easement.4. Declarant, while it is the owner of the Property, and thereafter any successor in interest to the Property, shall be responsible for the costs and expenses for the repair and maintenance of the storm sewer pipe to the extent caused by Declarant or owner's construction or operations on the Property. Notwithstanding the foregoing, nothing herein shall prevent or preclude the Declarant, or its successors in interest to the Property, from seeking recoupment or contribution from any other party that is an owner of the storm sewer pipe, or legally responsible for maintenance or repair of the storm sewer pipe provided, however, that no person or party shall be entitled to reimbursement or contribution from the Village of Sussex, Wisconsin.		<div data-bbox="1149 659 1546 814"><p>Recording Area</p><p>Name and Return Address:</p></div> <div data-bbox="1149 814 1546 877"><p>Tax Identification Number:</p></div>

EXHIBIT F

5. Declarant acknowledges that the costs and expenses for any future maintenance or repairs not encompassed by Section 4, above, and the costs and expenses for any future movement, reconfiguration, reconstruction, or replacement of any storm water facility or facilities within the Easement shall be determined between the Declarant, or the then-current Owner of the Property and the Wisconsin Department of Transportation ~~and/or~~ any other person or party having an interest in such storm water facility or facilities.
6. This Declaration of Restrictions shall not be released or amended absent the written approval of the Village of Sussex that is recorded in the office of the Waukesha County Register of Deeds.

Declarant (together with its successors and assigns), and the Village of Sussex shall be entitled to enforce this Declaration of Restrictions.

Signed _____, 20____:

DECLARANT:

Lake Country Dev 2 LLC, a Wisconsin
limited liability Company

By: _____
Davinder Toor,
Managing Member

STATE OF WISCONSIN)
) ss.
COUNTY OF WAUKESHA)

Personally came before me on this ____ day of _____, 20____, the above-named
Davinder Toor executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC, STATE OF WI
Print Name: _____
My Commission Expires: _____

EXHIBIT G

Document Number	RCA SEWER AGREEMENT MR D’S CARWASH
<div>Recording Area</div> <div>Name and Return Address: Gabriel Gilbertson,. Dev. Director Village of Sussex N64W23760 Main Street Sussex, WI 53089</div> <div>Tax Identification Number (PIN) SUXV0231997014</div>	

THIS INSTRUMENT WAS DRAFTED BY: Attorney John Macy Arenz, Molter, Macy, Riffle, Larson & Bitar
Municipal Law & Litigation Group, S.C.

EXHIBIT G

AGREEMENT

THIS AGREEMENT dated this ____ day of _____, 2024, between Davinder Toor, agent of Mr. D Carwash (hereinafter collectively “Petitioners”), and the Village of Sussex, a municipal corporation of the State of Wisconsin, located in Waukesha County (hereinafter referred to as the “Village”).

WHEREAS, Petitioner desires to construct a carwash on the parcel identified by Tax Key Number SUXV0231997014 in the Village of Sussex, Waukesha County, Wisconsin (hereinafter referred to the “Property”); and

WHEREAS, pursuant to the conditions of approval for the Conditional Use Permit and Building Permit and based upon annual projected water usage of 3,397,500 gallons per year the Village levied a reserve capacity assessment for sanitary sewer systems in the amount of \$6,191 per REC (A REC is 52,000 gallons) which equates to 65 RECs; and

WHEREAS, pursuant to the conditions of approval for the Conditional Use Permit and prior to the issuance of a building permit Petitioner shall pay the Village the fee of \$402,415.00 for the reserve capacity assessment (RCA) for sanitary sewer systems to be used by the Village in the Village’s sanitary sewerage collection and treatment facilities; and

WHEREAS, Petitioner does not have precise water usage data nor can the Village precisely calculate the water usage that this use will have, but rather has estimated usage figures; and

WHEREAS, Petitioner and the Village shall enter into an agreement regarding the reserve capacity assessment for sanitary sewer systems in the event that actual water usage exceeds the projected water usage of 3,397,500 gallons.

NOW, THEREFORE, in consideration of the foregoing, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the parties hereto, Petitioner and the Village hereby agree as follows:

1. Reserve Capacity Assessment- Sanitary Sewer.

As provided in the Village Land Division and Development Ordinance, the Petitioner has paid as a one-time fee a reserve capacity assessment to be used by the Village in the Village’s sanitary sewerage collection and treatment facilities for the benefit of Mr. D’s Carwash. The projected reserve capacity assessment was based upon water usage of 65 RECs at a rate of \$6,191 per REC, for a sum of \$402,415.00, which sum shall be paid prior to the issuance of a building permit.

In the event that actual water usage by Petitioner exceeds 3,397,500 gallons per year, the Village may levy an assessment against the Property based upon the difference between the 3,397,500 gallons and the actual water used per year. If there is additional water usage the charge will be based on the number of additional REC’s and fractions therein multiplied by the rate per REC in effect for that year.

Petitioner hereby waives, pursuant to Section 66.0703(7)(b), Wisconsin Statutes, any and all requirements of the Wisconsin Statutes which must be met prior to the imposition of special assessments, including, but not limited to, the notice and hearing requirements of

EXHIBIT G

Chapter 66, Subsection VII, Wisconsin Statutes and agrees that the Village may proceed immediately to levy the Special Assessments as outlined herein.

Petitioner further waived its right to appeal from the Special Assessments and stipulates that the amount of the Special Assessment levied against its property has been determined on a reasonable basis and the benefits to its property from the proposed improvements exceed the amount of the Special Assessment against such property.

In addition, Petitioner waives its right under Section 66.0627 and agrees to promptly pay any special charges which may be levied against its property. The municipality shall levy such assessments in conformity with this Agreement, pursuant to Chapter 66 Subchapter VII and Section 66.0627, Wisconsin Statutes.

2. The Village will look at REC usage annually for the first five years after occupancy of the building is granted to verify water usage per this agreement. Petitioner also understands that if changes are made to the use of the facility that result in additional water/sewer usage that additional REC's may be due at that time of change of use of the facility, if such use occurs.

The Village does not waive any rights provided under Sussex Sewer Service Code, including those with regard to enlargement, adjustment, termination or limitation to any changes to charges.

3. This agreement is binding upon Petitioner, owners, their successors and assigns, and any and all future owners of the property (the "Successors").

Approved on _____, 2024

Petitioner

By: _____

Date _____

Owner(s) Print name: _____

State of _____

County of _____

Personally came before me this _____ day of _____ 2024 the above named _____, Authorized Signatory of Mr. D's Carwash, the foregoing instrument and acknowledgement the same.

Notary printed name: _____

My commission expires _____

RESOLUTION NO. 24-06

AMENDMENT TO THE
2040 COMPREHENSIVE PLAN
FOR THE VILLAGE OF SUSSEX, WISCONSIN
AND SPECIFICALLY THE LAND USE MAP A
COMPONENT OF THE COMPREHENSIVE PLAN

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1002(2) of the Wisconsin Statutes; and

WHEREAS: The Village Board adopted a comprehensive plan on March 25, 2003 and updated to the 2040 Comprehensive Plan on May 22, 2018 and on occasion amendments will be made; and

WHEREAS: The Village of Sussex Village Board of Trustees approved a Cooperative Plan with the Town of Lisbon on January 25, 2022; and

WHEREAS: Said Cooperative Plan set the boundary line between Sussex and Lisbon as their common boundary line to allow for effective and efficient planning and development of land located within each municipality; and

WHEREAS: As part of the Cooperative Plan, 65 parcels detached from the Town of Lisbon and attached to the Village of Sussex (**Exhibit A**); and

WHEREAS: Because said 65 parcels were not previously located within the Village of Sussex, 5 of these parcels do not have a Land Use Classification; and

WHEREAS: The Sussex Plan Commission has received a petition to amend the Land Use Map and finds it to be acceptable; and

WHEREAS: The Village desires to amend the adopted 2040 Comprehensive plan, specifically the Land Use Plan Map component of the same, for Tax Key Number 256.994.003, 256.994.001, 276.997.001, 282.979.003, and 282.979.004 as follows:

The approximately 80.45 acres of the property identified by Tax Key Number 256.994.003 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 3.1 acres of the property identified by Tax Key Number 256.994.001 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 5 acres of the property identified by Tax Key Number 276.997.001 would be classified on the Land Use Map as Commercial.

The approximately 7.5 acres of the property identified by Tax Key Number 282.979.003 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 2.43 acres of the property identified by Tax Key Number 282.979.004 would be classified on the Land Use Map as Medium Density Single Family Residential.

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Sussex, adopts this resolution and recommends that the Village Board of the Village of Sussex adopt an ordinance entitled Amendment to the Village of Sussex 2040 Comprehensive Plan of the Land Use Map a component of the comprehensive plan for the Village of Sussex to accomplish the following:

Amend the Land Use classification for Tax Key Numbers 256.994.003, 256.994.001, 282.979.003, and 282.979.004 on the Land Use Map as shown on the exhibit to the Medium Density Single Family Residential Land Use Classification and Tax Key Number 276.997.001 to the Commercial Land Use Classification.

Exhibit B legal description attached hereto and incorporated herein.

ADOPTED THIS _____ DAY OF _____, 2024

Approved by a vote of ____ ayes ____ nays.

By: _____
Anthony LeDonne, Chairman

Attest: _____
Jennifer Moore, Village Clerk

STATE OF WISCONSIN
COUNTY

VILLAGE OF SUSSEX

WAUKESHA

ORDINANCE NO. 894

AMENDMENT to the 2040 COMPREHENSIVE PLAN
OF THE VILLAGE OF SUSSEX, WISCONSIN
AND SPECIFICALLY THE LAND COMPONENT OF THE SAME

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes; and

WHEREAS: the Village Board for the Village of Sussex is authorized to make changes to the adopted Comprehensive Plan upon recommendation of the Village Plan Commission; and

WHEREAS: the Plan Commission reviewed the amendment to the land use map, a component of the comprehensive plan, to change the Land Use classification for the properties identified by Tax Key Numbers 256.994.003, 256.994.001, 276.997.001, 282.979.003, and 282.979.004 as follows:

The approximately 80.45 acres of the property identified by Tax Key Number 256.994.003 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 3.1 acres of the property identified by Tax Key Number 256.994.001 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 5 acres of the property identified by Tax Key Number 276.997.001 would be classified on the Land Use Map as Commercial.

The approximately 7.5 acres of the property identified by Tax Key Number 282.979.003 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 2.43 acres of the property identified by Tax Key Number 282.979.004 would be classified on the Land Use Map as Medium Density Single Family Residential.

WHEREAS: the Plan Commission made a finding the proposed amendment is consistent with the spirit and intent of the comprehensive plan.

WHEREAS: the Village Plan Commission, by a majority vote, adopted resolution #24-06, a copy of which is on file with the Village Clerk's office, recommending to the Village Board an amendment to the land use map which is a component of the comprehensive plan; and

WHEREAS: the Village Board conducted a public hearing on May 28, 2024 regarding the proposed amendment in compliance with the requirements of section 66.1001(4)(d) of the Wisconsin Statutes; and

WHEREAS: the Village Board of the Village of Sussex, having carefully reviewed the recommendation of the Village Plan Commission, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration of the plan components, as may be herein amended, relating to issues and opportunities, housing transportation, utilities and community facilities, agricultural, natural and cultural resources, economic development, inter governmental cooperation, land-use, and implementation has determined that the comprehensive plan dated May 22, 2018, as herein amended, will serve the general purposes of guiding and accomplishing a coordinated, adjusted and harmonious development of the Village of Sussex which will, in accordance with existing and future need, best promote public health, safety, morals, order convenience, prosperity and general welfare, as well as efficiency and economy in the process of development.

NOW THEREFORE, the Village Board of the Village of Sussex, do ordain as follows:

SECTION 1. FINDINGS

The Village Board makes the following finding relating to the plan amendment:

1. The subject properties to be reclassified on the land use map is appropriate to be reclassified to the proposed land use classification due to complimentary existing land uses adjacent to the property.
2. The proposed amendment is consistent with the spirit and intent of the comprehensive plan.

SECTION 2. AMENDMENT

The Village of Sussex's comprehensive plan is hereby amended to change the land use classification of the properties identified by Tax Key Numbers 256.994.003, 256.994.001, 276.997.001, 282.979.003, and 282.979.004 as follows:

The approximately 80.45 acres of the property identified by Tax Key Number 256.994.003 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 3.1 acres of the property identified by Tax Key Number 256.994.001 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 5 acres of the property identified by Tax Key Number 276.997.001 would be classified on the Land Use Map as Commercial.

The approximately 7.5 acres of the property identified by Tax Key Number 282.979.003 would be classified on the Land Use Map as Medium Density Single Family Residential.

The approximately 2.43 acres of the property identified by Tax Key Number 282.979.004 would be classified on the Land Use Map as Medium Density Single Family Residential.

SECTION 3. DISTRIBUTION OF RECOMMENDED AMENDMENT

1. The Village Administrator is directed to send a copy of this ordinance to the following along with an explanatory cover letter:
2. Clerk of each adjoining municipality;
3. County Clerk of the Waukesha County Administration Center, 1320 Pewaukee Road, Room 120; Waukesha, WI 53188;
4. Executive Director of the Southeast Wisconsin Regional Planning Commission; P.O. Box 1607
5. Waukesha, WI 53188;
6. Director; Waukesha County Department of Parks and Land Use; 515 W. Moreland Blvd Waukesha, WI 53188;
7. Wisconsin Department of Administration, Comprehensive Planning Program, 101 E. Wilson Street, 9th Floor Madison, WI 53703;
8. Pauline Haass Public Library N64W23820 Main Street, Sussex, WI 53089

SECTION 4. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2024.

VILLAGE OF SUSSEX

Anthony J. LeDonne, Village President

ATTEST:

Jennifer Moore, Village Clerk-Treasurer

Approved by a vote of _____ ayes _____ nays.



VILLAGE OF SUSSEX

2040 Land Use Map

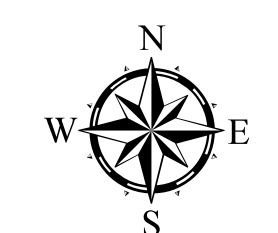
Amended by Village Board January 12, 2009
Amended by Village Board December 11, 2012
Amended by Village Board June 24, 2014
Amended by Village Board December 9, 2014
Amended by Village Board March 31, 2015
Amended by Village Board December 8, 2015
Amended by Village Board May 22, 2018
Amended by Village Board August 14, 2018
Amended by Village Board June 9, 2020
Amended by Village Board May 25, 2021
Annexed to the Village February, 2022

2022 Annexed Land Use

- Commercial
- Medium Density Single-Family Residential
- 2022 Village Limits with Annexations

Existing 2040 Land Use

- Open Land
- Single-Family Attached and Two-Family Residential
- Low Density Single-Family Residential
- Medium Density Single-Family Residential
- Multi-Family Residential
- Commercial
- Commerce Center
- Industrial
- Quarry
- Government and Institutional
- Recreational
- Publicly Owned Open Space
- Streets and Highways
- Railway, Communications and Utilities
- Surface Water
- Village Limits



0 500 1,000 2,000 3,000
Feet

DRAFT WITHOUT OVERLAYS

De-Annexed from the Village

Annexed
Land Use

STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. 895

**AN ORDINANCE TO CONDITIONALLY REZONE
RECENTLY ANNEXED LANDS FROM THE TOWN
OF LISBON INTO THE VILLAGE OF SUSSEX**

WHEREAS: The Village of Sussex Village Board of Trustees approved a Cooperative Plan with the Town of Lisbon on January 25, 2022; and

WHEREAS: Said Cooperative Plan set the boundary line between Sussex and Lisbon as their common boundary line to allow for effective and efficient planning and development of land located within each municipality; and

WHEREAS: As part of the Cooperative Plan, 65 parcels detached from the former Town of Lisbon and attached to the Village of Sussex (**Exhibit A**); and

WHEREAS: Because said 65 parcels were not previously located within the Village of Sussex, a Zoning Classification is required to be assigned to each parcel with the exception of the parcel identified by Tax Key Number 203.993.001 in **Exhibit A** having already been rezoned to the TS-1 Traditional Suburban Single-Family District as part of the Golden Fields of Sussex subdivision development reducing the number of parcels to be rezoned to 64;

WHEREAS: Upon due notice as required by Section 17.1300 and 17.1400 of the Village Code, the Village Board held a public hearing on April 23, 2024, as required by Section 17.1305 of the Village Code; and

WHEREAS: The Plan Commission has reviewed the basis for approval described in Section 17.1300 of the Village Code and has found that the proposed rezoning is in keeping with the general welfare and good zoning practice of the Village of Sussex, subject to all terms and conditions of this zoning ordinance being satisfied; and

WHEREAS: The subject lands were annexed to the Village approximately one (1) year ago; and

WHEREAS: The Plan Commission as required by Section 17.0401.E. shall within one (1) year of annexation , evaluate and recommend a permanent classification for annexed lands to the Village Board based upon various planning documents and goals with particular emphasis on the Village's Land Use Plan., and

WHEREAS: The Village Plan Commission of the Village of Sussex has recommended to the Village Board of the Village of Sussex that said zoning changes be made upon certain conditions; and

WHEREAS: The Village of Sussex has reviewed the basis for approval of the petition described in Section 17.1300, and concurs with the Village Plan Commission, and makes the same findings, subject to all terms and conditions of this zoning ordinance being duly satisfied as required herein; and

WHEREAS: The Village Board of the Village of Sussex having carefully reviewed the recommendation of the Plan Commission of the Village of Sussex, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the health, safety and welfare of the community, immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved as well as the impact on the surrounding properties as to noise, dust, smoke and odor, and others hereby determine that the rezoning will not violate the spirit or intent of the Zoning Code for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be hazardous, harmful, noxious, offensive and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the operation is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendation found in the Village of Sussex master plan.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1: The subject parcels as listed in **Exhibit A** is hereby rezoned to corresponding Zoning Districts as described in **Exhibit A** and the Zoning Map of the Village of Sussex is hereby amended, subject to the terms and conditions described herein.

SECTION 2: SEVERABILITY. The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE. This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2024.

VILLAGE OF SUSSEX

Anthony LeDonne
Village President

ATTEST: _____
Jennifer Moore
Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2024.

EXHIBIT A

Tax Key	Proposed Zoning District
SUXV0282979003	Rs-3 Single Family Residential
SUXV0282979004	Rs-3 Single Family Residential
SUXV0199989004	Rs-2 Single Family Residential
SUXV0199989005	Rs-2 Single Family Residential
SUXV0199989003	Rs-2 Single Family Residential
SUXV0199989002	Rs-2 Single Family Residential
SUXV0229992001	Rs-1 Single Family Residential
SUXV0256994001	Rs-3 Single Family Residential
SUXV0256994003	Rs-3 Single Family Residential
SUXV0256994002	Rs-3 Single Family Residential
SUXV0204993004	Rs-2 Single Family Residential
SUXV0204993005	Rs-2 Single Family Residential
SUXV0204993003	Rs-2 Single Family Residential
SUXV0204993007	Rs-2 Single Family Residential
SUXV0201998004	Rs-1 Single Family Residential
SUXV0201998003	Rs-1 Single Family Residential
SUXV0199989009	CR-1 Conservancy Residential
SUXV0198995003	CR-1 Conservancy Residential
SUXV0253998001	Rs-3 Single Family Residential
SUXV0229992004	Rs-3 Single Family Residential
SUXV0229992003	Rs-3 Single Family Residential
SUXV0225997001	Rs-3 Single Family Residential
SUXV0225997002	Rs-3 Single Family Residential
SUXV0199989008	Rs-2 Single Family Residential
SUXV0199989006	Rs-2 Single Family Residential
SUXV0199989007	Rs-2 Single Family Residential
SUXV0248980002	Rs-3 Single Family Residential
SUXV0248980003	Rs-3 Single Family Residential
SUXV0248980001	Rs-3 Single Family Residential
SUXV0250993004	B-1 Neighborhood Business
SUXV0250993002	B-1 Neighborhood Business
SUXV0250993003	B-1 Neighborhood Business
SUXV0194992002	Rs-1 Single Family Residential
SUXV0194992003	Rs-1 Single Family Residential
SUXV0194992005	Rs-1 Single Family Residential
SUXV0194992004	Rs-1 Single Family Residential
SUXV0197998002	Rs-1 Single Family Residential
SUXV0194992001	Rs-1 Single Family Residential
SUXV0251991005	SFRD-3 Single Family Attached
SUXV0251991004	SFRD-3 Single Family Attached
SUXV0250993001	SFRD-3 Single Family Attached
SUXV0199989001	Rs-2 Single Family Residential
SUXV0198995001	Rs-1 Single Family Residential
SUXV0198995002	Rs-1 Single Family Residential

EXHIBIT A

SUXV0198995004	Rs-1 Single Family Residential
SUXV0198995005	Rs-1 Single Family Residential
SUXV0204993002	Rs-2 Single Family Residential
SUXV0204993001	Rs-2 Single Family Residential
SUXV0204993008	Rs-2 Single Family Residential
SUXV0204993009	Rs-2 Single Family Residential
SUXV0229992002	Rs-2 Single Family Residential
SUXV0229992007	Rs-2 Single Family Residential
SUXV0229992008	Rs-2 Single Family Residential
SUXV0229992006	Rs-2 Single Family Residential
SUXV0229992005	Rs-2 Single Family Residential
SUXV0251991002	BP-1 Business Park District
SUXV0251991001	BP-1 Business Park District
SUXV0276997001	B-3 Highway Business
SUXV0204993006	Rs-2 Single Family Residential
SUXV0203993002	TS-1 Traditional Suburban Single Family
SUXV0203993003	TS-1 Traditional Suburban Single Family
SUXV0203993001	TS-1 Traditional Suburban Single Family
SUXV0251991006	Rs-2 Single Family Residential
SUXV0194992006	Rs-3 Single Family Residential
SUXV0201998005	Rs-1 Single Family Residential

Legend

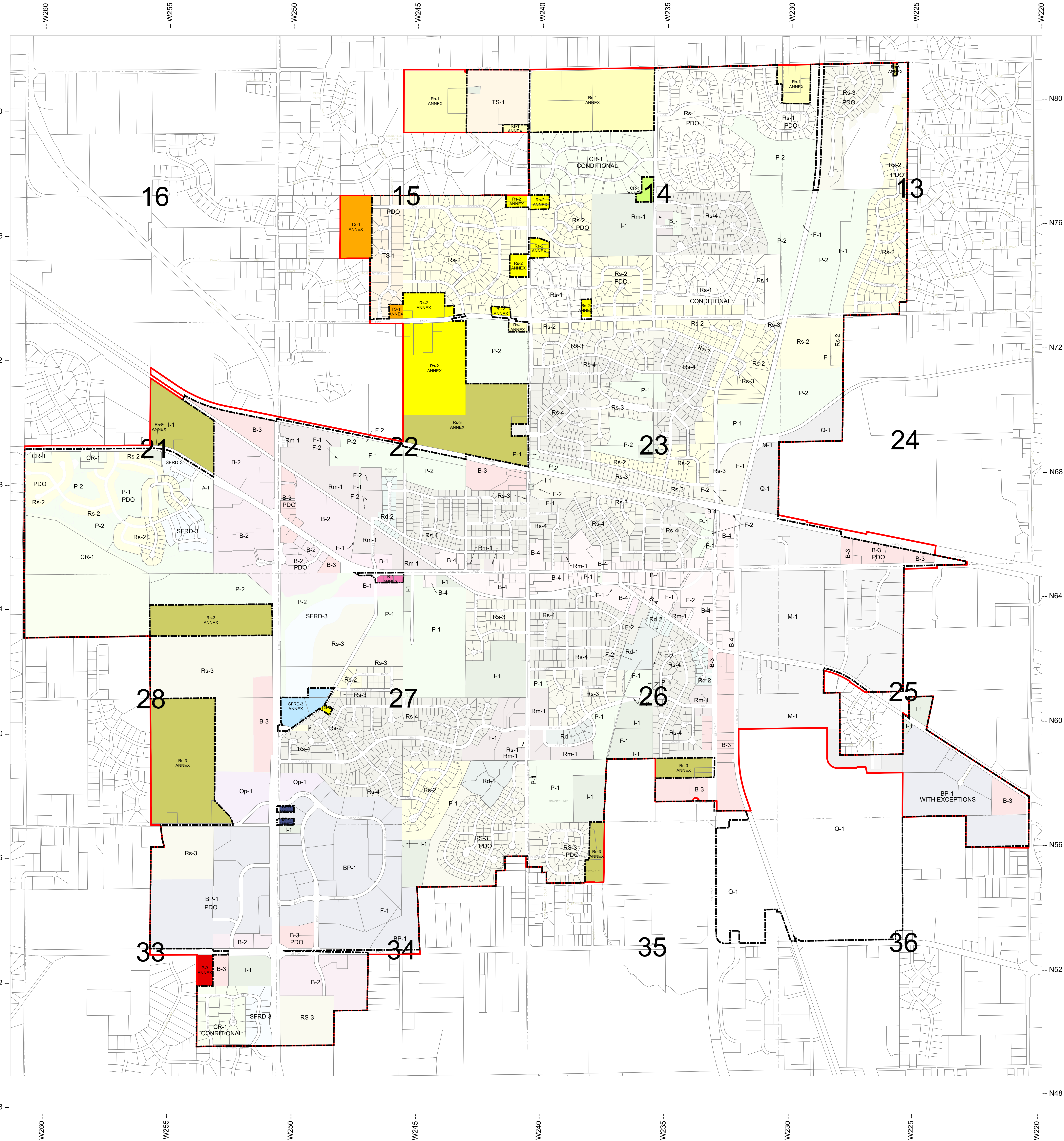
- 2022 Village Limits
- 2021 Village Limits

Annexed Zoning 2022

- CONSERVANCY RESIDENTIAL (CR-1)
- TRADITIONAL SUBURBAN SINGLE-
- SINGLE-FAMILY RESIDENTIAL (Rs-1)
- SINGLE-FAMILY RESIDENTIAL (Rs-2)
- SINGLE-FAMILY RESIDENTIAL (Rs-3)
- SINGLE-FAMILY (SFRD-3)
- NEIGHBORHOOD BUSINESS (B-1)
- REGIONAL BUSINESS (B-2)
- HIGHWAY BUSINESS (B-3)
- BUSINESS PARK DISTRICT (BP-1)
- OFFICE PARK DISTRICT (OP-1)
- AGRICULTURE (A-1)
- CONSERVANCY RESIDENTIAL (CR-1)
- TRADITIONAL SUBURBAN SINGLE (TS-1)
- SINGLE-FAMILY RESIDENTIAL (Rs-1)
- SINGLE-FAMILY RESIDENTIAL (Rs-2)
- SINGLE-FAMILY RESIDENTIAL (Rs-3)
- SINGLE-FAMILY RESIDENTIAL (Rs-4)
- SINGLE-FAMILY (SFRD-3)
- TWO-FAMILY RESIDENTIAL (Rd-1)
- TWO-FAMILY RESIDENTIAL (Rd-2)
- MULTI-FAMILY RESIDENTIAL (Rm-1)
- NEIGHBORHOOD BUSINESS (B-1)
- REGIONAL BUSINESS (B-2)
- HIGHWAY BUSINESS (B-3)
- CENTRAL MIXED USE BUSINESS (B-4)
- BUSINESS PARK DISTRICT (BP-1)
- OFFICE PARK DISTRICT (OP-1)
- INDUSTRIAL (M-1)
- QUARRY (Q-1)
- INSTITUTIONAL (I-1)
- PARK (P-1, P-2)

DATE	ORD.	COMMENT
8/28/1998	540	REZONE M-1 TO B-3
1/4/1999	MISC	YEARLY UPDATE OF ANNEXED LANDS TO A-1
1/26/1999	545	REZONE RS-4 TO RS-2
9/1/2000	543	REZONE A-1 TO RS-1 WITH PDO
9/1/2000	552	REZONE I-1 TO A-1
9/1/2000	554	REZONE M-1 TO B-3
9/1/2000	555	REZONE A-1 TO RS-2 AND Rd-1 (Split)
9/1/2000	561	REZONE B-3 TO B-3 WITH PDO
7/25/2000	570	REZONE A-1 TO BP-1
10/5/2000	571	REZONE TO B-3 WITH PDO
11/14/2000	580	ZONE ANNEXED LAND TO I-1
7/24/2001	590	COND. REZONE - ADJUST F-1 FP AND FFO DIST.
11/27/2001	599	REZONE A-1 TO RS-1 AND RS-2
2/26/2002	604	REZONE B-3 AND I-1 TO B-4
4/23/2002	605	REZONE A-1 TO CR-1
4/23/2002	607	REZONE B-2a AND P-2
5/28/2002	611	REZONE TO RM-1
7/23/2002	620	REZONE A-1 TO RS-1
10/22/2002	623	REZONE I-1 TO B-4
10/28/2004	633	AMMEND F-1, F-2, AND LCO
3/23/2004	637	REZONE A-1 TO B-5
7/27/2004	654	REZONE B-3 TO B-2a
10/26/2010	736	ANNEXED LANDS TO B-2
2/22/2011	739	REPEAL AND RECREATE ZONING MAP
4/1/2011	MISC	YEARLY UPDATES
4/16/2013	746	ANNEXED LANDS TO B-3
4/16/2013	767	ANNEXED LANDS TO B-2 AND RS-3
7/30/2014	780	AMMEND Q-1, REZONE M-1 TO Q-1
8/19/2014	781	REZONE RM-1 TO B-4
10/8/2015	MISC	Updates
2/24/2015	788	REZONE RS-3 & SFRD-3 TO INCLUDE PDO
2/24/2015	789	ANNEXED LANDS TO B-2
3/24/2015	790	ANNEXED LANDS TO RS-3
4/28/2015	793	REZONE A-1 TO B-3, BP-1, B-2
6/18/2015	802	REZONE RS-2 TO RS-2 WITH PDO
7/28/2015	803	REZONE B-2 TO B-2 WITH PDO
8/25/2015	805	REZONE B-1 TO B-4
12/8/2015	815	REZONE A-1 TO RS-3 WITH PDO
9/27/2016	825	ANNEXED LANDS TO RS-2 & INRA
12/28/2016	828	ANNEXED LANDS TO RS-2 WITH PDO & INRA
1/27/2017	MISC	Basemap updates
6/22/2018	838	REZONE A-1, B-3 TO BP-1 & B-2 W/PDO
8/14/2018	841	REZONE RM-1 TO RS-3 and Basemap Updates
3/12/2019	846	REZONE RS-2 & RS-3 WITH PDO, SEC & LCO
9/24/2019	856	ANNEXED LANDS TO RS-4
4/28/2020	867	ANNEXED LANDS TO RS-4
6/19/2020	864	REZONE VISTA RUN & PUD
5/25/2021	876	ANNEXED LANDS TO A-1 & BP-1 W/PDO
10/6/2022		ANNEXATIONS TO THE VILLAGE

I THE UNDERSIGNED, VILLAGE PRESIDENT OF THE VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN, DO HEREBY CERTIFY THAT THIS "ZONING MAP, VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN", WAS ADOPTED AND APPROVED AS PART OF THE "ZONING ORDINANCE- VILLAGE OF SUSSEX, WISCONSIN", ON FEBRUARY 29, 1998 AND IS AVAILABLE IN THE OFFICE OF THE VILLAGE CLERK. CHANGES THEREAFTER, SHALL NOT BECOME EFFECTIVE UNTIL ENTERED AND ATTESTED ON THIS CERTIFIED COPY.



DRAFT 2022 ZONING MAP without Overlays
FOR THE
VILLAGE OF SUSSEX

ATTESTATION:
VILLAGE PRESIDENT _____ DATE _____
VILLAGE CLERK _____ DATE _____

