

VILLAGE OF SUSSEX
SUSSEX, WISCONSIN

Minutes of the Architectural Review Board (ARB) meeting held on March 11, 2020.

Chairperson Greg Goetz called the meeting to order at 10:03 a.m.

Members present: Greg Goetz, Greg Zoellick, Amanda Schauer, and Melissa Granicki.

Members absent: None

Others present: Kasey Fluet, Assistant Development Director (ADD).

Consideration and possible action on the minutes of February 5, 2020.

A motion by Schauer, seconded by Granicki to approve the minutes of the meeting held on February 5, 2020. Motion carried.

Consideration and possible action on the site, architectural, lighting and landscape for Prestwick Group addition (W248N5499 Executive Drive).

Stu LaRose –MSI General and Brian Nelson Zimmerman Studios were present for this matter

Fluet reviewed the memo (copy attached). Mr. Nelson reviewed the architectural plans and the materials to be used (photo attached).

A motion by Goetz seconded by Schauer to approve the site, architectural, lighting and landscape for Prestwick Group addition (W248N5499 Executive Drive). Motion carried.

Consideration and possible action on a site, architectural, lighting, landscape and sign plans for The Courtyard at Sussex Assisted Living facility (W235N6350 Hickory Drive).

Ken Koziczowski Architect from Ganther Architecture was present for this matter.

Koziczowski reviewed the plans.

Fluet reviewed the memo (copy attached). Zoellick asked about the gate at the Pembroke cul de sac. Koziczowski stated it would be a gate and the access is restricted to public safety.

Site- It was the consensus of the ARB the site plan meets the requirements.

Granicki stated it is a nice dumpster enclosure.

Architectural – It was the consensus of the ARB the architecture plan meets the requirements.

Fluet reviewed the lighting plan. Granicki asked about the lights and concern for the backyard of the neighbors, Koziczowski stated the west end there are no light poles, the lights are on the building.

Lighting – It was the consensus of the ARB the plan meets the requirements.

Goetz stated concern for neighbor on Sunset near the pond, more than landscape should be added, fencing should also be added.

Landscape – It was the consensus of the ARB the plan meets the requirements and the motion should include fencing to be added at the property line for the two homes on Sunset Drive.

An updated rendering (copy attached) for the monument sign was submitted showing a different logo rendering.

Sign – It was the consensus of the ARB the sign plan meets the requirements.

A motion by Goetz, seconded by Schauer to approve the site plan, architectural plan, lighting plan, landscape plan and sign plan for The Courtyard at Sussex, Assisted Living Facility (W235N6350 Hickory Drive) subject to the following conditions:

- Add street trees in the right of way along Silver Spring and Hickory Drive.
- Add a screening fence at the north east corner near the rain garden #3 storm water basin to screen the two backyard properties on Sunset Drive.
- Approval of the new updated logo for the monument sign face.

Motion carried.

A motion by Goetz, seconded by Schauer to adjourn the meeting at 11:00 a.m.

Motion carried.

Respectfully submitted,
Kasey Fluet, Assistant Development Director



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

Architectural Review Board Agenda
Wednesday, March 11, 2020

10:00 a.m. at Sussex Civic Center - Committee Room Second Floor

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Sussex Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location.

Notice of Village Board Quorum, (Chairperson to announce the following if a quorum of the Village Board is in attendance at the meeting: Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during any Public Hearing(s) or if the rules are suspended to allow them to do so.)

- I. Consideration and possible action on the minutes of February 5, 2020
- II. Consideration and possible action on the site, architectural, lighting and landscape for Prestwick Group addition (W248N5499 Executive Drive).
- III. Consideration and possible action on a site, architectural, lighting, landscape and sign plans for The Courtyard at Sussex Assisted Living Facility (W235N6350 Hickory Drive).
- IV. Adjournment.

Gregory Goetz
Chairperson

Jeremy Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Jeremy Smith at 246-5200.



N64W23760 Main Street
Sussex, Wisconsin 53089
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Website: www.villagesussex.org

MEMORANDUM

TO: Architectural Review Board

FROM: Kasey Fluet, Assistant Development Director

RE: ARB meeting for March 11, 2020

DATE: February 26, 2020

The following is background information for the ARB agenda items. Please refer to the Design Standards dated March 25, 2014.

I. Consideration and possible action on the ARB minutes from the February 5, 2020 meeting.

II. Consideration and possible action on the site, architectural, lighting and landscape for Prestwick Group addition (W248N5499 Executive Drive).

This site is zoned BP-1. The manufacturing and assembling of product is a permitted use in accordance with Section 17.0420 (A)(6) in the BP-1 Business Park District. Prestwick Group is expanding their operations of light manufacturing of high-end golf course and community amenities. The expansion would add 33,000 square feet to the north side of the building, front entrance improvements and additional parking. In order for this expansion to occur, they needed additional land and purchased the vacant lot to the north.

The following are comments for the plans for the addition:

Site

- Need to record a cross access agreement for the shared parking lot
- Need to provide more details about proposed monument sign at the south drive entrance.
- Adding 134 stalls to the site with an additional 65 to the property to the north.

Architecture

- Building meets height and required setbacks.
- Material to be used meets the Design Standards.

Lighting

- Lighting must not spill out onto neighboring properties.
- Pole height not to exceed 25 feet, bases are to be buried or if exposed they shall be painted to blend in with the surroundings or have a decorative base.

Landscape

- The will be adding to the existing landscape and meet the Design Standards; 63 tree/evergreens and 136 shrubs/flowers

Policy Question:

1. Where is the existing dumpster enclosure? Are there any changes to the enclosure?

Staff Recommendation: Staff recommends the ARB recommend approval of the site, architectural, lighting and landscape plans for Prestwick Group subject to any following conditions.

III. Consideration and possible action on a site, architectural, lighting, landscape and sign plans for The Courtyard at Sussex Assisted Living Facility (W235N6350 Hickory Drive).

This site is zoned B-4. The community based residential facility (CBRF) is a conditional use in the B-4 Central Mixed Use District in accordance with Section 17.0506 (B)(3). The Matthews Senior Living group is proposing to construct a 103,999 square foot senior living facility. The facility will have a total of 110 units 58 units for residential care apartments (10-studio, 42-one bedroom and 6-two bedroom) 27 assisted living units and 25 memory care units.

Site

- The site will have 74 parking stalls, the code requires 55 spaces for this type of use.
- Access off Hickory Drive aligns with access to property to the east. Proposing a 6 foot sidewalk along Hickory Drive to connect to Silver Spring sidewalk. Path provided to connect with the bugline trail.
- Pembroke street cul de sac will have a 14 foot wide emergency access road with gate.
- Proposed 24x24 dumpster enclosure and a 20x14 shed, both structures to be constructed with material matching the building.
- All plans are subject to final review by the Village Engineer and obtaining the necessary permits from the DNR.

Architectural

- Building meets height and required setbacks.
- Material to be used meets the Design Standards.

Lighting

- Lighting must not spill out onto neighboring properties.
- Pole height not to exceed 25 feet, bases are to be buried or if exposed they shall be painted to blend in with the surroundings or have a decorative base.

Landscape

- The plan meets the Design Standards; 63 trees, 92 evergreens 300 shrubs/flowers.
- 15 foot landscape buffer with some fencing along south side as a buffer for the Hickory Heights residential homes

Sign

- ~~The monument sign does not meet the Design Standards, the sign should have side pillar(s) of material that matches the base.~~

Staff Recommendation: Staff recommends the ARB recommend to the Plan Commission to approve the site, architectural, lighting, landscape and sign plans for The Courtyard at Sussex Assisted Living Facility (W235N6350 Hickory Drive); subject to the following conditions:

- ~~Add pillar(s) to the monument sign~~



zimmerman
ARCHITECTURAL STUDIOS, INC.

LEGEND OF SYMBOLS & ABBREVIATIONS

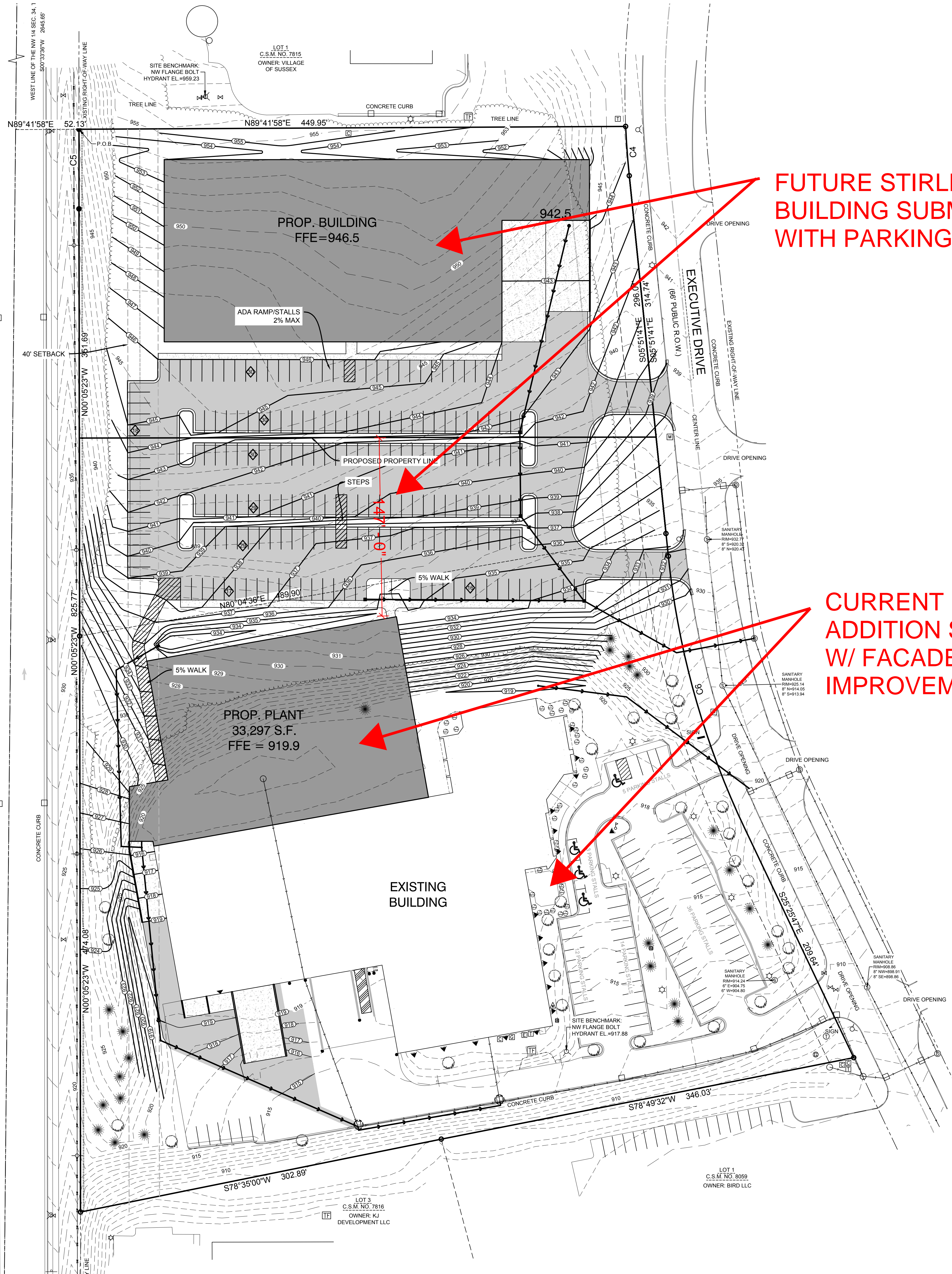
	SANITARY MANHOLE		FIBER OPTIC MARKER		SIGN
	STORM MANHOLE		FIBER OPTIC MANHOLE/VAULT		MAIL BOX
	CLEANOUT		TELEPHONE PEDESTAL		FLAG POLE
	CATCH BASIN		BASKETBALL HOOP		BOLLARD
	LATERAL		TRANSFORMER		CROSS CUT
	UNKNOWN MANHOLE		ELECTRIC METER/PEDESTAL		IRON PIPE
	WELL		ELECTRIC MANHOLE/VAULT		FOUND 3/4\"/>
	HYDRANT		CABLE TV RISER/BOX		MAG NAIL
	WATER VALVE		CABLE TV MANHOLE/VAULT		SECTION MONUMENT
	DOWN SPOUT		GAS VALVE		BENCHMARK
	SPRINKLER VALVE		GAS METER		CONIFER TREE
	WATER SHUT OFF		GAS MARKER		DECIDUOUS TREE
	STANDPIPE		AIR CONDITIONING UNIT		BUSH
	WATER MANHOLE		VENT		WETLAND SYMBOL
	FLOOD LIGHT		DIRECTIONAL ARROW		C.L. - CENTERLINE
	LIGHT POLE		DUMPPSTER		CONC. - CONCRETE
	TRAFFIC SIGNAL		HANDICAP STALL		EL. - ELEVATION
	UTILITY POLE		SPOT ELEVATION		EXT. - EXISTING
	GUY WIRE		INV. - INVERT		MON. - MONUMENT
	EMERGENCY FIRE SERVICE		P.O.B. - POINT OF BEGINNING		P.O.C. - POINT OF COMMENCEMENT
	SANITARY SEWER		P.O.W. - POINT OF WAY		SEC. - SECTION
	STORM SEWER		SQ. FT. - SQUARE FEET		W. - WITH
	WATER MAIN		REC. AS - RECORDED AS		(D) - DEEDED AS
	FIBER OPTIC LINE				
	TELEPHONE LINE				
	ELECTRIC LINE				
	OVERHEAD WIRES				
	CABLE TELEVISION				
	GAS MAIN				
	WETLANDS				
	TREE LINE				
	NO ACCESS				

PLAN | DESIGN | DELIVER
WWW.PINNACLE-ENG.COM

STATE TRUNK HIGHWAY "164"
(VARIABLE PUBLIC ROW)

CONCRETE CURB

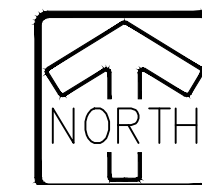
CONCRETE CURB MEDIAN



FUTURE STIRLING
BUILDING SUBMITTAL
WITH PARKING

CURRENT PLANT
ADDITION SUBMITTAL
W/ FACADE
IMPROVEMENTS

NORTH PARCEL
BUILDING AREA = 45,300 SF
PAVEMENT & SIDEWALK AREA = 33,650 SF
GREENSPACE AREA = 38,800 SF
TOTAL AREA = 117,750 SF
PERCENT IMPERVIOUS = 67.05%
PERCENT GREEN = 32.95%
SOUTH PARCEL
PROPOSED BUILDING AREA = 33,297 SF
EXISTING BUILDING AREA = 55,996 SF
PAVEMENT & SIDEWALK AREA = 110,405 SF
GREENSPACE AREA = 113,311 SF
TOTAL AREA = 313,009 SF
PERCENT IMPERVIOUS = 63.80%
PERCENT GREEN = 36.20%



GRAPHICAL SCALE (FEET)
0 1" = 40' 80'



MSI GENERAL CORPORATION
P.O. BOX 7
OCONOMOWOC, WI 53066
PHONE: 262-367-3661
FAX: 262-367-7390

WWW.MSIGENERAL.COM
SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

Proposal: --
Bid: --
Contract: --
State Submittal / Permit: 1/9/2020
As-Built: --

REVISIONS:

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The Prestwick Companies

PROJECT ADDRESS:

The Prestwick Companies
W248 N5499 Executive Drive
Sussex, WI 53089

ALL WORK TO BE COMPLETED AS SHOWN, AND IN
ACCORDANCE WITH THE LATEST EDITION OF THE
MSI GENERAL MASTER SPECIFICATION

ANK PEG PEG
PRELIMINARY
GRADING PLAN
C-101
4487
P12568

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



View From NE Entry Drive

190108.00 | January 23, 2019



Entrance/Facade Improvements
& Plant Expansion
W248 W5499 Executive Drive





View from SE Entry Drive

190108.00 | January 23, 2019



Entrance/Facade Improvements
& Plant Expansion
W248 W5499 Executive Drive





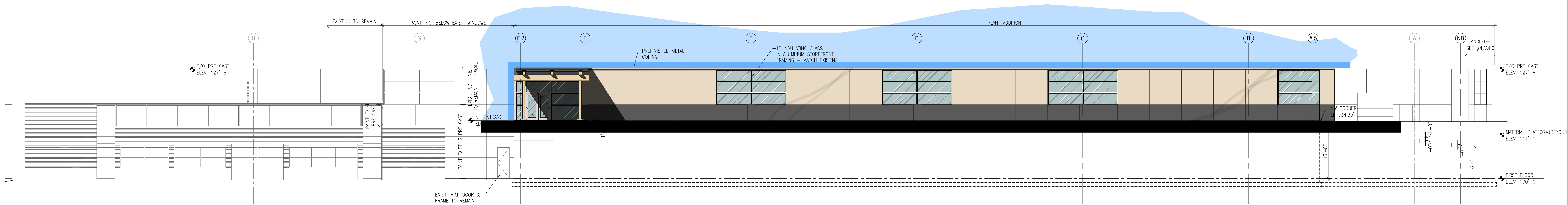
View of New Entrance Canopy

190108.00 | January 23, 2019

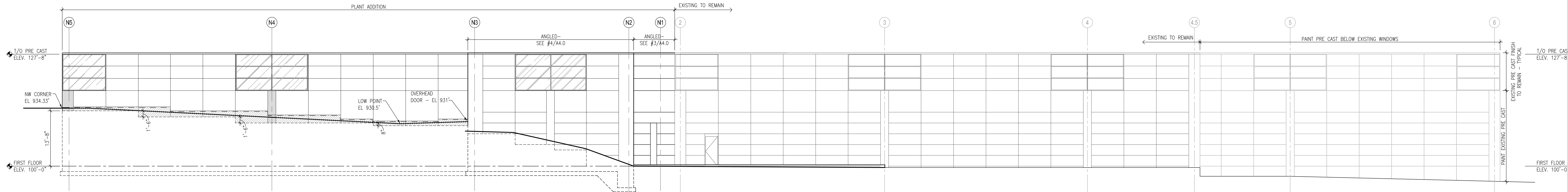


Entrance/Facade Improvements
& Plant Expansion
W248 W5499 Executive Drive

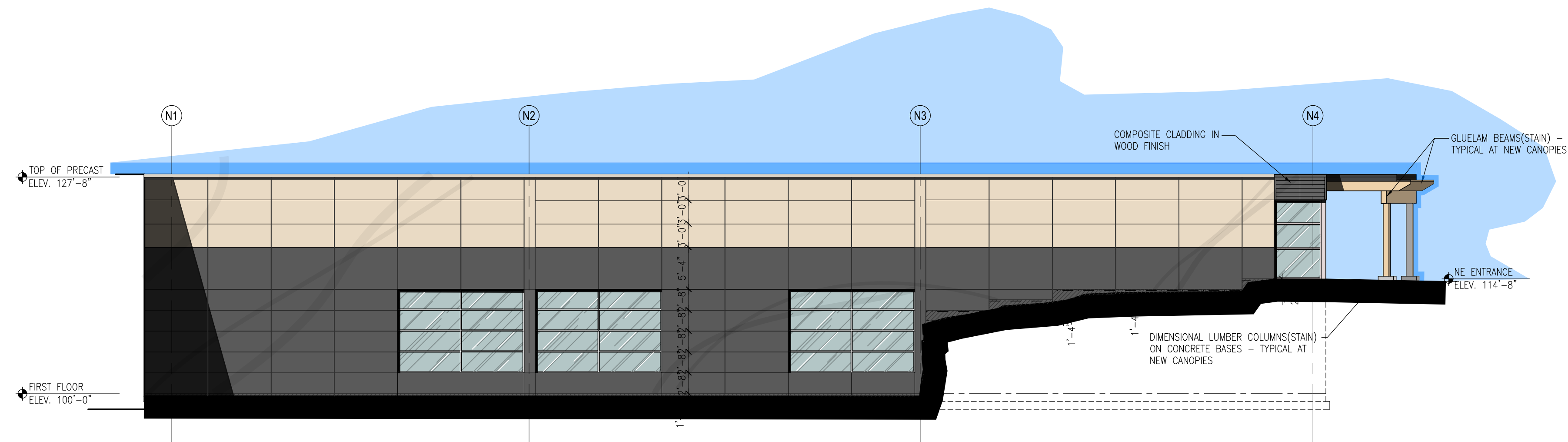




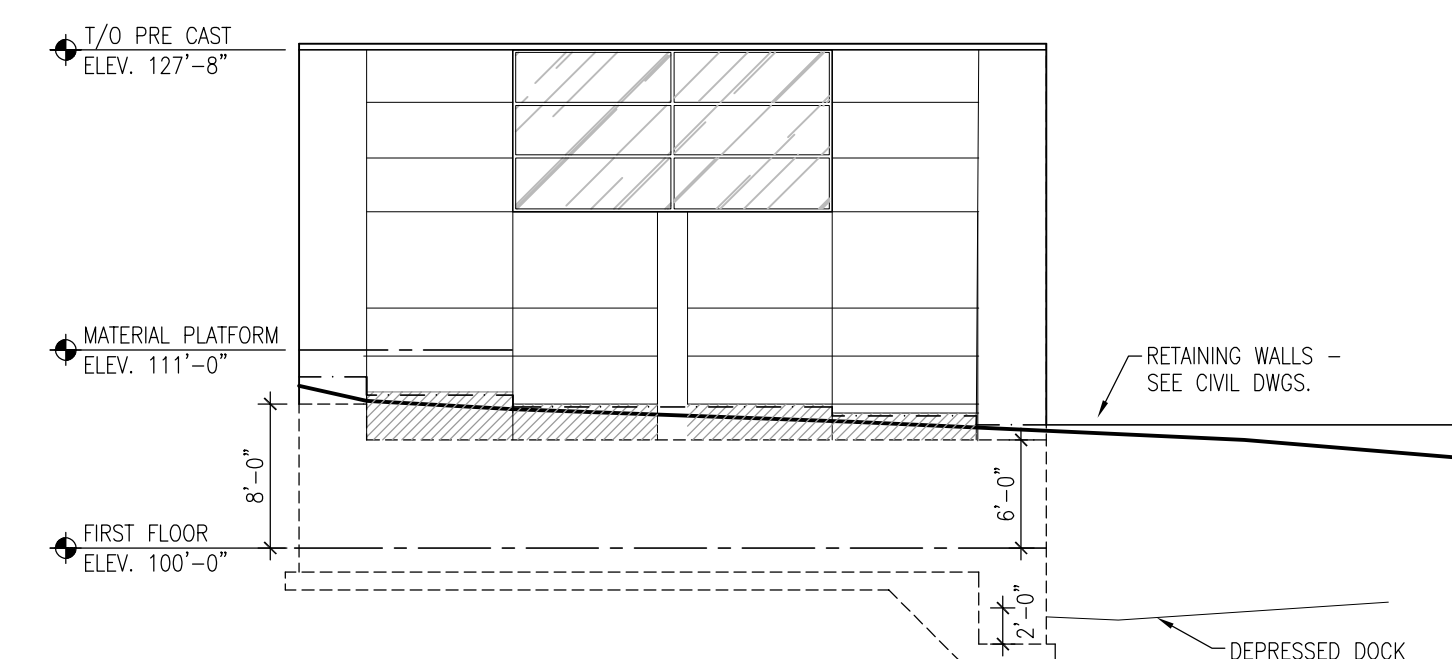
1 North Elevation
3/32" = 1'-0"



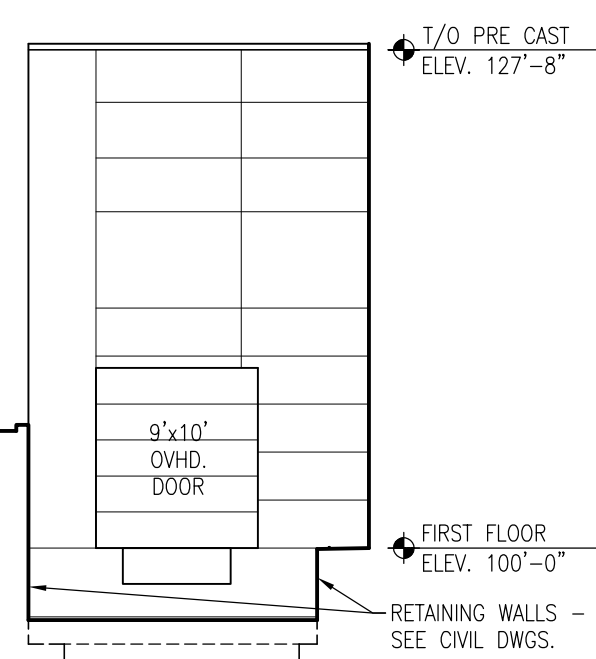
2 West Elevation
3/32" = 1'-0"



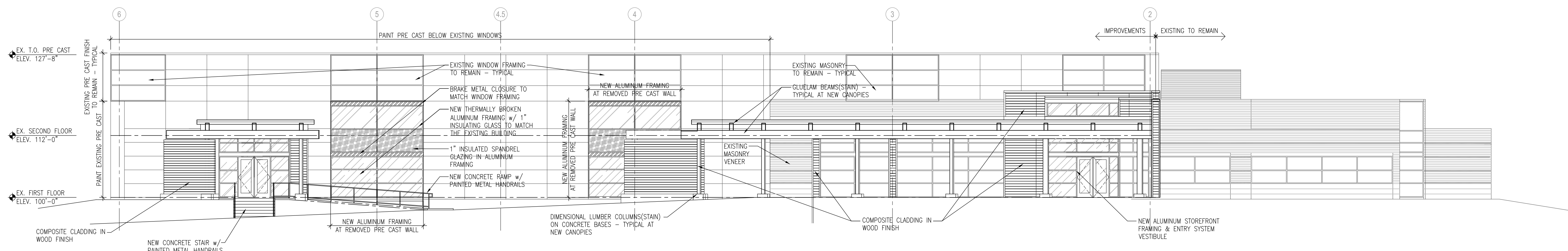
5 Addition East Elevation
3/32" = 1'-0"



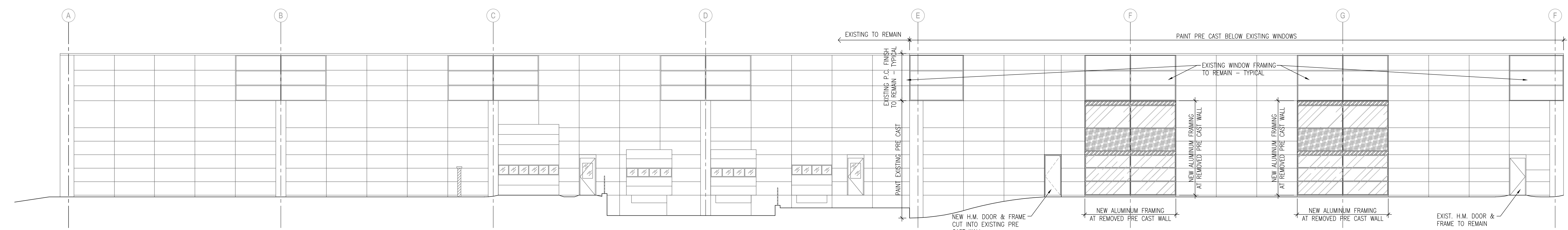
4 Partial West Elevation
3/32" = 1'-0" @ NEW DOCK



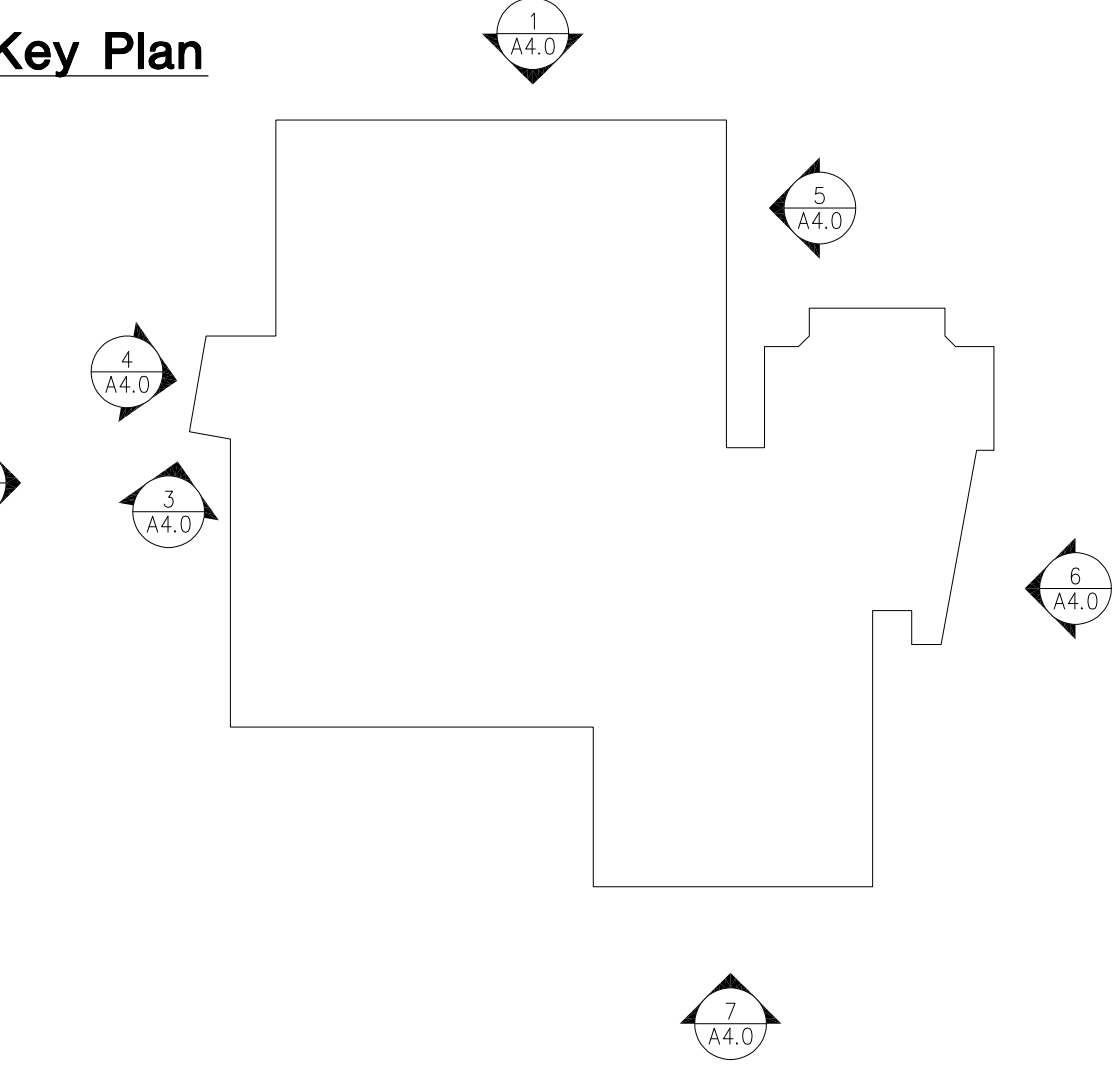
3 Partial South Elevation
3/32" = 1'-0" @ NEW DOCK



6 New East Elevation
3/32" = 1'-0"



6 Existing Building - South Elevation
3/32" = 1'-0"



Key Plan

STATE TRUNK HIGHWAY "164"

(VARIABLE PUBLIC R.O.W.)

PROPOSED BUILDING #2

(66' PUBLIC R.O.W.)

EXECUTIVE DRIVE



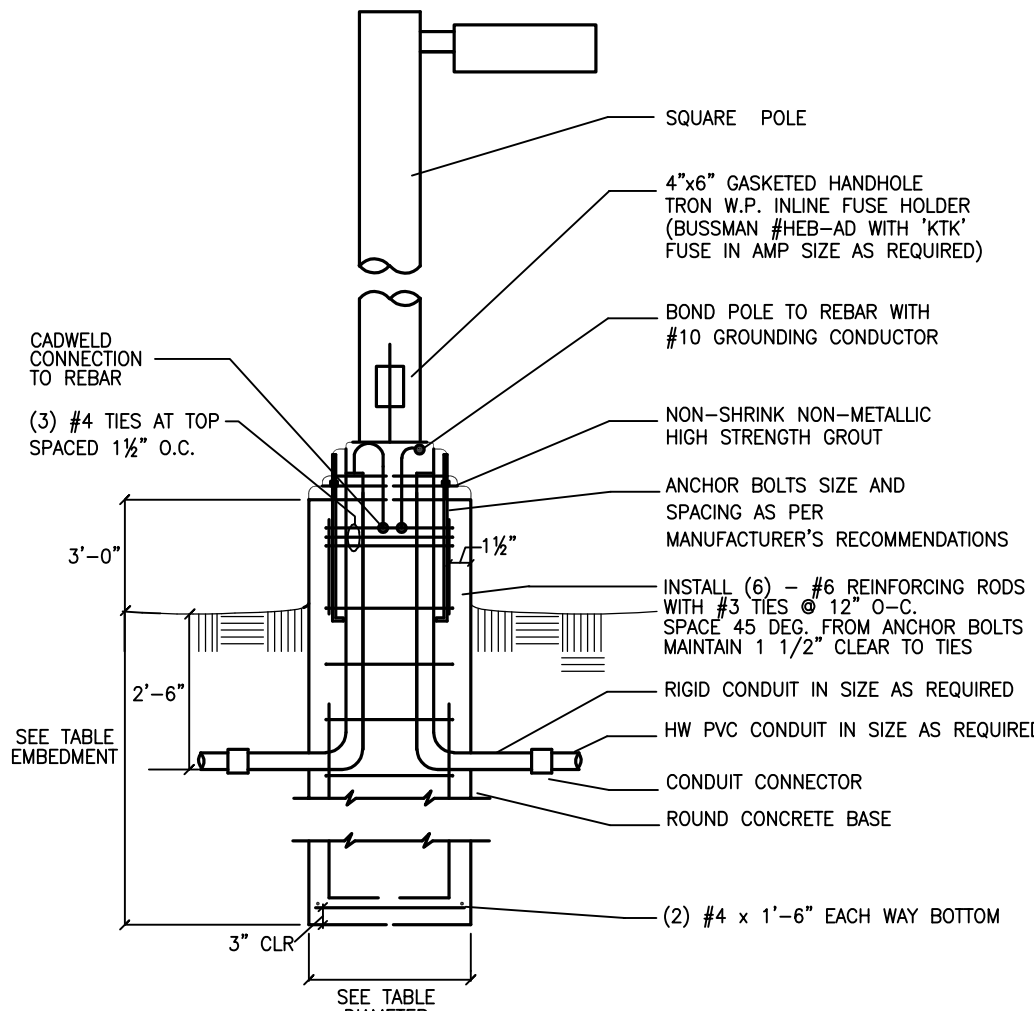
- 2
ES1.0
- POLE FIXTURE TYPES OA/OB
- NOTES:
- TYPE OA: 175/200/125W SINGLE LUMINAIRE ON 24" POLE/24" AFF CONCRETE BASE, 13,882 LUMENS @ 141 WATTS, 4000 KELVIN, TYPE IV DISTRIBUTION, UNIVERSAL, 120-277 VOLTS, 8-LEVEL CONTROL, LITHONIA CAT. NO. K40-LD-40C-1000-40K-R4-MOLT-BL SERIES.
 - TYPE OB: 175/200/125W DOUBLE LUMINAIRE (BIDDING) ON 24" POLE/24" AFF CONCRETE BASE, 13,882 LUMENS @ 141 WATTS/LUMINAIRE, 4000 KELVIN, TYPE III & IV DISTRIBUTION, UNIVERSAL, 120-277 VOLTS, 8-LEVEL CONTROL, LITHONIA CAT. NO. K40-LD-40C-1000-40K-R4-MOLT-BL SERIES.



- 3
ES1.0
- WALL MOUNT TYPES WA/WB
- NOTES:
- TYPE WA: 17"x6.5"x10" WALL MOUNTED FIXTURE, 6000 LUMENS @ 50W, 4000 KELVIN, WIDE DISTRIBUTION, UNIVERSAL, 120-277 VOLTS, DIMMABLE, LITHONIA CAT. NO. WST LED-P3-40K-VF-MOLT SERIES.
 - TYPE WB: 17"x6.5"x10" WALL MOUNTED FIXTURE, 6000 LUMENS @ 50W, 4000 KELVIN, WIDE DISTRIBUTION, UNIVERSAL, 120-277 VOLTS, DIMMABLE, LITHONIA CAT. NO. WST LED-P3-40K-VW-MOLT SERIES.

STATISTICS:
- 1.61fc AVG
- 4.9fc MAX
- 0.3fc MIN
- 16.33:1 MAX-MIN

PROPOSED BUILDING



- 4
ES1.0
- POLE BASE DETAIL
- NOTES:
- DIMENSIONS GIVEN ARE MINIMUM. PROVIDE POLE BASE DIAMETER AND DEPTH AS REQUIRED IN ACCORDANCE WITH LOCAL SOIL AND WIND VELOCITY CONDITIONS.
 - ALL LIGHTING POLE CONCRETE BASES SHALL BE LOCATED A MINIMUM OF 12 INCHES OFF THE FACE OF THE CURBING EDGE OF SIDEWALK OR CENTERED WITHIN AN ISLAND. IN ALL CASES, HOWEVER, FINAL LOCATIONS OF LIGHTING POLES MUST BE VERIFIED WITH THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
 - ALL DIMENSIONS POLE BASE ARE FOR BIDDING ONLY. POLE BASE SHALL MATCH THOSE AT EXISTING POLES, IF APPLICABLE.
- | POLE HEIGHT | BASE DIMENSION/QUANTITY | | | |
|-------------|-------------------------|------------|-------------|-------------|
| | 2 HEAD | 3 HEAD | 4 HEAD | 4 HEAD |
| 15'-0" | 6'-5/2'-0" | 6'-5/2'-0" | 6'-5/2'-0" | 6'-5/2'-0" |
| 20'-0" | 6'-5/2'-0" | 6'-5/2'-0" | 6'-0/2'-0" | 6'-0/2'-0" |
| 25'-0" | 6'-5/2'-0" | 6'-0/2'-0" | 6'-0/2'-0" | 10'-0/2'-0" |
| 30'-0" | 6'-0/2'-6" | 6'-0/2'-6" | 10'-0/2'-6" | 10'-0/2'-6" |
- NOTES:
1. TABLE IS BASED ON SOIL BEARING PRESSURE OF 3000 PSF AND A LATERAL BEARING PRESSURE OF 200 PSF/FT.

1 ELECTRICAL SITE PLAN

1" = 20'-0"

Zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | zastudios.com
TELEPHONE [414] 476-9500
FACSIMILE [414] 476-9592

CONSTRUCTION MANAGEMENT

Consultant:

Project:
The Prestwick Companies
Entrance/Facade Improvements and Plant Expansion

Location:
W248 W5499 Executive Drive
Sussex, WI 53089



Sheet:
Electrical Site Photometric Plan

Scale:
1" = 20'-0"

Revisions:		
No.	Date	Description
1/23/20	SUSSEX - PLAN COMMISSION & A&E SUBMITTAL	

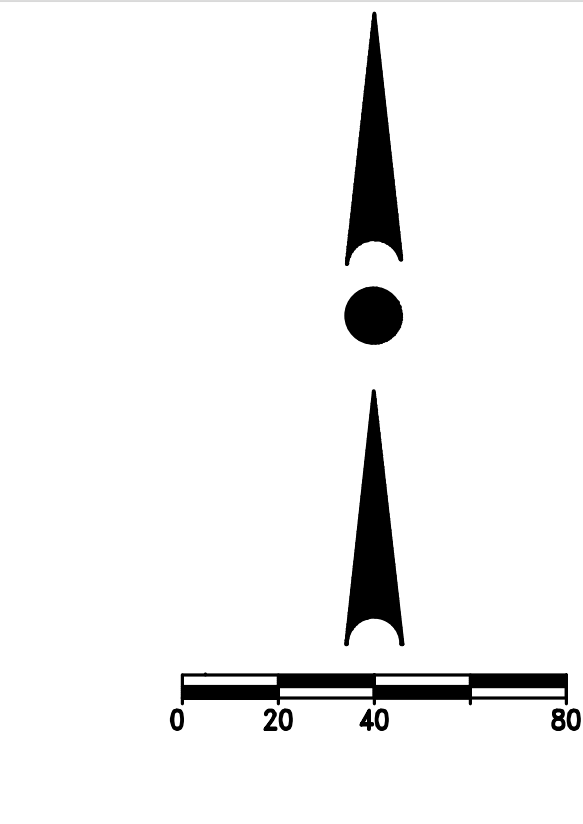
Date:
January 23, 2020

Project No.:
190108.00

Sheet No.:

ES1.0





LEGEND:	
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING STORM SEWER
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING TRANSFORMER
	EXISTING ELECTRIC PEDESTAL
	EXISTING TELEPHONE PEDESTAL
	EXISTING CATY PEDESTAL
	EXISTING POWER POLE
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM END SECTION

SITE DATA

LOT AREA DATA:

Original Lot Area: 330,039 sf (7.577 acres)
- Pebrooke Street R.O.W.: -11,219 sf

LOT 1 TOTAL LOT AREA: 318,820 sf (7.3191)

[Lot 1 of CSM No. 11576 recorded as Document No. 4283972]

TOTAL FLOODPLAIN AREA: - 44,196 S.F. (1.015 acres)
13.9% of Lot 1

TOTAL DEVELOPMENT AREA: 274,624 S.F. (6.304 acres)
86.1% of Lot 1

PROPOSED DEVELOPMENT DATA:

BUILDING FOOTPRINT: 75,209± sf (1.727 acres)
23.6% of Lot 1

PARKING & DRIVE: 61,780± sf (1.418 acres)
19.4% of Lot 1

SIDEWALK, PATIOS & CONCRETE: 12,580 S.F. (0.289 acres)
3.9% of Lot 1

TOTAL IMPERVIOUS AREA: 149,569 S.F. (3.434 acres)
46.9% of Lot 1

TOTAL OPEN SPACE AREA: 169,251 S.F. (3.885 Acres)
53.1% of Lot 1

PARKING DATA:

Standard Parking Spaces 71 Spaces
ADA Parking Spaces 3 Spaces
TOTAL Parking Spaces 74 Spaces

TOTAL GRADING WITHIN 75' OF CREEK: 8,844 sf (0.203 Acres)

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



4100 N CALHOUN ROAD
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

**PROJECT:
THE COURTYARD AT SUSSEX**

SENIOR LIVING FACILITY
VILLAGE OF SUSSEX, WI
PREPARED FOR:
SUSSEX ASSISTED LIVING LLC
101 N WACKER DRIVE, SUITE 608
CHICAGO, IL 60606

REVISION HISTORY

DATE	DESCRIPTION
01/24/20	INITIAL SUBMITTAL

DATE:

JANUARY 24, 2020

JOB NUMBER:

15016

DESCRIPTION:

**PROPOSED
SITE PLAN**

SHEET

C1.1

H:\C900\974\15016-01\CONSTRUCTION PLANS\CIVIL PLANS-THE COURTYARDS AT SUSSEX-22X34.DWG

Z:\Projects\20-1050 Sussex Silver Spring RCAC-CBRF\04 Architecture\04-03 Design\20-1050_Sussex Silver Spring.rvt 2/20/2020 2:31:13 PM

PROPOSED CONSTRUCTION FOR:

THE COURTYARD AT SUSSEX

W235 N6350 HICKORY DRIVE
SUSSEX, WI



Ganther Construction
Architecture, Inc.

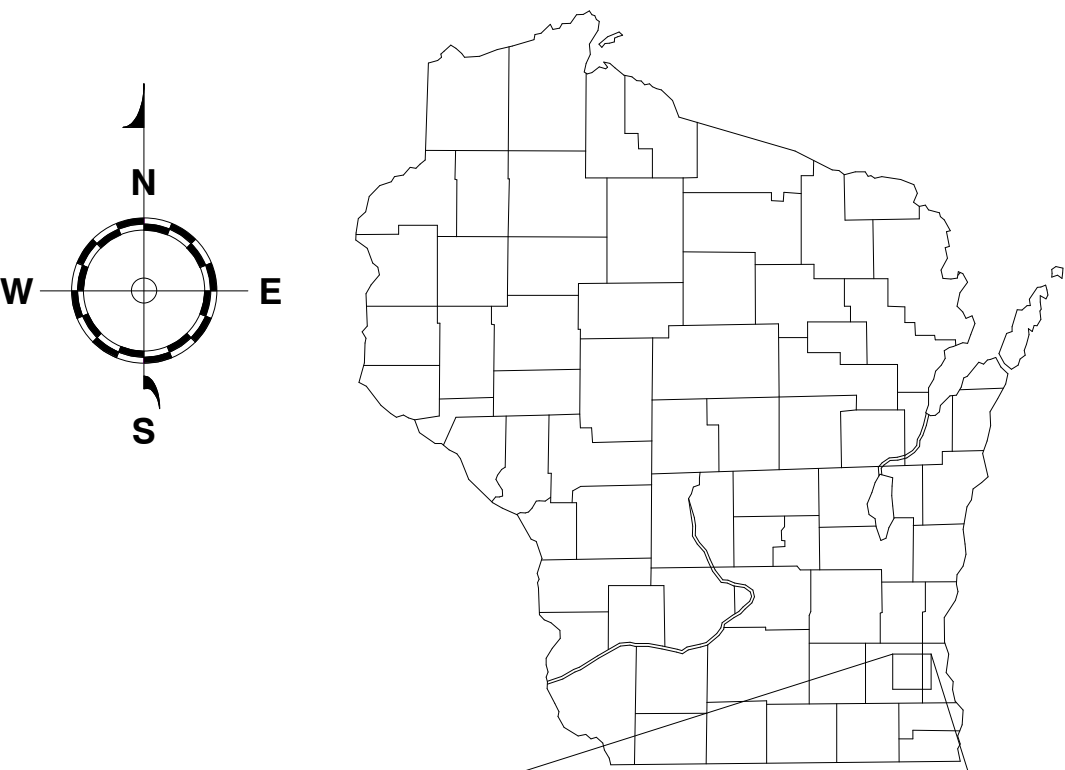
4825 County Road A
Oshkosh, Wisconsin 54901
tel. 920.426.4774 fax
920.426.4788 www.ganther.com

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PROJECT LOCATION MAP

SITE ADDRESS : THE COURTYARD AT SUSSEX
W235 N6350 HICKORY DRIVE
SUSSEX, WI

OWNER ADDRESS :



CODE DATA

CODE(S):	WISCONSIN (2015 IEBC)
CONSTRUCTION TYPE:	V-A
USE AND CLASSIFICATION:	I-2, CONDITION 1 I-1, CONDITION 2
SEPARATED / NON-SEP. USE:	SEPARATED
TOTAL BUILDING AREA:	1ST FLR: 74,682 SF 2ND FLR: 29,317 SF CANOPY: 1,130 SF TOTAL: 105,129 SF
ALLOWABLE BLDG. AREA:	
MAXIMUM NO. STORIES:	
SPRINKLER TYPE:	NFPA-13
FIRE ALARM:	YES
EXIT TRAVEL DISTANCE:	200 FEET (I-2) 250 FEET (I-1)
SMOKE COMPARTMENT TRAVEL DISTANCE:	200 FEET MAX.
SMOKE COMPARTMENT SIZE:	22,500 SF
AREA INCREASE:	
FIRE-RESISTANCE RATINGS (BUILDING ELEMENTS)	
PRIMARY STRUCTURAL FRAME	1
BEARING WALLS EXTERIOR	1*
BEARING WALLS INTERIOR	1
NONBEARING WALLS & PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION & SECONDARY MEMBERS	1
ROOF CONSTRUCTION & SECONDARY MEMBERS	1
FIRE-RESISTANCE RATINGS (EXTERIOR WALLS)	
X < 5	1
5 ≤ X < 10	1
10 ≤ X < 30	1
X ≥ 30	0
*NOTE: MOST RESTRICTIVE APPLIES.	

CONTACTS

DESIGN BUILDER:	GANTHER CONSTRUCTION ARCHITECTURE, INC 4825 COUNTY ROAD A OSHKOSH, WI 54901 PHONE: (920) 426-4774 CONTACT: KELLY SCHLEIF (PROJECT MANAGER) KEN KOZICZKOWSKI (ARCHITECT)
CIVIL ENGINEER:	TRIO 4100 N. CALHOUN ROAD BROOKFIELD, WI 53005 PHONE: (262) 790-1480
STRUCTURAL:	
FIRE SPRINKLER:	
PLUMBING:	
HVAC:	
ELECTRICAL:	
FOOD SERVICE:	

SHEET INDEX

GENERAL	
T1.0	COVER SHEET
T1.1	RENDERINGS
T1.2	RENDERINGS
ARCHITECTURE	
A2.0	FLOOR PLAN OVERALL
A2.1	CBRF FIRST FLOOR
A2.2	RCAC FIRST FLOOR
A2.3	SECOND FLOOR
A2.4	UNIT PLANS
A3.0	ELEVATIONS
A3.1	COURTYARD ELEVATIONS
A9.0	ARCHITECTURAL SITE DETAILS
PH1.0	PHOTOMETRIC

PROPOSED PROJECT:

THE COURTYARD AT SUSSEX

W235 N6350 HICKORY DRIVE
SUSSEX, WI

REVISIONS

#	DATE	

Project Number 20-1050

Date 2/28/20

Drawn By VP

Checked By KK

T1.0

ARB SUBMITTAL 2-28-20



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THE COURTYARD AT SUSSEX

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THE COURTYARD AT SUSSEX

W235 N6350 HICKORY DRIVE
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Project Number	20-1050
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T1.2





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THE COURTYARD AT SUSSEX

W235 N6350 HICKORY DRIVE
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SUSSEX, WI

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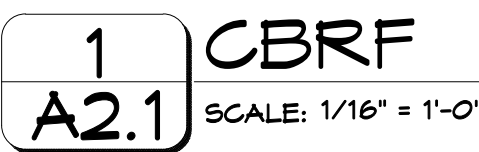
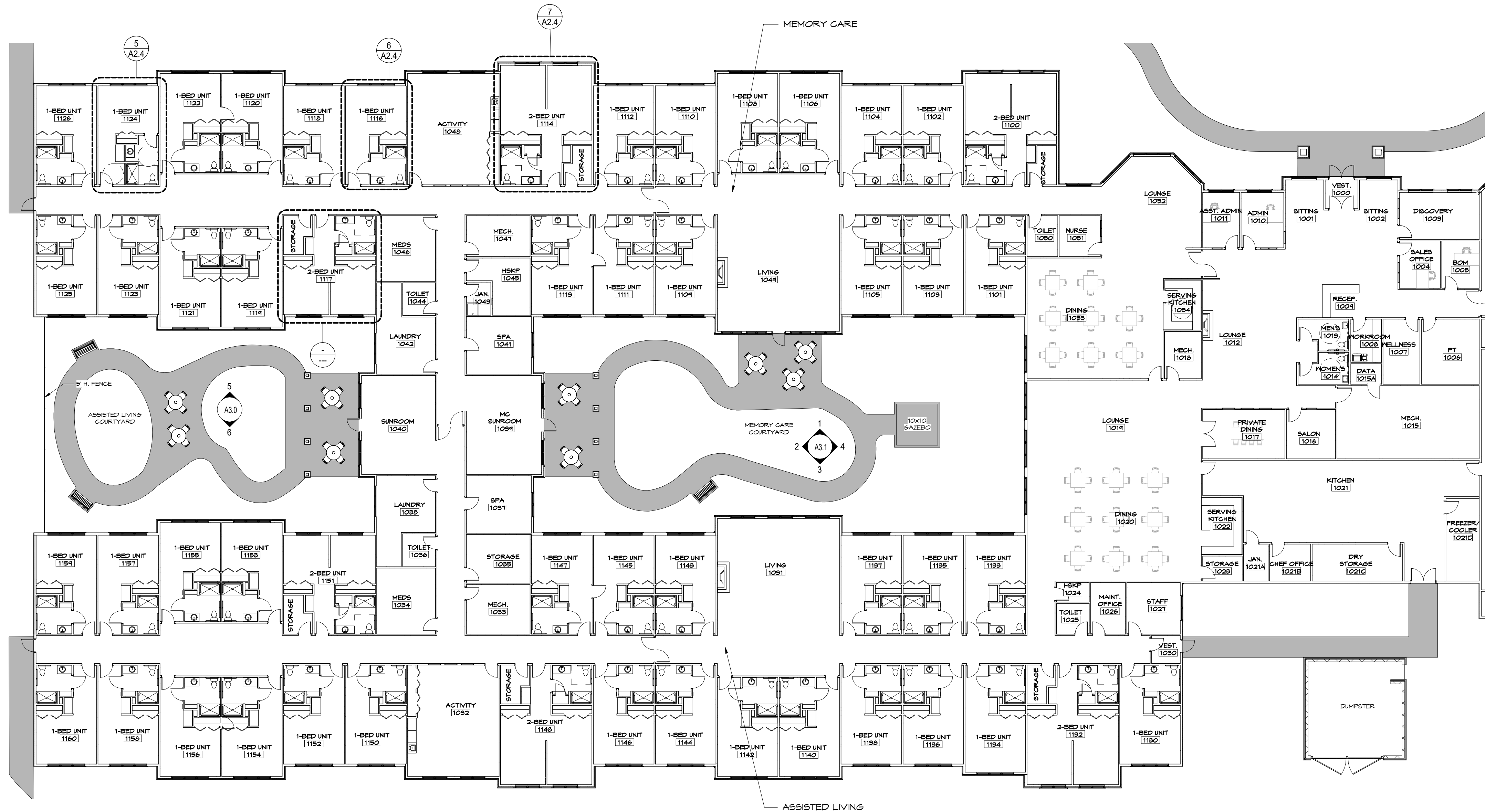
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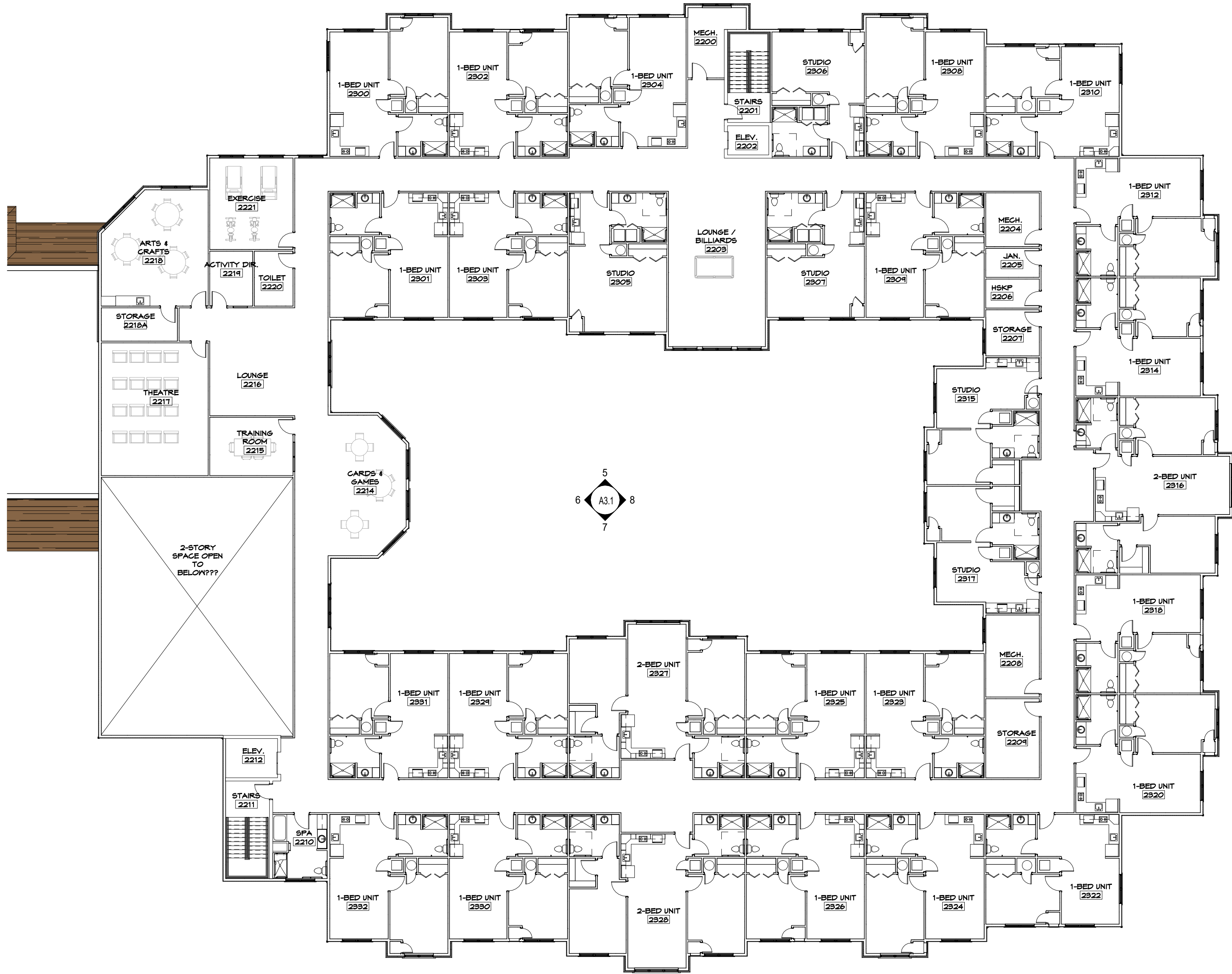
A2.2

Project Number	20-1050
Date	2/28/20
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RCAC

SCALE: 1/16" = 1'-0"



1
A2.3

SECOND FLOOR

SCALE: 1/16" = 1'-0"



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THE COURTYARD AT SUSSEX

W235 N6350 HICKORY DRIVE
SUSSEX, WI

REVISIONS

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Project Number 20-1050

Date 2/28/20

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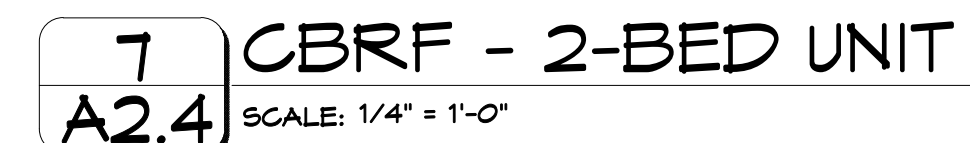
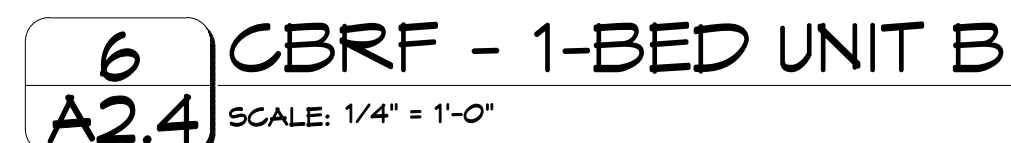
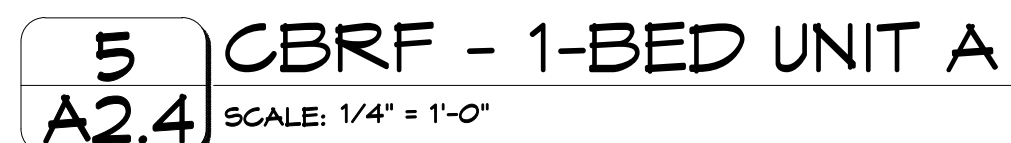
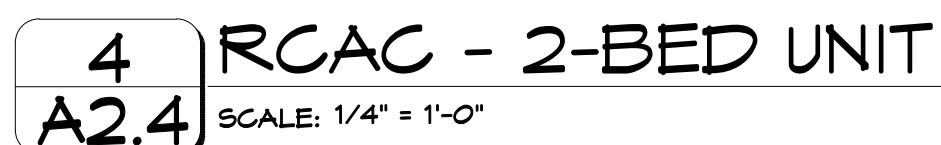
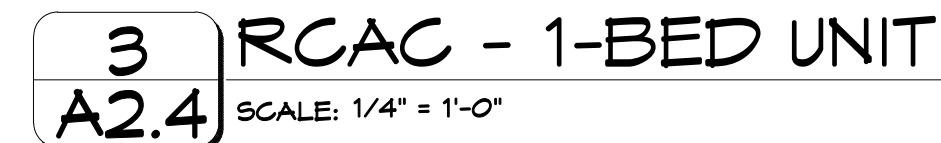
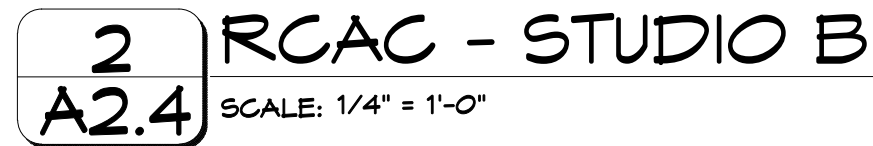
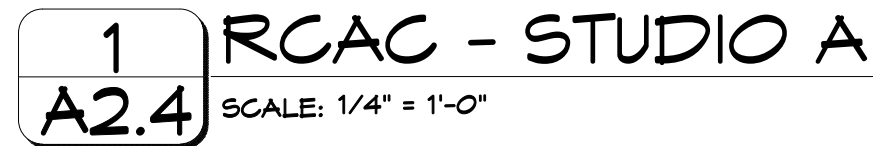
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A2.3

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THE COURTYARD AT SUSSEX
W235 N6350 HICKORY DRIVE
SUSSEX, WI

W235 N6350 HICKORY DRIVE
SUSSEX, WI

#	DATE

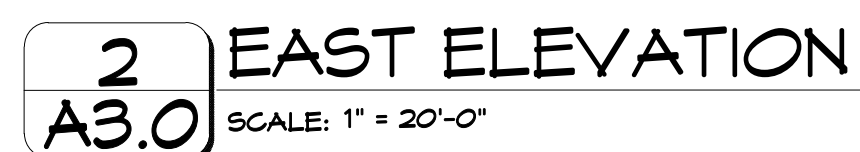
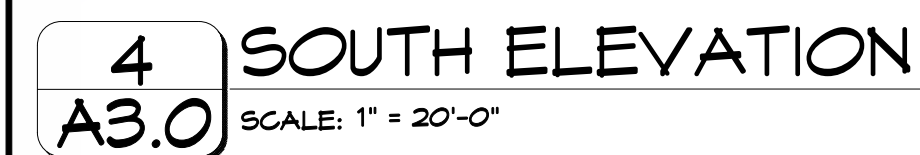
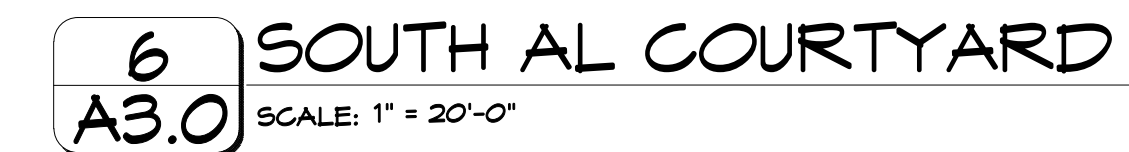
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A2.4

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PROPOSED PROJECT:

THE COURTYARD AT SUSSEX
W235 N6350 HICKORY DRIVE

SUSSEX, WI

[illegible]

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A3.0

ARB SUBMITTAL 2-28-20



1 NORTH MC COURTYARD
A3.1 SCALE: 1" = 20'-0"



2 WEST MC COURTYARD
A3.1 SCALE: 1" = 20'-0"



3 SOUTH MC COURTYARD
A3.1 SCALE: 1" = 20'-0"



4 EAST MC COURTYARD
A3.1 SCALE: 1" = 20'-0"



5 NORTH IL COURTYARD
A3.1 SCALE: 1" = 20'-0"



6 WEST IL COURTYARD
A3.1 SCALE: 1" = 20'-0"



7 SOUTH IL COURTYARD
A3.1 SCALE: 1" = 20'-0"



8 EAST IL COURTYARD
A3.1 SCALE: 1" = 20'-0"



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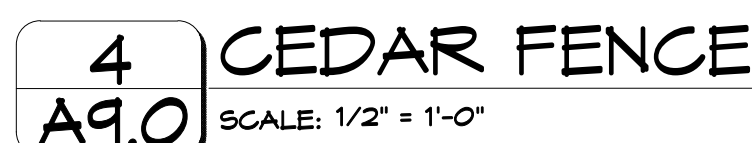
THE COURTYARD AT SUSSEX
W235 N6350 HICKORY DRIVE
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REVISIONS

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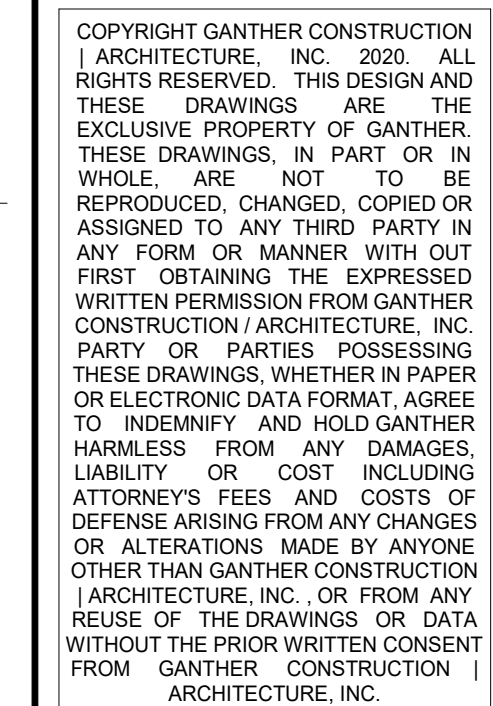
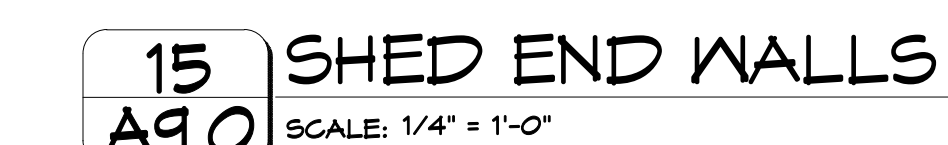
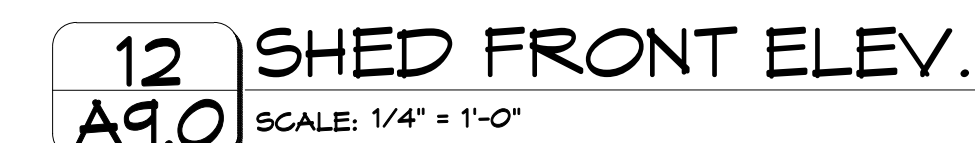
Project Number 20-1050
Date 2/28/20
Drawn By VP
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A3.1



2 BIKE 'U' BIKE RACK, BRONZE, SURFACE MOUNTED
PROVIDE 2, FOR 4 BIKE CAPACITY

7 FOUNDATION
A9.0 SCALE: 1/2" = 1'-0"



PROPOSED PROJECT:

A9.0

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DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
BACK WALKWAY EGRESS	+	3.9 fc	7.5 fc	1.2 fc	6.3:1	3.3:1
COURT YARD RIGHT SIDE	+	1.3 fc	8.2 fc	0.0 fc	N/A	N/A
COURTYARD LEFT SIDE	+	1.6 fc	6.4 fc	0.0 fc	N/A	N/A
COURTYARD MIDDLE	+	1.7 fc	8.7 fc	0.0 fc	N/A	N/A
FIRE LANE	+	1.0 fc	6.4 fc	0.1 fc	64.0:1	10.0:1
MAIN PARKING LOT	+	1.6 fc	11.2 fc	0.2 fc	56.0:1	8.0:1
MAIN SIDEWALK EGRESS	+	3.3 fc	6.8 fc	1.0 fc	6.8:1	3.3:1
OUTSIDE LOT	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A



A1 A2
Base to be at Grade
20' poles

AW1
Mount at 10'
above Grade

WC1
Mount at 6'
above Grade

WP1
Mount at 8'
above Grade

SYMBOL	LABEL	QUANTITY	MANUFACTURE	CATALOG NUMBER
	A1	7	LSI INDUSTRIES, INC	4SQ B3 S11G20 S BRZ ABKIT 4SQ STL PL 3/4X30 11BC KIT BCVR 4BC BRZ XDLS B 3 LED SS XX UE BRZ SA4S
	A2	11	LSI INDUSTRIES, INC	4SQ B3 S11G20 S BRZ ABKIT 4SQ STL PL 3/4X30 11BC KIT BCVR 4BC BRZ XDLS B FT LED SS XX UE BRZ SA4S
	AW1	2	LSI INDUSTRIES, INC	XDLS B FT LED SS XX UE BRZ SAW
	CP1	1	LSI INDUSTRIES, INC	SCS LED 15L SC UNV DIM XX WHT
	WC1	17	WAVE LIGHTING	502VF-LR11-W-BZ
	WP1	33	ELITE	OWS-FC-303-LED-6000L-DIM10-MVOLT-40K-BZ
	FL1	4	LSI INDUSTRIES, INC	XFLM MF LED 28 HO NW UE BRZ 156040BRZ 122540BRZ

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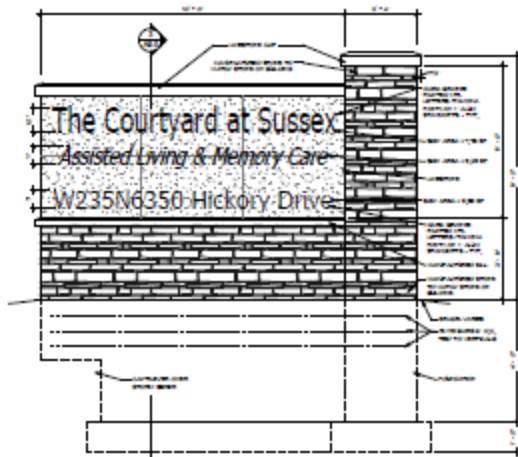
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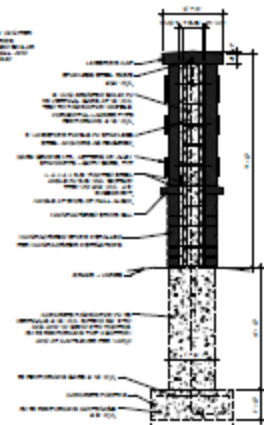
PH1.0



1 SIGN FRONT
SCALE: 1/2" = 1'-0"



2 SIGN END
SCALE: 1/2" = 1'-0"



3 SIGN SECTION
SCALE: 1/2" = 1'-0"

