



N64W23760 Main Street
Sussex, Wisconsin 53089

Phone (262) 246-5200

FAX (262) 246-5222

Email: info@villagesussex.org

Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, OCTOBER 17, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of September 19, 2023.
3. Consideration and possible action on Permitted Uses and Plans.
 - a. Discussion and possible action on a Plan of Operation for The Goat Sports Bar and Grill located at N63W23675 Main Street.
 - b. Discussion and possible action on a Plan of Operation for Big Boy Burgers and Sweets located at N63W23675 Main Street.
 - c. Discussion and possible action on a Plan of Operation for MB Smoke located at N64W24678 Main Street.
 - d. Discussion and possible action on a Plan of Operation for Tobacco and Vape located at W249N5245 Executive Drive.
 - e. Discussion and possible action on a Plan of Operation for Toy Family Dentistry located at N63W23524 Silver Spring Drive.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Reconvene a Public Hearing on a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.
 - b. Discussion and possible action on a Conditional Use Permit and Sussex Design Guideline exception for Beer Capitol for a beverage warehouse and distribution facility expansions in the BP-1 Business Park District located at W222N5700 Miller Way.
 - c. Public Hearing on a Legal Non-Conforming Conditional Use Permit for Mike Dupont for a self-storage building and outdoor storage in the B-3 Highway Business Zoning District located at W240N6689 Maple Ave.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. Discussion and possible action on a recommendation to the Village Board for the Final Plat for the Golden Fields of Sussex development located at N74W24659 Lauren Drive.
6. Other items for future discussion.

7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**DISCLAIMER- THE FOLLOWING ARE DRAFT MINUTES FROM
THE PLAN COMMISSION AND ARE
SUBJECT TO CHANGE UPON APPROVAL OF THE COMMISSION**

**VILLAGE OF SUSSEX
PLAN COMMISSION
6:30PM TUESDAY, SEPTEMBER 19, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by Village Attorney John Macy at 6:30pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Commissioners Jim Muckerheide, Mike Knapp, Roger Johnson, Debbie Anderson, and Trustee Greg Zoellick

Members excused: Commissioner Mike Schlist and Village President Anthony LeDonne

Others present: Community Development Director Gabe Gilbertson, Assistant Village Administrator Kelsey McElroy-Anderson, Village Attorney John Macy, Village Engineer Judy Neu, Deputy Clerk Jen Boehm, applicants, and members of the public.

A quorum of the Village Board was not present at the meeting.

Consideration and possible action on the minutes on the Plan Commission meeting of August 15, 2023.

A motion by Johnson, seconded by Knapp to approve the minutes of the Plan Commission meeting of August 15, 2023 as presented. Motion carried 5-0

Consideration and possible action on a Plan of Operation for Utility Traffic & Restoration LLC located at W232N6575 Waukesha Ave.

Thad Burkette, N90W14465 Commerce Dr., Menomonee Falls was present and available for questions.

A motion by Knapp, seconded by Muckerheide to approve the Plan of Operation for Utility Traffic Restoration LLC located at W232N6575 Waukesha Ave subject to the following condition:

- a. There shall be no outdoor storage of material other than the occasional 1-5 yards of gravel in the storage bin in the northeast corner of the property.

Motion carried 5-0

Consideration and possible action on a Plan of Operation for Keddy11, LLC located at N64W24678 Main Street.

Nishant P, N64W24678 Main St., Sussex was present and gave a brief overview. He stated they would not sell vapes at the store.

A motion by Johnson, seconded by Muckerheide to approve the Plan of Operation for

Keddy11, LLC located at N64W24678 Main Street, subject to the following condition:

1. Additional parking stalls shall be striped to bring the total number of parking stalls to a minimum of 92.

Motion carried 5-0

Consideration and possible action on a Plan of Operation for The Dollar Tree located at W249N5267 Executive Dr.

A motion by Johnson, seconded by Anderson to approve the Plan of Operation for The Dollar Tree located at W249N5267 Executive Dr.

Motion carried 5-0

Public hearing on a Conditional Use Permit for Beer Capitol for beverage warehouse and distribution facility expansions in the BP-1 Business Park Districts.

Caitlin LaJoy and Gary Genz, W222N5700 Miler Way, were present, gave a presentation and answered questions from the board.

A motion by Johnson, seconded by Muckerheide to direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the October 17, 2023 meeting.

Motion carried 5-0

Consideration and possible action on recommending to the Village Board for a final Condo Plat dividing ownership of the parcel identified by Tax Key No. 0231019 into two separate tax key numbers.

Curt Rudzinski was present and asked questions from the board.

A motion by Muckerheide, seconded by Anderson to recommend to the Village Board approve a final Condo Plat dividing ownership of the parcel identified by Tax Key No. 0231019 into two separate tax key numbers subject to the standard conditions of Exhibit A and the conditions listed below:

1. The curve labeled C6 at the intersection should be corrected to read C4 to match the curve table.
2. Adding the following language to the Condo Declarations document: *"Should there be any conflict between these Condo declarations and any Federal, State, County, or local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property the more restrictive provision shall control."*

Motion carried 5-0

Other Items for Future Discussion

None

Adjournment

A motion by Anderson, seconded by Johnson to adjourn the meeting at 7:05p.m.

Motion carried 5-0

Respectfully submitted,
Jen Boehm
Deputy Clerk



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of October 17, 2023
DATE: October 5, 2023

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. Minutes of the Plan Commission meeting of September 19, 2023.

03. Consideration and possible action on Permitted Uses and Site Plans:

A. Discussion and possible action on a Plan of Operation for The Goat Sports Bar and Grill located at N63W23675 Main Street.

This site is zoned B-4. The restaurant is a permitted use in accordance with Section 17.0419 (C)(1)(c) in the B-4 Central Mixed-Use District. The Goat Sports Bar and Grill will be occupying the 3,000 square foot space formerly occupied by Tekila.

The Goat Sports Bar and Grill will be open from 3:00 pm until 11:00 pm Tuesday through Thursday, 11:00 am until 11:00 pm Friday and Saturday, and 11:00 am until 8:00 pm on Sunday.

The site has 123 surface parking stalls, 12 on street parking and 4 off-site parking, with 50 stalls already allocated (40 residential, 10 commercial tenants). This user will require 20 stalls, leaving 69 spaces for the remaining approximately 12,000 square feet of commercial space, which should be sufficient following traditional parking ratios.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation.

Staff Recommendation: Staff recommends approval of the Plan of Operation for The Goat Sports Bar and Grill located at N63W23675 Main Street and subject to the standard conditions of Exhibit A.

B. Discussion and possible action on a Plan of Operation for Big Boy Burgers and Sweets located at N63W23675 Main Street.

This site is zoned B-4. The restaurant is a permitted use in accordance with Section 17.0419 (C)(1)(c) in the B-4 Central Mixed-Use District. Big Boy Burgers and Sweets will occupy the roughly 1,500 square foot space that was formerly approved for Mama Mia – a wine and gelato concept.

Hours of operation for Big Boy Burgers and Sweets would be Monday through Saturday 11:00 am until 9:00 pm and on Sunday from 11:00 am until 7:00 pm

The site has 123 surface parking stalls, 12 on street parking and 4 off-site parking, with 50 stalls already allocated (40 residential, 10 commercial tenants). This user will require 20 stalls, leaving 69 spaces for the remaining approximately 12,000 square feet of commercial space, which should be sufficient following traditional parking ratios.

Policy Question:

3. Are there any concerns with the plan of operation?
4. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

2. Act on the Plan of operation.

Staff Recommendation: Staff recommends approval of the Plan of Operation for Big Boy Burgers and Sweets located at N63W23675 Main Street and subject to the standard conditions of Exhibit A.

C. Discussion and possible action on a Plan of Operation for MB Smoke located at N64W24678 Main Street.

This site is zoned B-1 Neighborhood Business. The applicant stated the new business is going to be a tobacco and cigar shop. The use is a permitted use under Section 17.0416(8)(e).

According to the Plan of Operation application, the hours of operation will be between 9:00 am and 10:00 pm Monday through Sunday with 2 employees on 2 shifts.

Parking Code requires a total of 7 parking stalls for the use. The site has 72 striped parking stalls in front and 28 stalls in the building (100) with 92 needed in total.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation: Staff recommends approval of the Plan of Operation for MB Smoke located at N64W24678 Main Street and subject to the standard conditions of Exhibit A and the following condition:

1. Additional parking stalls shall be striped to bring the total number of parking stalls to a minimum of 92.

D. Discussion and possible action on a Plan of Operation for Tobacco and Vape located at W249N5245 Executive Drive.

This site is zoned B-3 Highway Business. The applicant is proposing a Tobacco and Vape business in the multi-tenant building facing Lisbon Rd. The use is a permitted use under Section 17.0418(A)(8)(e).

According to the Plan of Operation application, the hours of operation will be between 9:30 am and 8:30 pm Monday through Friday and between 10:00 am and 8:00 pm Saturday and Sunday. There will be a total of four employees.

The commercial complex has 170 parking stalls. The number of stalls meets the code requirement for shopping complex over 30,000 square feet to have five spaces per 1,000 square feet of leasable area. The site has sufficient parking for all users.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation: Staff recommends approval of the Plan of Operation for Tobacco and Vape located at W249N5245 Executive Drive and subject to the standard conditions of Exhibit A.

E. Discussion and possible action on a Plan of Operation for Toy Family Dentistry located at N63W23524 Silver Spring Drive.

This site is zoned B-4 Central Mixed-Use. Toy Family Dental is a family focused dentist business and is a permitted use under Section 17.0419(C)(5)(C).

According to the Plan of Operation application the hours of operation vary and are included in the attached Plan of Operation application. There are 7 employees with a single shift.

The commercial complex has 38 parking stalls. The number of stalls required for the property and its four tenants is 32 stalls. The site has sufficient parking for all users.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation: Staff recommends approval of the Plan of Operation for Toy Family Dentistry located at N63W23524 Silver Spring Drive and subject to the standard conditions of Exhibit A.

04. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans.

A. Reconvene a Public Hearing on a Conditional Use Permit for Beer Capitol for a beverage warehouse and distribution facility expansions in the BP-1 Business Park District located at W222N5700 Miller Way.

The subject property is zoned BP-1 Business Park District and is the occupied by Beer Capitol – a beverage wholesaler. Beer Capitol operates 24 hours a day Monday through Friday and employs 372 full time employees. A conditional use permit amendment application was submitted for a roughly 98,500 square foot warehouse and loading dock expansion to the existing building which would bring the total size of the building up to 360,926 square feet.

The number of employees is not expected to grow, but the expansion would allow for territory and supplier growth. A conditional use permit was amended in 2009 to accommodate a building expansion and because transportation and warehousing uses in the BP-1 District are a Conditional Use Permit under Section 17.0506(A)(10). According to the Municipal Code requires 278 parking stalls and the site plan proposes a total of 286 total parking stalls.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

Architectural Review Board

The ARB reviewed the proposed site plans and elevations at their September 6, 2023 meeting and recommended the Plan Commission approve the Conditional Use Permit. The minutes from the meeting are below:

Discussion and possible action on building and site plans in association with a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.

A motion by Foxe, seconded by Smith to approve the site and building plans and recommend the Plan Commission approve the Conditional Use Permit amendment for

Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.

All ayes, motion carried.

Discussion and possible action on an exception from the Sussex Design Standards in association with a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.

A motion by Smith, seconded by Riedel to approve an exception from the Sussex Design Standards for the reduced window and door opening requirements and loading dock location in association with the Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.

All ayes, motion carried.

A public hearing was held at the September 19, 2023 Plan Commission meeting and no citizen comments were received.

The Petitioner spoke and requested the Plan Commission to approve the Conditional Use Permit and that they would adhere to the conditions placed on the Conditional Use Permit. Staff has prepared a Conditional Use document for consideration and that document is attached to this memo. The Conditional Use standards to be met are included in that document.

Additional Plan Commission conditions:

The Petitioner, Public and Plan Commission will have a chance to present evidence and discuss the Conditional Use Order.

Policy Question:

1. Are there any concerns with the Conditional Use or Plan of Operation?
2. Are there any concerns from the public hearing you want added in the CU document?
3. The Sussex Design Standards require loading docks to be screened from the public right of way and for street facades to have a minimum of 20% of window or door openings (excluding loading docks). The Architectural Review Board approved the exception at their September 6, 2023 meeting. This will be an item the Plan Commission will consider as part of their final action on the Conditional Use Permit.

Action Items:

1. Close the public hearing.

Staff Recommendation: Staff recommends the Plan Commission close the public hearing.

B. Discussion and possible action on a Conditional Use Permit and exception from the Sussex Design Standards for Beer Capitol for a beverage warehouse and distribution facility expansions in the BP-1 Business Park District located at W222N5700 Miller Way.

Staff has prepared a conditional use document for consideration at this meeting. The Plan Commission has heard testimony on the application for the beverage warehouse and distribution facility expansion.

Policy Questions:

Has the Petitioner provided substantial evidence proving they meet the standards/regulations of the Ordinance, the conditions and standards of the Conditional Use Permit, and the other conditions as set forth by the Plan Commission?

If No, the deficiency will need to be detailed.

Has the Petitioner provided substantial evidence with regards to the following Standards/Regulations?

The Application is complete and consistent with 17.0502: Yes or No

The use(s) and plans are compliant with 17.0503 (Review of CU's): Yes or No

The use(s) and plans are compliant with 17.0200 (General Conditions): Yes or No

The uses(s) and plans are compliant with 17.0420 BP-1 Business Park District: Yes or No

The uses(s) and plans are compliant with 17. 1000 (Site Plan Review): Yes or No

Has the Petitioner provided substantial evidence and adequately addressed the findings of the impact report per 17.0506.A. Yes or No

Has the Petitioner provided substantial evidence with regards to the Conditional Use Permit as follows:

A.3.A. Site Plan Standards compliance: Yes or No

A.3.B. Plan of Operation compliance: Yes or No

A.3.C. Various Plan(s) compliance: Yes or No

A.4.-15. CU condition compliance: Yes or No

B-L. Administrative CU Condition compliance: Yes or No

Action Items:

1. Act on the Conditional Use Permit and Plan of Operation and exception request from the Sussex Design Standards.

Staff Recommendation: Staff recommends the Plan Commission approve the following:

1. Approve the Conditional Use, Plan of Operation, and site plan for a beverage warehouse and distribution facility expansion in for Beer Capitol located at W222N5700 Miller Way and a finding the use and structures meet the principals of 17.1002(A-H) and subject to the standard conditions of Exhibit A;
2. Approve an exception from the Sussex Design Standards requirement for loading docks to be screened from the public right of way and for street facades to have a minimum of 20% of window or door openings.

C. Public Hearing on a Legal Non-Conforming Conditional Use Permit for Mike Dupont for a self-storage building and outdoor storage in the B-3 Highway Business Zoning District located at W240N6689 Maple Ave.

The subject property is zoned B-3 Highway Business District and has a legal-nonconforming mini-warehouse and an illegal outdoor storage facility operation on it. The property began expanding the outdoor storage component when Village Staff notified the property owner that per Section 17.0506(A)(11)(a) outside storage may be permitted for commercial uses in the B-3 Highway Business District with a Conditional Use Permit. There is currently an existing outdoor storage use installed between 2020 and 2022 without approval from the Village of Sussex, which is required to be made part of the Legal Non-Conforming Conditional Use Permit in order to continue.

The applicant submitted a conditional use permit application for the addition of an approximately 170 foot by 40 foot outdoor storage area. The Conditional Use Permit would incorporate the proposed storage area and the existing storage area.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

Policy Question:

1. Are there any concerns the Plan Commission has that they may want the applicant to address at the public hearing.
 - a. The Plan Commission will need to consider if this is a use the Board is comfortable formalizing with the Conditional Use Permit.
 - b. The applicant has planted evergreens around the area where the proposed outdoor storage space is, Staff recommends the installation of a solid fence to fully screen the outdoor storage. The applicant would also be required to pave both outdoor storage areas as gravel is not permitted in the commercial zoning districts.
 - c. The Plan Commission may want to consider limiting what is permitted to be stored outdoors to residential recreational vehicles, i.e., trailers, boats, campers, etc.

Action Items:

1. Direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order at the November 21, 2023 Plan Commission meeting.

Staff Recommendation: Staff recommends preparing the Conditional Use Order and reconvening the public hearing at the November 21, 2023 Plan Commission meeting

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items:

A. Discussion and possible action on a recommendation to the Village Board for the Final Plat for the Golden Fields of Sussex development located at N74W24659 Lauren Drive.

The Plan Commission approved a preliminary plat for a single-family subdivision on the 20-acre subject property at their March 21, 2023 meeting. The preliminary plat consisted of 26 single family lots with an average lot size of 28,096 square feet.

The submitted final plat is largely consistent with the approved preliminary plat.

Policy Questions:

1. Are there any concerns with the Final Plat?

Action Items:

1. Act on the Final Plat.

Staff Recommendation: Staff recommends the Plan Commission approve the Final Plat and recommend to the Village Board to approve the Final Plat for Golden Fields of Sussex subdivision on the property identified by Tax Key No. 203.999.001 subject to the following conditions of approval:

1. Standard conditions of approval for Final Plats.
2. Reconciliation of the comments and conditions by the Village Engineer in the memo dated September 21, 2023.
3. Compliance with conditions from Waukesha County and the Wisconsin DOA.
4. The standard conditions of Exhibit A.

6. Other Items for future discussion.

7. Adjournment.



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: _____ Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____

DD 10/4/23
CASH



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? no If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: N63W23675 Main Street 101R Sussex

1. Name of Business:

WI Ludwig, LLC dba The Goat Bar & Grill

Business

N63W23675 Main Street 101R

Sussex, WI 53089

4143349363

Address

City, State, Zip

Phone #

chaz@hastingswi.com

Fax

Email address

2. Business owner contact information:

Chaz Hastings/Katie Rizer

Contact

N116W15841 Main Street

Germantown, WI 53022

4143349363

Address

City, State, Zip

Phone #

chaz@hastingswi.com

Fax

Email address

3. Building/Land owner contact information:

Kevin Sawall

Contact

N63W23217 Main Street

Sussex, WI 53089

2625272334

Address

City, State, Zip

Phone #

Kevin@sawalldevelopment.com

Fax

Email address

4. Number of Employees/Shifts: 20

Employees

2

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
	X	X	X	X	X	X
	3-11	3-11	3-11	11-11	11-11	11-8

6. Is this an extension of an existing operation? No
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? yes Do you need an Outdoor Establishment Permit? yes
If yes, explain: we have already
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? Ocasional live music in summer - usually 1-2 person acts
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? no If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage 3321
If applicable list square footage according to 1st floor x 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces _____ Number of spaces needed per code to code
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?

Similar to current signage as Tekila

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Chaz Hestys
Name
owner
Title or Position

10/3/23
Date

I am aware and approve of the business to be operating in the building owned by _____.

Name
Title or Position

Date



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Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

WI Ludwig, LLC dba The Goat Bar & Grill

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Chaz Hastings/Katie Rizer

Tax Key No. of the Property involved in the Request: SUXV _____

Signature of Property Owner and /or Authorized Agent

10/3/23

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: THE GOAT Big Bay Sweets

Business Address: N63W23675 101-102 103 Main Street

Business Phone #: 414-334-9363

Business Email: Chaz@hastingswi.com

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: N63W23675 Main Street 101R _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Chaz Hastings Phone # 414-334-9363
E-mail: chaz@hastingswi.com

For office use only:

Met with staff on: _____
Paid fees on: 10/3/23 CASH
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? NO If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: N63W23675 Main Street Suite 102 7 103 R

1. Name of Business:

CLM WI, LLC dba Big Boy Burgers and Sweets

Business

N63W23675 Main Street 102 & 103 R

Sussex WI 53089

414-334-9363

Address

City, State, Zip

Phone #

chaz@hastingswi.com

Fax

Email address

2. Business owner contact information:

Melissa Stuckart

Contact

N98W14624 Elmwood Dr

Germantown WI 53022

262-385-2427

Address

City, State, Zip

Phone #

clmwillc@gmail.com

Fax

Email address

3. Building/Land owner contact information:

Kevin Sawall

Contact

N63W23217 Main Street

Sussex WI 53089

262-932-4121

Address

City, State, Zip

Phone #

kevin@sawalldevelopment.com

Fax

Email address

4. Number of Employees/Shifts: 15

Employees

2

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
11am-9pm	11-9	11-9	11-9	11-9	11-9	11-7



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

CLM WI, LLC dba Big Boy Burgers and Sweets

Business Name: CLM WI, LLC

Name of Owner and Address of the Property involved in the Request (if different from above):

Melissa Stuckart

Tax Key No. of the Property involved in the Request: SUXV _____

M Stuckart
Signature of Property Owner and /or Authorized Agent

10/21/2023
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

6. Is this an extension of an existing operation? yes
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? yes Do you need an Outdoor Establishment Permit? no
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? yes- boozy shakes, beer and wine
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? no If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage 1200
If applicable list square footage according to 1st floor x 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces to code Number of spaces needed per code adaquate
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?

Signage similar to current signage for La Coppa and Ti Amo

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

M. Stull

Name

10/2/23

Date

OWNER

Title or Position

I am aware and approve of the business to be operating in the building owned by _____.

Name

Date

Title or Position

Big Boy Burgers and Sweets

Big Boy Burgers and Sweets will be located at the initially planned space for Ti Amo and La Coppa in the Mammoth Springs Development on Main Street in Downtown Sussex. The 1,200 square foot space will be a prototype Big Boy design for this new fast casual concept. The revered brand will be on full display at the site which will bring in guests from all over the state.

The menu will include the Big Boy double decker, Slim Jim, Dolly chicken sandwich Detroit coney dogs and Big Boy fish sandwich. On the sweet side there will be milk shakes, malts, boozy shakes, Big Boy hand dipped ice cream, cakes and pies.

The ownership/management team will consist of Missy Stuckart and Chaz Hastings. Missy has 15 years of experience in the hospitality industry and will be responsible for menu development, front of house and retail merchandise. She has worked in all facets of the business at establishments including WI Big Boy in Germantown. Chaz Hastings has over 20 years in the hospitality industry including ownership at Milwaukee Harley-Davidson and 10 other bar/restaurants in SE WI. He will be responsible for the kitchen staff, and the beverage menu.

We collectively feel that opening in this space will be an excellent dining addition to downtown Sussex and lead to other businesses opening up in the Sawall Development also.



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: _____ Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____

DD 10/4/23
CASH



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? no If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: N63W23675 Main Street 101R Sussex

1. Name of Business:

WI Ludwig, LLC dba The Goat Bar & Grill

Business

N63W23675 Main Street 101R

Sussex, WI 53089

4143349363

Address

City, State, Zip

Phone #

chaz@hastingswi.com

Fax

Email address

2. Business owner contact information:

Chaz Hastings/Katie Rizer

Contact

N116W15841 Main Street

Germantown, WI 53022

4143349363

Address

City, State, Zip

Phone #

chaz@hastingswi.com

Fax

Email address

3. Building/Land owner contact information:

Kevin Sawall

Contact

N63W23217 Main Street

Sussex, WI 53089

2625272334

Address

City, State, Zip

Phone #

Kevin@sawalldevelopment.com

Fax

Email address

4. Number of Employees/Shifts: 20

Employees

2

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
	X	X	X	X	X	X
	3-11	3-11	3-11	11-11	11-11	11-8

6. Is this an extension of an existing operation? No
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? yes Do you need an Outdoor Establishment Permit? yes
If yes, explain: we have already
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? Ocasional live music in summer - usually 1-2 person acts
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? no If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage 3321
If applicable list square footage according to 1st floor x _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces _____ Number of spaces needed per code to code
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?

Similar to current signage as Tekila

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Chaz Hestys
Name
owner
Title or Position

10/3/23
Date

I am aware and approve of the business to be operating in the building owned by _____.

Name
Title or Position

Date



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

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PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

WI Ludwig, LLC dba The Goat Bar & Grill

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Chaz Hastings/Katie Rizer

Tax Key No. of the Property involved in the Request: SUXV _____

Signature of Property Owner and /or Authorized Agent

10/3/23

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: THE GOAT Big Bay Sweets

Business Address: N63W23675 101-102 103 Main Street

Business Phone #: 414-334-9363

Business Email: Chaz@hastingswi.com

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: N63W23675 Main Street 101R _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Project Name MB Smoke on

Tax Key # 231.999.002

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Biha Abdallah Phone # (414) 745-0116

E-mail: Boooha2020@aol.com

For office use only:

Met with staff on: _____

Paid fees on: 9/14/23

PAID CASH 9/14/23

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: N64 W24678 MAIN STREET, SUSSEX, WI 53089

1. Name of Business:

MB Smoke on, H&B Smoke LLC

Business

N64 W24678 MAIN STREET

SUSSEX

414-745-0116

Address

City, State, Zip

Phone #

BOOOHA2020@AOL.COM

Fax #

Email address

2. Business owner contact information:

BIHA ABDALLAH

Contact

7401 CARTER CIR W

FRANKLIN, WI 53132

414-745-0116

Address

City, State, Zip

Phone #

BOOOHA2020@AOL.COM

Fax #

Email address

3. Building/Land owner contact information:

Wessex Buceline LLC

Contact

511 Broadway

Denver, CO 80203

303-615-9544

Address

City, State, Zip

Phone #

jweiner@bucelinegroup.com

Fax #

Email address

4. Number of Employees/Shifts:

2

Employees

2

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
9:00AM	9:00AM	9:00AM	9:00AM	9:00AM	9:00AM	9:00AM
10:00PM	10:00PM	10:00PM	10:00PM	10:00PM	10:00PM	10:00PM

6. Is this an extension of an existing operation? no

7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.

8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____

If yes, explain: Yes - Tobacco License
If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? *n/a*

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? NO If yes, explain:

11. Dimension of area to be occupied 18FT X 55FT Total square footage 1000 SQ/FT

If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:

Total Number of Parking Spaces 10-15 Number of spaces needed per code N/A

Number of spaces allocated for employee parking 2

Dimensions of parking lot 16' x 8' Is parking lot paved? Yes

13. Signage: What type of signage are you proposing for your business?

CHANNEL LETTER, A PICTURE WILL BE PROVIDED

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

BIHA ABDALLAH

Name _____

PRESIDENT

Title or Position

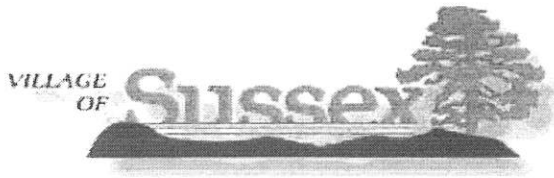
a-14-23
Date

I am aware and approve of the business to be operating in the building owned by B Wesley Raceline LLC.

Colin Henahan *colh*

Name Leasing Portfolio Manager

Date 9/14/23



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Wessex Buellire LLC
511 Broadway, Denver, CO 80203
Business Name: H&B SMOKE LLC

Name of Owner and Address of the Property involved in the Request (if different from above):

BIHA ABDALLAH

Tax Key No. of the Property involved in the Request: SUXV

[Signature]
Signature of Property Owner and /or Authorized Agent

9/14/23
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: H&B SMOKE LLC

Address: N64 W24678 MAIN STREET

Owner/Operator: BIHA ABDALLAH

Standard Industrial Classification #: _____

How many people do you employ? 2

What are your businesses hours of work? 9:00AM-10:00PM

Who is responsible for water quality? (List job titles)
OWNER

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

N/A

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: H&B SMOKE LLC
Business Address: N64 W24678 MAIN STREET
Business Phone #: 414-745-0116
Business Email: BOOOHA20@AOL.COM

Business Emergency Contacts

Name and Phone #: BIHA ABDALLAH 414-745-0116

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: Wessex Baseline LLC

Building Owner Email: jwerner@baselinegroup.com

Building Owner Emergency Contacts

Name and Phone #: Jessica Warner 720-656-9219

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

MB Smoke on

Tobacco shop

Selling the following items

- ① Vapes
- ② Cigs/teq
- ③ Tobacco accessories
- ④ Cigars
- ⑤ Chewing Tobacco
- ⑥ Tobacco pipes
- ⑦ Delta + CBD products
- ⑧ Hookah & related.



WISCONSIN DEPARTMENT OF REVENUE
PO BOX 8902
MADISON, WI 53708-8902

Contact Information:

2135 RIMROCK RD PO BOX 8902
MADISON, WI 53708-8902
ph: 608-266-2776 fax: 608-224-5761
email: DORBusinessTax@wisconsin.gov
website: revenue.wi.gov

Letter ID L0797507536

H&B SMOKE LLC
N64W24678 MAIN ST
SUSSEX WI 53089

Wisconsin Department of Revenue Seller's Permit

Legal/real name:	H&B SMOKE LLC
Business name:	MB SMOKE ON N64W24678 MAIN ST SUSSEX WI 53089-0000

- This certificate confirms you are registered with the Wisconsin Department of Revenue and authorized in the business of selling tangible personal property and taxable services.
- You may not transfer this permit.
- This permit must be displayed at the place of business and is not valid at any other location.
- If your business is not operated from a fixed location, you must carry or display this permit at all events.

Tax Type	Account Type	Account Number
Sales & Use Tax	Seller's Permit	456-1031472989-02



Project Name _____

Tax Key # 278-999-069

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: DianYong Jiang Phone # 414 2089223

E-mail: Tobacco Vape business@gmail.com

For office use only:

Met with staff on: 9/29/23

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? No If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: W249N5245 executive Dr #203 Sussex WI 53089

1. Name of Business:

Tobacco & Vape

Business

W249N5245 executive Dr #203 Sussex WI 53089
Address City, State, Zip Phone # 4142089223

Fax # _____

Email address TobaccoVapebusiness@gmail.com

2. Business owner contact information:

Contact

Dian Yong Jiang

715 W San Jose Dr City, State, Zip mequon WI 53092 Phone # 4142089223

Fax # _____

Email address TobaccoVapebusiness@gmail.com

3. Building/Land owner contact information:

Contact

Dr. Maqsood Ahmad

16800 W greenfield Ave City, State, Zip brookfield WI 53089 Phone # 2627867810

Fax # _____

Email address maxmd7@yahoo.com

4. Number of Employees/Shifts:

4

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
9:30am-8:30pm	9:30am-8:30pm	8:30am-9:30am	9:30am-8:30pm	9:30am-8:30pm	10am-8pm	10am-8pm

6. Is this an extension of an existing operation? No
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? No
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: _____
11. Dimension of area to be occupied 2900 Total square footage 3200
If applicable list square footage according to 1st floor X 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

DianYong Jiang
Name owner
Title or Position

9/29/23
Date

I am aware and approve of the business to be operating in the building owned by Dr. Muqseed Ahmad.

Authentisign
[Signature]
Name 9/28/2023 11:53:32 PM GMT
Owner
Title or Position



N64W23760 Main Street
 Sussex, Wisconsin 53089
 Phone (262) 246-5200
 FAX (262) 246-5222
 Email: info@villagesussex.org
 Website: www.villagesussex.org

VILLAGE OF SUSSEX PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:


John Gilling c/o Premier Financial Services
16800 W. Greenfield Ave Brookfield, WI 53005

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Dr. Magsoud Ahmad
W249N5245 Executive Dr Sussex, WI 53089

Tax Key No. of the Property involved in the Request: SUXV _____


 Signature of Property Owner and /or Authorized Agent
 9/28/2023 11:54:41 PM GMT

_____ Date

 Signature of Village Official Accepting Form

_____ Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Tobacco & Vape

Address: W249115245 executive Dr # 203 Sussex WI 53089

Owner/Operator: Dianying Jiang

Standard Industrial Classification #: commercial

How many people do you employ? 4

What are your businesses hours of work? mon - sun 9:30 am - 8 pm

Who is responsible for water quality? (List job titles) None

Time and Duration of Discharge: business hour

Average and Peak Wastewater Flow Rates (Include any daily, monthly or seasonal variations):
business hour

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged: Normal waste water

Please list each product your business produces. (Include type, amount and rate of production):
Normal waste water

What are the constituents and characteristics of your wastewater? Normal waste water

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.





Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Tobacco & Vape
Business Address: W249N5245 executive Dr Sussex WI 53089
Business Phone #: 414 2089223
Business Email: Tobacco Vape business@gmail.com

Business Emergency Contacts

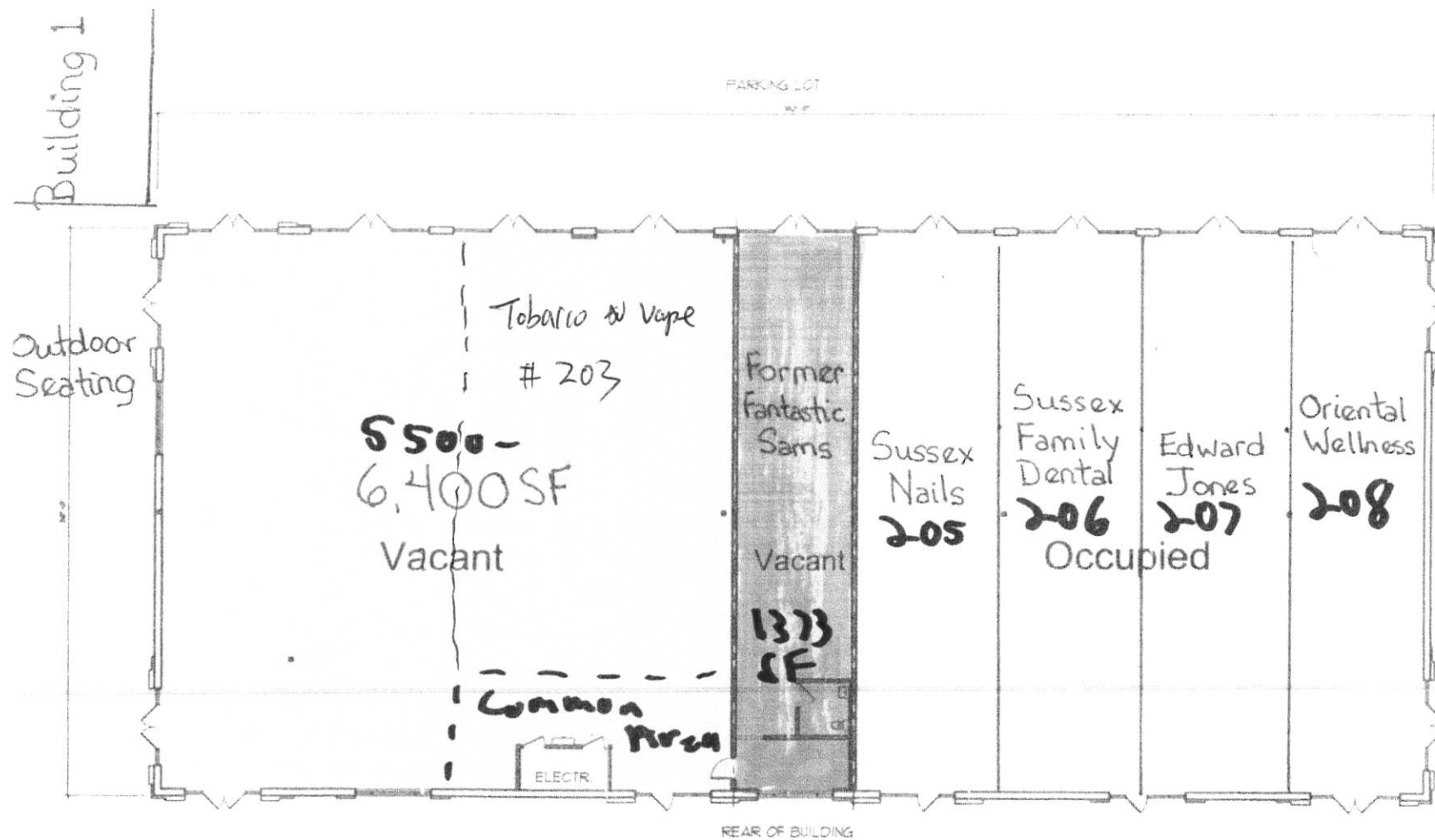
Name and Phone #: DianYong Jiang 414 2089223
Name and Phone #: QiuYan chen 5179270572
Name and Phone #: _____

Building Owner Name: Dr. Magsoud Ahmad
Building Owner Email: maxmd7@yahoo.com

Building Owner Emergency Contacts

Name and Phone #: Lisa 262-786-7810
Name and Phone #: John Gilling 414-254-9366

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



Building Floor Plan (Sussex Gateway Building 2)

14,400 SQ. FT. GROSS



1" = 20'



Tobacco & vape

product to sell & stored on premise:

cigarettes, pipe tobacco, cigarettes
tube, ashtray, cigar, rolling paper & tray, tobacco pipe &
glass pipe & accessories, hookah & accessories, cbd hemp
product & accessories, nicotine vape & disposable
vape, vape device & accessories, nicotine liquid & pouch.
Incense, candle, drink & snap



Project Name _____

Tax Key # SUXV0246962002

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Erik Toy Phone # 262-246-6486
E-mail: smile@sussexdentistry.com

For office use only:

Met with staff on: _____

Paid fees on: 9/4/23

To be on the Plan Commission Agenda for: 10/12/23

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____

Po. CHECK #1002



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # SUXV0246962002

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Toy Family Dentistry LLC
Business
N63 W23524 Silver Spring Dr #3 Sussex WI 53089 262-246-6486
Address City, State, Zip Phone #
262-246-6791 Smile@sussexdentistry.com
Fax # Email address

2. Business owner contact information:

Erik Toy
Contact
N63 W23524 Silver Spring Dr #3 Sussex WI 53089 262-246-6486
Address City, State, Zip Phone #
262-246-6791 Smile@sussexdentistry.com
Fax # Email address

3. Building/Land owner contact information:

Erik Toy
Contact
N63 W23524 Silver Spring Dr #3 Sussex WI 53089 262-246-6486
Address City, State, Zip Phone #
262-246-6791 Smile@sussexdentistry.com
Fax # Email address

4. Number of Employees/Shifts: 6, (1 with owner) 1
Employees Shifts

5. Days of Operation:

Put an X in box that applies:

Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
8-5	8-5	8-7	8-5	8-2	closed	closed

6. Is this an extension of an existing operation? no
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? no Do you need an Outdoor Establishment Permit? no
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? no If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage 1850
If applicable list square footage according to 1st floor NA 2nd floor NA

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 35 Number of spaces needed per code _____
Number of spaces allocated for employee parking 9
Dimensions of parking lot _____ Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?

same as existing with new name

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Jaime Bucholtz
Name
office manager
Title or Position

9/5/23
Date

I am aware and approve of the business to be operating in the building owned by _____.

Name

Title or Position

Date



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

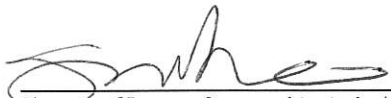
Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Erik Toy N63 W23524 Silver Spring Dr
Sussex WI 53089

Business Name: Toy Family Dentistry LLC

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV 0246962002


Signature of Property Owner and /or Authorized Agent

9/5/23
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Toy Family Dentistry LLC

Address: N63 W23524 Silver Spring Dr Sussex, WI 53089

Owner/Operator: Erik Toy

Standard Industrial Classification #: _____

How many people do you employ? 6

What are your businesses hours of work? M: 8-5 TU: 8-5 W: 8-7 Th: 8-5 F: 8-2

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Toy Family Dentistry LLC

Business Address: N63 W23524 Silver Spring Dr Sussex 53089

Business Phone #: 262-246-6486

Business Email: Smile@sussexdentistry.com

Business Emergency Contacts

Name and Phone #: Erik Toy 262-894-1423

Name and Phone #: Jaime Bucholtz 262-370-7323

Name and Phone #: _____

Building Owner Name: Erik Toy

Building Owner Email: Smile@sussexdentistry.com

Building Owner Emergency Contacts

Name and Phone #: Same as above

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



PLAN OF OPERATION – NEW CONSTRUCTION
PROCEDURE LIST

Project Name _____

Tax Key # _____

Pre-application conference must be arranged with staff. Please contact us at 262-246-5215 prior to submitting application materials.

Submittal checklist:

- _____ Original completed Plan of Operation (Page 1-3)
- _____ Original completed Professional Services Reimbursement, Emergency Contact, Wastewater Discharge Permit and Flood Plain Occupancy
- _____ 3 original size and 3 reduced (11 x 17) copies of Site Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Architectural plans
- _____ 3 original size and 3 reduced (11 x 17) copies of Sign Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Landscape Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Lighting Plan
- _____ Submit plans in PDF format on a disc

The following fees are required at the time of submittal:

- _____ Plan of Operation fee \$175.00
- _____ Conditional Use fee \$210.00
- _____ Plan Review fee \$250.00

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Please make check payable to: Village of Sussex (fees are non refundable)

Deadline for submittals is the last business day of the month for consideration for the next Plan Commission Agenda. (Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda.). Application can be submitted via email to ggilbertson@villagesussex.org.

Contact Name for meetings: _____ Phone # _____
E-mail: _____

For office use only:

Met with staff on: _____
Received documents on: _____
Fees received and paid on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on PROPERTY _____

SITE PLAN REVIEW CHECKLIST

This checklist is a guide for developers to have a project reviewed by the Village of Sussex Plan Commission. Before a project can be reviewed by the Plan Commission, initial consultation should be made with staff.

GENERAL INFORMATION

Names and addresses of owner/developer/
designer/engineer
Graphic scale, north arrow
Location sketch
Size of site (gross and net acreage)
Existing zoning, adjacent zoning
Summary of proposed development

EXISTING SITE INFORMATION

Dimensions of site and lot lines
Existing grades
Adjacent property grades and structures
Drainage systems and structures
Natural features
Wetland boundaries
Floodplain elevation and boundaries
Environmental concerns
Roads, curbs, parking lots, pavement areas
Structures (location, size)
Rights-of-way (existing/proposed)
Easements (drainage, utility)
Existing utilities
Benchmark locations and elevations
Location of fences, wells, borings, etc.

ARCHITECTURAL PLANS

Existing building location
Existing building elevations/materials
Proposed use
Proposed floor plans
Square footage
Proposed elevations, building height
Proposed materials and colors (material sample
board
required for new construction)
Details of any special features

PROPOSED SITE PLAN

Grading and spot elevations
Erosion control measures
Stormwater management
Stormwater management design report
General drainage pattern
Swales w/ arrows for direction of flow
Pond design with outfalls
Culverts location/size
Utilities
Sanitary
Water
Stormsewer
Electrical or power generators
Building location (dimension)
Building elevation (finished grade)
Location of proposed signage
Dumpster enclosure details
Setbacks (clearly marked and dimensioned)
Vehicular entrances (dimension to centerline of
nearest intersection)
Streets (dimension and direction for one-ways)
Curve radii
Sidewalks
Parking areas (show striping/spot elevations)
Parking setback from property line
Lot coverage
Square footage total
Impervious surface total %
Green space total %
Percent permitted %
Municipal utility connections
Sanitary sewer (pipe size/elevations)
Water (size, valve location, elevations)
Location of hydrants
Easement for public water mains

LIGHTING PLAN

Major improvements for context
Location/nature of existing fixtures
Location of proposed fixtures
Photometric report (to scale on plan)
Manufactures cut-sheets of all fixtures
Lighting schedule
Key to plan
Number/type of fixtures
Output (wattage)
Installation details as appropriate

The following materials can be reviewed on our website www.villagesussex.org

Design Standards
Chapter 17 & 18
Development Requirements
Downtown Plan
2040 Comprehensive Plan
2040 Land Use Plan

LANDSCAPING PLAN

Landscape plan to be same scale as site plan
Location of driveways, walk ways and sidewalks
Proposed outdoor amenities (benches, decks, gazebos)
Existing vegetation plan
Saved
Destroying
Proposed landscape features (berms, fountains)
Plant list broken down in the following categories
Deciduous trees, names and numbers
Evergreens, names and numbers
Shrubs/flowers, names and numbers
Indicate sizes of plantings

Fire Department Chapter 5

ITEMS SUBMITTED FOR PLAN COMMISSION

Completed Plan of Operation
Required # of copies to be received by established deadline date
Building material sample board
All required fees paid

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.



PLAN OF OPERATION

To be used for a business with new construction.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

OR an amendment to an existing CU? _____

(Conditional Use Permits require a Public Hearing)

Address location of new construction _____

Tax Key # _____

Zoning: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts:

_____ Employees

_____ Shifts

Please see attached narrative

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. Please see attached narrative
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____ Arcade permit? _____
If yes, explain: _____
If yes, please obtain and complete form.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____
If yes, explain: _____

11. Dimensions and levels of all buildings:

	Dimensions	Levels	Square footage
Building 1	_____	_____	_____
Building 2	_____	_____	_____
Building 3	_____	_____	_____

Is the building(s) to be used for multi-tenant purpose? _____

12.	Lot size	Depth	Width	Area
	_____	_____	_____	_____
	<i>Above to be included on survey</i>			

- 13 Parking: Dimensions of parking lot _____
Parking lot construction _____
Type of screening: Fence _____ or Plantings _____
Number of spaces needed per code _____ # of spaces for employees _____
Above to be included on site plan

Please provide the following information:

Total square footage of building, new and existing _____

Total square footage of parking lot, new and existing _____

14. Signs: Type: Free standing _____ Attached to building _____
no new signage Lighted _____ Single or double faced _____
Size _____ Location _____
Above to be included on sign plan

15. What security lighting are you proposing? (Please include on lighting plan)

16. Is there a need for outside storage? _____ If yes, explain:

17. Is a Highway access permit needed from the state or County Highway Departments? _____

If yes, please attach a copy of the secured permit.

What conditions has the State or County imposed upon your permit?

18. Is there a need for any special type of security fencing? _____

If yes, what type? _____

19. What provisions are you making for fire protection? _____

What provisions are your making for a sprinkler system? _____

Storage system? _____

Hydrant stand pipes? _____

Is there a fire lane shown on your site plan? _____

Explain: _____

20. Surface water drainage facilities and impervious areas, describe and/or include on site plan.

21. Did Wisconsin State Department of Industry Labor and Human Relations approve building plans?

_____ If yes, explain: _____

22. Please give a timetable for items to be completed:

Building construction _____

Paving _____

Landscaping _____

Occupancy _____

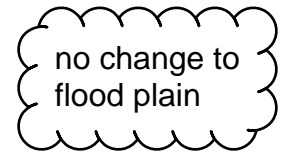
I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position



Information on Flood Plain Occupancy:

1. What is the flood plain elevation at the site? _____
2. Is the flood plain construction elevated or flood proofed? Elevated _____ Flood proofed _____
3. What is the elevation of the lowest floor of the structure? _____
4. What is the elevation of the land fill surrounding the structure? _____
5. Does the fill extend beyond the structure? _____
How far beyond the structure? _____ feet
6. Is dry land access provided? _____
7. If the structure is flood proofed, what flood proofing measures are used?

8. Certification of elevation or flood proofing must be provided by a licensed surveyor or registered Engineer.



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



no change to
existing discharge

WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes

No (no change)



BRIOHN BUILDING CORPORATION

Caitlin LaJoie
Briohn Building Corporation
3885 N Brookfield Rd, Suite 200
Brookfield, WI 53045

July 31, 2023

Village of Sussex
N64W23760 Main Street
Sussex, WI 53089

VIA Email: Gabe Gilbertson (ggilbertson@sussexwi.gov)

Dear Village Staff, Commissioners, and Board Members:

Briohn Building Corporation is pleased to present the following proposal on behalf of Beer Capitol ("Developer") to the Village of Sussex ("Village") for the proposed addition ("Development") to their existing facility.

Subject Site

The subject site ("Site") is located at W222N5700 Miller Way, Sussex, WI 53089 (Tax Key SUXV0244992002) and is approximately 24.18 acres. The Site is currently zoned BP-1 with Exceptions, which will remain.

Company History

Beer Capitol was founded in 1933 and is now in its fourth generation of being family owned and operated. In 2016, Frank Beverage Group acquired Beer Capitol which has proven to be a successful venture as the two companies have many shared values. The Sussex headquarters continues to be a state-of-the-art facility as multiple additions have occurred over the years to accommodate a growing customer base of over 3,100 customers.

Beer Capitol is open Monday through Friday 24 hours and employs 372 full-time employees. There are approximately 80 warehouse employees, 96 delivery/transport drivers, 163 sales/merchandising employees, and 33 administrative employees. Additionally, there are 35 yearly part-time employees plus 40 summer employees. The addition is expected to assist in territory and supplier growth.

Beer Capitol is a beverage wholesaler whose facility sells approximately 9 million case equivalences of beer annually. Below is a list of top suppliers, by volume:

- Molson Coors Beverage Company

- Constellation Brands (Coronoa, Modelo)
- Mikes Hard Lemonade (Mikes, White Claw)
- Pabst Brewing Company
- Boston Beer Company (Sam Adams, Truly, Twisted Tea)
- Heineken
- Lakefront Brewery
- Premium Waters
- FIFCO (Seagram's)
- New Belgium Brewing (New Belgium, Bells)
- Eagle Park
- Raised Grain
- Stevens Point Brewery
- City Lights
- Sprecher Brewery

Vision of Development

The Developer is seeking approvals for the site plan, architecture, conditional use permit amendment, and proposed tree replacement from the Village. After completing a wetland delineation, a request for artificial wetland exemption was submitted to the WDNR on 7/27/23. Additional coordination and/or approvals from the county, state, and utility companies will be obtained as needed.

The proposed addition is to expand the existing warehouse to the north by 84,668 SF plus a loading dock addition of 13,800 SF with 10 overhead doors for a total building size (existing plus proposed) of 332,618 SF. There will be additional parking stalls to accommodate employees. Proposed interior alterations to increase efficiencies include relocating the combined cooler, creating new staging areas and modifying the dock enclosures along the southern wall. The Development will be fully sprinkled (NFPA 13) throughout with ESFR in all S-1 occupancy areas; Type 2B construction with primary occupancies as S-1 (storage moderate hazard) and secondary occupancy as B (business).

The Development will meet all BP-1 bulk zoning requirements, summary below:

	BP-1 Standard	Development
Front Setback	40'	76.1'
Side Setback	25'	137.7'
Rear Setback	25'	167.3'
Max Building Height	60'	30'
Min Open Space	25%	39% (403,584 SF)
Max Lot Coverage	75%	61% (642,983 SF)
Parking		276 car parking stalls 49 trailer parking stalls 29 van spaces

The Development is designed to be consistent with the existing building while meeting Beer Capitol's demand for additional warehouse space.

The proposed landscape plan has been prepared by a professional landscape architect. The design will meet or exceed Village ordinance and provide adequate screening.

Entitlement and Construction Timeline

08/15/2023 – Plan Commission meeting to accept application and set public hearing

08/21/2023 – Anticipated WDNR wetland approval

09/19/2023 – Plan Commission public hearing to approve site plan

10/04/2023 – Architectural Review Board meeting

10/17/2023 – Plan Commission public hearing to amend conditional use permit

A tree survey was completed and the Developer will present findings to the Parks Board at an upcoming meeting (to be coordinated with Staff).

Building permits will be applied for immediately so earth work can begin this fall, allowing Beer Capitol to be operational in the addition prior to Memorial Day 2024.

Materials and Image

The Developer has reviewed and understands the architectural design elements required by the Village. The preliminary design meets or exceeds the code while being aesthetically pleasing. Please reference Exhibit B attached hereto for proposed renderings; full size hard copies and electronic plans provided.

Contact Information

Dom Ferrante, Vice President - Architecture | Briohn Design Group
dferrante@briohn.com | 262-790-0500 x 405

Peyton Paquin, Senior Project Manager | Briohn Building Corporation
ppaquin@briohn.com | 262-790-0500 x 284

Kyle Roadt, Project Manager | Briohn Building Corporation
kroadt@briohn.com | 262-790-0500 x 286

Caitlin LaJoie, Director of Land Development | Briohn Building Corporation
clajoie@briohn.com | 262-307-8792

Conclusion

Thank you for reviewing and discussing the proposed development with our design team. We look forward to continuing the conversation with the Village. Should you have any further questions, please do not hesitate to contact me.

Sincerely,

Caitlin LaJoie, Director of Land Development
Briohn Building Corporation

Exhibit A – Aerial View

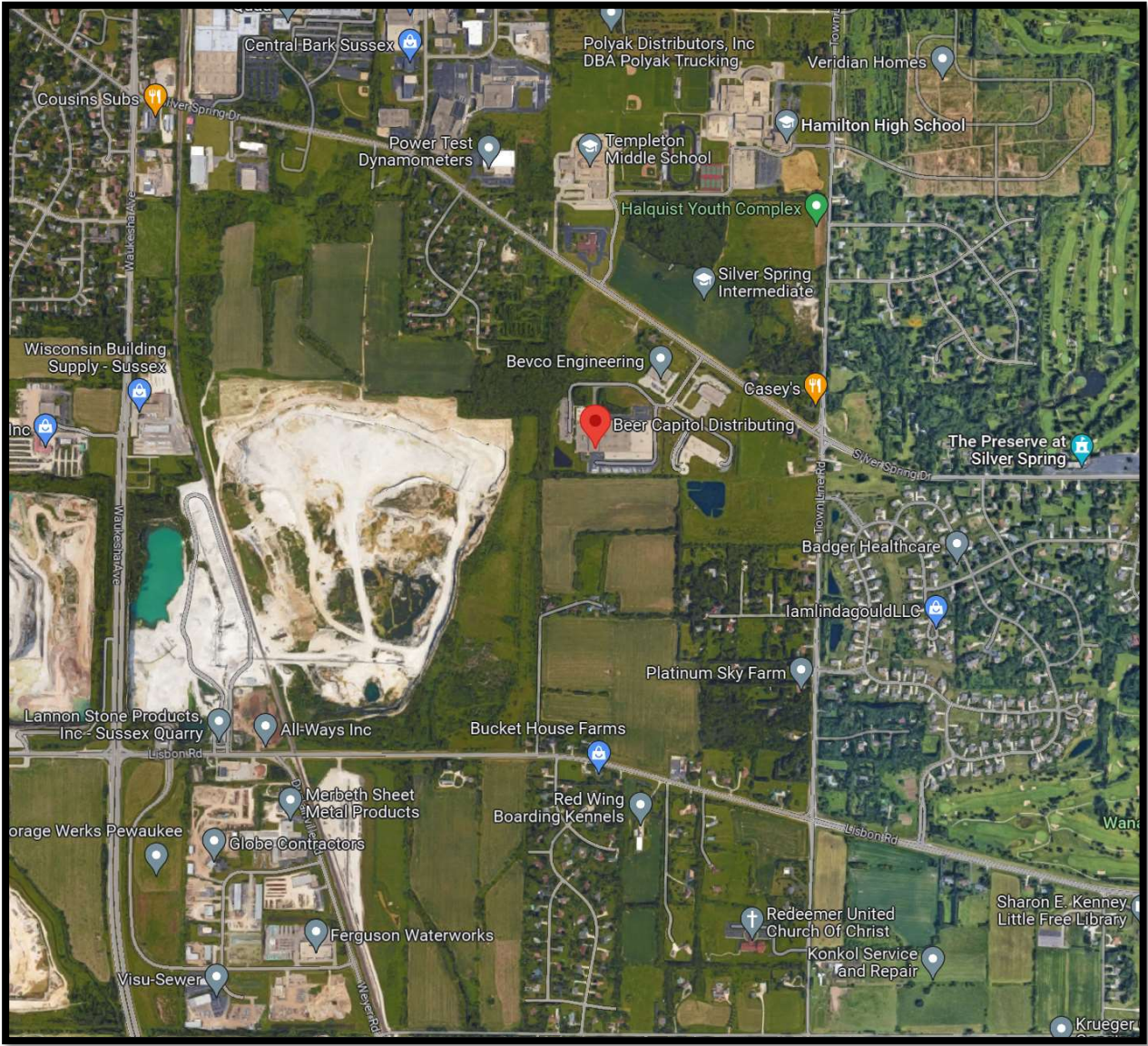


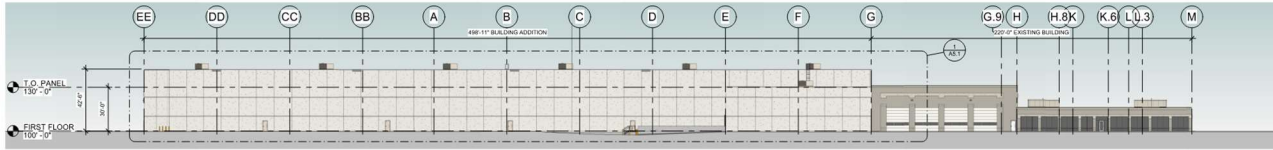


Exhibit B – Preliminary Site Plan, Elevations, and Renderings

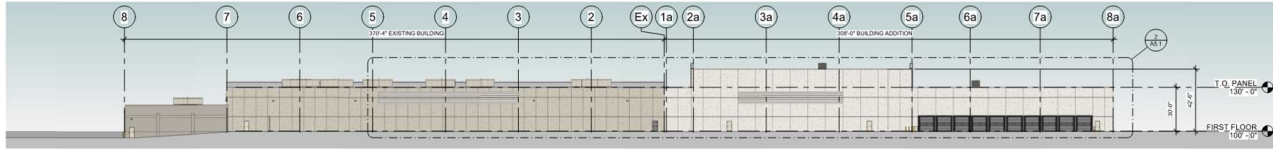
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CJE NO.: CJE2329R3
JULY 28, 2023

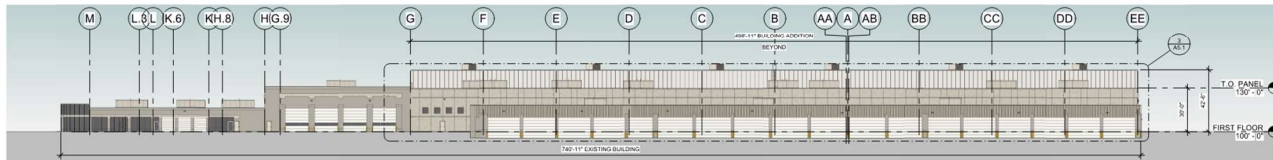




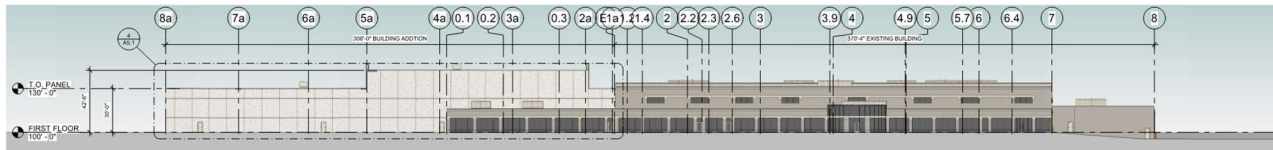
1 NORTH ELEVATION
T = 30'-0"



2 EAST ELEVATION
T = 30'-0"



4 SOUTH ELEVATION
T = 30'-0"



3 WEST ELEVATION
T = 30'-0"

WALL COLOR LEGEND

COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1 1/2" DEEP REVEAL

EXTERIOR SYSTEMS

ROOF ASSEMBLY (AMBIENT): BALLASTED 40 MIL EPDM ROOF MEMBRANE ON 4" DIRECT TO SLAB APPROVED DFI INSULATION (SEE TWO LAYERS OF 2" STAGGERED ON METAL DECK (SEE STRUCTURAL DRAWINGS))

INSULATED PRECAST WALL PANEL SYSTEM: 12" INSULATED PRECAST CONCRETE WALL PANEL (R-18)

INSULATED METAL WALL PANEL SYSTEM: 3" INSULATED METAL REVEAL WALL PANEL SYSTEM (R-42)

PRECASTER NOTE

PRECASTER TO PROVIDE COVERS FOR ALL ROUND RECESSED DOCKERS AND PROVIDE CLOSED GILL GRATE TOYAN INSULATION WITH STEEL REINFORCED METAL COVER PLATE FOR ALL OTHER SHAFT OPENINGS OR RECESSED METAL BEAM, JUNG, JOSE, GIBBS BEARING OR OTHER PUNCTURED CONDITIONS) ON INTERIOR SIDE OF THE PRECAST WALL PANELS

THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 4 (PER ICC SECTION 602) PER TABLE 602.2 (1) BUILDING ENVELOPE REQUIREMENTS - CLIMATE ZONE 4

ROOFS - PROPOSED ROOF INSULATION MINIMUM ABOVE DECK R-20 REQUIRED AND R-20 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.301 REQUIRED AND R-140 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW GRADE AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 602.3 BUILDING ENVELOPE REQUIREMENTS PENETRATION

VERTICAL PENETRATION LINE MAXIMUM ALLOWED ABOVE GRADE (S.E. ACTUAL PROVIDED REQUIRED) - FACTOR 40 ACTUAL PROVIDED 29 AND

SHOC 2

REQUIREMENTS

CA202.5.1 AIR (LEAKAGE THERMAL ENVELOPE, PROPOSED BUILDING COMPLETES.

CA202.5.2 AIR BARRIER PER CA202.5.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE, PROPOSED BUILDING COMPLETES.

CA202.5.3 AIR (LEAKAGE PENETRATION SEE EXCEPTION 1. FIELD FABRICATED PENETRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION CA202.5.1, PROPOSED BUILDING COMPLETES.

CA202.5.4 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTRIBUTING TO OUTSIDE, PROPOSED BUILDING COMPLETES.

CA202.5.5 AIR INLETS, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED, NOT APPLICABLE TO PROPOSED BUILDING.

CA202.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS, PROPOSED BUILDING COMPLETES.

CA202.5.7 VENTILATION EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, OR INTENDED SOLELY FOR EMPLOYEE USE, EXCEPTION 4 DOORS MAY OPEN DIRECTLY FROM A SPACE LESS THAN 300 SQUARE FEET IN AREA, EXCEPTION 4 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS, PROPOSED BUILDING COMPLETES.

CA202.5.8 RECESSED LIGHTING, NOT APPLICABLE TO PROPOSED BUILDING.

Project Name	Beer Capital Distributing
Project Number	230041
Client	BCD
Architect	BCD
Engineer	BCD
Sheet	07/19/2023



① PERSPECTIVE VIEW LOOKING SOUTH / SOUTHEAST
10/1/17



② PERSPECTIVE VIEW LOOKING SOUTH / SOUTHEAST
10/1/17



③ PERSPECTIVE VIEW OF EXISTING LOADING DOCK LOOKING NORTH / NORTHEAST
10/1/17



EXTERIOR RENDERINGS

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITAL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN



T1.1

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0420 BP-1 Business Park District

17.0420

BP-1 BUSINESS PARK DISTRICT

The BP-1 Business Park District is intended to provide for the orderly and attractive grouping of diverse office, retail, and customer service uses, mixed with industrial uses of limited intensity where the appearance of such mixed uses is enhanced by pleasing building architecture and generously landscaped sites free of outside storage and outside

display of products. The district is intended to be located in highly visible locations adjacent to arterial highways, and should be buffered by means of landscaping and berms from residential uses.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (b) Food service contractors and caterers
- (c) Hotels and Motels

2. Educational, Health Services, and Social Services

- (a) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.

3. General Services

- (a) Repair and Maintenance of consumer electronics, electronic and precision equipment commercial and Industrial machinery and equipment, appliances, furniture/reupholsters.
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Dry cleaning and laundry services (non-industrial)
- (d) Photo finishing laboratories
- (e) General Business Offices.
- (f) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial Service Institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Monetary Authority
- (c) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, and developer offices

5. Office equipment rental and leasing Information Services

- (a) Newspapers and Publishers

- (b) Computer programming, software publishers and data/system processing
 - (c) Video, film, sound, photo production and studios
 - (d) Media station and distribution center, excluding towers and dishes
 - (e) Telecommunications services, excluding towers and dishes
6. Manufacturing: The manufacture, fabrication, assembly, and/or processing of the following products; or parts, supplies, or sub-assemblies of the same:
- (a) Fabrics and Textile Products
 - (1) Yarn, felt, and fabric
 - (2) Carpet, rugs, drapes, canvas, and rope
 - (3) Clothing, hosiery, hats, gloves, shoes
 - (4) Packing and assembly of fur and leather products, no tanning
 - (5) Upholstery of furniture and automotive
 - (b) Wood and Paper Products
 - (1) Wood furniture and wood products
 - (2) Paper products (non pulp)
 - (3) Printing, binding, and associated printing services
 - (c) Home, health, beauty, and cleaning Products
 - (1) Toiletries
 - (2) Medical, botanical, and pharmaceutical processing (non hazardous)
 - (3) Cosmetic manufacturing
 - (4) China, pottery, porcelain, clay, ceramics, silverware
 - (5) Glass and glass products
 - (6) Jewelry
 - (7) Home décor items of art, lamps, furniture, wallpaper.
 - (8) Brooms and brushes
 - (d) Machinery and Metal Products
 - (1) Rolled wire, metal product manufacturing
 - (2) Tool and die, and machining
 - (3) Machinery for of farming, construction, mining, woodworking, paper, textile, printing, food products, commercial or industrial uses, service industry, mechanical, crane, elevator, pumps, and motors.
 - (e) General manufacturing
 - (1) Electronics, telecommunications, medical instruments, scientific and laboratory equipment, measuring and recording devices.
 - (2) Electrical appliances, switches, cable, and components
 - (3) Vehicles, vehicle parts, and equipment
 - (4) Sporting goods, hobby products, musical instruments, and marking devices
 - (5) Signage and advertising products
7. Professional, Technical, Scientific, and Administrative Services
- (a) Legal, notaries, and title services
 - (b) Accountants, tax preparation, payroll, and other accounting services
 - (c) Architects, landscape architects, engineering, surveying services
 - (d) Interior, industrial, graphic, and fashion design services
 - (e) Consulting/professional services of advertising, management, HR, marketing, IT.

- (f) Laboratories, research, and development facilities
- (g) Translation and interpretation services
- (h) Employment placement and provider services
- (i) Private investigators, locksmiths, security, and armored car services
- (j) Janitorial services
- (k) Pest control services
- (l) Business service centers and telemarketers
- (m) Building maintenance services
- (n) Packaging and labeling services
- (o) Veterinary Services
- (p) Offices of holding companies and regional managing offices
- 8. Retail Trade
 - (a) Internet sales shopping/mail order business and vending machine sales
 - (b) Factory Outlets and retail sales of products made onsite in the principal industrial operation.
- 9. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 10. Transportation and Warehousing, as follows:
 - (a) Courier, delivery, postal service businesses
 - (b) Limited wholesaling, warehousing and storage facilities for distributors, provided that such warehousing and storage does not exceed 50,000 square feet.

B. Permitted Accessory Uses

- 1. Garages for storage of vehicles used in conjunction with the principal business park operation.
- 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 3. Office, storage, power supply, distribution, warehousing, and other uses normally auxiliary to permitted business park uses.
- 4. Indoor storage and sale of machinery and equipment associated with the permitted business park uses.
- 5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- 6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Certain Incompatible Uses Prohibited

The following uses are considered to be incompatible with the residential characteristics of the Village and surrounding area and are herewith prohibited:

- 1. Manufacturing/processing of ammonia, asbestos, asphalt, cabbage,

chlorine, coal tar, creosote, explosives, fertilizer, fish, glue, grease, gypsum,

insecticide, lampblack, offal, poison, pulp, pyroxylin, and radioactive materials.

2. Storage of bulk fertilizer, explosives, gasoline in excess of 50,000 gallons, grease, and radioactive materials.
3. Forges, foundries, garbage incinerators, animal reduction, rubbish storage, slaughter houses, smelters, stockyards, and tanneries.

E. Lot Area and Width

1. Lots shall have a minimum of 40,000 square feet in area and shall be not less than 150 feet in width.
2. To achieve a campus-like appearance, lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

F.

1. **Building Height**
No building or parts of a building shall exceed 60 feet in height.

G. Setback and Yards

1. There shall be a minimum building setback of 40 feet from the street right-of-way.
2. There shall be a side yard of 25 feet on each side of all structures not exceeding 45 feet in height. Buildings in excess of 45 feet in height shall increase the minimum side yards one (1) foot for each additional one (1) foot of building height over 45 feet up to a maximum height of 60 feet.
3. There shall be a rear yard of not less than 25 feet.
4. The Plan Commission may reduce setbacks within this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction,
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards of the Village.
5. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.
6. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

- H. Erosion Control
 - 1. See Chapter 14 of the Village Municipal Code.
- I. Development Design Standards
 - 1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- J. Plans and Specifications to be Submitted to Plan Commission
 - 1. To encourage a business park environment that is compatible with the residential character of the Village, and that will maintain a campus like setting, building permits for permitted uses in the BP-1 Business Park District shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, architectural plans, ingress and egress, parking, loading and unloading, landscaping, and open space utilization.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

- 10. Transportation and Warehousing
 - Petitioners for conditional uses in the Warehousing section must:
 - a) In the BP-1 district, truck terminals, warehousing, wholesale and distribution centers, and mail-order centers when not accessory to a BP-1 district permitted use. The Plan Commission must also find the following items: that traffic from the use will not reduce the functionality grade of any nearby intersection(s) without the same being mitigated; and that noise standards of the operations shall be at least 10% lower at the property line than the Village Ordinance. The

Plan Commission must find that the buildings fully adhere to the design standards of the Village and the lot is screened such that the parked vehicles or equipment are not visible from any residential district and the street.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the

street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

PROPOSED NEW WAREHOUSE AND LOADING DOCK ADDITIONS FOR:

BEER CAPITOL DISTRIBUTING

W222 N5700 MILLER WAY
SUSSEX, WISCONSIN 53089



1 AERIAL VIEW LOOKING NORTH / NORTHEAST
12" = 1'-0"



2 AERIAL VIEW LOOKING SOUTH / SOUTHWEST
12" = 1'-0"

SHEET INDEX	
0 - GENERAL	
TI.0	TITLE SHEET
TI.1	EXTERIOR RENDERINGS
1 - SPECIFICATIONS	
GS.1	SPECIFICATIONS
GS.2	SPECIFICATIONS
2 - SURVEY	
SV-1.0	EXISTING CONDITIONS SURVEY
SV-2.0	TREE INVENTORY MAP
3 - CIVIL	
C1.0	SITE PLAN
C1.1	FIRE APPARATUS PLAN
C1.2	WB-67 TURNING MOVEMENT
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	EROSION CONTROL PLAN
C5.0	SITE DETAILS
C6.0	SITE DEMO PLAN
4 - LANDSCAPING	
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN ENLARGEMENT
L2.0	LANDSCAPE NOTES & DETAILS
5 - ARCHITECTURAL	
A0.1	ARCHITECTURAL SITE PLAN
A1.0	OVERALL SITE AND FLOOR PLAN EXISTING CONDITIONS
A1.1	OVERALL FLOOR PLAN
A1.2	ENLARGED FIRST FLOOR PLAN
A1.3	ENLARGED EXISTING FIRST FLOOR PLAN
A4.0	OVERALL ROOF PLAN
A5.0	OVERALL EXTERIOR ELEVATIONS
A5.1	ENLARGED EXTERIOR ELEVATIONS
A6.0	BUILDING LINE OF SIGHT SECTIONS
7 - ELECTRICAL	
E1.0	SITE LIGHTING PLAN
E2.0	LIGHTING CUT SHEETS
E2.1	LIGHTING CUT SHEETS

PLAN COMMISSION SUBMITTAL SET JULY 31, 2023

OWNER :	GENERAL CONTRACTOR :
BEER CAPITOL DISTRIBUTING GARY GENZ	BRIOHN BUILDING CORPORATION Kyle Roadt, PM
W222 N5700 MILLER WAY SUSSEX, WI 53089	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX
ARCHITECT :	STRUCTURAL ENGINEER:
BRIOHN DESIGN GROUP, LLC Domenico Ferrante, AIA	BRIOHN DESIGN GROUP, LLC Kevin Jankowski, PE
3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX
CIVIL ENGINEER:	LANDSCAPE ARCHITECT:
CJ ENGINEERING Christopher A. Jackson, P.E.	HELLIANTHUS LLC Kristi Sherfinski, PLA
9205 WEST CENTER STREET, SUITE 214 MILWAUKEE, WISCONSIN 53222 (414) 443-1312 PHONE (414) 443-1317 FAX	1836 W. FOND DU LAC AVE., SUITE 100 MILWAUKEE, WISCONSIN 53205 (414) 622-0103 PHONE

PROJECT LOCATION:



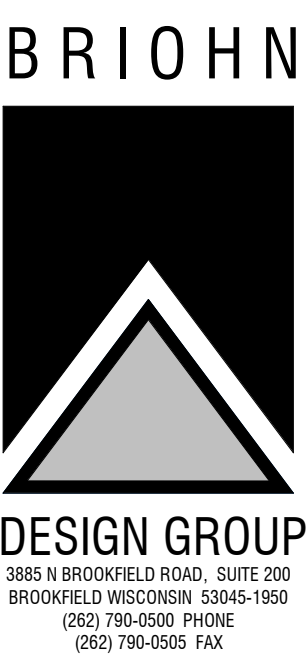
SITE LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366 ACCESSIBILITY CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ENERGY CODE: 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363 MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364 PLUMBING CODE: 2014 WISCONSIN PLUMBING CODE SPS 381-387 ELECTRICAL CODE: 2017 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS31.6 FIRE CODE: SPS 314 FIRE PREVENTION	
OCCUPANCY:	PRIMARY S-1 (MODERATE HAZARD STORAGE) SECONDARY B (BUSINESS)
CLASS OF CONSTRUCTION:	TYPE 2B UNLIMITED AREA BUILDING PER IBC 507
SPRINKLER SYSTEM:	NFPA 13 OVERALL: ESFR FOR S-1 OCCUPANCY AREAS
FLOOR LEVELS:	1
NUMBER OF STORIES	1
TOTAL SITE AREA:	TOTAL CURRENT SITE 1,046,567 SF / 24.0259 ACRES
TOTAL EXISTING BUILDING AREA:	262,458 SF
PROPOSED WAREHOUSE ADDITION:	84,668 SF
PROPOSED LOADING DOCK ADDITION:	13,800 SF
TOTAL PROPOSED BUILDING AREA:	98,468 SF
TOTAL PROPOSED & EXISTING BUILDING AREAS:	360,926 SF
NOTE:	ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS



APPLICABLE
TO ALL
PLAN VIEWS



TITLE SHEET

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Revision	
Date	
JOB:	230041
DRAWN:	CK
CHECKED:	DF
DATE:	07/31/2023
SHEET:	T1.0

[illegible]

PRECAST CONCRETE

1. TILT UP DESIGN SHALL CONFORM TO TCI AND ACI STANDARDS. GOVERNING SPECIFICATION FOR TILT UP CONCRETE PANELS TO BE IN ACCORDANCE WITH THE TILT-UP CONCRETE ASSOCIATIONS GUIDELINE SPECIFICATIONS. DESIGN LOADS SHALL CONFORM TO THE DESIGN LOADS SECTION OF THE PLAN AND APPLICABLE CODES. DESIGN AND CONSTRUCT TILT-UP WALL PANELS TO WITHSTAND CONSTRUCTION LOADS WHICH MAY OCCUR DURING LIFTING, BRACING, AND IMPACT OF ADJOINING PANELS. PERMANENT LOADS SHALL CONFORM TO CODE REQUIREMENTS.
2. THE PROJECT ARCHITECT/ENGINEER HAS NOT BEEN RETAINED TO DESIGN THE WALL PANELS OR THE FLOOR SLAB TO RESIST THE STRESSES CAUSED BY THE WALL PANELS. NOW TO DESIGN THE MEANS AND METHODS TO BE USED FOR ERECTION AND BRACING UNTIL PERMANENT BRACING IS IN PLACE.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ERECT THE PANEL IN A MANNER THAT WILL BE BOTH SAFE FOR PERSONNEL AND PROPERTY, AND TO BRACE AND OTHERWISE PROTECT THE PANELS AGAINST WIND AND OTHER FORCES THAT MAY OCCUR DURING CONSTRUCTION AND UNTIL CONNECTIONS TO THE PERMANENT STRUCTURAL SYSTEM ARE COMPLETED.
4. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT A SUITABLE SLAB HAS BEEN PREPARED TO PROVIDE FOR THE LEVEL OF FINISH THAT HAS BEEN ESTABLISHED WITHIN THIS SPECIFICATION.
5. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE THE SLAB FINISHING INCLUDING SAW CUTTING OF ALL JOINTS WITH THE PANEL FORMING TOOL MINIMIZE THE IMPACT TO THE ARCHITECTURAL FINISH OF THE PANELS.
6. SHOP DRAWINGS:
 - A. DRAWINGS SHALL BE COMPLETE AND INCLUDE PLANS, ELEVATIONS, CROSS SECTIONS AND DETAILS OF ALL BUILDING COMPONENTS AND ACCESSORIES TO BE FURNISHED BY THE TILT UP SUPPLIER.
 - B. APPROVAL OF SHOP AND ERECTION DRAWINGS IN AN APPROVAL OF GENERAL DESIGN ONLY AND DOES NOT RELIEVE THE TILT UP SUPPLIER FROM THE NECESSITY OF MAKING, WITHOUT COST, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR RESULTING FROM ERRORS IN SHOP AND/OR ERECTION DRAWING DIMENSIONS.
 - C. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND COORDINATE ALL OPENINGS IN TILT UP WITH TILT UP SUPPLIER.
 - D. ONE TILT UP SUPPLIER WILL BE RESPONSIBLE FOR COORDINATING ENGINEERING, DRAFTING, AND SHOP DRAWING SUBMITTALS IN THE EVENT THAT TILT UP COMPONENTS WILL BE PROVIDED BY MORE THAN ONE SUPPLIER.
 - E. SUBMIT PRODUCT DATA, SHOP DRAWINGS, AND CONCRETE MIX DESIGNS TO OWNER AND OWNERS CONTRACTED TESTING LABORATORY FOR REVIEW.
7. TILT UP SUPPLIER SHALL INCLUDE ERECTION, GROUTING, SAWING OF OPENINGS AT NEW AND EXISTING TILT UP, TILT UP SUPPLIER SHALL INCLUDE CAULKING OF ALL TILT UP TO TILT UP JOINTS, AND CAULKING OF ALL TILT UP TO OTHER MATERIAL JOINTS AT ALL EXPOSED AREAS. CAULK TO BE TREMCO DYMERIC 240 FC. PROVIDE SONNEBORN DEGUSSA NP1 CAULK AT ALL STRANLIK FINISH LOCATIONS IN FOOD PROCESSING FACILITIES, FOOD PREP AND FOOD STORAGE AREAS. PROVIDE TREMCO DYMERIC 240 FC AT ALL NON-FINISH INTERIOR AND EXTERIOR LOCATIONS. SEE FLOOR PLAN.
8. FACING CONCRETE SHALL BE DESIGNED FOR MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED ON PROJECT DRAWINGS OR SPECIFIED ACCORDING TO ASTM C39.
9. THE BOND BREAKER USED ON THE TILT-UP PANELS AND THE CASTING SLAB MUST BE COMPATIBLE WITH ANY COATING SUITABLE FOR INTERIOR AND EXTERIOR CONCRETE PANELS AND SLAB.
10. CONTRACTOR SHALL ENSURE THAT FINISHED FLOOR SLAB DOES NOT SHOWING SPALLING, BOLT HOLES, OR OTHER SURFACE DEFECTS AFTER TILT-UP CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL FIGURE ALL COSTS REQUIRED TO PROVIDE OWNER WITH FLOOR SLABS THAT MEET ALL QUALITY REQUIREMENTS STATED WITHIN THIS SPECIFICATION. WASTE SLABS ARE STRONGLY RECOMMENDED.
11. CASTING SLAB SHALL BE CURED, SAW CUTS, CRACKS OR JOINTS IN THE CASTING BED SHALL BE FILLED AND LEVELED WITH A SEALANT SO AS TO MINIMIZE TRANSFER OF THE JOINT LINE TO THE PANEL FACE.
12. SURFACES TO BE PAINTED SHALL BE PREPARED TO RECEIVE PAINT FINISH AS SPECIFIED, ALL EXPOSED EXTERIOR SURFACES SHALL BE SACKED AND GROUTED TO CREATE A SMOOTH MORTAR/COMB-FREE SURFACE TO ACCEPT FINAL PAINT.
13. PANEL DAMAGED DURING ERECTION, CRACKS READILY VISIBLE FROM 40 FEET PERMANENT BOWING FROM ERECTION, SPALLS AND PANELS WITH INSUFFICIENT TESTED STRENGTH, SHALL BE REPAIRED OR REPLACED IN A MANNER ACCEPTABLE TO OWNER, AT THE CONTRACTORS EXPENSE. ANY DEMOLITION OR REPAIR OF OTHER MATERIALS OR SYSTEMS AS A RESULT OF REPAIR OR REPLACEMENT OF DEFECTIVE CONCRETE SHALL BE AT THE CONTRACTORS EXPENSE.

MASONRY

1. MASONRY CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' ACI AND 'SPECIFICATIONS FOR MASONRY STRUCTURES' ACI.
2. BOND BEAMS, PILASTERS, AND LINTELS SHALL BE FILLED WITH CONCRETE HAVING $f_c = 3000$ PSI UNLESS NOTED OTHERWISE. COARSE AGGREGATE SHALL BE A GRAVEL. REINFORCE ALL CONCRETE BOND BEAMS WITH #5 U.N.O. PROVIDE CORNER BARS TO MATCH, THE MINIMUM LENGTH OF LAP FOR BARS EMBEDDED IN CONCRETE SHALL BE 24" FOR #4 BARS, 30" FOR #5 BARS, 36" FOR #6 BARS AND 42" FOR #7 BARS.
3. MASONRY CONTRACTORS TO GROUT COURSE(S) SOLID WHERE EXPANSION ANCHORS ARE SHOWN/CALLED OUT ON DRAWINGS.
4. USE ONLY U-SHAPED LINTEL BLOCK FOR MASONRY LINTELS. CENTERLINE OF REINFORCING TO BE LOCATED 3" MAX FROM BOTTOM OF LINTEL BLOCK.
5. LINTELS SHALL BEAR A MINIMUM OF 8" AT EACH END. THE FIRST COURSE OF MASONRY ABOVE THE LINTEL SHALL BE LAID WITH FULL MORTAR BEDDING. AT BEARING WALLS, GROUT END CELL SOLID TO FLOOR BELOW. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SPECIAL BOND BEAM AND LINTEL CONDITIONS.
6. FOR STEEL BEAMS BEARING PERPENDICULAR TO MASONRY WALL, GROUT AN AREA OF 4 CELLS WIDE, 4 COURSES DEEP, UNLESS NOTED OTHERWISE.
7. PROVIDE POCKETS IN MASONRY WALLS FOR STEEL BEAMS, JOISTS, GIRDERS AND COLUMN BASE PLATES AND BACK PATCH.
8. WALLS MUST BE BRACED OR TIED INTO FLOORS PRIOR TO BACKFILLING.
9. GROUT PLACEMENT IN REINFORCED MASONRY WALLS OR PIERS SHALL FOLLOW THE PROCEDURES DESCRIBED IN NCMA TEK MANUAL 3-2A FOR EITHER LOW-LIFT OR HIGH-LIFT GROUTING.
10. PROVIDE HORIZONTAL JOINT REINFORCEMENT SUCH AS DUR-O-WALL, 1/4 INCHES ON CENTER VERTICALLY FOR RUNNING BOND WALLS, AND 8" AND 10" STACK BOND WALLS. FOR 12" STACK BOND WALLS, STANDARD HORIZONTAL JOINT REINFORCEMENT AT 8" ON CENTER OR HEAVY (A=0.056" MIN) JOINT REINFORCEMENT AT 1/4" ON CENTER.
11. CONSTRUCTION SHALL BE RUNNING BOND UNLESS OTHERWISE NOTED.
12. REFER TO ARCHITECTURAL DRAWINGS AND/OR STRUCTURAL FOUNDATION PLAN FOR LOCATION OF ALL VERTICAL CONTROL JOINTS IN EXTERIOR WALLS. SEE STANDARD CONTROL JOINT DETAIL.
13. CONNECTIONS OF MASONRY VENEERS TO STRUCTURAL BACKUP WALL TO ADHERE TO THE FOLLOWING:
 - A. MASONRY VENEER ANCHORED TO MASONRY BACKING MAY BE ATTACHED USING WIRE ANCHORS, ADJUSTABLE ANCHORS, OR JOINT REINFORCEMENT. VENEER ANCHORED TO A CONCRETE OR STEEL BACKING MUST BE ATTACHED WITH ADJUSTABLE ANCHORS. VENEER ANCHORED TO WOOD STUDS TO BE ATTACHED WITH MINIMUM 22 GA. CORRUGATED SHEET METAL, ANCHOR SPACING TO BE SPACED AT MAXIMUM 32" HORIZONTALLY & 18" VERTICALLY. MINIMUM WALL SURFACE SUPPORT OF 2.67 SQ. FT.
 - B. AROUND OPENINGS LARGER THAN 1/4" IN EITHER DIMENSION, SPACE ANCHORS AROUND PERIMETER OF OPENING AT A MAXIMUM OF 3 FT. ON CENTER & PLACE ANCHORS WITHIN 12" OF OPENING.
 - C. WHEN ANCHORS ARE ATTACHED TO WOOD BACKING, ANCHORS SHALL BE ATTACHED WITH A CORROSION RESISTANT 86 COMMON NAIL, OR A FASTENER EQUIVALENT OR GREATER PULL-OUT VALUE. WHEN VENEER IS ANCHORED TO STEEL BACKING, ATTACHED WITH CORROSION-RESISTANT SCREW THAT HAS A MINIMUM NOMINAL SHANK DIAMETER OF 0.19".
 - D. ALL WALL TIES, ANCHORS, AND CONNECTORS TO CONFORM WITH NCMA TEK MANUALS 3-6B AND 12-1A.
14. TEMPORARY CONSTRUCTION BRACING OF FREESTANDING WALLS IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR. PROCEDURES OUTLINED IN NCMA TEK MANUAL 3-4B TO BE FOLLOWED.

METALS

1. PROVIDE MISCELLANEOUS METAL ITEMS INCLUDING MATERIALS, FABRICATIONS, FASTENINGS AND ACCESSORIES REQUIRED FOR FINISHED INSTALLATION AS INDICATED AND SPECIFIED.
2. WHERE METAL ITEMS ARE TO BE ERECTED AND IN CONTACT WITH DISSIMILAR MATERIALS. PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED ZINC CHROMATE PRIMER IN A MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.
3. ALUMINUM EXTRUSIONS SHALL CONFORM TO ASTM B221. PROVIDE A CLEAR ANODIZED FINISH UNLESS OTHERWISE NOTED.
4. FASTENERS SHALL BE AS REQUIRED FOR PROPER ASSEMBLY AND INSTALLATION OF FABRICATED ITEMS.
5. MISCELLANEOUS MATERIALS: PROVIDE INCIDENTAL ACCESSORY MATERIALS, TOOLS, METHODS AND EQUIPMENT REQUIRED FOR FABRICATION AND INSTALLATION OF MISCELLANEOUS MATERIAL ITEMS AS INDICATED ON DRAWINGS.
6. VERIFY DIMENSIONS PRIOR TO FABRICATION OR CASTING. FORM METAL ITEMS TO ACCURATE SIZES AND CONFIGURATIONS AS INDICATED ON DRAWINGS AND OTHERWISE REQUIRED FOR PROPER INSTALLATION.
7. FABRICATE WITH ALL LINES STRAIGHT AND ANGLES SHARP. CORNER, COUNTERSINK, DAP, AND OTHERWISE PREPARE ITEMS FOR CONNECTION WITH WORK OF OTHER TRADES MAKE PERMANENT CONNECTIONS BY WELDING AND GRIND ALL EXPOSED WELDS SMOOTH TO MATCH ADJACENT SURFACES. ROUGH JOINT SURFACES NOT PERMITTED. AVOID USING BOLTS AND SCREWS UNLESS SPECIFICALLY INDICATED OR APPROVED. WHEN USED, DRAW UP TIGHT AND THE THREADS TO PREVENT LOOSENING.
7. ALL FERROUS METAL ITEMS SHALL BE SHOP FINISHED. TOUCH UP OR REPAIR DAMAGED AREAS PRIOR TO INSTALLATION WITH SAME MATERIAL.
8. PROVIDE ALL STEEL BLOCKING AND BRACING IN METAL STUD FRAMED PARTITIONS NECESSARY FOR A COMPLETE INSTALLATION INCLUDE AS REQUIRED FOR SUPPORT OF ALL WALL-MOUNTED EQUIPMENT AND FABRICATIONS AS INDICATED ON DRAWINGS. PROVIDE SUPPORTS AT JAMBS OF DOORS AND ELSEWHERE AS REQUIRED.
9. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS.

METALS: STRUCTURAL STEEL

1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL MEMBERS SHALL BE GOVERNED BY THE CURRENT EDITION OF AISC 'MANUAL OF STEEL CONSTRUCTION'.
2. ALL WELDERS TO BE CERTIFIED. ALL WELDING TO CONFORM TO AWS D1.1 LATEST EDITION USING E70-XX ELECTRODES.
3. BOLTED CONNECTIONS TO BE DOUBLE ANGLE WITH 3/4" DIAMETER ASTM A-325 BOLTS UNLESS SHOWN OTHERWISE. USE 3/4" DIAMETER A-325 BOLTS FOR SINGLE SHEAR. WING PLATE CONNECTIONS. PROVIDE MAXIMUM NUMBER OF BOLTS IN A SINGLE LINE WITH 3" GAGE. PROVIDE WASHERS FOR ALL ANCHOR BOLTS (ASTM A-307).
4. PROVIDE AND MAINTAIN TEMPORARY BRACING OF STEEL UNTIL SECURELY INCORPORATED INTO CONSTRUCTION SUCH AS SHEAR WALLS, X-BRACING, ETC.
5. STEEL COLUMNS BUILT IN MASONRY SHALL HAVE ADJUSTABLE MASONRY WALL ANCHORS AT 2'-0" ON CENTER VERTICALLY EACH SIDE. LOCATED IN COURSING.
6. WIDE FLANGE BEAMS 12" OR DEEPER SHALL HAVE 1/4" STIFFENER PLATE EACH SIDE AT ALL POINTS OF SUPPORT INCLUDING BEARING ENDS ON CONCRETE OR MASONRY. PROVIDE 5/8" BEARING PLATES WITH (2) 3/4" ANCHOR BOLTS 12" LONG WITH 3" HOOKS UNLESS OTHERWISE INDICATED ON STRUCTURAL DWGS.
7. UNLESS NOTED OTHERWISE, FRAME AROUND ALL ROOF DECK OPENINGS LARGER THAN 12" IN DIAMETER, INCLUDING ROOF DRAINS/SUMPS, WITH 4-ls 3" x 3" x 1/4" DOWN TURNED.
8. ALL STEEL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER (WITHIN THE MILL TOLERANCE) LOCATED ABOVE THE HORIZONTAL CENTERLINE BETWEEN THE END CONNECTIONS.
9. STAIRS, HANDRAILS, AND GUARDRAILS SHALL BE DESIGNED BY THE STEEL SUPPLIER.
10. SUBCONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS MUST BE SUBMITTED TO BRIORN DESIGN GROUP A MINIMUM OF SEVEN WORKING DAYS PRIOR TO FABRICATION DATE NEEDED FOR PROJECT SCHEDULING.
11. ROOF SLOPE TO BE 1/4" PER FOOT UNLESS OTHERWISE NOTED ON CONSTRUCTION DOCUMENTS. ROOF SLOPE IS GENERALLY TO BE ACHIEVED BY SLOPING THE STRUCTURE UNLESS THICKENED OR TAPERED INSULATION IS NOTED ON THE ROOF PLAN. ROOF SLOPE MAY BE 1/8" PER FOOT IF PONDING ANALYSIS IS PERFORMED PROVING STABILITY OF THE ROOF STRUCTURE AGAINST PROGRESSIVE DEFLECTIONS. SEE ASCE 7-05 SECTIONS 7.11 & 8.4. IF DIFFERENCE IN HEIGHT BETWEEN ROOF DRAINS AND HIGH POINT IN ROOF IS GREATER THAN 6", PLUMBING CONTRACTOR TO PROVIDE OVERFLOW DRAINS @ EACH DRAINAGE FEED ON THE ROOF.

METALS: DECK

1. DECK, ACCESSORIES, AND ATTACHMENTS SHALL CONFORM WITH THE CURRENT EDITION OF 'STEEL DECK INSTITUTE SPECIFICATIONS'.
2. PROVIDE SUPPORT AT COLUMNS AS REQUIRED FOR DECK SUPPORT. PROVIDE 12" x 2" x 3/16" MINIMUM.
3. AT OPENINGS IN DECK LESS THAN 12" x 12", PROVIDE A 1/4 GUAGE COVER PLATE FASTENED TO DECK WITH #12 TEK SCREWS.
4. AT CHANGE IN DECK DIRECTION, PROVIDE A 22 GAUGE x 12" CONTINUOUS PLATE. PROVIDE SAME PLATE AT ALL RIDGES, VALLEYS AND HIPS BENT TO MATCH PROFILE OF ROOF.

METALS: STEEL JOISTS & JOIST GIRDERS

1. DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO THE CURRENT EDITION OF 'STEEL JOIST INSTITUTE SPECIFICATIONS'.
2. JOIST MANUFACTURER SHALL BE A MEMBER OF THE SJI (STEEL JOIST INSTITUTE).
3. SUBCONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL JOIST SHOP DRAWINGS TO BRIORN DESIGN GROUP FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS MUST BE SUBMITTED TO BRIORN DESIGN GROUP A MINIMUM OF SEVEN WORKING DAYS PRIOR TO FABRICATION DATE NEEDED FOR PROJECT SCHEDULING.
4. PROVIDE SJI STANDARD BRIDGING AS SHOWN ON THE CONSTRUCTION DOCUMENTS OR AS REQUIRED BY DESIGN.
5. DO NOT DRILL OR CUT THROUGH ANY JOIST OR GIRDER.
6. ALL CONCENTRATED LOADS SHALL BE PRIED AT A JOIST PANEL POINT UNLESS SPECIFICALLY NOTED OTHERWISE.
7. JOIST MANUFACTURER SHALL DESIGN JOISTS FOR ROOF TOP UNIT LOADS AND SUSPENDED UNIT OR BULKHEAD LOADS SHOWN ON CONSTRUCTION DOCUMENTS. COORDINATE EXACT LOCATION OF APPLIED LOAD WITH APPROPRIATE SUB-CONTRACTOR.
8. DESIGN JOIST GIRDERS AND BRIDGING TO RESIST A NET UPLIFT LOAD OF 5 PSF UNLESS OTHERWISE NOTED.
9. PROVIDE CAMBER IN JOIST AS RECOMMENDED BY SJI SPECIFICATIONS UNLESS OTHERWISE NOTED ON CONSTRUCTION DOCUMENTS.
10. JOIST SUPPLIER SHALL COORDINATE WORK WITH THE STEEL SUPPLIER ON THE PROJECT.
11. DESIGN JOISTS AND JOIST GIRDERS FOR 1/240 LIVE LOAD DEFLECTION UNLESS NOTED OTHERWISE.

METALS: COLD-FORMED STEEL FRAMING

1. DESIGN, FABRICATION AND ERECTION OF COLD-FORMED STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE AISI DESIGN MANUAL AS AMENDED TO DATE. ALL FRAMING MEMBERS SHOWN ON PLANS ARE SCHEMATIC AND ARE SHOWN FOR INTENT ONLY. (ASSUME THAT THE DESIGN AND CALCULATIONS ARE DONE BY THE SUPPLIER).
2. ALL LIGHT GAUGE FRAMING DESIGN & CALCULATIONS TO BE DONE BY SUPPLIER. THIS INCLUDES BEAMS, HEADERS, STUDS, COLUMNS, ETC., INCLUDING ALL CONNECTIONS TO MASONRY, CONCRETE, STEEL & OTHER LIGHT GAUGE MEMBERS.
3. STEEL STUD CURTAIN WALL AND CONNECTIONS TO BE DESIGNED BY SUPPLIER. (STEEL STUD CURTAIN WALL AND CONNECTION DESIGN SHALL BE SEALED BY PROFESSIONAL STRUCTURAL ENGINEER EXPERIENCED IN THIS WORK).
- COMPONENTS & CLADDING
UPLIFT..... PER ASCE 7
V..... 115 MPH
I..... 1.0
GCP..... 0.35
- LIVE LOADS: GROUND SNOW LOAD..... 30 PSF
IMPORTANCE FACTOR..... 1.0
FLAT ROOF SNOW LOAD..... 21 PSF
FACTOR C1..... 1.0
FACTOR C6..... 1.0
- L/600 FOR BRICK VENEER
L/360 FOR WALL STUDS W/ ATTACHED DRYWALL
4. MINIMUM DESIGN THICKNESS OF STUDS AND TRACK AT EXTERIOR OF BUILDING VERTICALLY SUPPORTING MASONRY SHALL BE 0.045 INCHES (GAGE 18).
5. MINIMUM DESIGN THICKNESS OF STUDS AND TRACK AT EXTERIOR OF BUILDING VERTICALLY NOT SUPPORTING MASONRY SHALL BE 0.045 INCHES (GAGE 18).
6. LOAD BEARING STUDS VERTICALLY SUPPORTING MASONRY SHALL BE DESIGNED TO CARRY ALL GRAVITY LOADS AND LATERAL FORCES INCLUDING BUT NOT LIMITED TO DEAD LOADS, LIVE LOADS, WIND LOADS, AND AXIAL LOAD ECCENTRICITIES.
7. LOAD BEARING STUDS NOT VERTICALLY SUPPORTING MASONRY SHALL BE DESIGNED TO CARRY ALL GRAVITY LOADS AND LATERAL FORCES INCLUDING BUT NOT LIMITED TO DEAD LOADS, LIVE LOADS, WIND LOADS, AND AXIAL LOAD ECCENTRICITIES.
8. NON-LOAD BEARING STUDS NOT VERTICALLY SUPPORTING MASONRY SHALL TRANSFER LATERAL LOADS TO STRUCTURE BY MEANS OF STUDE CLIPS TO ALLOW FOR VERTICAL MOVEMENT OF PRIMARY STRUCTURAL MEMBERS.
9. SPLICES IN AXIALLY LOADED STUDS ARE NOT PERMITTED.
10. STUDS, TRACK AND ACCESSORIES SHALL BE GALVANIZED WITH A MINIMUM G-90 COATING PER ASTM A-525.
11. STUDS SHALL BE PLUMBED, ALIGNED, AND SECURELY ATTACHED TO FLANGES OR WEBS OF LOWER TRACK. STUDS SHALL BE SEATED TIGHT TO TRACK EXCEPT AS NEEDED FOR DIAGONAL BRACING OR REQUIRED FOR NON-PLUMB BOLTS OR WARPED SURFACES OR WIND REQUIREMENTS.
12. JOINTS SHALL BE LOCATED DIRECTLY OVER BEARING STUDS OR A LOAD DISTRIBUTION MEMBER SHALL BE PROVIDED AT THE TOP OF THE WALL.
13. REFER TO ARCHITECTURAL WALL SECTIONS AND DETAILS FOR ADDITIONAL INFO.
14. ALL MEMBERS 0.066 INCH MINIMUM THICKNESS OR THICKER (14 GAGE OR LOWER) SHALL BE OF MINIMUM 50 KSI STEEL. ALL MEMBERS OF 0.0451 INCH MINIMUM THICKNESS OR THINNER (18 GAGE OR HIGHER) AND ALL ACCESSORIES SHALL BE OF MINIMUM 33 KSI STEEL.
15. STEEL STUD ERECTOR SHALL CONSTRUCT ALL LIGHT GAGE FRAMING IN A MANNER WHICH PROTECTS LATERAL STABILITY OF THE STRUCTURE.
16. ALL WELDS PERFORMED ON GALVANIZED LIGHT GAGE COMPONENTS SHALL BE COATED WITH ZINC RICH PAINT FOR CORROSION PROTECTION IN ACCORDANCE WITH ASTM A780. CONTRACTOR SHALL NOTIFY THE ENGINEER TO ALLOW ADEQUATE TIME FOR WELDS TO BE REVIEWED BEFORE SYSTEMS ARE ENCLOSED.
17. STEEL STUD WALLS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE REQUIRED CAPACITIES TO CARRY CONSTRUCTION LOADS. CONTRACTOR SHALL PROVIDE NECESSARY BRIDGING OR ATTACHMENT TO WALL SHEATHINGS BEFORE STRUCTURAL COMPONENTS ARE LOADED.
18. INSTALL SUPPLEMENTARY FRAMING, BLOCKING AND BRACING IN METAL FRAMING SYSTEM WHENEVER WALLS OR PARTITIONS ARE INDICATED TO SUPPORT FIXTURES, EQUIPMENT, SERVICES, CASEWORK, HEAVY TRIM AND FURNISHING AND SIMILAR WORK.

WOOD AND PLASTICS

1. PROVIDE AND/OR INSTALL ALL ROUGH CARPENTRY, FINISH CARPENTRY INCLUDING MILLWORK, FINISH HARDWARE, ROUGH HARDWARE, FASTENING DEVICES AND MISCELLANEOUS ACCESSORIES AS MAY BE REQUIRED HEREIN AND/OR AS SHOWN ON THE DRAWINGS.
2. ROUGH CARPENTRY: FURNISH AND INSTALL ALL FRAMING AS MAY BE REQUIRED FOR INTERIOR PARTITION, BAFFLE, WALLS, SOFFITS, CEILINGS, STOREFRONTS, EXTERIOR WALLS, ETC. AS NOTED AND WHERE SHOWN ON THE DRAWINGS.
3. FINISH CARPENTRY: FURNISH AND INSTALL ALL THAT IS REQUIRED FOR DOORS AND FRAMES, FINISH TRIM AND MOLDING AND PANELING. PERFORM FINISH CARPENTRY WORK IN ACCORDANCE WITH AIA QUALITY STANDARDS, PREMIUM GRADE. USE FULL LENGTH PIECES, MITER ALL JOINTS, SHOULDER JOINT AT DOOR JAMBS. FILL ALL NAIL HOLES AND SAND SMOOTH.
4. PROVIDE ROUGH LUMBER AND PLYWOOD IN STANDARD DIMENSIONS. MOISTURE CONTENT NOT MORE THAN 19%.
5. PROVIDE ALL NECESSARY ROUGH HARDWARE IN SIZES AND QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
6. USE FINISH OR CASING NAILS FOR EXPOSED WORK. USE TYPE 'S' TRIM HEAD SCREWS FOR ATTACHMENT OF WOOD TRIM TO METAL STUDS, RUNNERS OR FURRING.
7. RELIEVE BACKS OF WOOD TRIM, KERF BACKS OF MEMBERS MORE THAN 5" WIDE AND 1" NOMINAL THICKNESS. EASE ALL EXTERNAL CORNERS.
8. INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN SATISFACTORY CONDITION FOR INSTALLATION.
9. USE ADHESIVES RECOMMENDED BY THE MANUFACTURER FOR THE PARTICULAR APPLICATION. INSTALL IN ACCORDANCE WITH MANUFACTURER'S MOST CURRENT PRINTED APPLICATION INSTRUCTIONS. USE LOWEST VOC ADHESIVES AVAILABLE WHICH MEET OR EXCEED THE MANUFACTURERS REQUIREMENTS.
10. PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. REPLACE DAMAGED SURFACES.
11. REMOVE EXCESS ADHESIVE AND CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT AND CLEANING PROCEDURES.
12. FILL IN ALL SEAMS WITH MANUFACTURER'S RECOMMENDED SOLVENT AND CLEANING PROCEDURES. USE LOWEST VOC CLEANING AGENTS AVAILABLE THAT MEET OR EXCEED THE MANUFACTURERS REQUIREMENTS.
13. WOOD PRODUCTS SHALL MEET OR EXCEED THE AMERICAN WOODWORK INSTITUTE STANDARDS.
14. INSTALL WOODS AND PLASTICS IN CONFORMANCE WITH DETAILS AND THE FOLLOWING CONSIDERATIONS AND REQUIREMENTS:
 - A. INSTALL WOODS AND PLASTICS WITH TIGHT JOINTS.
 - B. MITER CASINGS AND MOLDINGS UNLESS OTHERWISE NOTED.
 - C. ALL RUNNING TRIM ONE (1) PIECE UP TO 10'-0" LONG. MATCH GRAIN AND COLOR PIECE TO PIECE.
 - D. USE FINISH NAILS EXCEPT WHERE ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW.
 - E. SET FASTENERS FOR PUTTYING.
 - F. WHERE SCREW ATTACHMENT REQUIRED, SPACE SCREWS AT EQUAL INTERVALS. SINK AND PUTTY IN FINISH WOOD SURFACES.
 - G. ALL MEMBERS AND LINES LEVEL AND PLUMB.
 - H. SELECT AND CUT MATERIAL TO EXCLUDE DAMAGED, MARKED OR DEFECTIVE AREAS.
 - I. FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL AND MACHINE MARKS.
 - J. EASE ALL EXPOSED WOOD EDGES TO A MINIMUM RADIUS.
 - K. INSTALL FIRE RATED DOORS IN ACCORDANCE WITH REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) RECOMMENDATIONS.
15. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS.

WOOD: LUMBER

1. LUMBER SHALL BE GRADED AND STAMPED WITH MINIMUM STRUCTURAL DESIGN VALUES AS LISTED BELOW:
 - A. #1/#2 DOUGLAS FIR 800 PSI Fb, 95 PSI Fv.
 - 1600 KSI E BEAMS (JOISTS, GIRDERS, AND OTHERS, UNLESS OTHERWISE NOTED)
 - B. #1/#2 S.P.F. 875 PSI Fb, 1150 PSI Fv, 1400 KSI E (ALL STUDS & PLATES, UNLESS OTHERWISE NOTED)
 - C. LVL @ 1800 KSI E OR MICRO-LAM @ 1900 KSI E 2600 PSI Fb, 285 PSI Fv (OR AS NOTED ON STRUCTURAL DRAWINGS)
2. WOOD HEADER AND FRAMING MATERIAL SHALL BE THOROUGHLY SEASONED, FREE FROM WARP AND FREE OF ALL SPLITS, SHAKES AND CHECKS.
2. MISCELLANEOUS LUMBER: PROVIDE NO. 3 OR STANDARD GRADE LUMBER OF ANY SPECIES FOR SUPPORT OR ATTACHMENT OF OTHER CONSTRUCTION, INCLUDING ROOFTOP EQUIPMENT CURBS AND SUPPORT BASES, CANT STRIPS, BUCKS, NAILERS, BLOCKING AND SIMILAR MEMBERS.
3. PROTECTION AGAINST DECAY WITH PRESERVATIVE-TREATED WOOD SHALL BE REQUIRED IN THE FOLLOWING AREAS:
 - A. ALL WOOD SILL PLATES, FRAMING AND FURRING STRIPS ATTACHED TO EXTERIOR BELOW GRADE MASONRY AND CONCRETE WALLS.
 - B. ALL WOOD PLATES, BLOCKING, FRAMING AND FURRING STRIPS ATTACHED TO EXTERIOR, SINGLE WYTHE MASONRY WALLS.
 - C. ALL WOOD CAP FLASHING BLOCKING ATTACHED TO MASONRY OR CONCRETE PARAPETS.
 - D. ALL WOOD SLEEPERS AND SILL PLATES ON CONCRETE SLABS INDIRECT CONTACT WITH EARTH.
 - E. ALL WOOD IN CONTACT WITH GROUND OR EXPOSED TO THE WEATHER.
4. EXCEPTIONS: WOOD SILL PLATES ON CONCRETE SLABS SEPARATED FROM DIRECT CONTACT TO THE EARTH WITH A 10 MIL POLYETHYLENE VAPOR BARRIER WILL NOT REQUIRE PRESERVATIVE-TREATMENT.
5. FINISHES FOR FASTENERS AND HARDWARE IN CONTACT WITH PRESERVATIVE-TREATED WOOD ARE BASED ON THE FOLLOWING ASSUMPTIONS:
 - A. ALL INTERIOR TREATED WOOD SHALL USE AN ACQ-C, ACQ-D (CARBONATE), CBA-A OR CA-B TREATMENT WITH RETENTION LEVELS LESS THAN OR EQUAL TO 0.40 PCF, 0.40 PCF, 0.41 PCF AND 0.21 PCF RESPECTIVELY.
 - B. ALL CONNECTION HARDWARE AND FASTENERS IN DIRECT CONTACT WITH INTERIOR TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED, MECHANICALLY GALVANIZED OR STAINLESS STEEL.
 - C. ALL CONNECTION HARDWARE AND FASTENERS IN DIRECT CONTACT WITH EXPOSED EXTERIOR TREATED WOOD OR UNKNOWN TREATMENTS SHALL BE STAINLESS STEEL.
 - D. USE TAPCON CUMASEAL FASTENERS TO CONNECT ACQ-TREATED WOOD BLOCKING TO MASONRY OR CONCRETE PARAPETS.
6. SHOP DRAWINGS FOR PRESERVATIVE-TREATED WOOD, HARDWARE AND FASTENERS:
 - A. THE SUBCONTRACTOR SHALL FURNISH MATERIAL CERTIFICATES FOR ALL PRESERVATIVE TREATED WOOD TYPES SPECIFYING THE NAME OF THE TREATMENT, THE LEVEL OF TREATMENT (0.10, 0.25, 0.40, 0.40, ETC) THE USE (ABOVE GROUND, GROUND CONTACT, ETC.) AND A REFERENCE TO THE AWPFA STANDARD.
 - B. THE SUBCONTRACTOR SHALL FURNISH MATERIAL DATA SHEETS FOR HARDWARE FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED WOOD.
 - C. PLACE 7" THICK NOMINAL FIRE-BLOCKING IN STUD WALLS AT CEILING, SOFFIT, FLOOR LEVELS AND AT EACH 10'-0" HEIGHT OF STUD.
 - D. JOISTS SHALL BE BLOCKED AT SUPPORTS AND BRIDGED OR BLOCKED AT INTERVALS OF 8'-0" WHERE JOISTS ARE 2' x 12" OR DEEPER.
 - E. JOISTS UNDER NON-BEARING PARTITIONS SHALL BE DOUBLED AND TRIPLED FOR BEARING PARTITIONS ABOVE, UNLESS OTHERWISE NOTED.
 - F. COMMON NAILS SHALL BE USED, UNLESS OTHERWISE NOTED.
 - G. LAG BOLTS AND SCREWS SHALL BE PRE-DRILLED TO SHANK DIAMETER AND FULL DEPTH AND SCREWED, NOT DRIVEN INTO PLACE.
 - H. CUT WASHERS SHALL BE PLACED UNDER HEADS AND NUTS OF ALL BOLTS AND UNDER HEADS OF LAG BOLTS. ONE CUT WASHER SHALL BE USED FOR BOLTS CONNECTING TREATED WOOD TO CONCRETE OR MASONRY WALLS.
 - I. USE LUMBER, PLYWOOD AND NAILING SPECIFICATIONS ON STRUCTURAL DRAWINGS. PROVIDE AND INSTALL ALL WOOD FRAMING AS INDICATED ON THE DRAWINGS.
 - J. METAL CONNECTORS AND FRAMING DEVICES SHOWN ON DRAWINGS OTHER THAN CUSTOM FABRICATED ITEMS SHALL BE 'STRONG-TIE' CONNECTORS BY SIMPSON COMPANY.

THERMAL AND MOISTURE PROTECTION

1. CAULK AROUND ALL WINDOWS (HEAD AND JAMB), DOORS, VENT, OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, COUNTERTOPS, DOOR FRAMES, ETC. AS REQUIRED FOR WATERTIGHT AND AIRTIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE TREMCO DYMERIC 240 FC FOR FOOD PROCESSING FACILITIES OR FOOD PRE-FOOD STORAGE AREAS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER'S RECOMMENDATIONS.
2. PROVIDE NON-SAG SEALANT COMPLYING WITH REQUIREMENTS OF FEDERAL SPECIFICATIONS ITS-1543 OR FS ITS-230 TYPE '11' CLASS 'A'. PROVIDE ACoustICAL SEALANT WHICH SHALL BE NON-HARDENING, NONDRYING SYNTHETIC RUBBER SEALING COMPOUND WITH MINIMUM 90% SOLIDS. USE AT ALL INTERIOR JOINTS AT INTERSECTIONS BETWEEN PLANE, AROUND DOOR AND WINDOW FRAMES PRIMER SHALL BE MADE OR RECOMMENDED SEALANT MANUFACTURER FOR THE SPECIFIC CONDITIONS AND SUBSTRATES. USE LOWEST VOC SEALANTS AND CAULKING AVAILABLE WHICH MEET OR EXCEED THE CODE AND MANUFACTURERS REQUIREMENTS.
3. PROVIDE BACKING MATERIAL BY DOW ETHAFORM OR APPROVED EQUIV. APPLY SEALANT OVER BACKING TO UNIFORM THICKNESS IN CONTINUOUS BEADS FILLING ALL JOINTS AND VOIDS. SOLID, SUPERFICIAL POINTING WITH SKIM BEAD WILL NOT BE ACCEPTED.
4. ALL SURFACES SHALL BE ADEQUATELY CLEANED AND PREPARED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS PRIOR TO INSTALLATION. USE LOWEST VOC CLEANING AGENTS AVAILABLE THAT MEET OR EXCEED THE MANUFACTURER'S REQUIREMENTS.
5. ISOLATION AND CONTROL JOINT MATERIAL TO BE POLYETHYLENE FOAM EXPANSION ISOLATION JOINT FILLER OF 1/2" THICKNESS UNLESS OTHERWISE INDICATED. THE MINIMUM DEPTH OF ISOLATION JOINT MATERIAL TO BE EQUAL TO THE SMALL OF THE CONCRETE SLAB THICKNESS WITH WHICH IT COMES IN CONTACT.
6. WIND RESISTANCE OF EDGE FLASHING SHALL MEET OR EXCEED THE MINIMUM STANDARDS PER THE CODE AND SATISFY THE AHS AND SPI REFERENCED STANDARDS INCLUDING TESTING.
7. REFER TO ROOF PLAN FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS FOR ROOFING MATERIALS AS THEY PERTAIN TO THERMAL AND MOISTURE PROTECTION.

DOORS AND WINDOWS

1. PROVIDE PRIMED HOLLOW METAL GALVANIZED FRAMES FOR EXTERIOR DOOR FRAMES. PROVIDE PRIMED HOLLOW METAL FRAMES FOR EXTERIOR DOORS. WHERE WEATHERSTRIPPING IS IDENTIFIED ON THE DOOR SCHEDULE PROVIDE 'CURISEAL' TYPE WEATHER STRIPPING FOR EXTERIOR AND INTERIOR APPLICATIONS.
2. PROVIDE HOLLOW METAL EXIT DOOR CONSTRUCTED WITH THE FOLLOWING MATERIALS:
 - A. MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS.
 - B. 16 GA. FOR EDGE CHANNELS.
 - C. MINIMUM 22 GA. FOR FACE STIFFENERS.
 - D. MINIMUM 16 GA. FOR INTERIOR FRAMES.
3. PROVIDE DOORS OF SIZES AND TYPES INDICATED ON DRAWINGS. FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES. THICKNESS AS SCHEDULED ON DRAWINGS.
4. FACE STIFFENERS, EDGES AND HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP AND MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRADE PRACTICE AND MANUFACTURER'S WRITTEN REQUIREMENTS AND RECOMMENDATIONS FOR THE USE INTENDED.
5. PROVIDE CUSTOM MADE WELDED UNITS WITH INTEGRAL TRIM. SIZES AND SHAPES AS INDICATED ON DRAWINGS. FABRICATE UNITS SQUARE, TRUE AND FREE FROM DEFECTS.
6. HARDWARE REINFORCEMENT AND ANCHORS (ERECTION, FLOOR, AND JAMBS) SHALL BE AS REQUIRED FOR A SECURE INSTALLATION AND SHALL BE IN ACCORDANCE WITH TRADE REQUIREMENTS FOR THE SPECIFIED HARDWARE AND INTENDED USE.
7. INSTALL FRAMES IN ACCURATE LOCATIONS AS INDICATED ON DRAWINGS. INSTALL RIGID, PLUMB, LEVEL AND TRUE, ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR ANCHORS TO FLOOR CONSTRUCTION WITH APPROVED TYPE MECHANICAL FASTENINGS. ANCHOR TO ADJOINING WALLS WITH SPECIFIED ANCHORS. BRACE FRAMES TO RETAIN POSITION AND CONTINUOUSLY CHECK ALIGNMENT DURING CONSTRUCTION OF ADJACENT WALLS. ADJUST FRAME LOCATIONS AS NECESSARY USING SHIMS BEFORE FASTENINGS. LEAVE READY TO RECEIVE SEALANT WHERE INDICATED ON DRAWINGS. ADJUST AND CHECK OPERATION OF EVERY UNIT. REPAIR OR REPLACE UNITS WHICH CANNOT BE ADJUSTED TO OPERATE FREELY AND SMOOTHLY.
8. INSTALL WOOD DOORS, FRAMES AND TRIM. SIZES AND THICKNESS AS SCHEDULED ON DRAWINGS.
9. HANG DOORS AS SCHEDULED ON DRAWINGS IN ACCURATE LOCATIONS WITH 1/8" CLEARANCE AT THE TOPS AND 3/8" CLEARANCE AT BOTTOM, UNLESS SPECIFICALLY NOTED FOR 'UNDERCUTS' OR OTHER DEVIATIONS IN FIT. MAKE NO JOB SITE FIT IN CUTS UNLESS APPROVED. HANG PAIRS OF DOORS AS SPECIFIED WITH 3/32" CLEARANCE AT MEETING EDGES. DEMONSTRATE THAT DOORS OPEN FREELY WITHOUT BINDING, AND WHEN CLOSED, WILL LATCH PROPERLY.
10. PROVIDE ACCESS DOORS AS REQUIRED FOR SPECIFIED RATING. SIZE AS INDICATED.
11. PROVIDE ALL DOORS PER DOOR AND FRAME AND HARDWARE SCHEDULES. INSTALLATION TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS.
12. PROVIDE ALL HARDWARE WITH ALL NECESSARY SCREWS AND OTHER FASTENERS OF SUITABLE SIZE AND TYPE TO ANCHOR THE HARDWARE IN POSITION FOR LONG LIFE UNDER HARD USE. FURNISH ITEMS COMPLETE WITH EXPANSION SHIELDS, TOGGLE BOLTS AND OTHER ANCHORS IN ACCORDANCE WITH THE MATERIAL TO WHICH THE HARDWARE IS TO BE APPLIED TO AND THE RECOMMENDATIONS OF THE HARDWARE MANUFACTURER. FASTENER FINISH SHALL HARMONIZE WITH THE HARDWARE MATERIAL.
13. COORDINATE WITH OTHER TRADES TO ASSURE PROPER AND ADEQUATE PROVISION IN THE WORK OF THOSE TRADES FOR INTERFACE WITH THE WORK OF THIS SECTION.

FINISHES

1. GENERAL FINISH REQUIREMENTS:
 - A. PROVIDE AND INSTALL ALL FINISHES AS INDICATED ON PLANS.
 - B. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
 - C. FINISH INSTALLER INSPECT SUBSURFACE AND PREPARE AS PER REQUIREMENTS, RECOMMENDATIONS, AND SPECIFICATIONS PRIOR TO EQUIPMENT.
 - D. ALL FINISHES TO MEET ALL CODE REQUIREMENTS AND REGULATIONS FLAME SPREAD AND SMOKE DEVELOPMENT.

SPECIALTIES

1. NOT USED.

EQUIPMENT

1. NOT USED.

FURNISHINGS

1. NOT USED.

SPECIAL CONSTRUCTION

1. NOT USED.

CONVEYING SYSTEMS

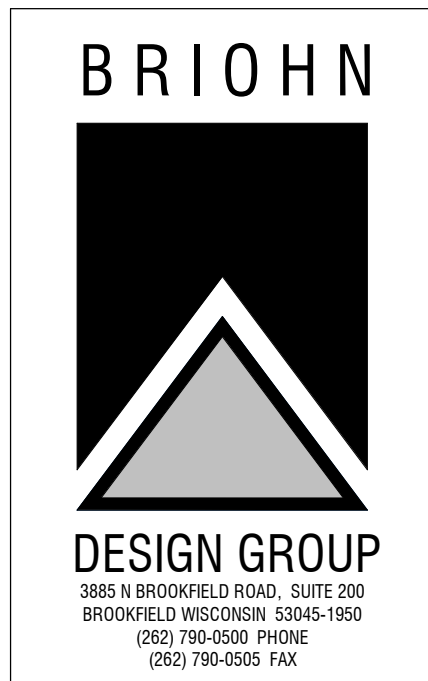
1. NOT USED.

MECHANICAL

1. NOT USED.

ELECTRICAL

1. NOT USED.



SPECIFICATIONS

SHEET TITLE

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTEING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

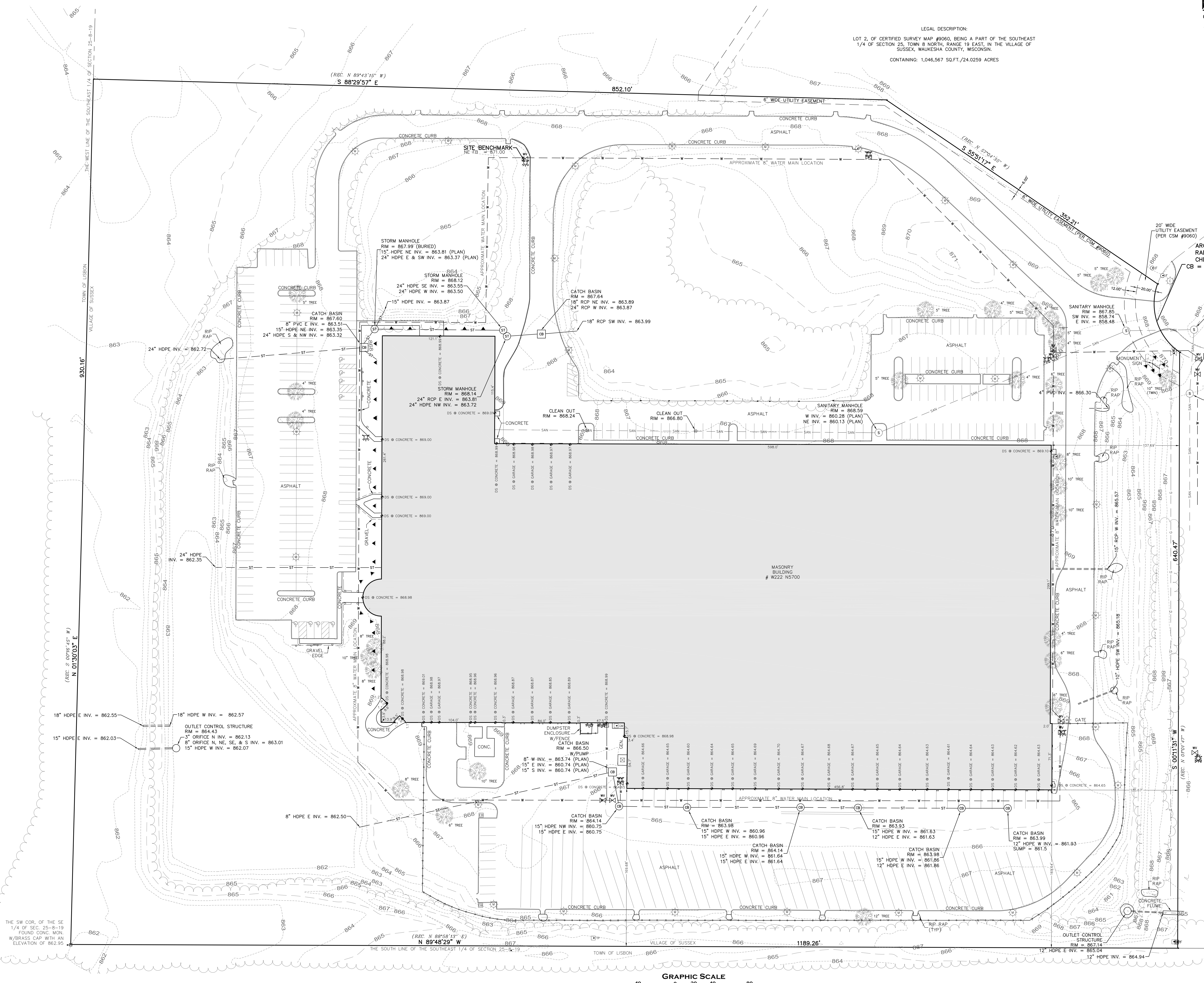
Revision

Date

JOB: 230041
DRAWN: Author
CHECKED: Checker
DATE: 07/31/2023

SHEET:

GS.2

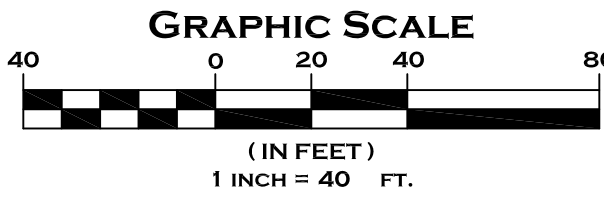


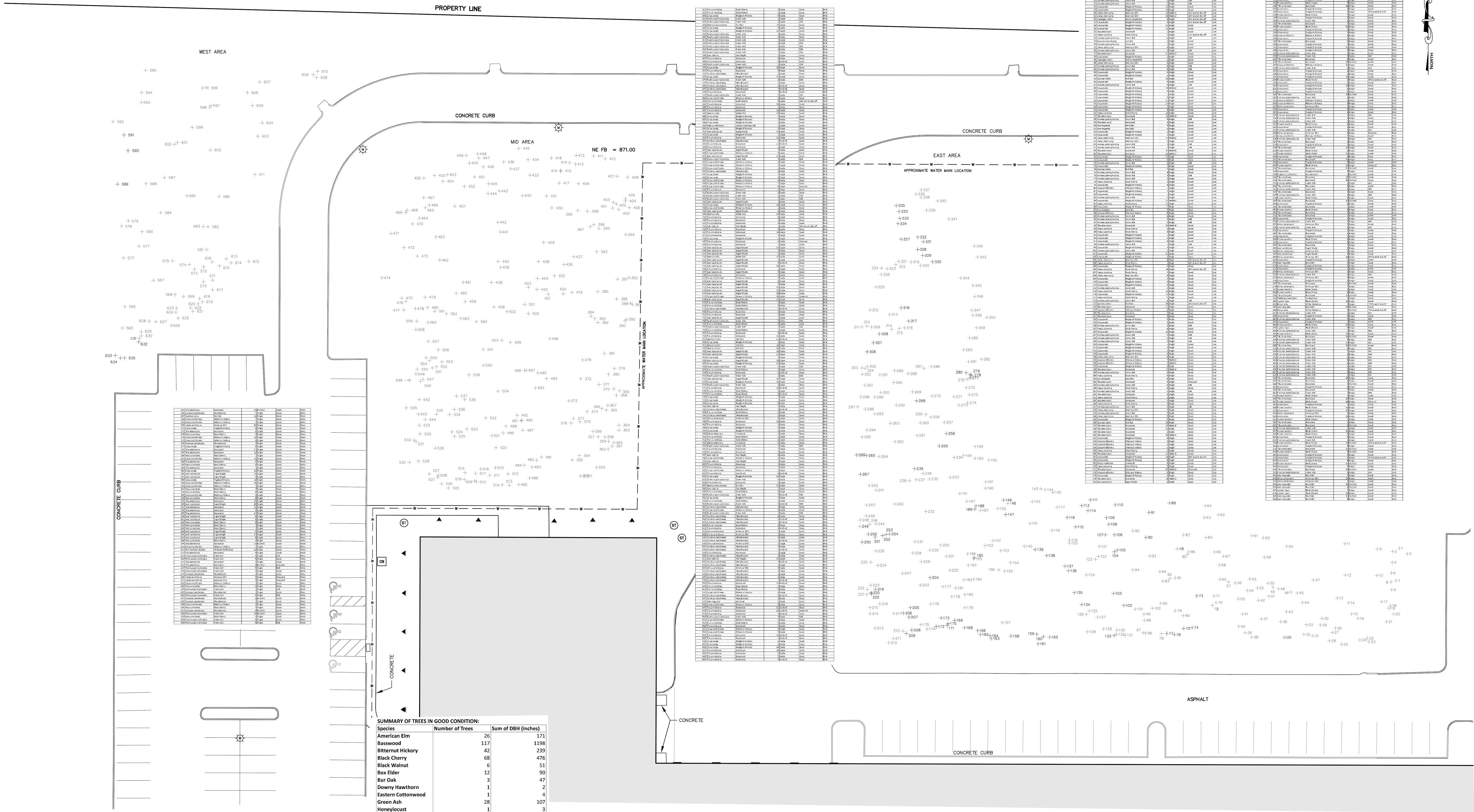
- NOTES
- SUBJECT PROPERTY ZONED: BP-1 WITH EXCEPTIONS, BUSINESS PARK DISTRICT.
 - SETBACKS BASED ON THE VILLAGE OF SUSSEX ZONING CODE AND ARE AS FOLLOWS:
 - THERE SHALL BE A MINIMUM BUILDING SETBACK OF 40 FEET FROM THE STREET RIGHT-OF-WAY.
 - THERE SHALL BE A SIDE YARD OF 25 FEET ON EACH SIDE OF ALL STRUCTURES NOT EXCEEDING 45 FEET IN HEIGHT. BUILDINGS IN EXCESS OF 45 FEET IN HEIGHT SHALL INCREASE THE MINIMUM SIDE YARDS ONE (1) FOOT FOR EACH ADDITIONAL ONE (1) FOOT OF BUILDING HEIGHT OVER 45 FEET UP TO A MAXIMUM HEIGHT OF 60 FEET.
 - THERE SHALL BE A REAR YARD OF NOT LESS THAN 25 FEET.
 - THE PLAN COMMISSION MAY REDUCE SETBACKS WITHIN THIS DISTRICT OUTSIDE OF A PLANNED DEVELOPMENT OVERLAY DISTRICT IF IT FINDS THAT IN GRANTING THE REDUCED SETBACKS:
 - THE SITE IS MASTER PLANNED AND PROVIDES AN EFFICIENT USE OF LAND,
 - THE HEALTH, WELFARE, AND SAFETY OF THE PUBLIC IS NOT JEOPARDIZED BY THE SETBACK REDUCTION,
 - THE SETBACK CHANGE WILL ENCOURAGE PEDESTRIAN INTERACTION BETWEEN BUILDINGS,
 - THE REDUCED SETBACK SERVES TO IMPLEMENT THE DESIGN STANDARDS OF THE VILLAGE.
 - LEGAL DESCRIPTION BASED ON CERTIFIED SURVEY MAP NUMBER 9060.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0202G, WITH A DATE OF IDENTIFICATION OF 11/5/2014, IN COMMUNITY NO. 550490, VILLAGE OF SUSSEX, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 - PROJECT BENCHMARK - THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 25, TOWN 8 NORTH RANGE 19 EAST, FOUND CONCRETE MONUMENT WITH BRASS CAP WITH AN ELEVATION OF 862.95'.
 - SITE BENCHMARK - NORTHEAST FLANGE BOLT ON HYDRANT, (AS SHOWN HEREON).
 - SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAVD83(2011)), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISCORS & GEOD 12A).

LEGEND			
— SAN	— SANITARY SEWER	— ELECTRIC TRANSFORMER	— HYDRANT
— ST	— STORM SEWER	— ELECTRIC METER	— WATER VALVE
— W	— WATER MAIN	— ELECTRIC FUSEBOX	— GAS VALVE
— G	— BURIED GAS LINE	— ELECTRIC BOX AT GRADE	— TELEPHONE FUSEBOX
— TEL	— BURIED TELEPHONE LINE	— TELEPHONE BOX AT GRADE	— MANHOLE
— CATV	— BURIED CABLE TELEVISION LINE	— TV FUSEBOX	— CATCH BASIN
— FO	— BURIED FIBER OPTIC LINE	— AIR CONDITIONER	— CLUMP INLET
— OVERHEAD	— OVERHEAD UTILITY LINES	— UTILITY POLE	— METAL LIGHT POLE
— COMB	— COMBINATION SEWER	— WOOD SIGN	— CONCRETE LIGHT POLE
— FENCE	— METAL FENCE	— BOLLARD	— WOOD LIGHT POLE
— EDGE	— EDGE OF TREES AND BRUSH	— BOLLARD LIGHT	— CHAIN MAIL BOX
— FIRE	— FIRE DEPARTMENT CONNECTION	— YARD LIGHT	— FIBER OPTIC MARKER
— WIRE	— WIRE		

EXISTING CONDITIONS SURVEY
FOR
BEER CAPITOL
W222 N5700 MILLER WAY
SUSSEX, WI

DRAWN BY:	RAP	DATE:	07/24/2023
CHECKED BY:	MJB	DRAWING No.	SV-1.0
CSE JOB No.:	23-072	SHEET	1 OF 1





NOTES:

1. TREES IN GOOD CONDITION ARE LABELLED AS GOOD OR 25% BRANCH DIE-OFF. ALL OTHER CATEGORIES—DISEASED, EAB, 50% OR GREATER BRANCH DIE-OFF, SOME ROT WOULD BE CONSIDERED TO BE IN BAD CONDITION. INVASIVE TREES INCLUDING COMMON BUCKTHORN AND NORWAY MAPLE WERE NOT SURVEYED. MANY OF THE TREES WERE MULTI-TRUNKED. THE NUMBER OF TRUNKS AT BREAST HEIGHT WERE RECORDED. 2 IS MULTI +2, ETC. ALL TRUNKS WERE MEASURED AND THE SUM WAS REPORTED FOR DBH.

2. THE TREE ID# CORRESPONDS TO THE TREE NUMBER LABELLED IN THE FIELD AND RECORDED IN THE SURVEY.

3. SURVEY WAS COMPLETED BY K. SHERFINSKI ON JULY 18, 20 AND 21, 2023.

4. 634 TREES TOTAL.

5. 530 HARDWOOD TREES IN GOOD CONDITION.

6. THE FOREST IS AN UPLAND HICKORY—BASSWOOD FOREST.

SUMMARY OF TREES IN GOOD CONDITION:		
Species	Number of Trees	Sum of DBH (inches)
American Elm	26	171
Basswood	117	1198
Bitternut Hickory	42	239
Black Cherry	68	476
Black Walnut	6	51
Box Elder	12	90
Bur Oak	3	47
Downy Hawthorn	1	2
Eastern Cottonwood	1	4
Green Ash	28	107
Honeylocust	3	1
Ironwood	3	18
Kentucky Coffeetree	1	12
Musclewood	34	130
Red Maple	6	49
Red Oak	8	146
Shagbark Hickory	135	824
Sugar Maple	35	316
White Oak	3	64
Grand Total	530	3947

Area	Sum of DBH (inches)
East	2111
Mid	1308
West	528
Grand Total	3947

SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCSCS) WAUKESHA COUNTY: NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)). USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WCORS & GEOID 12A).

TREE INVENTORY MAP

FOR

BEER CAPITOL
W222NN5700 MILLER WAY
SUSSEX, WI

DRAWN BY:	RAP	DATE:	07/26/2023
CHECKED BY:	MJB	DRAWING NO.	EC-TREE
CSE JOB NO.:	23-072	SHEET	SV-2.0

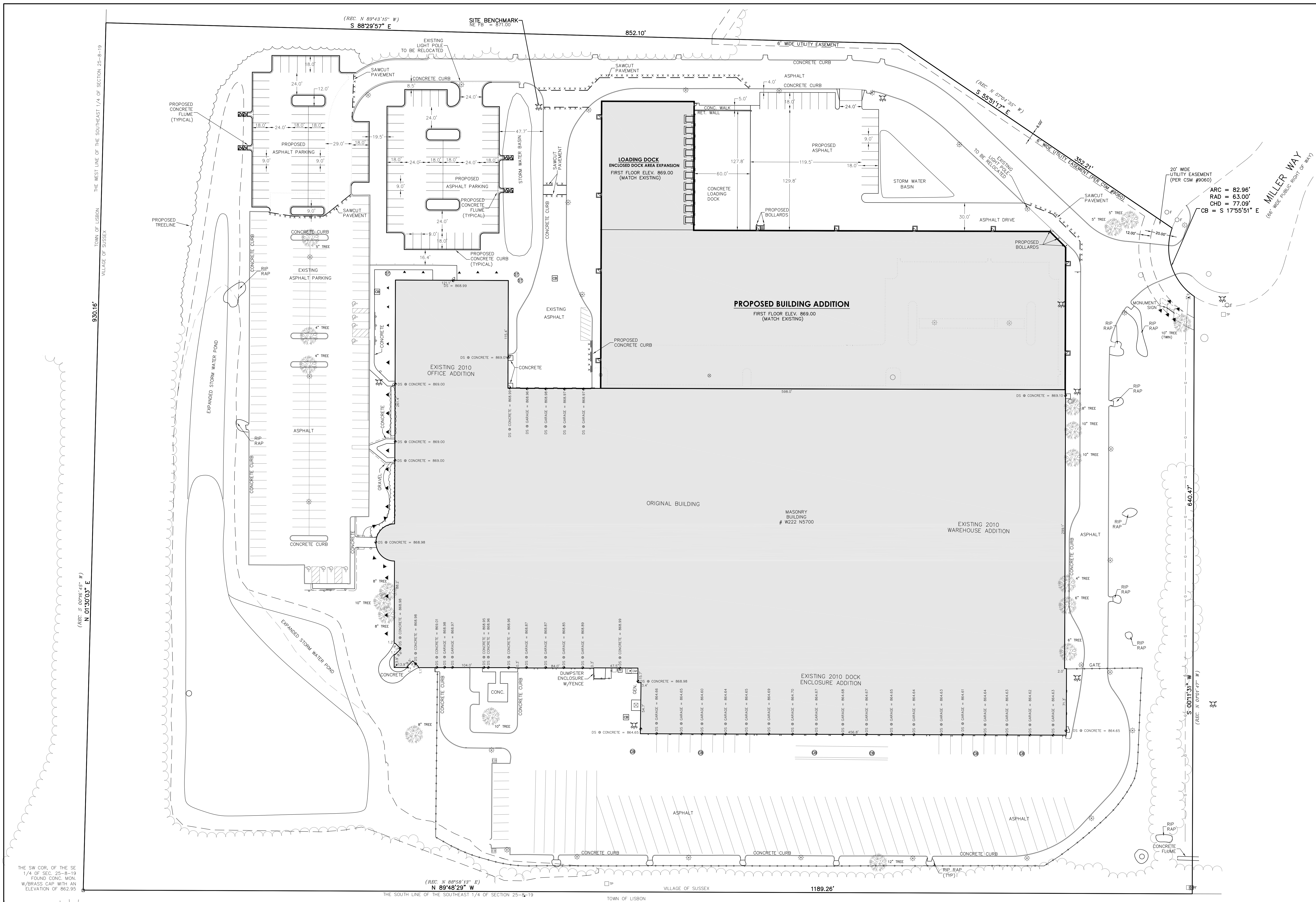


BEER CAPITAL
SUSSEX, WISCONSIN

CJE NO.: CJE2329R4
JULY 31, 2023

SITE PLAN

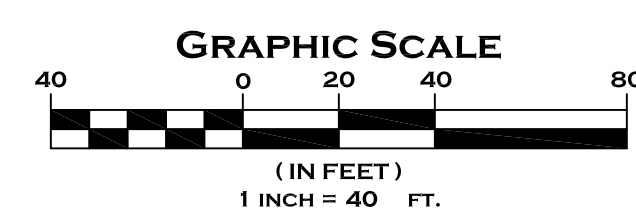
C1.0



THE SW COR. OF THE SE
1/4 OF SEC. 25-B-19
FOUND CONC. MON.
W/BRASS CAP WITH AN
ELEVATION OF 862.95

www.DiggersHotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

NOTES:
1. DIMENSIONS ARE TO THE FACE
OF CURB OR EDGE OF ASPHALT



SITE PARKING:
EXISTING PARKING:
REGULAR PARKING SPACES = 247
ACCESSIBLE PARKING SPACES = 8
TOTAL PARKING SPACES = 255

PROPOSED PARKING:
REGULAR PARKING SPACES = 268
ACCESSIBLE PARKING SPACES = 8
TOTAL PARKING SPACES = 276

TRAILER SPACES = 49
VAN SPACES = 29

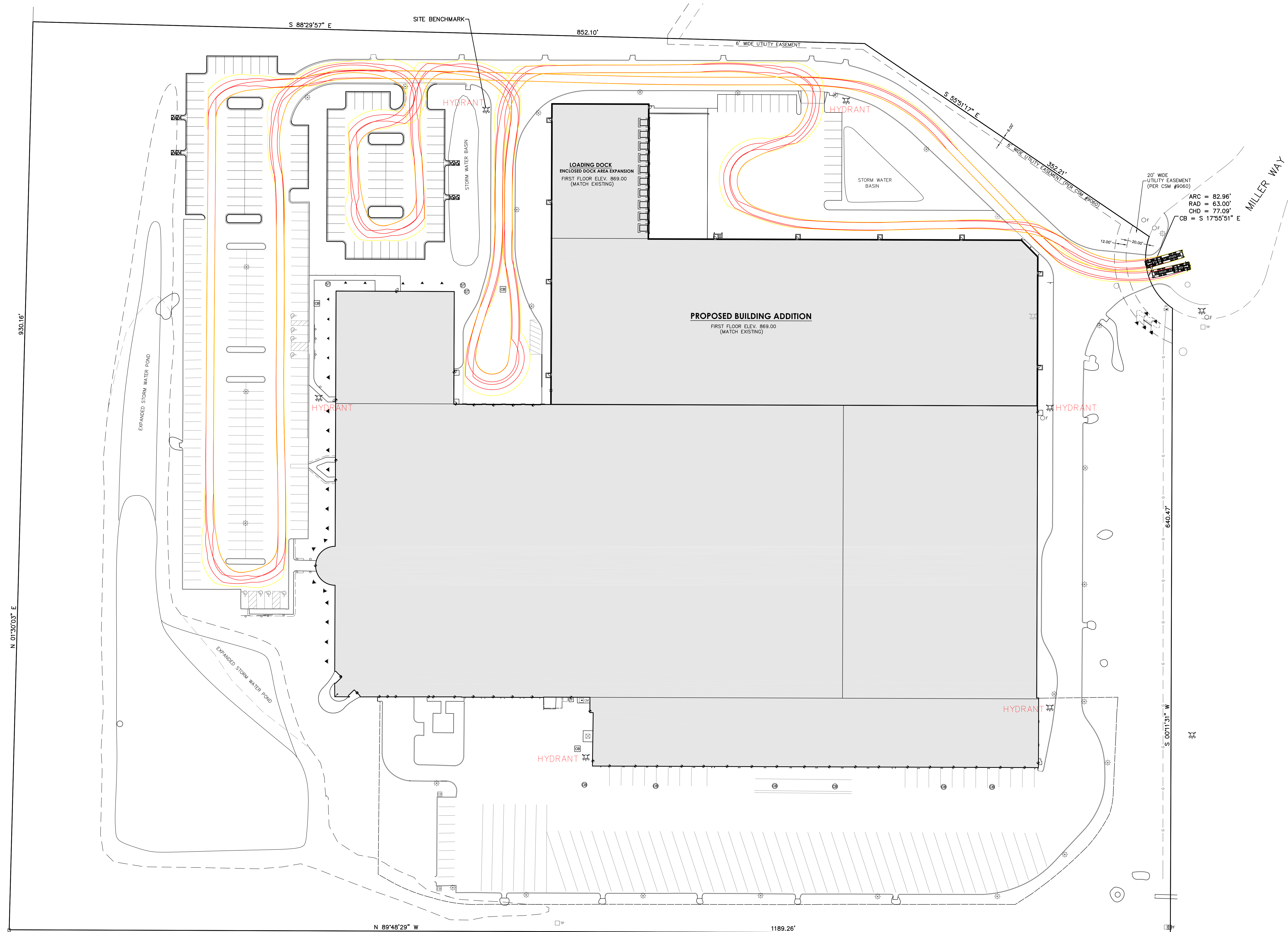
SITE AREAS:
EXISTING BUILDING = 262,288 S.F. (6.021 ACRES)
EXISTING PAVEMENT = 253,968 S.F. (5.830 ACRES)

EXISTING IMPERVIOUS AREA = 516,256 S.F. (11.852 ACRES) [49%]
EXISTING OPEN AREA = 530,311 S.F. (12.174 ACRES) [51%]

PROPOSED BUILDING = 360,756 S.F. (8.282 ACRES)
-NEW BUILDING ADDITION = 98,468 S.F. (2.261 ACRES)
PROPOSED PAVEMENT = 282,227 S.F. (6.479 ACRES)
-NEW S.D. ASPHALT = 34,708 S.F. (0.797 ACRES)
-NEW H.D. ASPHALT = 28,586 S.F. (0.656 ACRES)
-NEW CONCRETE APRON = 7,570 S.F. (0.175 ACRES)
-NEW CONCRETE CURB (B.O.C.) = 1,644 L.F.

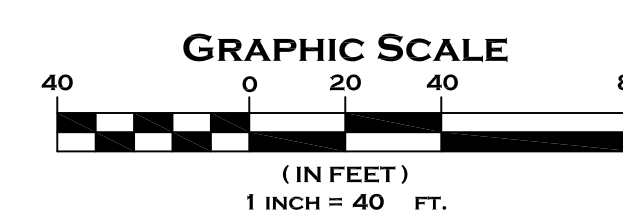
PROPOSED IMPERVIOUS AREA = 642,983 S.F. (14.761 ACRES) [61%]
PROPOSED OPEN SPACE = 403,584 S.F. (9.265 ACRES) [39%]

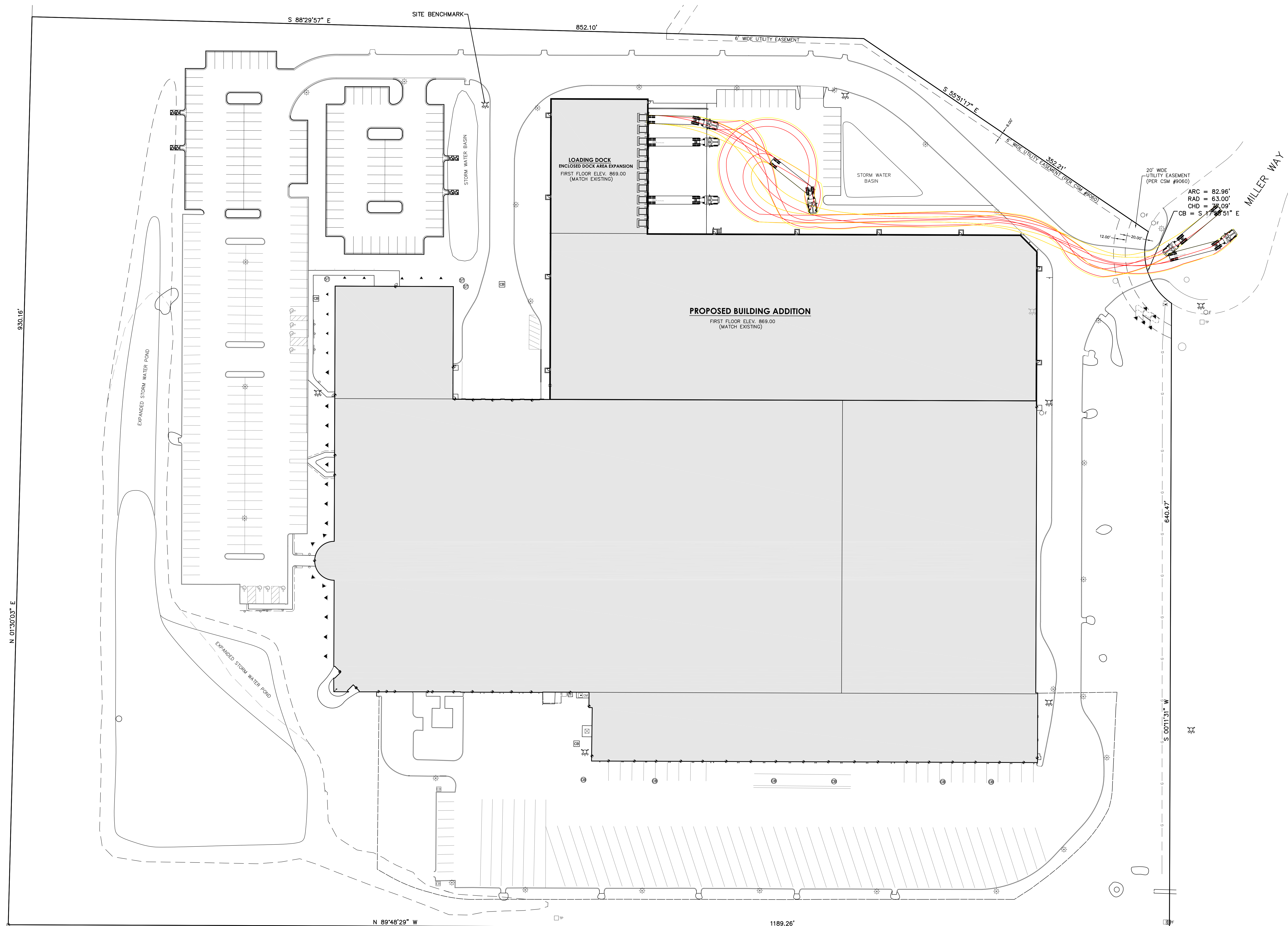
TOTAL SITE AREA = 1,046,567 S.F. (24.026 ACRES)



LEGEND	
—	FRONT WHEEL PATH
—	REAR WHEEL PATH
—	VEHICLE BODY OVERHANG

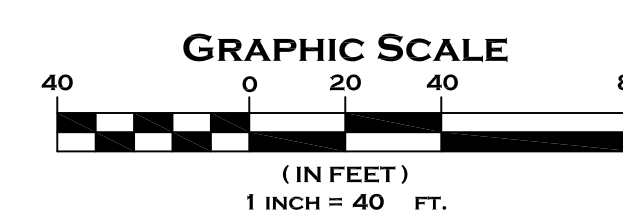
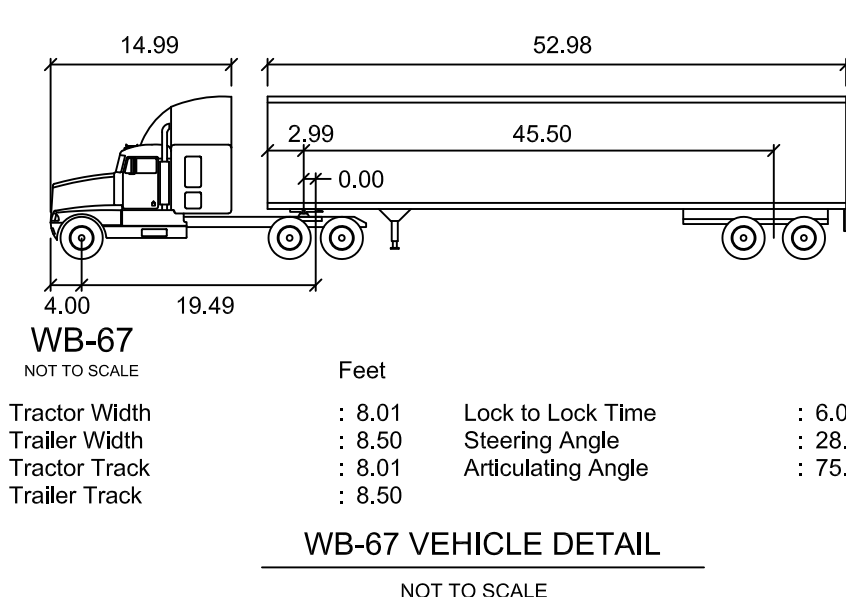
8.17	21.78
Spartan Gladiator Star Series Aerial	
Width	Feet
Track	8.23
Lock to Lock Time	7.87
Steering Angle	6.0 s
	46.3 deg
FIRE TRUCK DETAIL	
NOT TO SCALE	

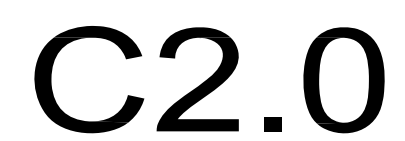




LEGEND

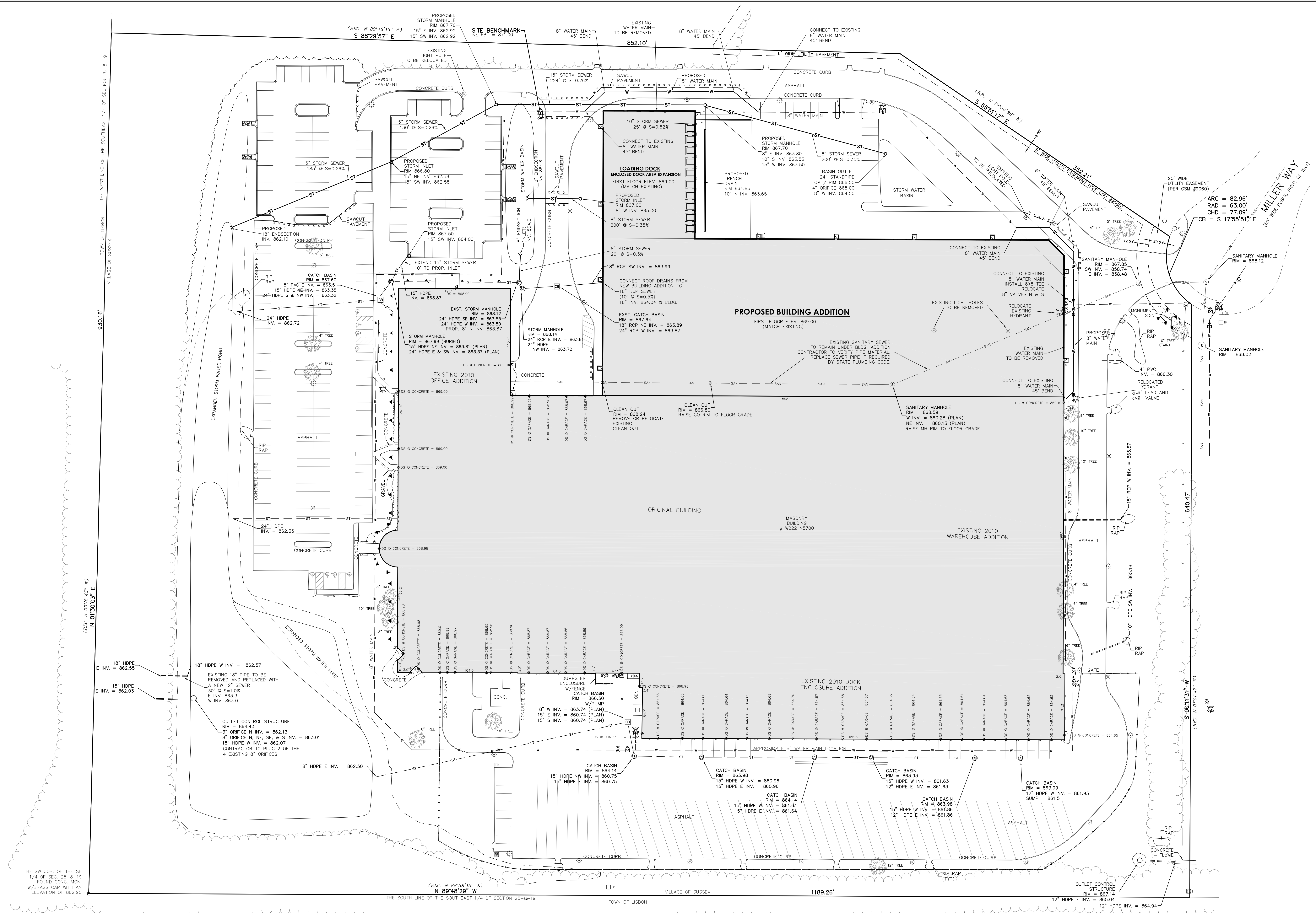
- FRONT WHEEL PATH
- REAR WHEEL PATH
- VEHICLE BODY OVERHANG





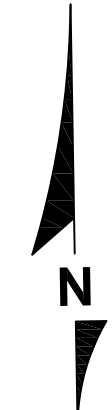
BEER CAPITOL
SUSSEX, WISCONSIN

CJE NO.: CJE2329R4
JULY 31, 2022



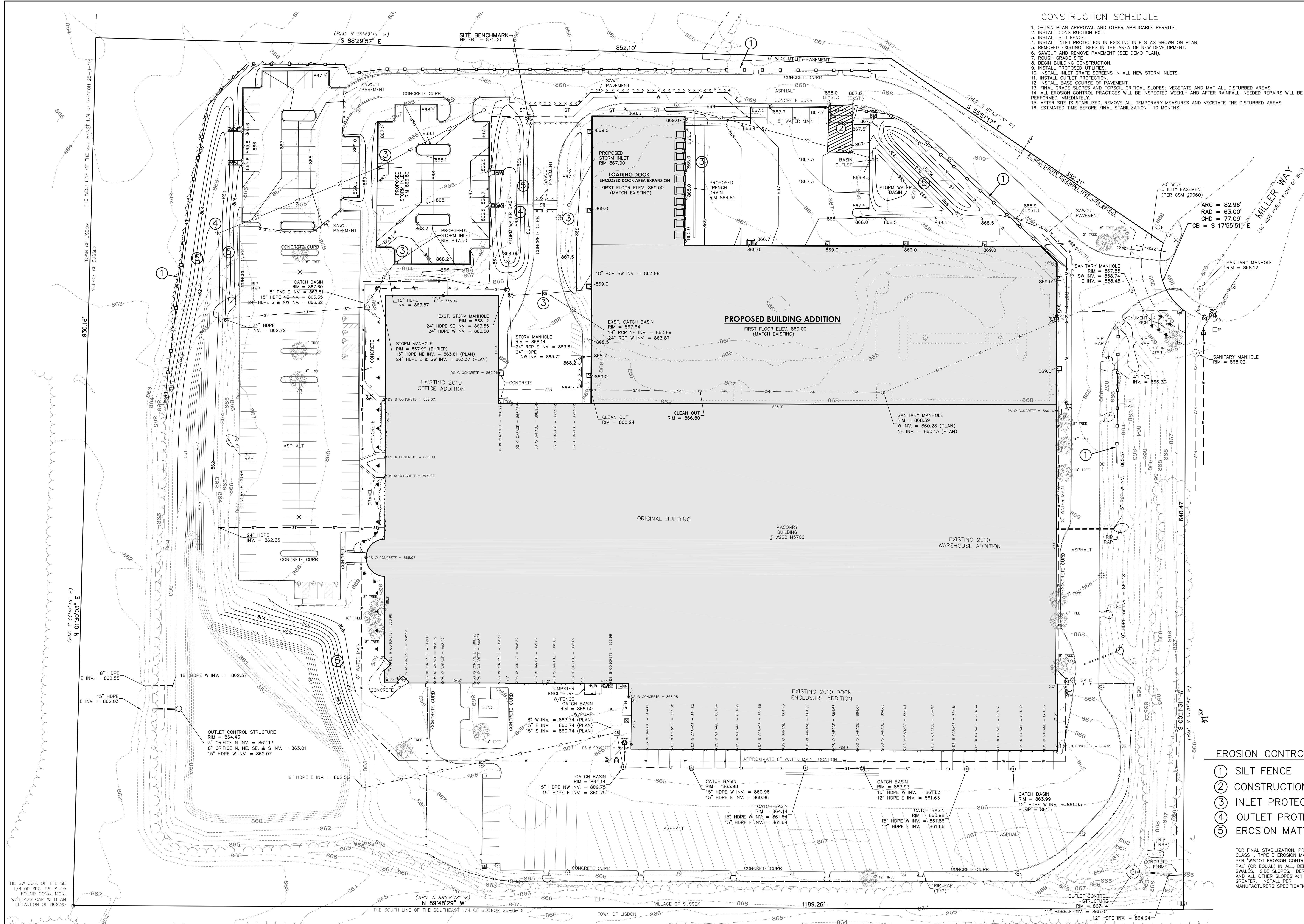
CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. INSTALL CONSTRUCTION EXIT.
3. INSTALL SILT FENCE.
4. INSTALL INLET PROTECTION IN EXISTING INLETS AS SHOWN ON PLAN.
5. REMOVED EXISTING TREES IN THE AREA OF NEW DEVELOPMENT.
6. SAWCUT AND REMOVE PAVEMENT (SEE DEMO PLAN).
7. ROUGH GRADE SITE.
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES.
10. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
11. INSTALL OUTLET PROTECTION.
12. INSTALL BASE COURSE OF PAVEMENT.
13. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
14. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
15. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
16. ESTIMATED TIME BEFORE FINAL STABILIZATION -10 MONTHS.



BEER CAPITAL

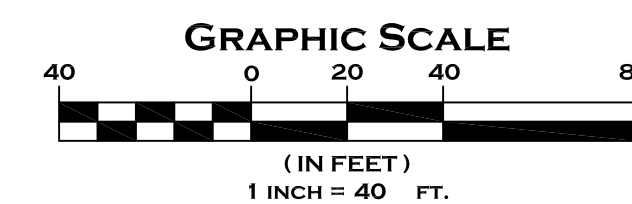
SUSSEX, WISCONSIN



EROSION CONTROL PRACTICES

- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ OUTLET PROTECTION
- ⑤ EROSION MATTING

FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER WISDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.



MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE, VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROPS) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131*	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

* Fall Seeding

LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST MOOT PAL (UPDATED 11/2/2017) - SEE WMDR TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

- NOTES:
1. SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE OF THE CURB.
 2. DISTURBED AREA: 256,400 S.F. 5.89 ACRES

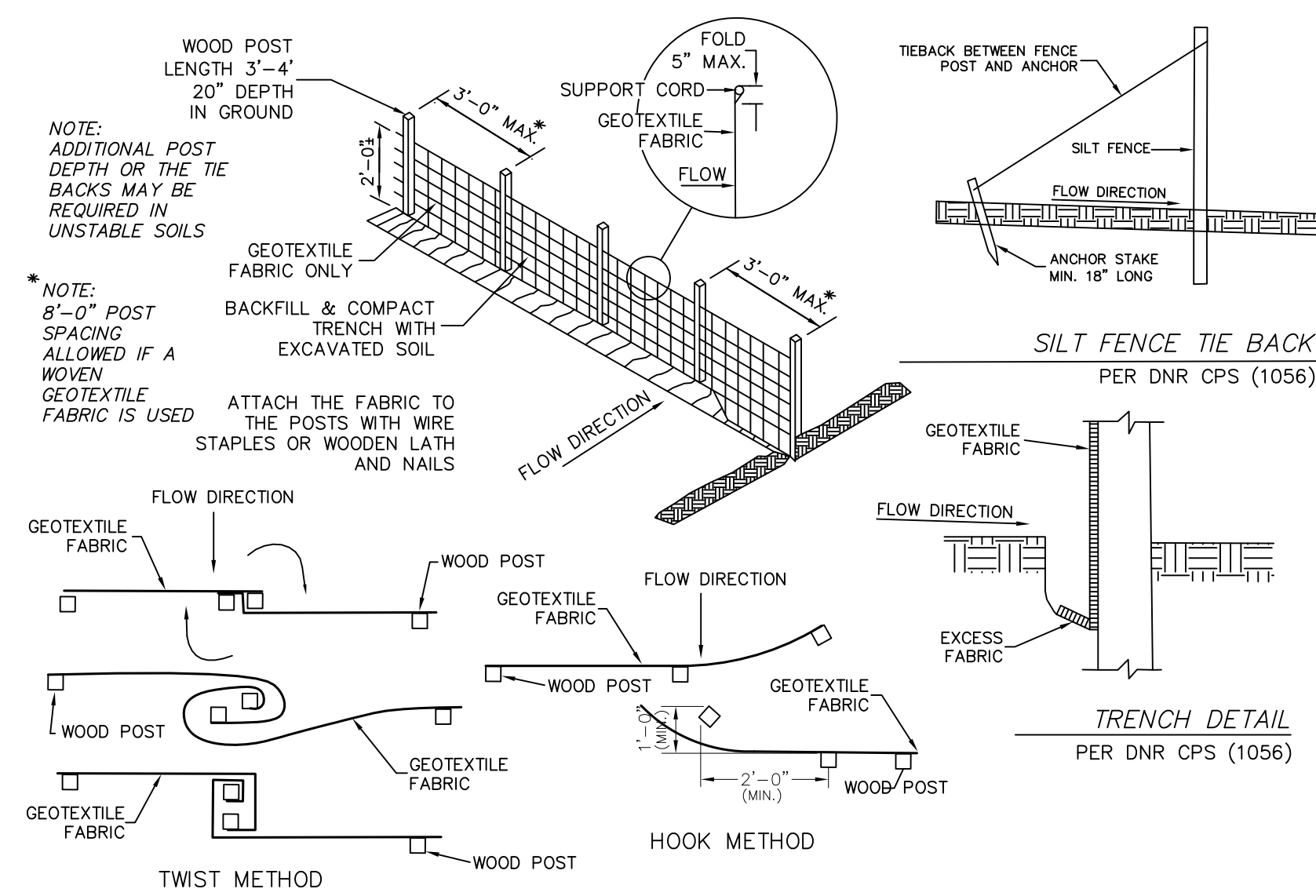
LEGEND

- 864 --- EXISTING CONTOUR
- 868 --- PROPOSED CONTOUR
- x 867.5 --- PROPOSED ELEVATION
- ST --- EXISTING STORM SEWER
- ST --- PROPOSED STORM SEWER
- S --- SILT FENCE LOCATION



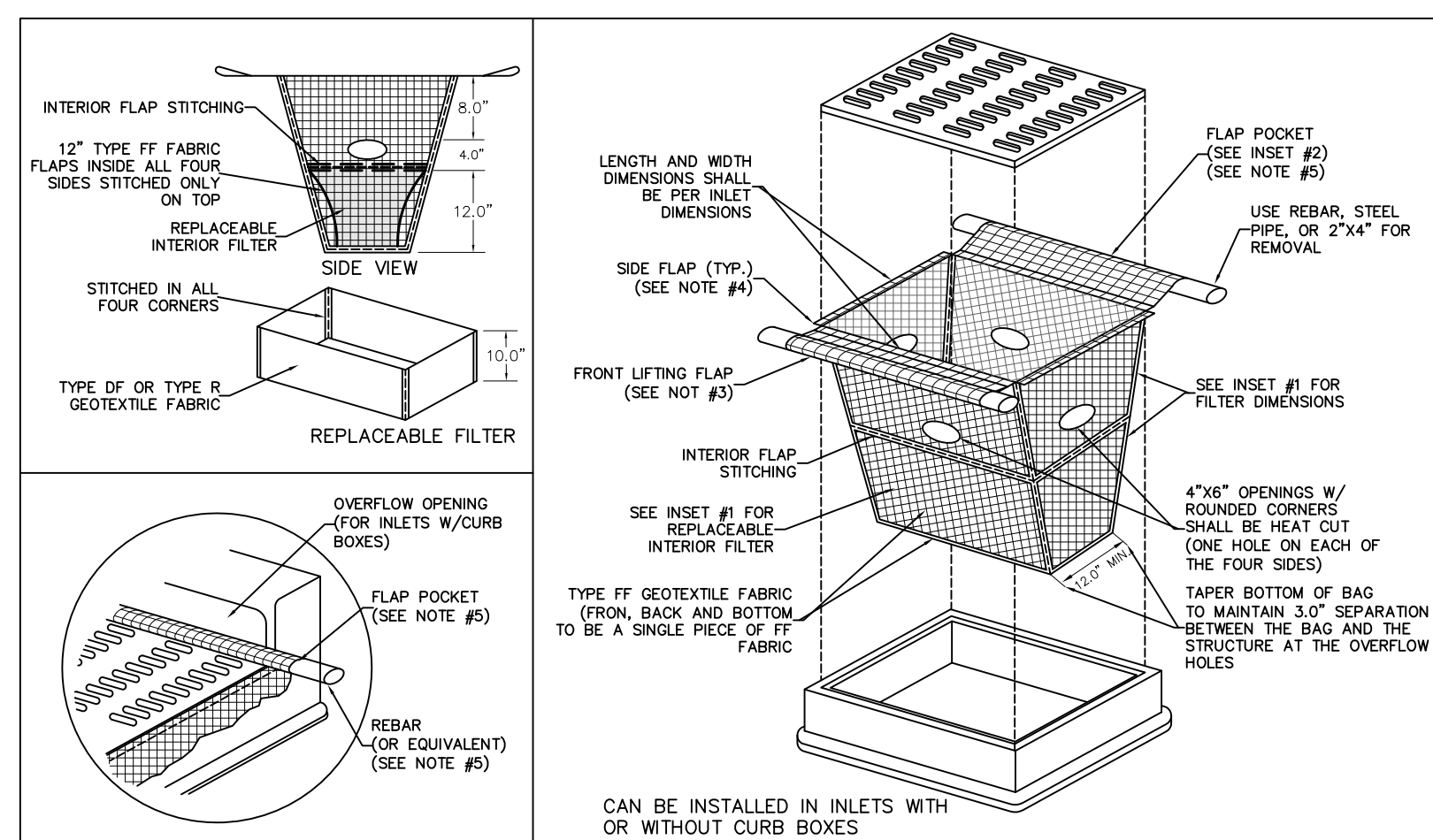
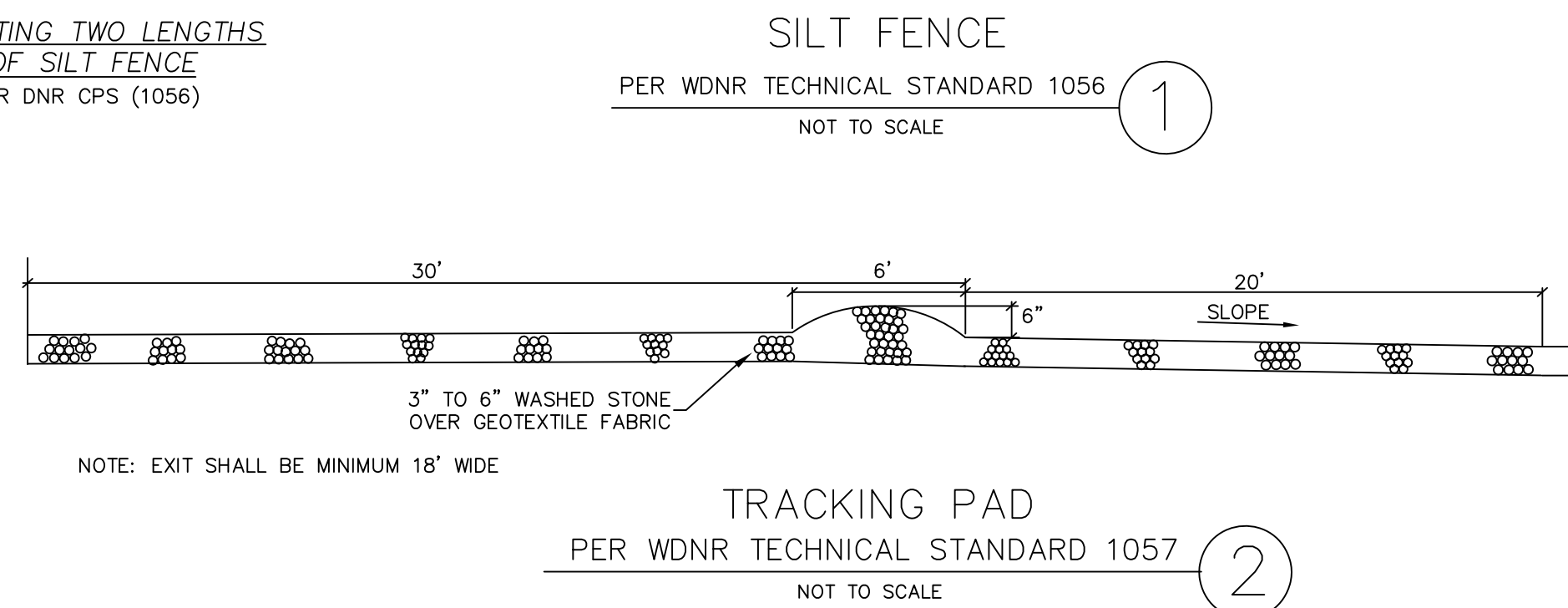
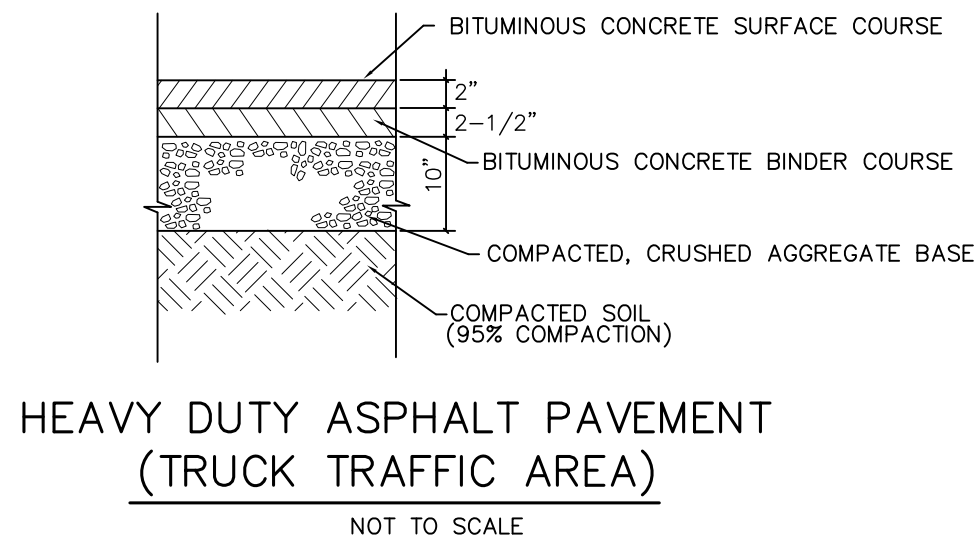
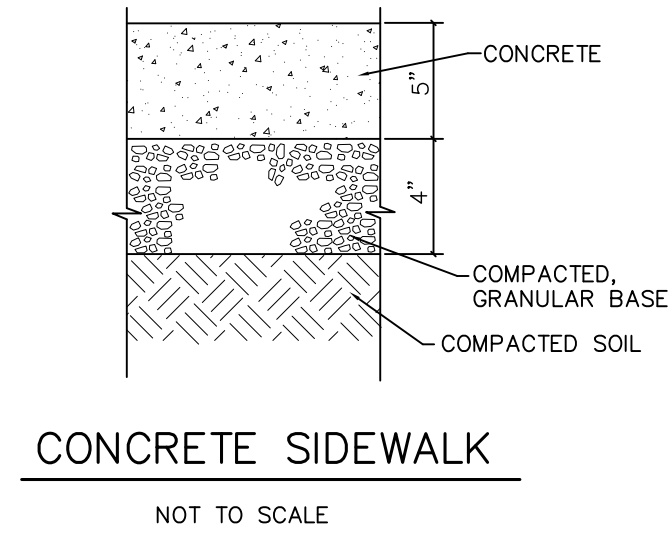
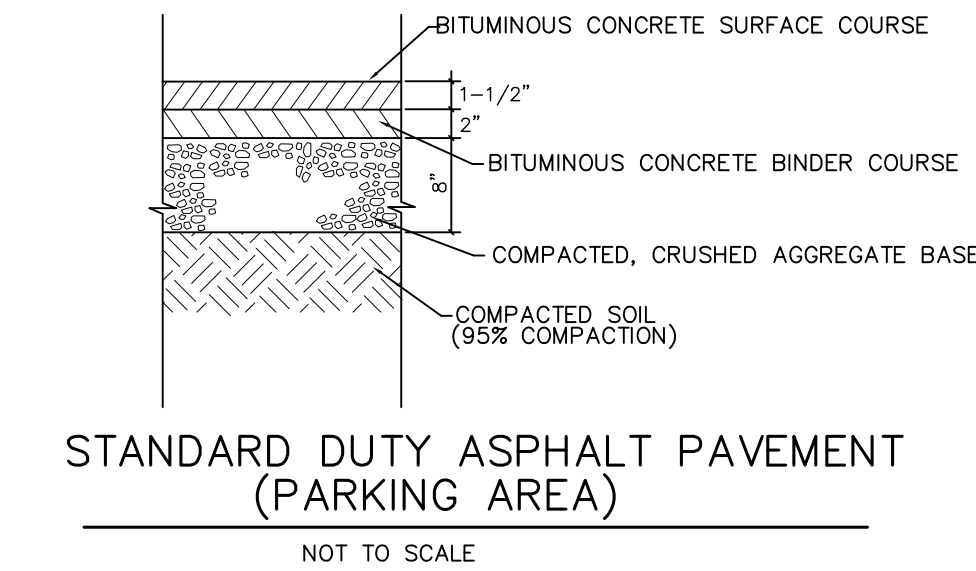
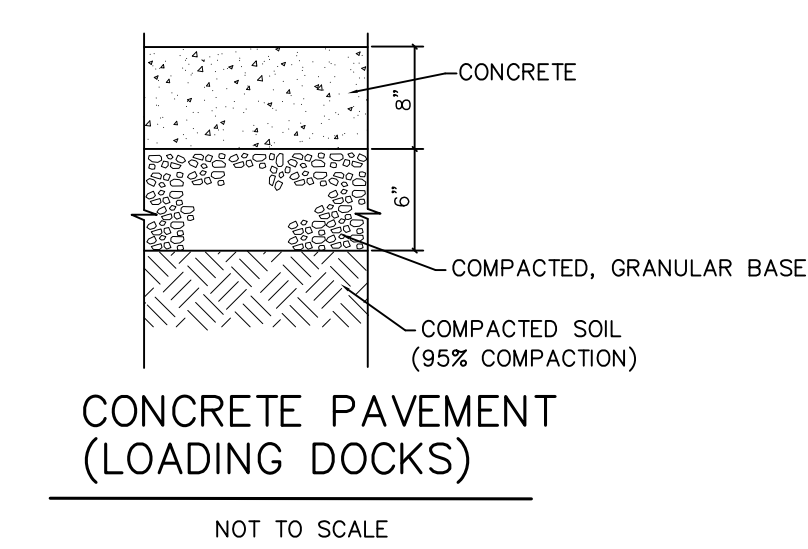
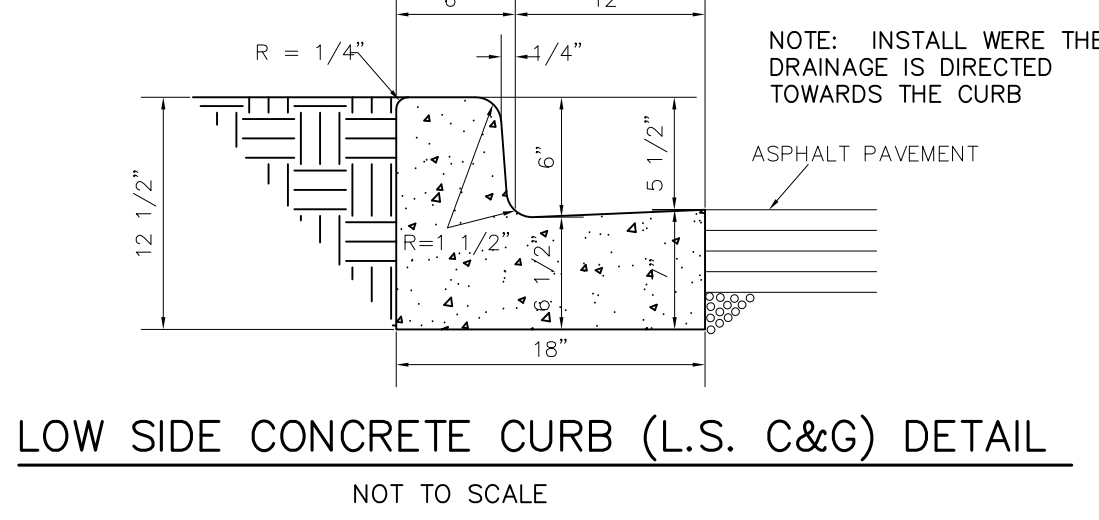
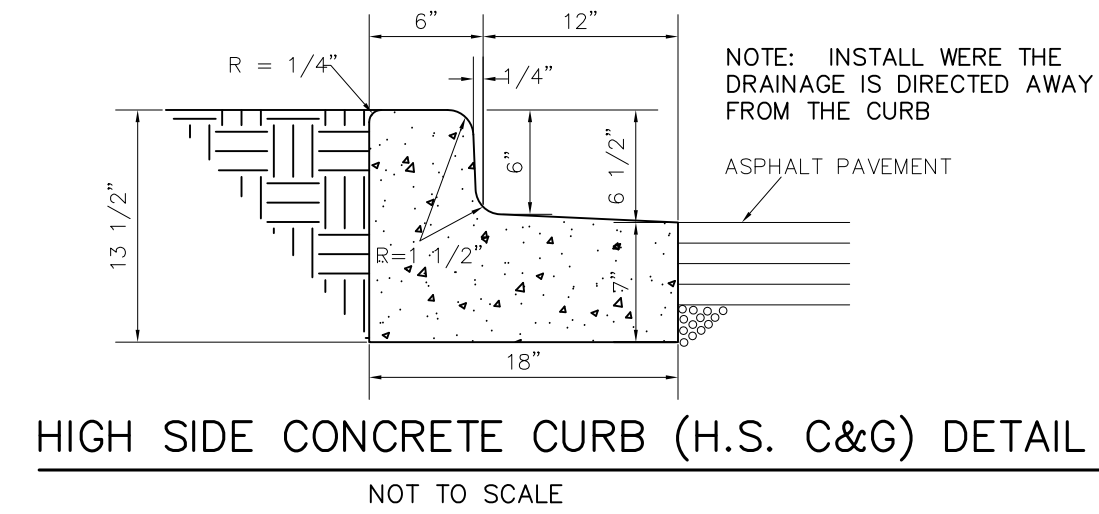
CJE NO.: CJE2329R4
JULY 31, 2023

EROSION CONTROL PLAN C4.0



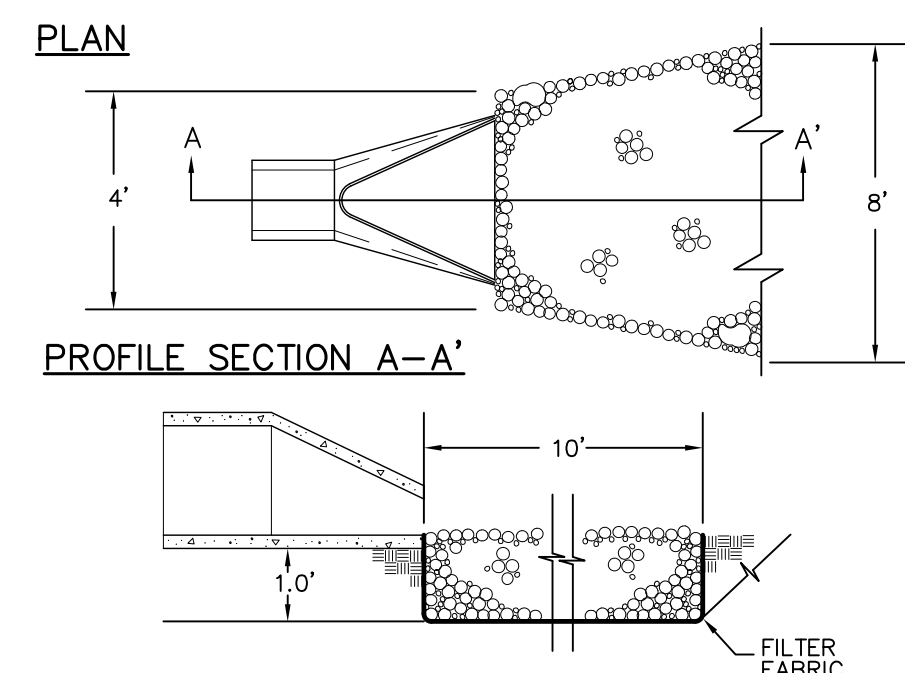
CONSTRUCTION SPECIFICATIONS
PER DNR CPS (1056)

1. CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
2. LOCATE POSTS PER DNR CPS (1056)
3. WHEN JOINTS ARE NECESSARY REFER, TO DNR CPS (1056)
4. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB/LIN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL/SEC. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
5. THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 6" TRENCH
6. THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
7. POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART.
8. USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
9. USE WISDOT APPROVED SILT FENCE



- NOTES:
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO OUT STRUCTURE WALL.
 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- MAINTENANCE NOTES:
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

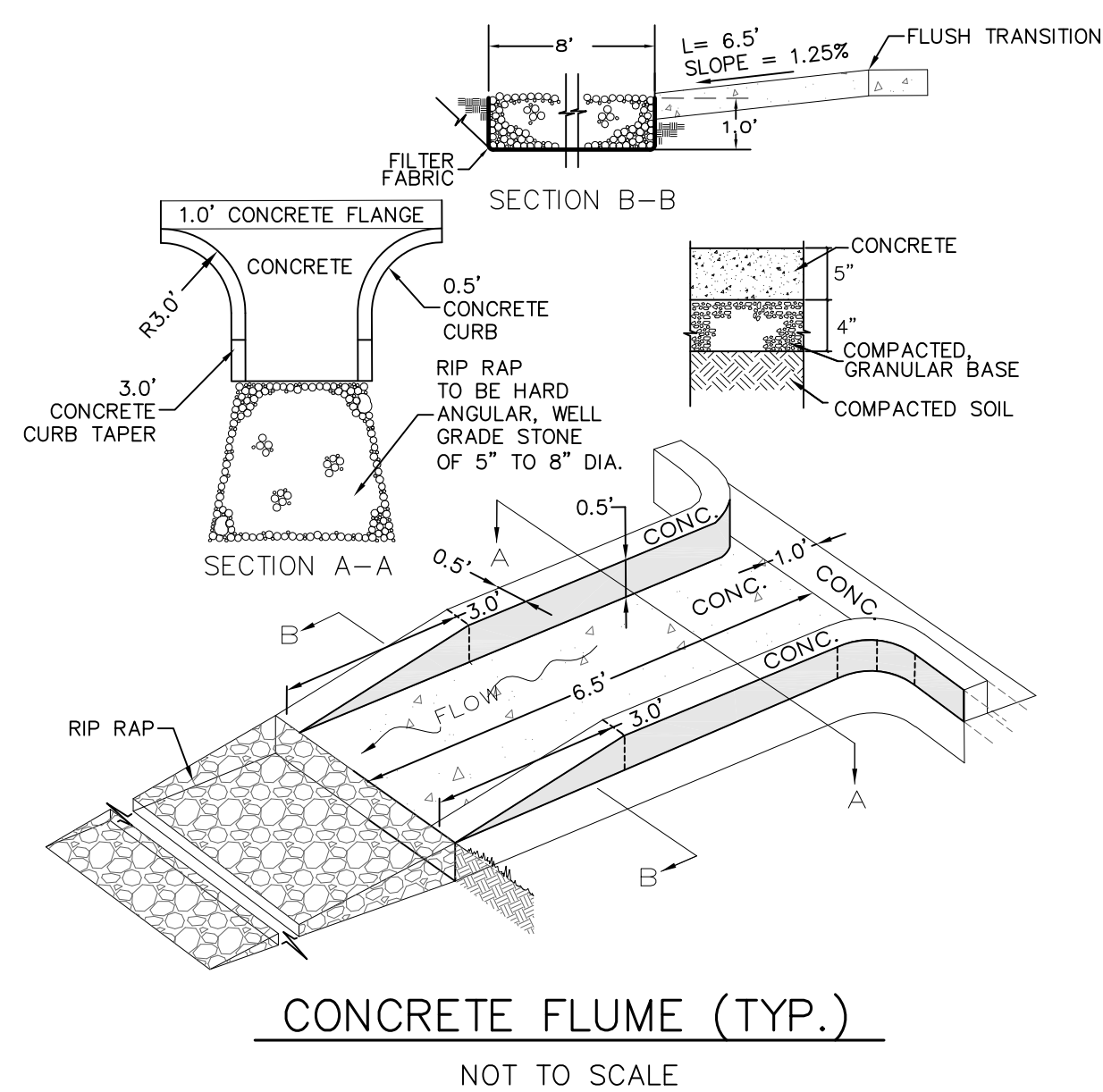
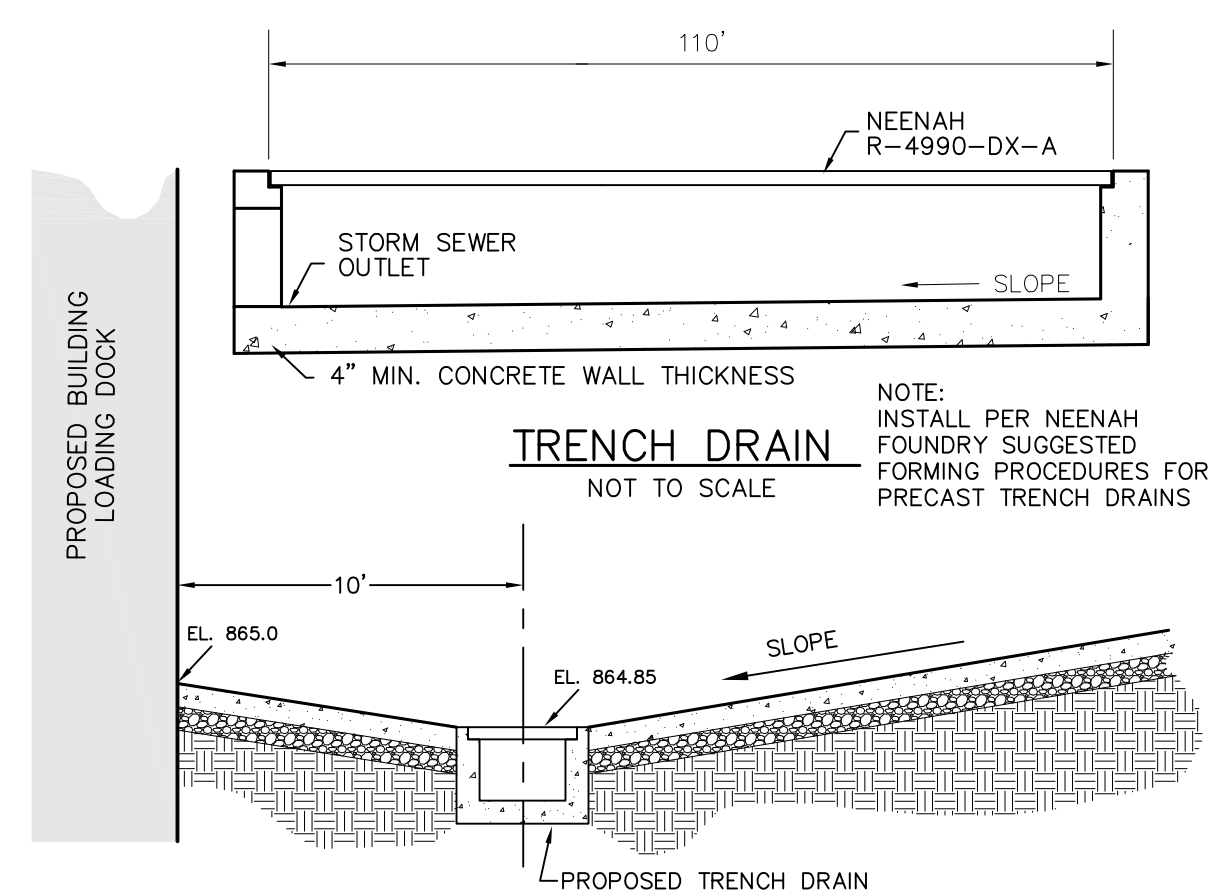
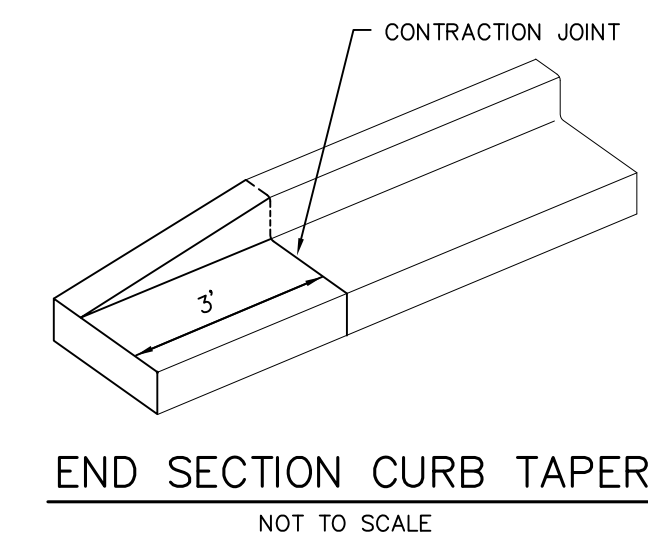
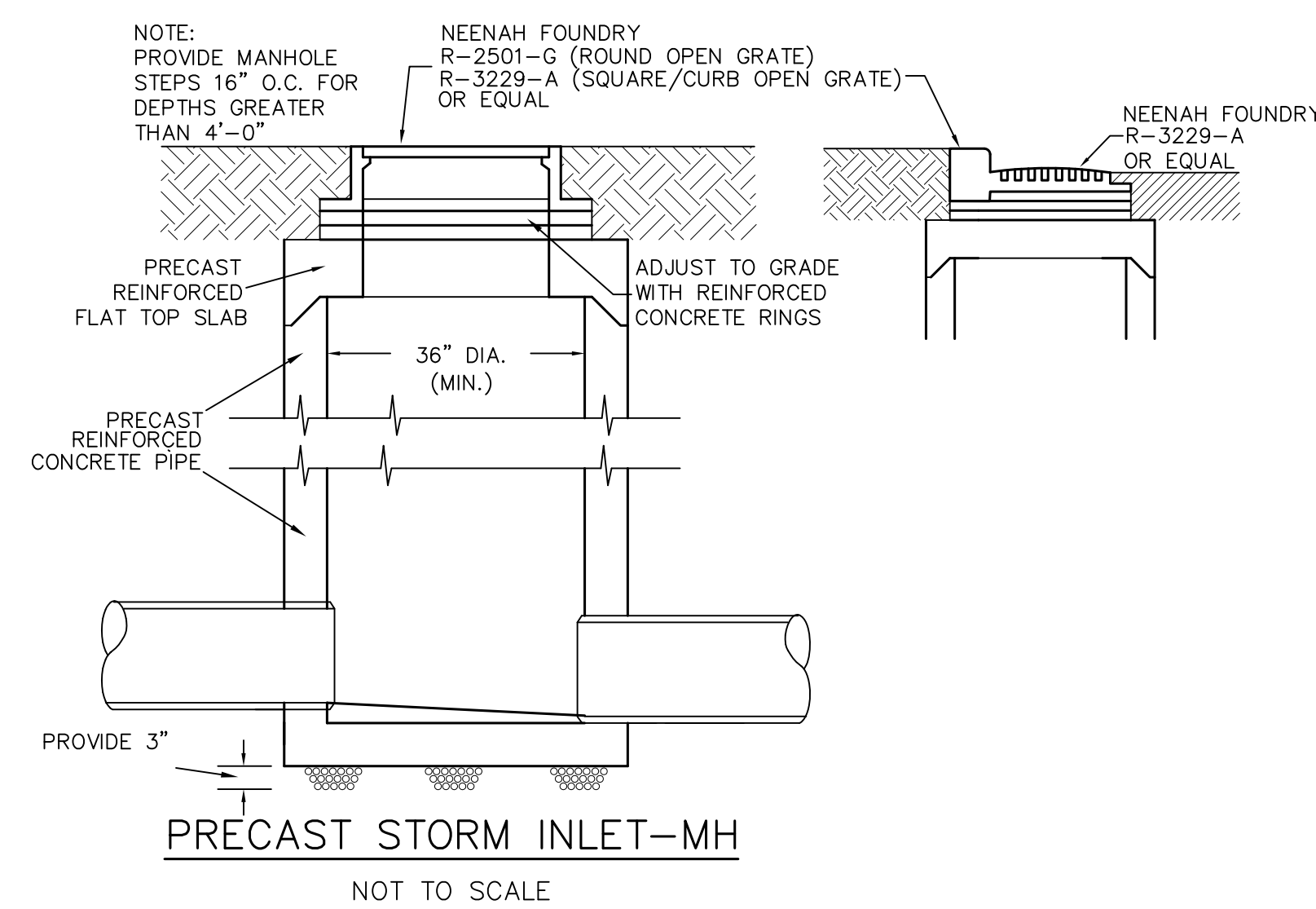
INLET PROTECTION
TYPE D-M
PER WDNR TECHNICAL STANDARD 1060
NOT TO SCALE

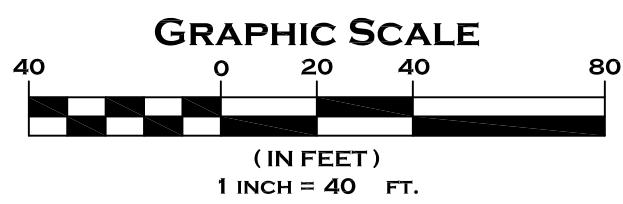


CONSTRUCTION SPECIFICATIONS

1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
3. EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
4. PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
5. RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

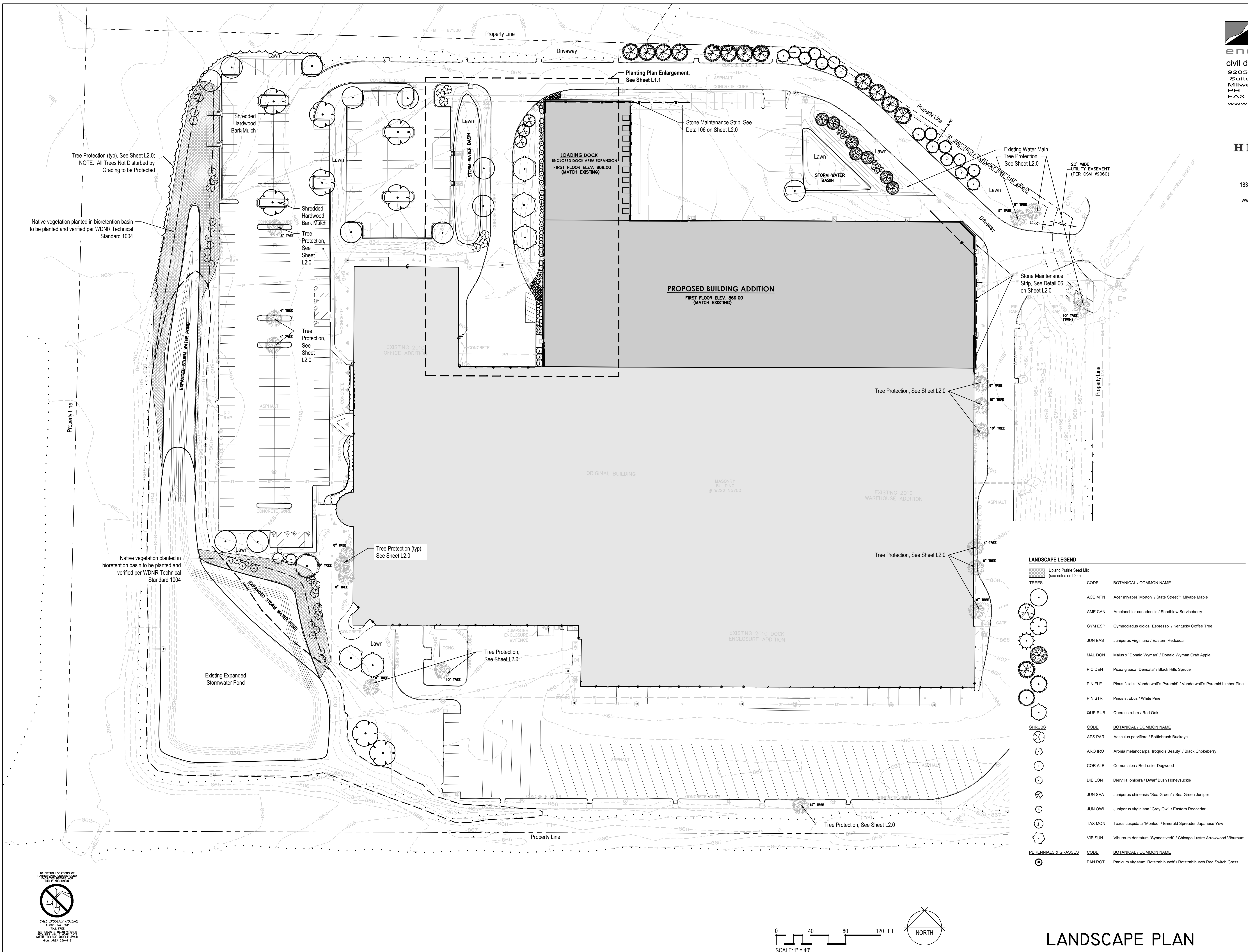
OUTLET PROTECTION FOR ENDSECTION
NOT TO SCALE

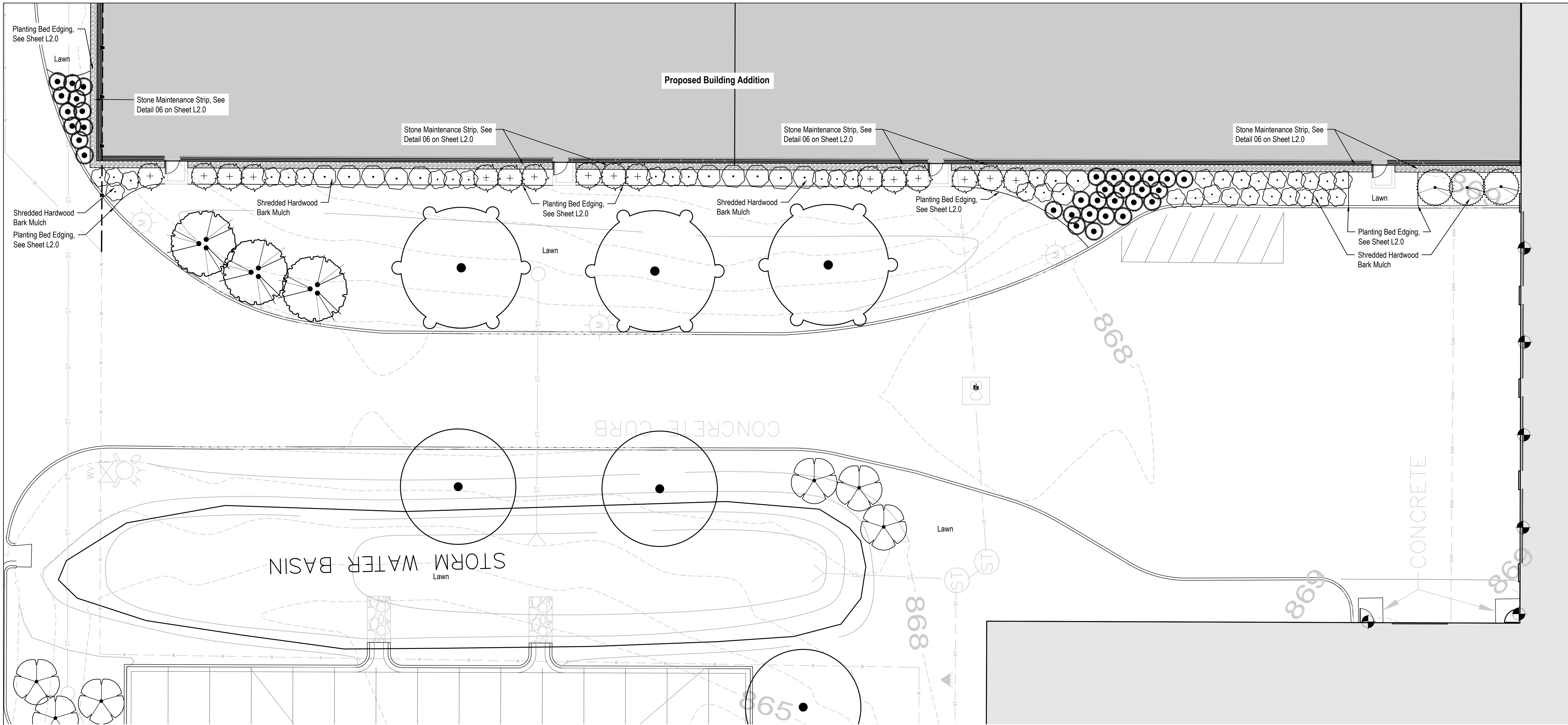




C6.0

CJE NO.: CJE2329RA
JULY 31, 2023

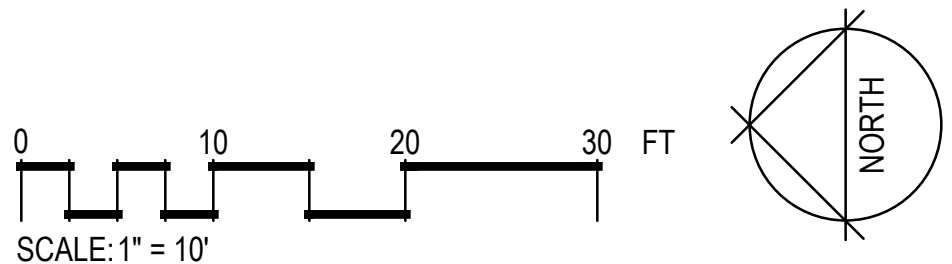




LANDSCAPE LEGEND		
	Upland Prairie Seed Mix	(see notes on L2.0)
TREES		
	ACE MTN	Acer miyabei 'Morton' / State Street™ Miyabe Maple
	AME CAN	Amelanchier canadensis / Shadblow Serviceberry
	GYM ESP	Gymnocladus dioica 'Espresso' / Kentucky Coffee Tree
	JUN EAS	Juniperus virginiana / Eastern Redcedar
	MAL DON	Malus x 'Donald Wyman' / Donald Wyman Crab Apple
	PIC DEN	Picea glauca 'Densata' / Black Hills Spruce
	PIN FLE	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine
	PIN STR	Pinus strobus / White Pine
	QUE RUB	Quercus rubra / Red Oak
SHRUBS		
	AES PAR	Aesculus parviflora / Bottlebrush Buckeye
	ARO IRO	Aronia melanocarpa 'Iroquois Beauty' / Black Chokeberry
	COR ALB	Cornus alba / Red-osier Dogwood
	DIE LON	Diervilla lonicera / Dwarf Bush Honeysuckle
	JUN SEA	Juniperus chinensis 'Sea Green' / Sea Green Juniper
	JUN OWL	Juniperus virginiana 'Grey Owl' / Eastern Redcedar
	TAX MON	Taxus cuspidata 'Monteo' / Emerald Spreader Japanese Yew
	VIB SUN	Viburnum dentatum 'Synnvested' / Chicago Lustre Arrowwood Viburnum
PERENNIALS & GRASSES		
	PAN ROT	Panicum virgatum 'Rotstrahlbusch' / Rotstrahlbusch Red Switch Grass

TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND PAVERS, SEE SHEET L2.0.

CALL DIGGERS HOTLINE
1-800-324-6341
TOLL FREE
MS STATUTE, REGISTRATION
REQUIRED AND A WORKING
NOTICE BEFORE YOU EXCAVATE
MILWAUKEE, WI 53204



LANDSCAPE PLAN
ENLARGEMENT

L1.1

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FAX (414) 443-1317
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www.healthyenvironmentsdesigned.com

BEER CAPITOL
W222 N5700 MILLER WAY SUSSEX, WI

CJE NO.:
JULY 31, 2023

GENERAL

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- TOP OF MULCH SHALL BE ½" MINIMUM BELOW THE TOP OF WALKS AND CURBS
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- THE LANDSCAPE SHALL BE MAINTAINED IN A MANNER COMMON TO THE PRACTICE, INCLUDING MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, TRASH REMOVAL, AND OTHER SUCH ACTIVITIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING FOR 60 DAYS, OR UNTIL FINAL ACCEPTANCE BY THE OWNER. AN ON-SITE INSPECTION BY THE OWNER'S AGENT WILL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- DURING WORK, PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS THE WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT THE END OF EACH WORK DAY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER'S AGENT. PLANTS SHALL BE IN HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE AT NO COST TO OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR MAINTENANCE PERIOD.

QUALITY ASSURANCE

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- SELECTION OF PLANT MATERIAL: MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- SUBSTITUTIONS: DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WRITTEN VERIFICATION WILL BE REQUIRED DOCUMENTING MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
- MEASUREMENTS: TAKE CALIPER MEASUREMENTS OF TREES SIX INCHES ABOVE GROUND. MEASURE MAIN BODY OF ALL PLANT MATERIAL FOR HEIGHT AND SPREAD DIMENSIONS, NOT FROM TIP-TO-TIP.
- LANDSCAPE ARCHITECT OR OWNER, SHALL INSPECT ALL PLANT MATERIAL WITH RESPECT TO GENUS, SPECIES, CULTIVAR/VARIETY, SIZE AND QUALITY, INCLUDING SIZE AND CONDITION OF ROOT SYSTEMS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, OR OTHER LATENT DEFECTS UPON ARRIVAL TO SITE OR DURING INSTALLATION.
- LANDSCAPE ARCHITECT OR OWNER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE WORK PROCESS. REMOVE REJECTED MATERIALS FROM SITE AND REPLACE WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PRODUCT DELIVERY, STORAGE AND HANDLING

- DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON THE JOB SITE.
- PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NO PLANTED WITHIN 24 HOURS OF DELIVERY.
- TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS.

MATERIALS

PLANTS

- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, MOST RECENT EDITION.
- PLANTS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL-SHAPED, FULL BRANCHED AND FREE OF DISEASE AND INSECTS.
- ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH, OR ARE IN ANY UNHEALTHY, BADLY SHAPED, OR UNDERSIZED CONDITION WILL BE REJECTED BY THE LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE PLANT AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS.
- PLANTS SHALL BE FRESHLY DUG FROM DURING THE MOST RECENT APPROPRIATE HARVEST SEASON.
- PRUNING SHALL BE LIMITED TO DEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300.

SOILS

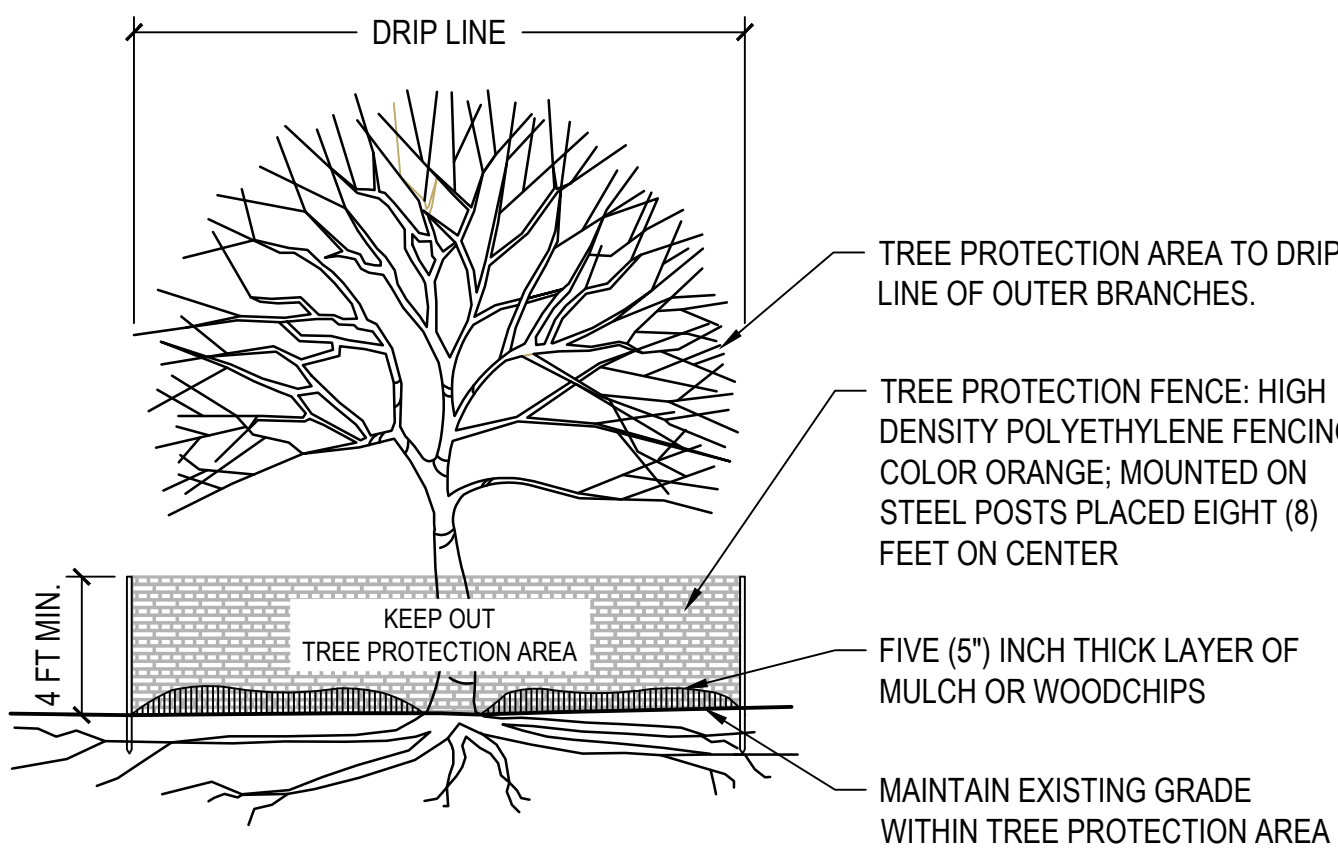
- PLANTING SOIL AND TOPSOIL TO BE A CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER ¾" IN DIAMETER, AND FREE FROM TOXINS AND WEEDS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 5.5 AND 7. ORGANIC MATERIAL SHALL BE 2.0-5.0% OF TOTAL DRY WEIGHT. SOLUBLE SALT LEVELS SHALL BE LESS THAN 2 mmho/cm. PLANTING SOIL AND TOPSOIL SHALL BE TESTED AND AMENDED TO MEET THESE SPECIFICATIONS.
- COMPOST SHALL BE COMMERCIALY PREPARED, PEAT-FREE COMPOST AND MEET US COMPOST COUNCIL STA/TMECC CRITERIA AND SHALL CONSIST OF PLANT-BASED MATERIALS, COMPOSTED FOR A MINIMUM OF 9 MONTHS AT TEMPERATURES SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS, AND LEAF STRUCTURES.
- ALL PLANTING AREAS WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF SIX (6) INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD THREE (3") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF THE TOPSOIL. ALL PLANTING AREAS WITHOUT EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF EIGHTEEN (18") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF EIGHTEEN (18") INCHES OF THE TOPSOIL.
- BACKFILL FOR TREE PITS SHALL CONSIST OF EXISTING TOPSOIL ON SITE (OR IMPORTED AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, SUBSOILS, ETC., PLACED IN NINE (9") LAYERS AND WATERED IN THOROUGHLY.

OTHER MATERIALS

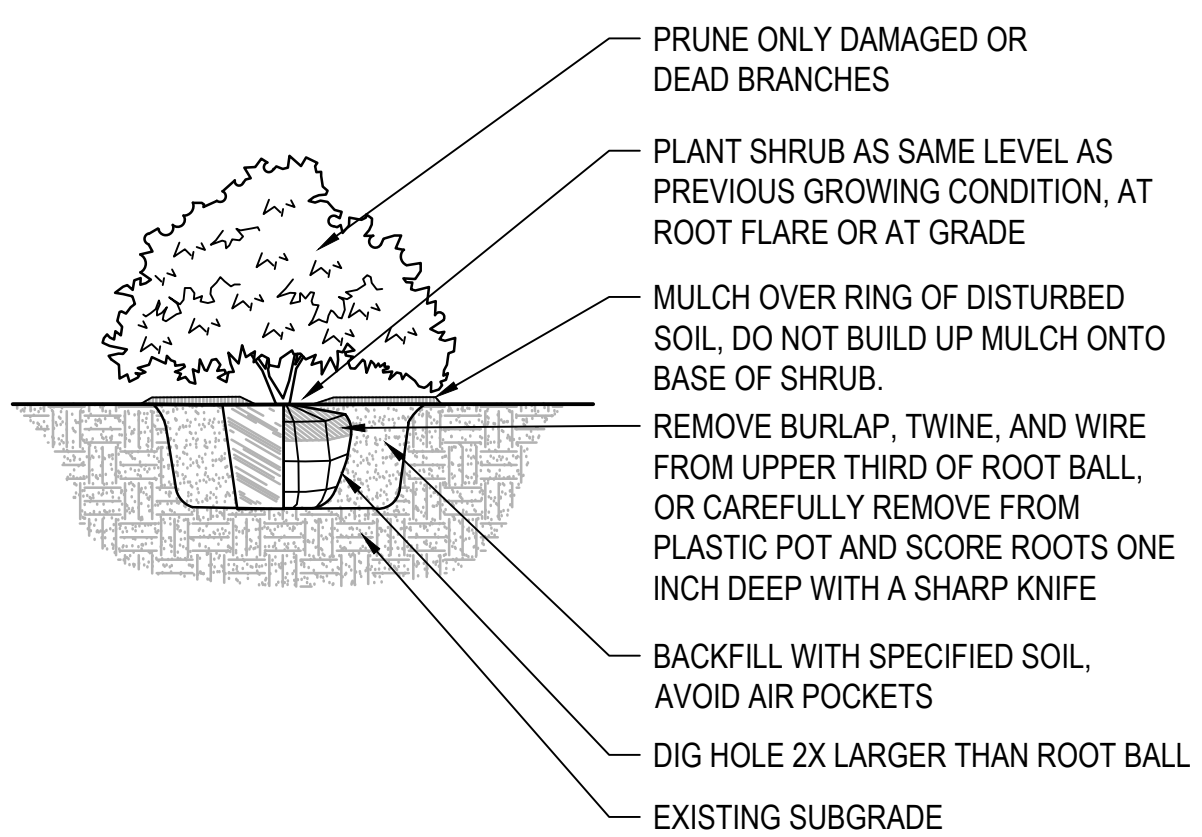
- SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF THREE (3") INCHES OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH, SIZE AND COLOR TO BE APPROVED BY OWNER'S AGENT PRIOR TO INSTALLATION. MULCHED AREAS SHALL NOT RECEIVE A WOVEN WEED BARRIER FABRIC.
- EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING, TO BE APPROVED BY OWNER'S AGENT.
- 18" WIDE STONE MAINTENANCE STRIP: DECORATIVE STONE TO MATCH EXISTING STONE ON SITE AND SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. INSTALL STONE MAINTENANCE STRIP IN THE LOCATIONS INDICATED IN THE PLAN FOLLOWING THE MANUFACTURER'S INSTRUCTIONS. THE GEOTEXTILE FABRIC SHALL BE PERMEABLE NONWOVEN MIRAFI MSCAPE E OR APPROVED EQUAL.
- SOD: ALL AREAS SPECIFIED ON PLAN AS SOD (IF APPLICABLE) SHALL BE A PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. TURFGRASS SOD SHALL BE REASONABLY FREE OF DISEASES, NEMATODES, INSECTS, GRASSY AND BROAD-LEAF WEEDS.
- LAWN SEED: DISTURBED LAWN AREAS LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH 'MADISON PARKS' OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 ½ POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- UPLAND NATIVE SEED MIX: POND SIDE SLOPES SHALL BE 'SHORTGRASS PRAIRIE FOR MEDIUM SOILS' BY AGRECOL OR APPROVED EQUAL. PLANT WITH COVER CROP OF COMMON OATS AT 20 LBS/ACRE OR OF WINTER WHEAT AT 12 LBS/ACRE FOR FALL SEEDING. COVER PLANTING WITH STRAW BLANKET FOR EROSION CONTROL.

INSTALLATION

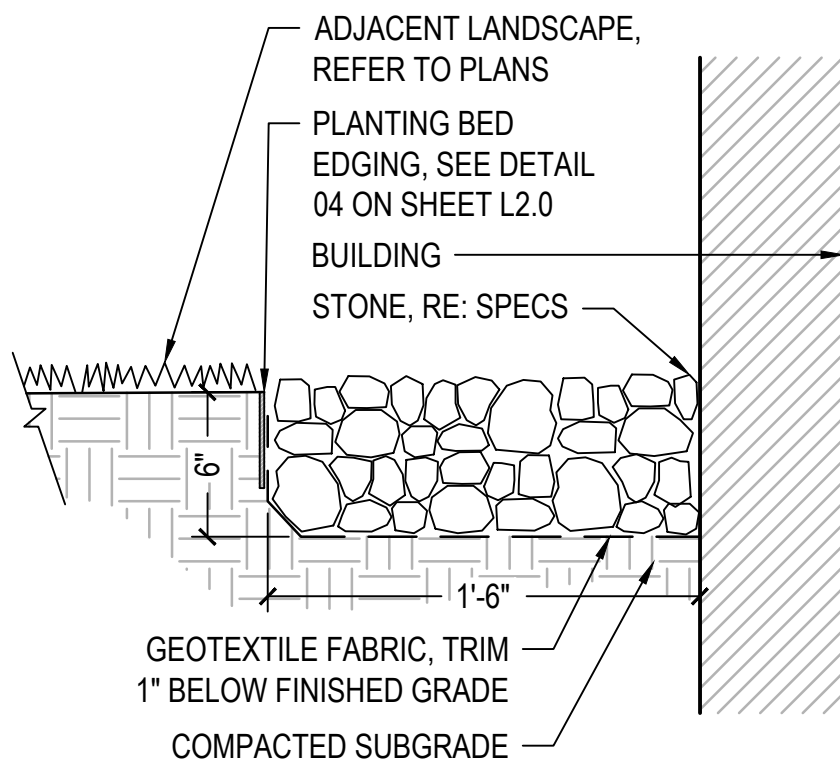
- PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING.
- EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO THE ROOT BALLS, AND SHALL BE PLACED AT THE SAME DEPTH RELATIVE TO FINISH GRADE AS IT DID TO THE SOIL SURFACE IN THE ORIGINAL PLACE OF GROWTH.
- SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO TIMES WIDER THAN THE LATERAL DIMENSIONS OF THE EARTH BALL AND NO DEEPER THAN ITS VERTICAL DIMENSION. THE SIDES OF THE HOLE SHALL BE ROUGH AND JAGGED, NEVER SLICK AND GLAZED, ROUGH UP WITH SHOVEL IF NEEDED.
- BACKFILL HOLE WITH 5 PARTS EXISTING SOIL AND 1 PART PLANT BED PREPARATION SOIL. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP, NYLON, STRING, AND WIRE FROM THE TOP ½ OF THE BALL. MULCH THE TOP OF THE BALL WITH A MINIMUM OF TWO (2") INCHES OF SPECIFIED MULCH OVER THE PLANTING PIT.
- DO NOT WRAP TREES. STAKE TREES AND LARGE SHRUBS ONLY AS SITE CONDITIONS REQUIRE.
- TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. ENSURE EDGES OF SOD ARE STAGGERED AND TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO THE SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY OWNER. THE SOD SUPPLIER MAY MAKE RECOMMENDATIONS REGARDING THE WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER THE SOD IS INSTALLED.
- THE NATIVE PRAIRIE VEGETATION PLANTED IN THE BASINS WILL BE REQUIRED TO BE PLANTED AND VERIFIED PER THE STANDARDS OF DNR TECHNICAL STANDARD 1004 AND THE WAUKESHA COUNTY PLANTING VERIFICATION DOCUMENT. A PLANTING VERIFICATION LETTER WILL BE REQUIRED TO BE COMPLETED BY A LANDSCAPE ARCHITECT OR OTHER QUALIFIED PROFESSIONAL.



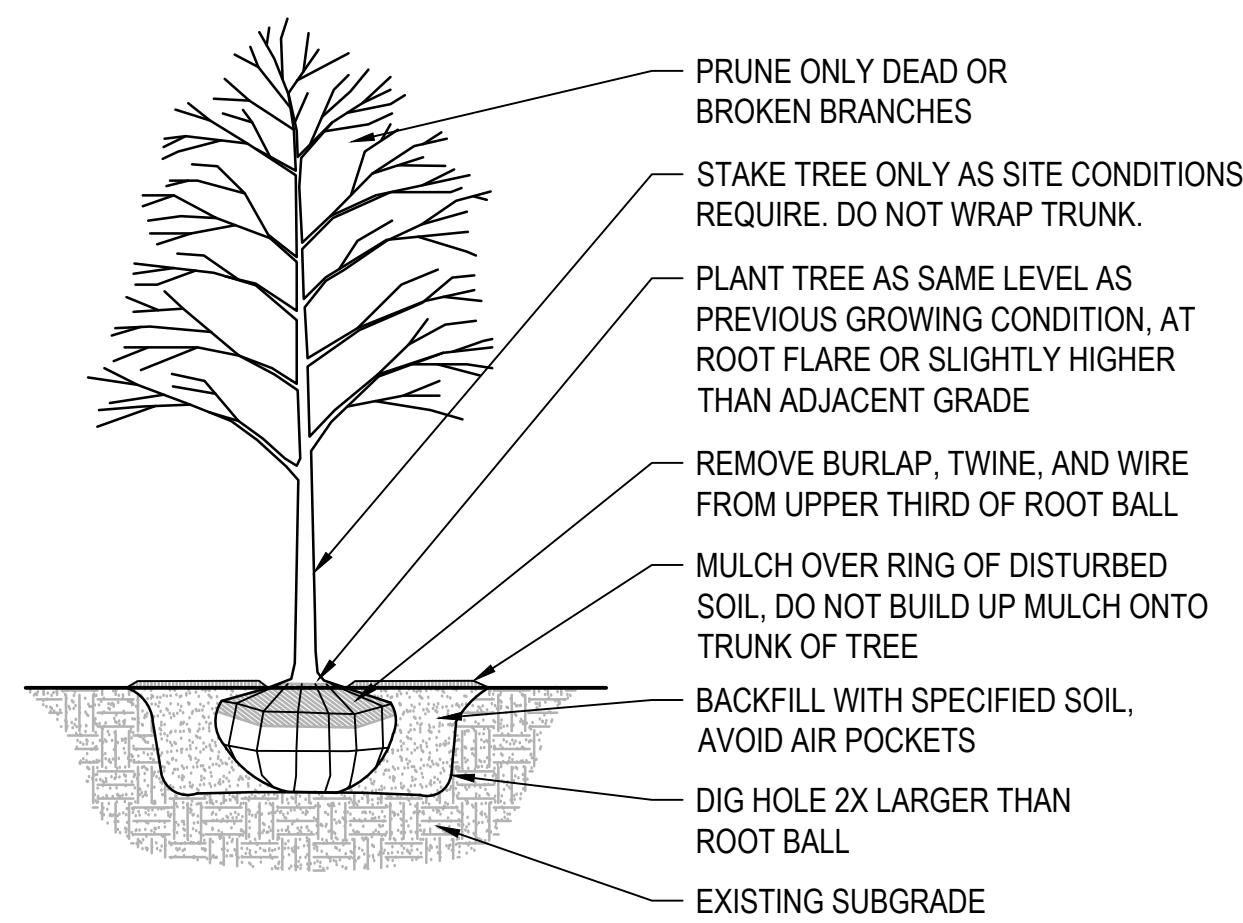
01 TREE PROTECTION



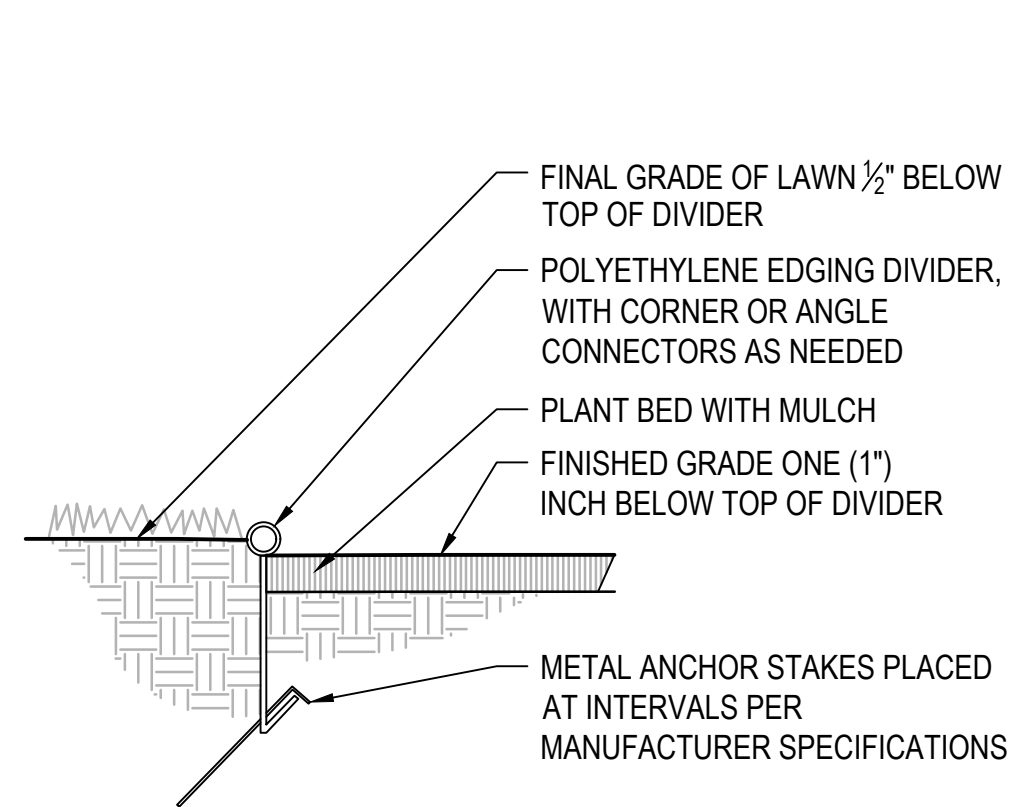
03 SHRUB PLANTING



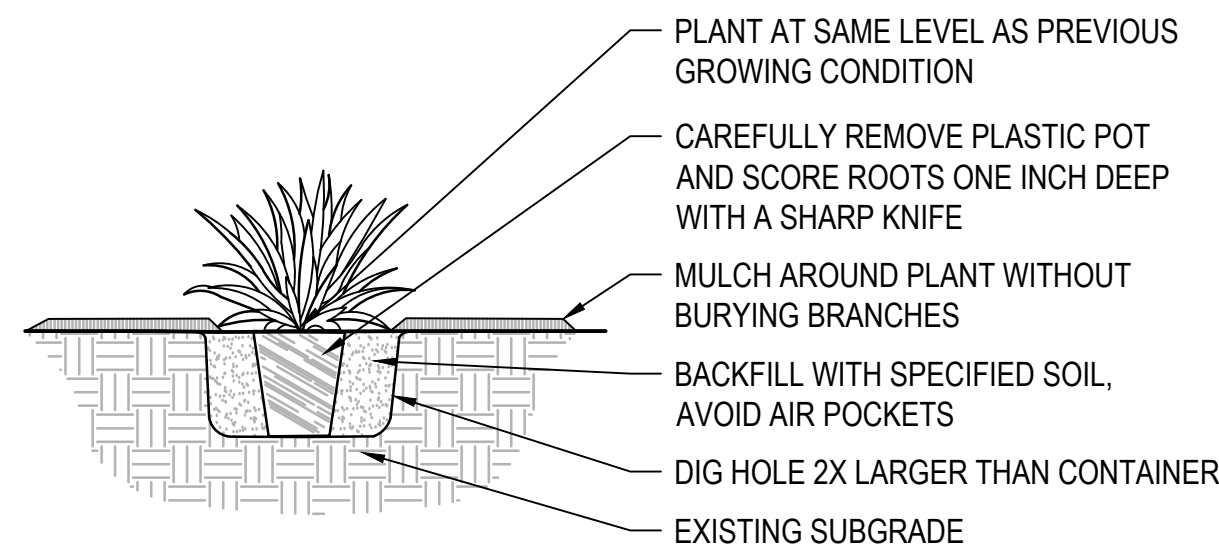
06 STONE MAINTENANCE STRIP



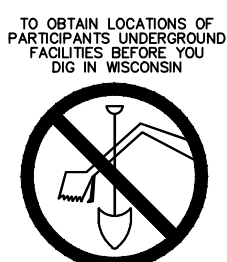
02 DECIDUOUS TREE PLANTING



04 PLANTING BED EDGING



05 PERENNIAL PLANTING



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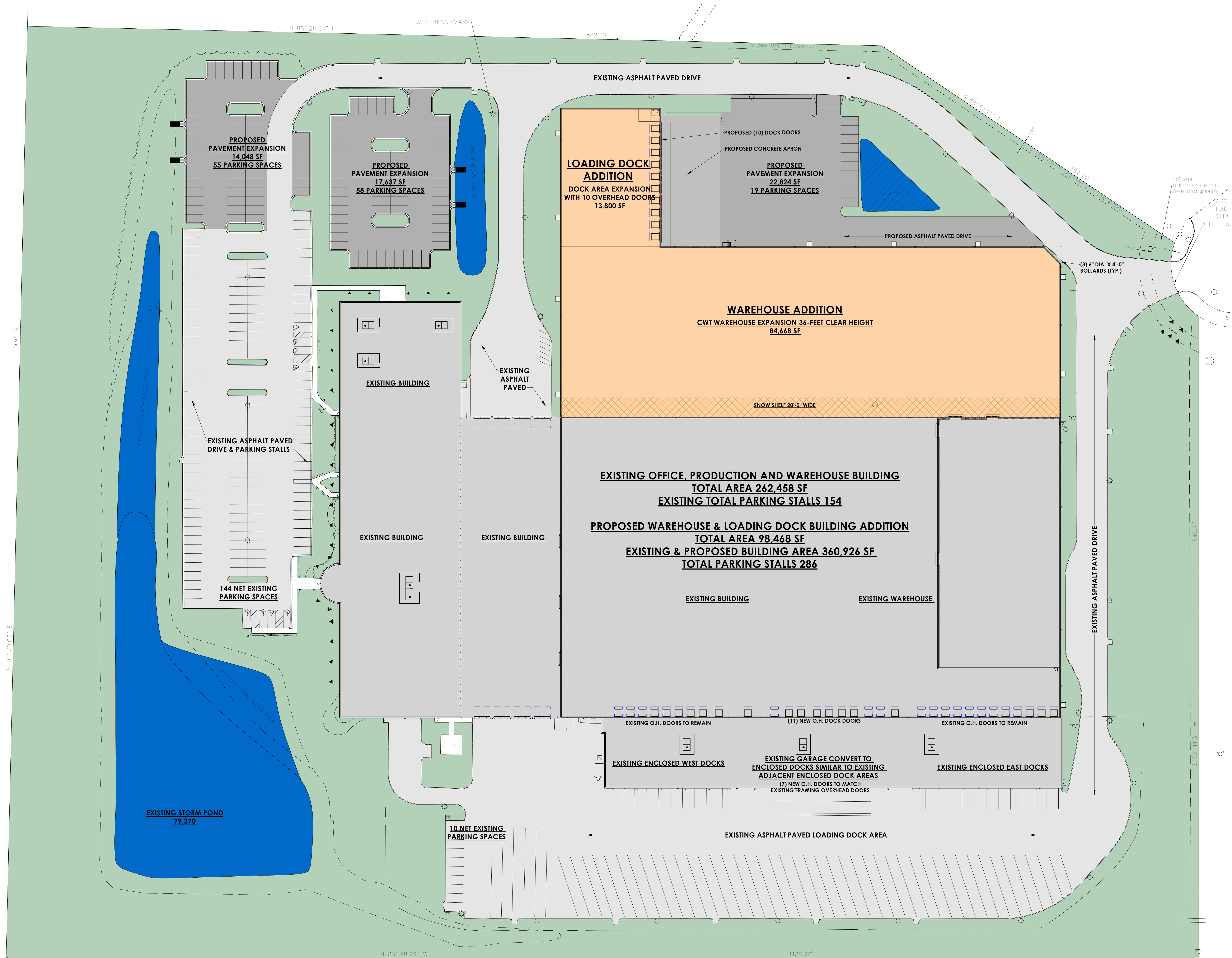
ADAMS GARDEN PARK
1836 W. FOND DU LAC AVE, SUITE 100
MILWAUKEE, WI 53204
www.healthyenvironmentsdesigned.com

BEER CAPITOL
W222 N5700 MILLER WAY SUSSEX, WI

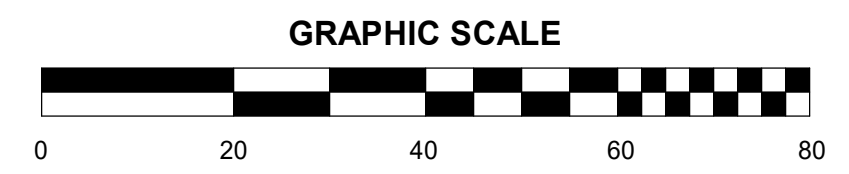
CJE NO.:
JULY 31, 2023

LANDSCAPE NOTES & DETAILS

L2.0



1 ARCHITECTURAL SITE PLAN
1" = 40'-0"



JOB: 230041
DRAWN: CK
CHECKED: DF
DATE: 07/31/2023
SHEET:

A0.1

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

SHEET TITLE

ARCHITECTURAL SITE PLAN

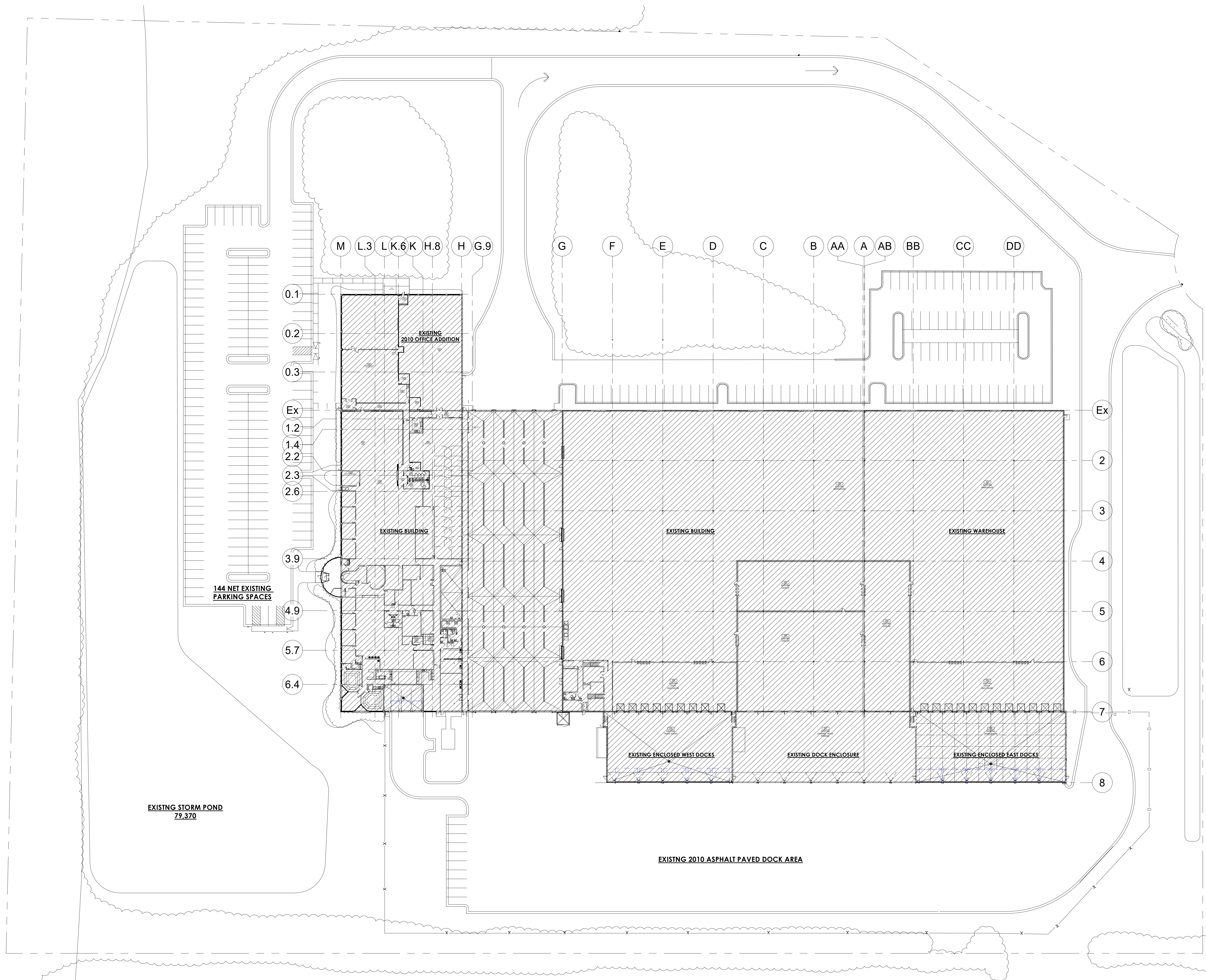


BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

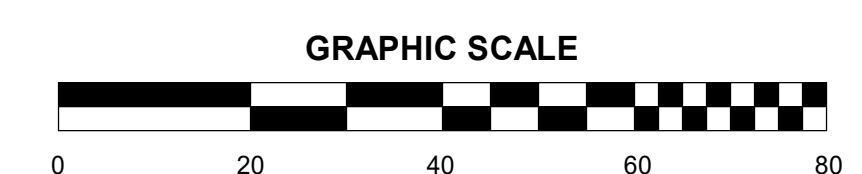
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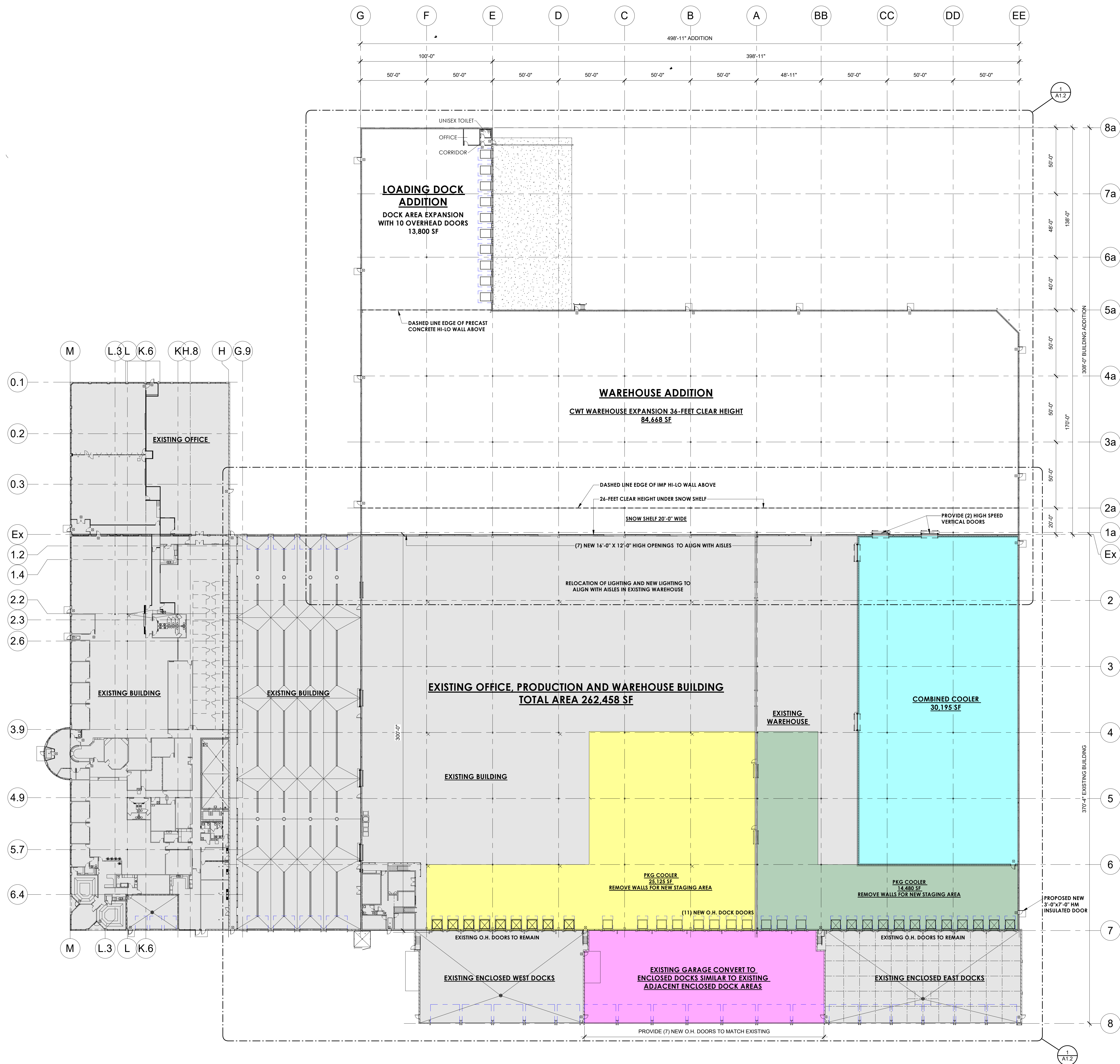
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N: CK
ED: DF
07/31/2023
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1 OVERALL SITE AND FLOOR PLAN EXISTING CONDITIONS





FLOOR PLAN LEGEND		
ROOM	ROOM NAME	---
100	ROOM NUMBER	---
100	DOOR NUMBER	---
100	PARTITION TYPE	---
100	KEYNOTES	---
100	SURFACE MOUNTED FIRE EXTINGUISHER	---
100	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER	---
100	EXIT LIGHT	---
100	EXIT LIGHT (DIRECTIONAL)	---
100	BORROWED LIGHT TAG	---
100	TOILET ACCESSORY TAG	---
---	PARTITION TO BE DEMOLISHED	---
---	DOOR AND FRAME TO BE REMOVED	---
---	EXISTING PARTITION TO REMAIN	---
---	EXISTING DOOR TO REMAIN	---
---	NEW CONSTRUCTION	---
---	NEW DOOR & FRAME	---
---	MATCHLINE	---
---	MATCHLINE WITH SHEET REFERENCE	---

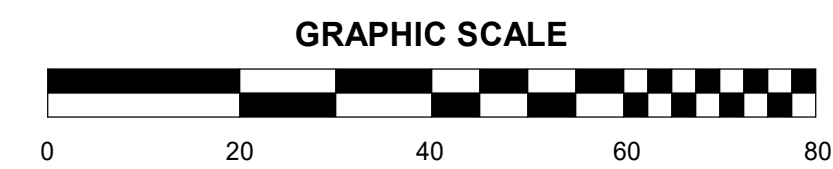
EXTERIOR SYSTEMS:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 4" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3" STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM. INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)

1 OVERALL FIRST FLOOR
1" = 30'-0"



APPLICABLE TO ALL PLAN VIEWS

BRIORN

DESIGN GROUP

3805 N. BROADFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1900
(262) 780-6500 PHONE
(262) 780-6505 FAX

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Revision

Date

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CHECKED: DF
DATE: 07/31/2023

1 A1.1



1	VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BROWN'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
2	VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3	AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
4	SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
5	SEE SHEET A0.2 FOR ADA REQUIREMENTS AND MOUNTING HEIGHTS
6	SEE SHEET A1.2 FOR PARTITION TYPE.
7	EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL. CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
8	FURNITURE AND APPLIANCES PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.
9	ALL WALLS TO BE PAINTED PROVIDING FRP WAINSCOT WHERE CALLED FOR.
10	ALL FLOORS THROUGH OUT ARE TO BE SEALED CONCRETE WITH CALKED CONTROL JOINTS.
11	EXPOSED STEEL DECK, JOISTS, GIRDERS AND COLUMNS ARE TO BE PRIME GREY.
12	LOCKERS AND BENCHES IN LOCKER ROOMS ARE PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.

MARK	FLOOR PLAN CODED NOTES
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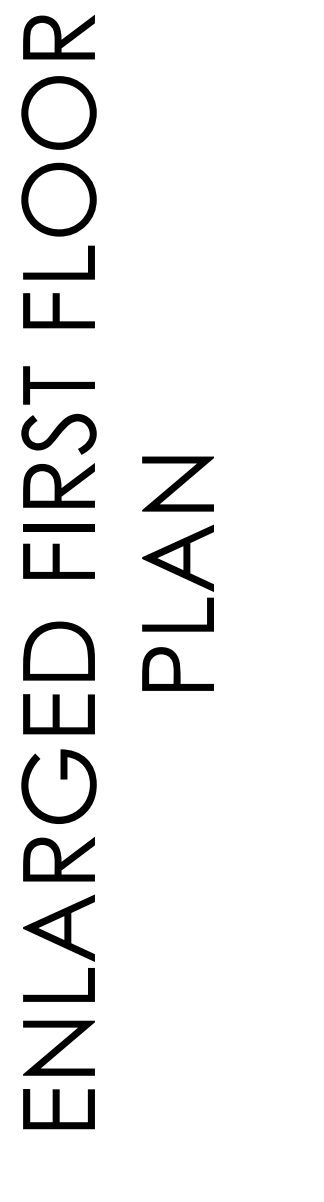
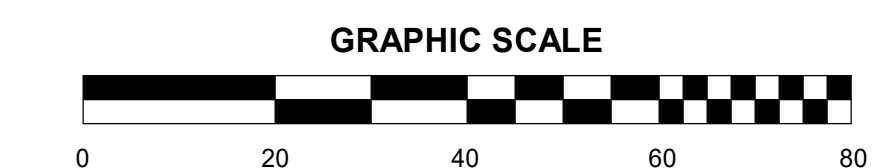


ROOM	ROOM NAME		
100	ROOM NUMBER	---	PARTITION TO BE DEMOLISHED
100	DOOR NUMBER		DOOR AND FRAME TO BE REMOVED
	PARTITION TYPE		
1	KEYNOTES		
	SURFACE MOUNTED FIRE EXTINGUISHER	==	EXISTING PARTITION TO REMAIN
F.E.C.	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER		EXISTING DOOR TO REMAIN
	EXIT LIGHT		NEW CONSTRUCTION
	EXIT LIGHT (DIRECTIONAL)		
BL-1	BORROWED LIGHT TAG		NEW DOOR & FRAME
TP-1	TOILET ACCESSORY TAG	MATCHLINE 3 / A1.2	MATCHLINE WITH SHEET REFERENCE

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - THREE LAYERS OF 3" STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM. INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)



PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

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JOB:	230041
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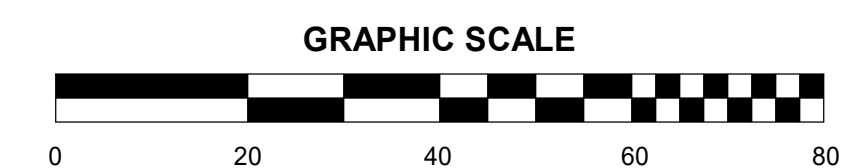
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BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

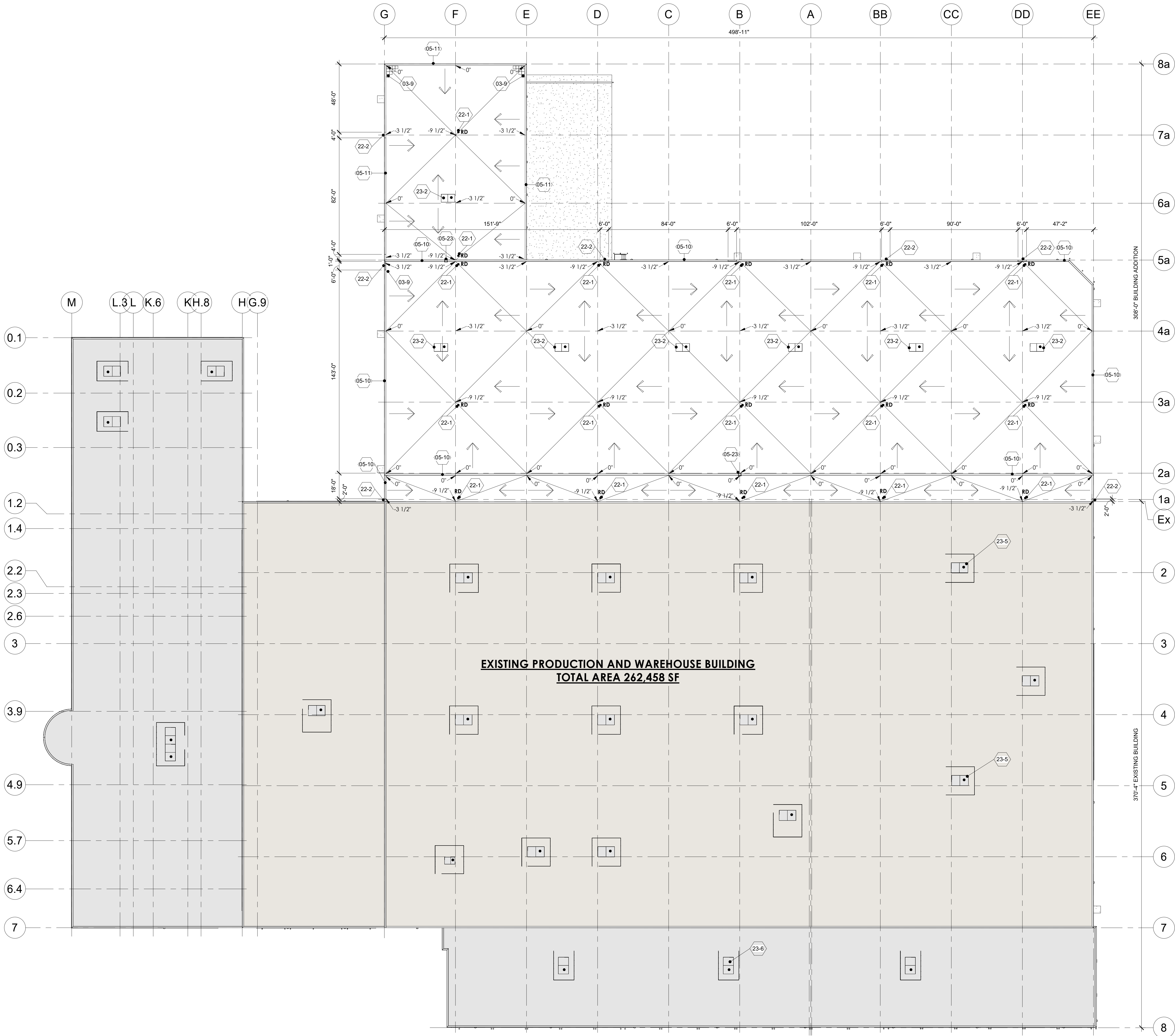
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07/31/2023
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1 ENLARGED EXISTING FIRST FLOOR PLAN
1" = 20'-0"



1 OVERALL ROOF PLAN
1" = 30'-0"

GENERAL NOTES - ROOF PLAN

- 1 SEE STRUCTURAL DWGS FOR FURTHER STRUCTURAL INFORMATION.
- 2 COORDINATE ROOF SCREEN SIZE WHERE CALLED FOR WITH MECHANICAL UNITS. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- 3 SEE SHEET A4.2 FOR OTHER CANOPY AND TUBE SUN SHADES PLANS.
- 4 PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLAN BY OTHERS FOR LOCATIONS.
- 5 PROVIDE ROOF HATCH NOT LESS THAN 16 S.F. IN AREA AND HAVING A MINIMUM DIMENSION OF 24".
- 6 PROVIDE ALL REQUIRED FLASHING FOR HVAC ROOF TOP EQUIPMENT, INCLUDING ROOF TOP UNITS AND EXHAUST FANS.
- 7 PROVIDE AND INSTALL ALL REQUIRED FLASHING AND BOOTS FOR ROOF TOP AND PARAPET WALL ELECTRICAL PENETRATIONS AND HVAC EQUIPMENT.
- 8 PROVIDE FLASHING FOR PLUMBING VENTS.
- 9 PROVIDE 20 YEAR MANUFACTURERS LABOR AND MATERIAL WARRANTY.

KEYNOTE LEGEND ROOF PLAN

MARK	ROOF PLAN CODED NOTES
03-9	CONCRETE BALLAST PAVERS - 2' X 2' X 2" WITH PROTECTION SHEET.
05-10	PRE-FINISHED METAL CAP/COPING ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER AND PLATFORM 'BRIDGE BETWEEN' WITH STEEL GUARDRAIL, PAINTED.
22-1	PRIMARY ROOF DRAIN
22-2	2'-0" 4'-0" OR 6'-0" WIDE SCUPPERS - 6" ABOVE PRIMARY DRAIN - REFER TO ARCHITECTURAL ELEVATION DRAWINGS, STRUCTURAL, AND PLUMBING DRAWINGS. LOCATION OF SCUPPER DRAINS. DO NOT PLACE OUTFALL DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. REFER TO DETAIL 3/A4.0. ALTERNATE: PROVIDE SCRUPPER BOX WITH DOWNSPOUT.
23-2	RTU-REFER TO HVAC DRAWINGS. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED AND PROVIDE ROOF SCREENS.
23-5	POTENTIAL ROOF-TOP REFRIGERATION UNITS FOR NEW COOLER TO REPLACE EXISTING RTU'S.
23-6	POTENTIAL NEW RTU.

ROOFING SYSTEM NOTES:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3", STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

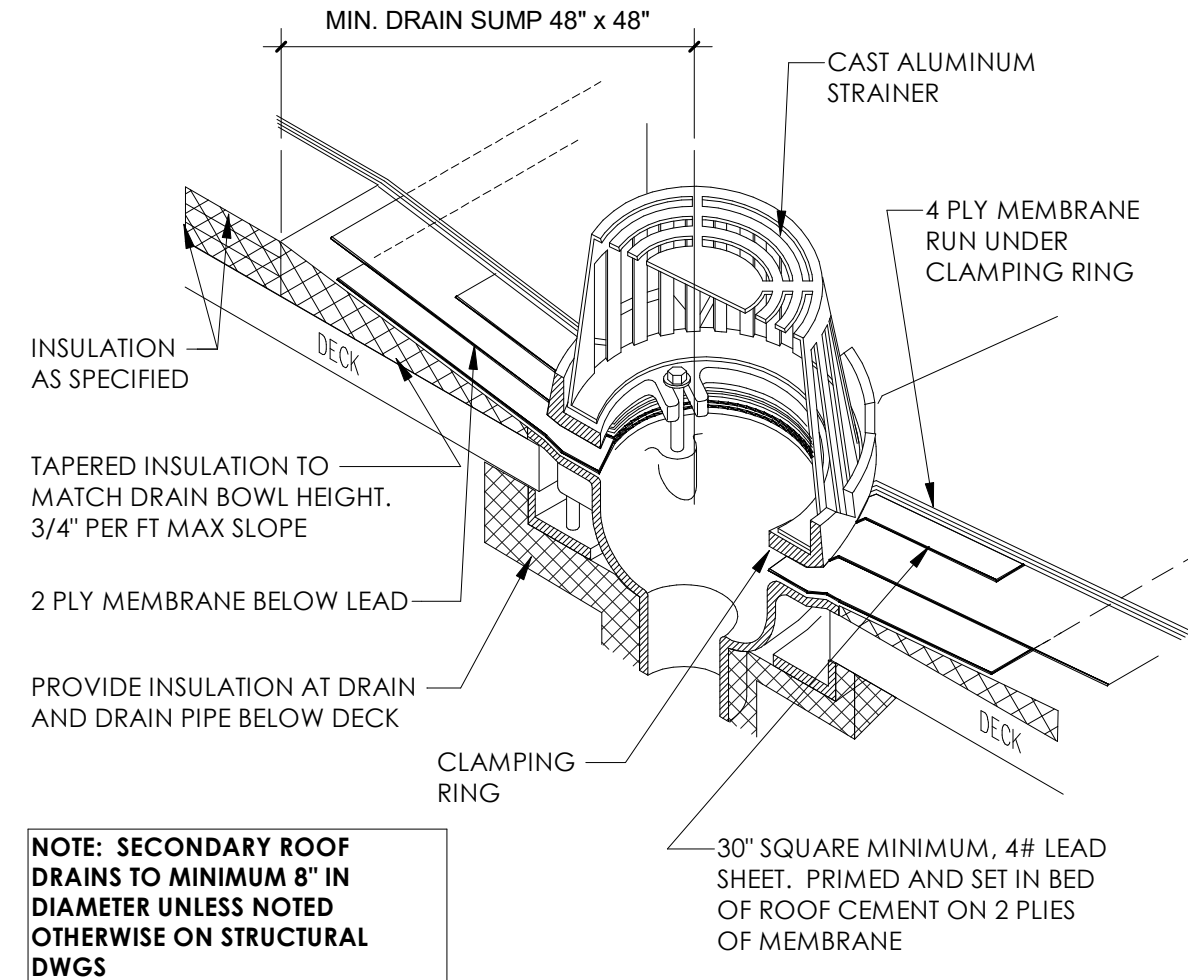
ROOF TOP EQUIPMENT TO BE POSITIONED BEHIND RAISED PARAPETS AS INDICATED BY HATCH PATTERN. PROVIDE SUPPLEMENTAL SCREENING FOR ROOF TOP UNITS THAT ARE NOT SCREENED BY PARAPETS.

PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLANS FOR EXACT LOCATION.

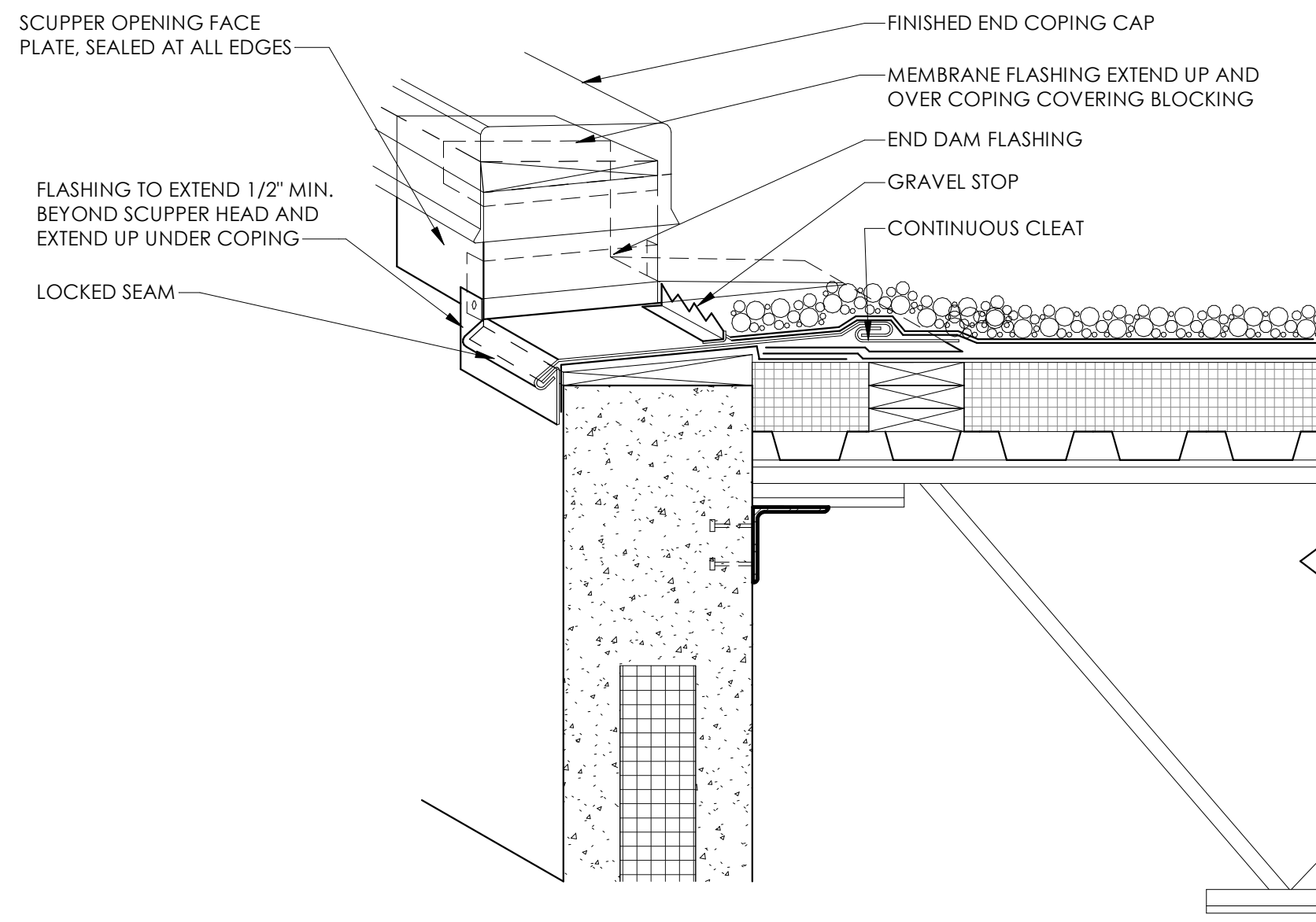
PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLANS FOR EXACT LOCATION.

ROOF IS DESIGNED FOR NO CONTROL FLOW

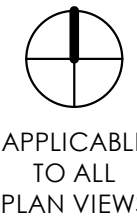
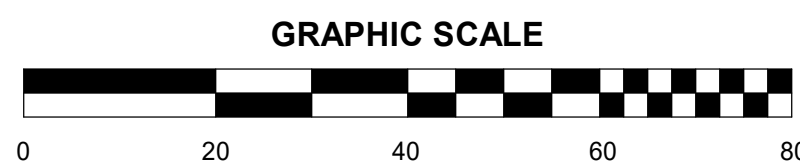
RTU EQUIPMENT REFER TO MECHANICAL PLANS



2 ROOF DRAIN DETAIL
1/2" = 1'-0"



3 DETAIL - OPEN SCUPPER @ PRECAST
1 1/2" = 1'-0"



APPLICABLE
TO ALL
PLAN VIEWS

Revision

Date

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WALL COLOR LEGEND












COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1/2" DEEP REVEAL

KEYNOTE LEGEND ELEVATION	
MARK	FLOOR PLAN CODED NOTES
03-1	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH TO MATCH EXISTING - COLOR 1 [SW 9166 DRIFT OF MST]
03-10	4" X 1/2" DEEP REVEAL (HORIZONTAL) COLOR 2.
03-12	CONCRETE RETAINING WALL [SEE CIVIL AND STRUCTURAL DWGS].
05-6	EXTERIOR STEEL STAIRS WITH GALVANIZED STEEL BAR GRATE RAILS AND LANDING, PROVIDE STEEL CLOSED RISERS WITH PIPE GUARD/HAND RAILING DESIGN AND FABRICATION TO BE CODE/OSHA/ANSI COMPLIANT. STEEL TO BE PAINTED. LANDING TO BE SIZED FOR AREA OF RESCUE.
05-10	PRE-FINISHED METAL CAP/COPING ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING, EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-11	PRE-FINISHED METAL 24 GA. GAVEL STOP ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING, EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-14	PRE-FINISHED DECORATIVE METAL PROFILE TO MATCH EXISTING - REFER TO DETAILS.
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER AND PLATFORM BRIDGE BETWEEN WITH STEEL GUARDRAIL, PAINTED.
07-3	INSULATED METAL WALL PANELS [MATCH COLOR 1]
08-4	9'-0" WIDE X 10'-0" HIGH INSULATED OH DOOR FACTORY FINISHED TO MATCH COLOR 1 WITH DOCK SEALS, DOCK LEVELERS AND BUMPERS.
08-19	23'-6" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.
08-20	23'-9" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.
08-21	24'-5" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.
08-22	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS CODE REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.
08-23	EXISTING DOOR TO REMAIN.
08-24	EXISTING OH DOOR TO REMAIN.
08-25	REMOVE EXISTING 3'-0" X 7'-0" HOLLOW METAL DOOR AND FRAME AND REPLACE WITH NEW COOLER DOOR - REFER TO DOOR SCHEDULE - PAINTED TO MATCH ADJACENT WALL COLOR.
22-2	2'-0" X 4'-0" OR 2'-6" ABOVE PRIBURY DRAIN - REFER TO AS2 ARCHITECTURAL ELEVATION DRAWINGS, STRUCTURAL AND PLUMBING DRAWINGS, LOCATION OF SCUPPER DRAINS. DO NOT PLACE OUTFALL DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. REFER TO DETAIL 3/A4.0, ALTERNATE: PROVIDE SCRIPPER BOX WITH DOWNSPOUT.
23-2	RTU-REFER TO HVAC DRAWINGS, PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED AND PROVIDE ROOF SCREENS.
23-3	POTENTIAL ROOF TOP REFRIGERATION UNITS FOR NEW COOLER TO REPLACE EXISTING RTU'S.
23-6	POTENTIAL NEW RTU.
24-1	EXTERIOR LIGHT FIXTURE - CUT-OFF LED WALLPACK - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT (TYPICAL FOR EXTERIOR DOORS)
32-4	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S), PAINTED SAFETY YELLOW.

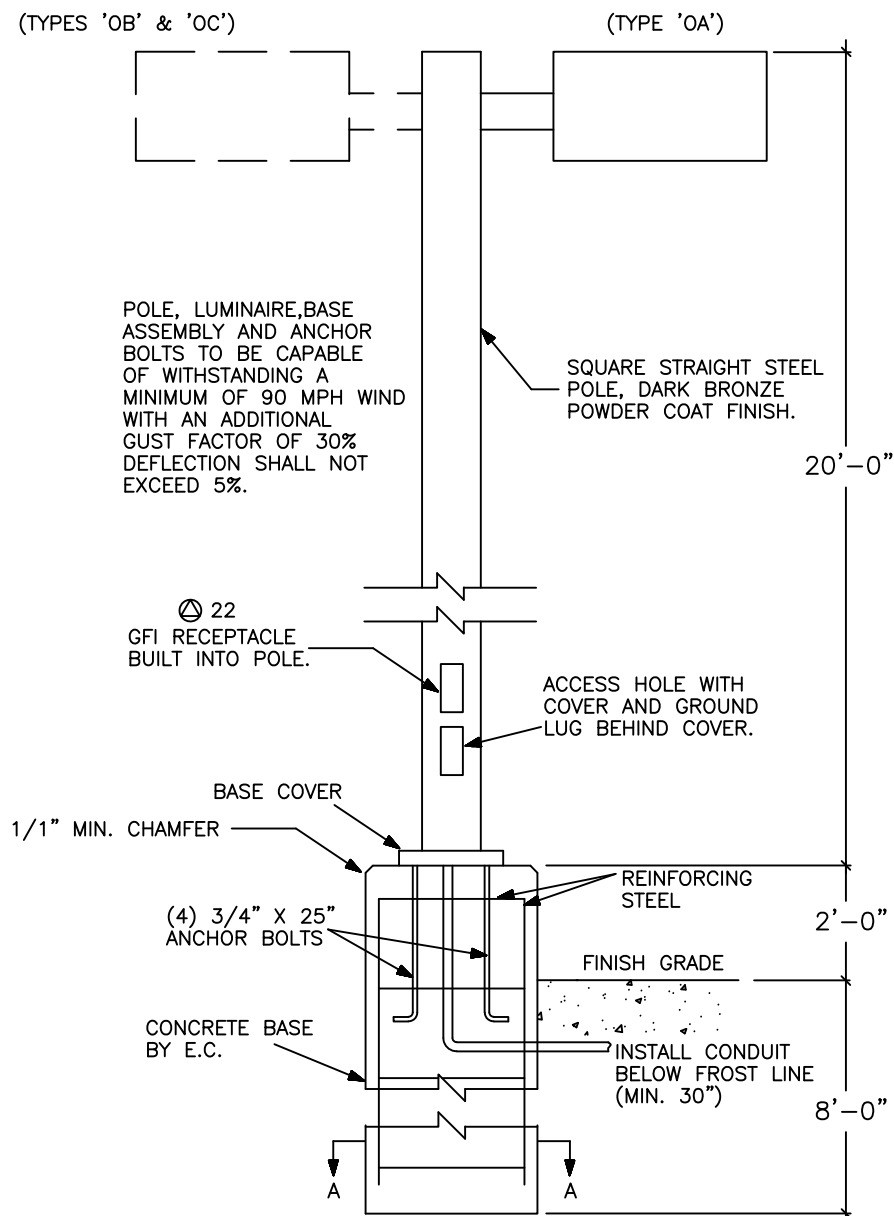


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07/31/2023	

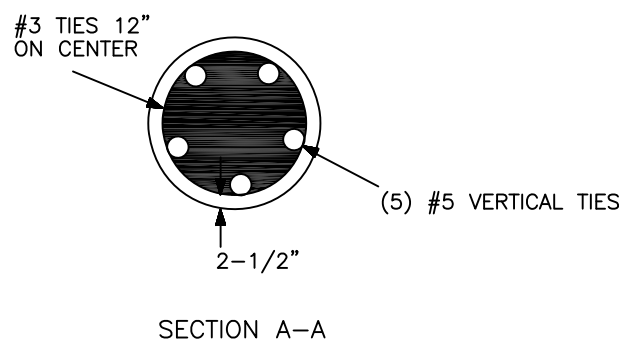
Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	OA	17	RAB LIGHTING	EXISTING	TYPE II LUMINAIRE MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_3h150n.ies	2707	0.9	153.4
	OB	1	RAB LIGHTING	EXISTING	TWIN 90 TYPE III LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_3h150n.ies	2707	0.9	306.8
	OC	5	RAB LIGHTING	ALED 4T 150 N	QUAD TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	616
	OG	28	RAB LIGHTING	ALED FC 80 N	BUILDING MOUNTED 20' AFG	4000K LED	1	dff20180427001-Samod40.ies	10018	0.9	83.37
	OH	10	LITHONIA	EXISTING KBR8 100M RS	100W MH 8 IN ROUND BOLLARD	100W MH	1	94033002.IES	8500	0.72	140
	OM	4	RAB LIGHTING	EXISTING	TYPE IV LUMINAIRE MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	154
	ON	5	UNITE LIGHTING	TL 150 H4 4K U 82 PM	BUILDING MOUNTED 20' AFG	4000K LED	1	Talon 150W Type 4 4000K.IES	21044	0.9	150
	OP	1	RAB LIGHTING	ALED 4T 150 N	TYPE IV LUMINAIRE MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	154
	OR	1	RAB LIGHTING	ALED	TWIN 180 TYPE III AND TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	[...]	[...]	0.9	307.4
			RAB LIGHTING	ALED	TWIN 180 TYPE III AND TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_3h150n.ies	2707	0.9	153.4
			RAB LIGHTING	ALED	TWIN 180 TYPE III AND TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	154

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Lighting	+	1.5 fc	27.5 fc	0.0 fc	N/A	N/A

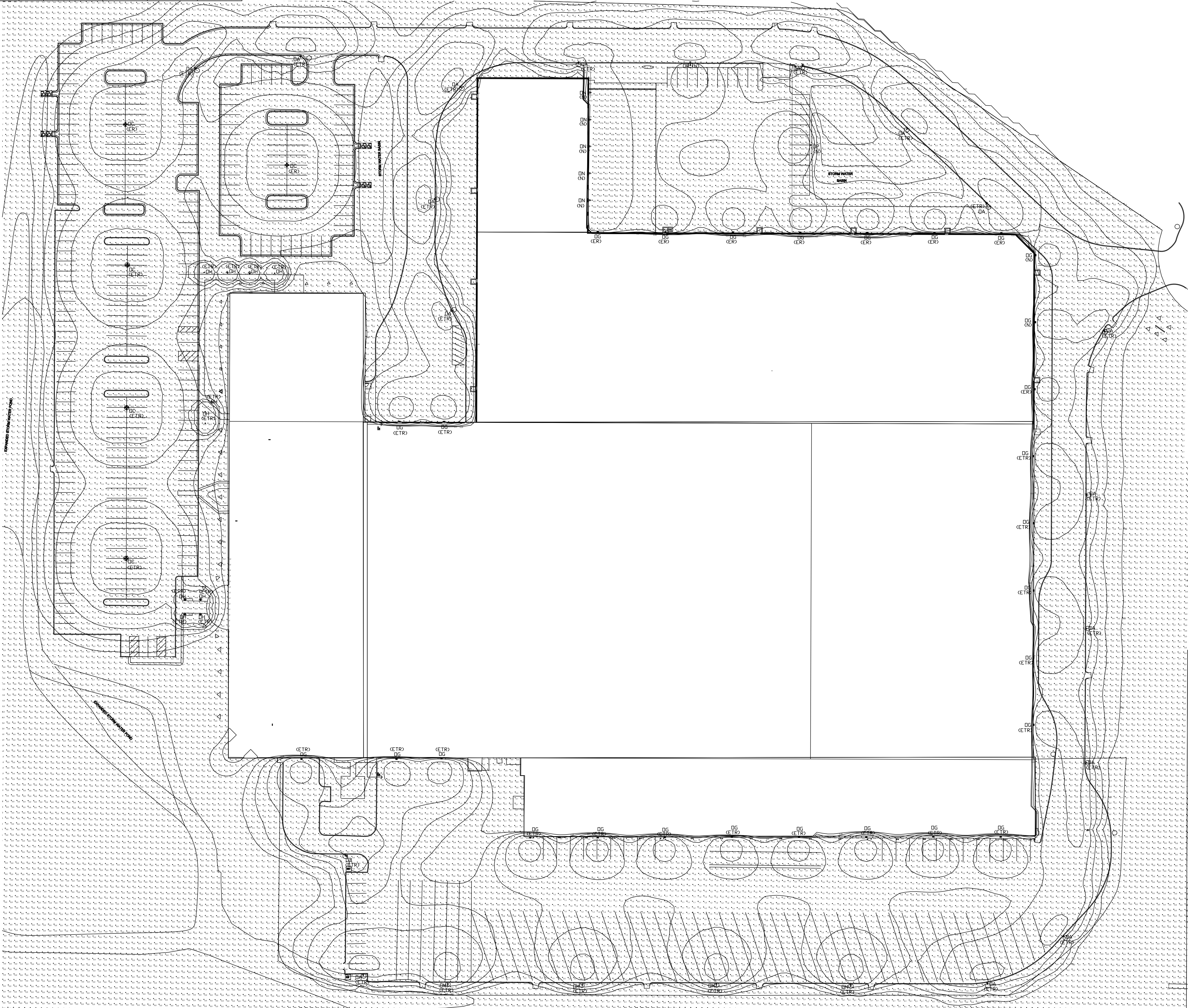
(N) - NEW FIXTURE
(ER) - EXISTING RELOCATED
(ETR) - EXISTING TO REMAIN



FIXTURE TYPE 'OA', 'OB', & 'OC'
MOUNTING DETAIL
NO SCALE



1 SITE LIGHTING PLAN
1" = 40'-0"



ALED4T150N

RAB



Color: Bronze

Weight: 36.9 lbs

Project: BEER CAPITOL	Type: OC
Prepared By: PACE ELECTRIC	Date: 7/26/23

Driver Info		LED Info	
Type	Constant Current	Watts	150W
120V	1.31A	Color Temp	4000K (Neutral)
208V	0.80A	Color Accuracy	71 CRI
240V	0.69A	L70 Lifespan	100,000 Hours
277V	0.60A	Lumens	17,822 lm
Input Watts	154W	Efficacy	115.7 lm/W

Technical Specifications

Compliance

UL Listed:
Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P00001756

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Performance

Lifespan:
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 400W Metal Halide

Construction

IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candpower at lateral angles from 90° to 270°.

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adapter plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be <4" to mount fixtures at 90° orientation.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

EPA:

1 Fixture: 0.75
2 Fixtures at 90°: 1.2
2 Fixtures at 180°: 2.4
3 Fixtures at 90°: 2.4
4 Fixtures at 90°: 1.8

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:
Multi-chip, high-output, long-life LEDs

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Page 1 of 3

ALED4T150N

RAB

Technical Specifications (continued)

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

One Driver, Constant Current, Class 2, 2100mA
100-277V, 50-60Hz, Power Factor 99%

THD:

5.9% at 120V, 11.1% at 277V

Power Factor:

99.5% at 120V, 93.7% at 277V

Surge Protection:

4kV

Optical

BUG Rating:

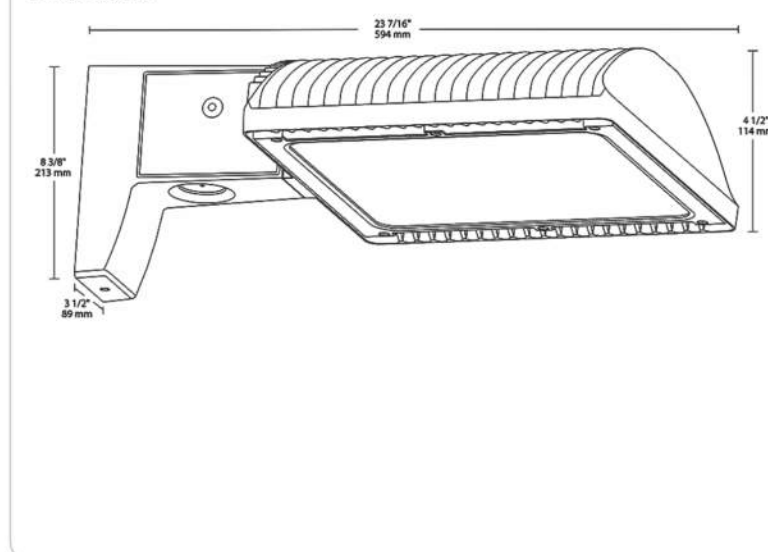
B1 U0 G2

Other

BAA Compliance:

Click here for BAA compliance.

Dimensions



Features

66% energy cost savings vs. HID
100,000-hour LED lifespan
5-Year, No-Compromise Warranty

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Page 2 of 3

ALED4T150N

RAB

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T = Type IV 1T = Type II 2T = Type II	150 50 = 50W 75 = 75W 105 = 105W 125 = 125W 150 = 150W	Blank = Pole mount SF = Slipfitter	Blank = 5000K Cool N = 4000K Neutral Y = 3000K Warm	Blank = Bronze RC = Roadway Gray W = White K = Black	Blank = 120-277V AB0 = 480V /BL = B-Level /D10 = 0-10V Dimming AB0D10 = 480V, 0-10V Dimming	Blank = No Option /LC = Lightcloud® Controller /PCS = 120V Swivel Photocell /PC3 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PC4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant

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Page 3 of 3

ALED80N/D10

RAB



Color: Bronze

Weight: 16.4 lbs

Project: BEER CAPITOL	Type: OG
Prepared By: PACE ELECTRIC	Date: 7/26/23

Driver Info		LED Info	
Type	Constant Current	Watts	80W
120V	0.71A	Color Temp	4000K (Neutral)
208V	0.41A	Color Accuracy	76 CRI
240V	0.36A	L70 Lifespan	100,000 Hours
277V	0.31A	Lumens	10,018 lm
Input Watts	83.1W	Efficacy	120.6 lm/W

Technical Specifications

Electrical

Drivers:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

5.9% at 120V, 10.03% at 277V

Power Factor:

99.5% at 120V, 93.0% at 277V

Surge Protection:

4kV

Compliance

UL Listed:

Suitable for wet locations. Suitable for mounting within 4 feet of the ground.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Performance

Lifespan:
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 250W Metal Halide

Construction

IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candpower at lateral angles from 90° to 270°.

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Thermal Management:

Cast aluminum Thermal Management system for optimal heat sinking. The ALED is designed for cool operation, most efficient output and maximum LED life by minimizing LED junction temperature.

Housing:

Precision die-cast aluminum housing, lens frame

Arm:

Die-cast aluminum with wiring access plate

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone

EPA:

1 Fixture: 1.5
2 Fixtures at 90°: 2.4
2 Fixtures at 180°: 2.9
3 Fixtures at 90°: 3.2
4 Fixtures at 90°: 3.2

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

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Page 1 of 3

ALED80N/D10

RAB

Technical Specifications (continued)

Color Stability:
LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Patents:

The WFL-LED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Buy American Act Compliance:

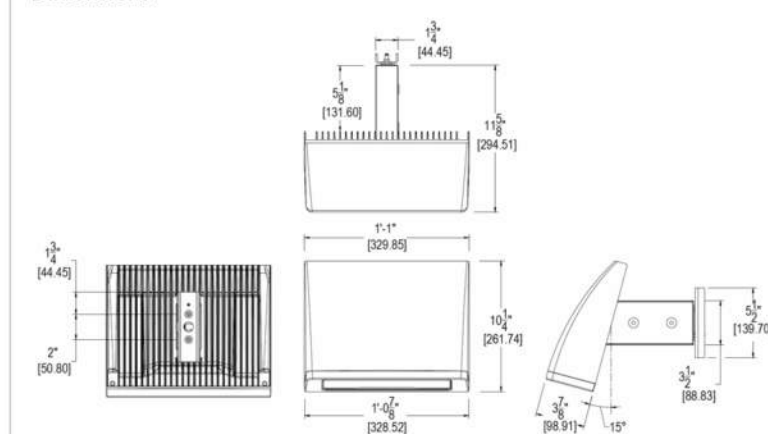
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U2 G3

Dimensions



Features

75% energy savings
Superior heat sinking with die cast aluminum housing and external fins
100,000-hour LED lifespan
5-Year, No-Compromise Warranty

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Page 2 of 3

ALED80N/D10

RAB

Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options	Other Options
ALED	(15°) C = Cutoff (7.5°) FC = Full Cutoff (0°)	80 52 = 52W 80 = 80W	Y = 3000K Warm Blank = 5000K Cool N = 4000K Neutral	Blank = Bronze W = White	Blank = 120-277V AB0 = 480V /BL = B-Level /D10 = 0-10V Dimming	Blank = No Option /PCS = 120V Swivel Photocell /PC3 = 277V Swivel Photocell /PC4 = 480V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /LC = Lightcloud® Controller	Blank = Standard USA = BAA Compliant

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Page 3 of 3

UNITE

Talon

TALON

Area Light

TYPE: OP

Project: BEER CAPITOL

Performance Data

- Dimming: 0.1m, 10% to 100%
- CCT 4000K
- Lifetime L80 100,000+
- Operating Temp: -40°C to +55°C
- IP Rating IP 65

Description

The Talon is Unite's most popular area light offering both fantastic efficiency and reliability to provide the best one for every specific merit value in the market.

Multiple mounting options and distribution types make this a highly versatile solution for parking lots, alleys and roadways. The Talon is always part of Unite UK's 2 day quick ship program for ultimate convenience.

Features

- Highly durable powder coat finish over chromatic conversion coating
- Sleek cast aluminum PMMA housing UL listed with integral heat sink
- 4 convenient mounting holes for all applications
- Thermal and shock resistant 3G tested for roadways and crane mounting

Ordering Information

Example: TL-150-SK-14-882-PN-3PN-UK-HSS

Series	Mounting	Optic	Color Temp	Voltage	Color	Mounting
N-Talon	150 300 500 800 1200	H5 TACO 3 H5 SUGAR H5 TACO 3	4000K	120V/277V or 277-480V	85° White 74° White 85° White	SP 8x16 Mount SP 24x24 Mount NEW Torus Mount

Accessories	Options
3PN 3 Pin Socket Base Included AC or DC Input 15w 15W Single Protector AC or DC Input (New Design)	PC Protocol PMMA Programmable Microvisor Sensor 88 88w Intense Beamshot 88 88w Intense Beamshot 88w Longwave Infrared 88w Longwave Infrared

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Talon

DIMENSIONS

TALON 100W & 150W

Measure Point	Dimensions
A	13.14"
B	11.41"
C	12.4"
D	2.4"

TALON 200W

Measure Point	Dimensions
A	14.84"
B	13.11"
C	12.4"
D	2.4"

TALON 240W & 300W

Measure Point	Dimensions
A	22.72"
B	21.03"
C	12.39"
D	2.4"



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2

						
PERFORMANCE						
LUMEN OUTPUT						
Wattage	12 Lum	12 EFP	14 Lum			
100W	1403	142 LPW	14637			
150W	20144	140 LPW	20874			
200W	29301	141 LPW	29105			
240W	34710	143 LPW	34928			
300W	42331	141 LPW	42143			
16 EFP	18 Lum	18 EFP	20 Lum			
100W	14212	142 LPW				
150W	21347	141 LPW				
200W	29143	143 LPW				
240W	34743	145 LPW				
300W	42784	142 LPW				
LUMEN AMBIENT TEMP MULTIPLIERS		ELECTRICAL CALCULATIONS				
Temperature	Multiple	Wattage	12V	20V	240V	277V
95/122°	1.03	100W	0.83A	0.48A	0.42A	0.36A
100/109°	0.98	150W	1.25A	0.72A	0.63A	0.56A
150/68°	1.00	200W	1.66A	0.96A	0.83A	0.72A
35C/94F	0.99	240W	2.00A	1.15A	1.00A	0.86A
49C/108F	0.96	300W	2.50A	1.44A	1.25A	1.08A
B-U-G and EPA RATING		WEIGHT AND PACKAGING SIZE				
Wattage	B-U-G	EPA	Wattage	Weight	Box Size (LxWxH)	
100W	83-U1-G3	0.7	100W	6.3 lbs	19"X14.4"X5.7"	
150W	83-U1-G3	0.7	150W	6.4 lbs	19"X14.4"X5.7"	
200W	83-U2-G3	0.9	200W	7.0 lbs	19"X14.4"X5.7"	
240W	84-U2-G4	1.0	240W	10.3 lbs	27.7"X14.4"X5.7"	
300W	84-U2-G4	1.0	300W	10.8 lbs	27.7"X14.4"X5.7"	
LUMEN MAINTENANCE						
Operating Hours	0	25,000	50,000	100,000		
Percent of Initial	100%	94%	93%	86%		
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Talon

MOUNTING

SP Slip Fit Bracket

PM Pole Mount (Round and Square)

TRN Trunion

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4


UNITE

Talon

CONTROLS


Photocell

The Talon photocell is the most economical choice for hassle free controls. The PC will detect natural light and activate the Talon at dusk and shut it off at dawn.




Programmable Microwave Sensor

The Talon can integrate a programmable microwave sensor for total independent control. Functionality includes daylight-harvesting, occupancy sensing, high low dimming of 10%, 30% or 20% standby levels with cycling hold times up to one hour.




Silvair Wireless Control

The Silvair wireless control system utilizes qualified bluetooth protocol to allow a truly open source wireless control system. Easily integrated with InOcean switches, the Silvair controllers in seconds and provides true wireless network control.



Autani Wireless Control

Autani is a mixrange Zigbee wireless control platform that can offer advanced features such as space utilization, coast counting, temperature data collection, and advanced energy monitoring.



Synapse Wireless Control

Synapse is the Cadillac of outdoor wireless controls. Appropriate for single site to entire cities, Synapse boasts 1000 foot range as well as capacity for up to 10,000 lights all within one network. Functionality includes advanced features such as Internet free network and full Backnet integration.



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Talon

EPA RATINGS

S Single

D90 Double 90

D180 Double 180

T90 Triple 90

T120 Triple 120

Q90 Quad

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	0.70	0.90	1.00

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	1.10	1.20	1.50

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	1.60	1.90	2.00

Size	100 & 150	200	240 & 300
Weight	19.3 lbs	21.0 lbs	32.4 lbs
EPA	1.80	2.10	2.20

Size	100 & 150	200	240 & 300
Weight	19.3 lbs	21.0 lbs	32.4 lbs
EPA	1.80	2.10	2.20

Size	100 & 150	200	240 & 300
Weight	25.2 lbs	28.0 lbs	43.2 lbs
EPA	1.90	2.20	2.40

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4

Talon

PHOTOMETRY 100W

100W Type 3

Distance in increments of 40ft
Repeating Interval: 20ft

Talon 100W T3			
Zonal Lumens		Summary	
Zone	Lumens	ΣFootcandle	
0-30	2947	21%	
0-40	4645	34%	
0-60	9874	70%	
0-80	13373	97%	
0-90	14204	99%	
40-80	6685	47%	
70-80	3899	27%	
80-90	1737	12%	
0-180	14203	100%	

100W Type 4

Talon 100W T4			
Zonal Lumens		Summary	
Zone	Lumens	ΣFootcandle	
0-30	2140	15%	
0-40	3655	26%	
0-60	9005	62%	
0-80	14150	97%	
0-90	14458	99%	
40-80	8020	55%	
70-80	5145	35%	
80-90	2357	16%	
0-180	14457	100%	

100W Type 5

Talon 100W T5			
Zonal Lumens		Summary	
Zone	Lumens	ΣFootcandle	
0-30	1712	12%	
0-40	3367	24%	
0-60	8512	60%	
0-80	13812	97%	
0-90	14879	99%	
40-80	8192	58%	
70-80	5300	37%	
80-90	2318	17%	
0-180	14221	100%	

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7

Talon

PHOTOMETRY 150W

Distance In Increments of 40ft
Mounting Height = 32ft

150W Type 3

Talon 150W T3			
Zone		Lumens	Footcandle
0-30	2991	145	
0-40	5471	285	
0-50	13023	645	
0-60	20399	975	
0-70	26729	995	
0-80	11294	545	
70-80	4866	235	
80-90	2724	145	
90-100	21044	1005	

150W Type 4

Talon 150W T4			
Zone		Lumens	Footcandle
0-30	3031	155	
0-40	5404	275	
0-50	13024	635	
0-60	20413	965	
0-70	25817	995	
0-80	11284	545	
70-80	4749	325	
80-90	2389	115	
90-100	20873	1005	

150W Type 5

Talon 150W T5			
Zone		Lumens	Footcandle
0-30	3995	145	
0-40	5468	275	
0-50	13050	635	
0-60	20723	975	
0-70	21105	995	
0-80	11460	545	
70-80	4850	325	
80-90	2678	125	
90-100	21347	1005	

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8

Talon

PHOTOMETRY 200W

200W Type 3

Distance in Invertments of 40ft
Mounting height = 20ft

200W Type 4

200W Type 5

Talon 200W 13

Zone Lumens Summary		
Zone	Lumens	Footcandle
0-30	4601	1618
0-40	7621	2891
0-50	17704	6378
0-60	25320	9378
0-80	28603	9991
40-80	17555	5481
70-80	9788	3551
80-90	4307	1591
0-180	28301	10001

Talon 200W 14

Zone Lumens Summary		
Zone	Lumens	Footcandle
0-30	4270	1551
0-40	7700	2811
0-50	17896	6421
0-60	26172	9781
0-80	28788	9991
40-80	13584	5051
70-80	10186	3691
80-90	4660	1811
0-180	29105	10001

Talon 200W 15

Zone Lumens Summary		
Zone	Lumens	Footcandle
0-30	3760	1411
0-40	7200	2591
0-50	17813	6171
0-60	26010	9781
0-80	28806	9991
40-80	14244	5481
70-80	10397	3851
80-90	4760	1811
0-180	29143	10001

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7

Talon

PHOTOMETRY 240W

10fc	5fc
5fc	1fc
2fc	

Distance in footcandle of 40ft
Mounting height: 20ft

240W Type 3

Talon 240W T3

Talon 240W T3		
Zone	Lumens	%Footcandle
0-0°	3300	100%
0-40°	9651	28%
0-60°	22173	64%
0-80°	33798	97%
0-90°	34340	99%
40-60°	18049	53%
70-80°	11625	33%
80-90°	5502	14%
0-180°	34710	100%

240W Type 4

Talon 240W T4

Talon 240W T4		
Zone	Lumens	%Footcandle
0-0°	4159	100%
0-40°	11026	30%
0-60°	23716	68%
0-80°	34608	97%
0-90°	34517	99%
40-60°	16893	68%
70-80°	10292	29%
80-90°	4964	14%
0-180°	34938	100%

240W Type 5

Talon 240W T5

Talon 240W T5		
Zone	Lumens	%Footcandle
0-0°	6791	100%
0-40°	11865	34%
0-60°	24537	70%
0-80°	34656	97%
0-90°	34565	99%
40-60°	11162	45%
70-80°	9529	27%
80-90°	4964	14%
0-180°	34710	100%

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Talon

PHOTOMETRY 300W

Distance in footcandle of 40ft
Measuring Height : 30ft

300W Type 3

Talon 300W T3			
Total Lumens Summary			
Zone	Lumens	%Illum	%Footc
0-30°	6479	14%	
0-40°	12264	29%	
0-60°	28337	67%	
0-80°	41325	98%	
0-90°	41814	99%	
0-90°	21688	51%	
70-90°	12974	31%	
80-90°	3001	7%	
0-180°	42331	100%	

300W Type 4

Talon 300W T4			
Total Lumens Summary			
Zone	Lumens	%Illum	%Footc
0-30°	4493	11%	
0-40°	11930	28%	
0-60°	26523	67%	
0-80°	41147	98%	
0-90°	41626	99%	
0-90°	21799	52%	
70-90°	13094	31%	
80-90°	3041	7%	
0-180°	42143	100%	

300W Type 5

Talon 300W T5			
Total Lumens Summary			
Zone	Lumens	%Illum	%Footc
0-30°	3778	14%	
0-40°	11310	27%	
0-60°	28254	66%	
0-80°	41478	97%	
0-90°	42247	99%	
0-90°	22248	55%	
70-90°	13424	32%	
80-90°	3201	8%	
0-180°	42364	100%	


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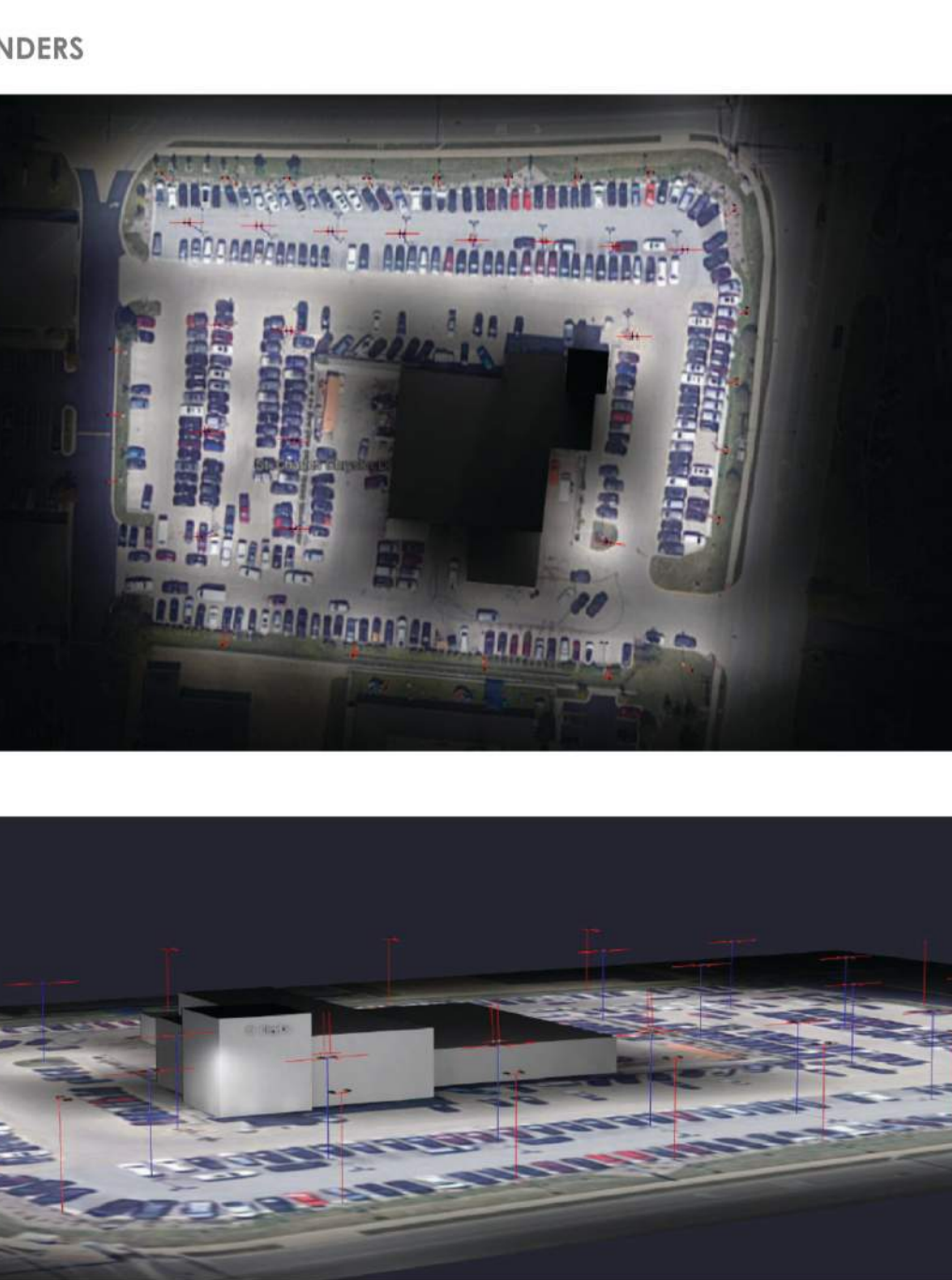
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11



Talon

RENDERS



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13

**REVISED OCTOBER 17, 2023
VILLAGE OF SUSSEX ORDER GRANTING
A CONDITIONAL USE AND PRESCRIBING CONDITIONS
FOR BEER CAPITOL TO OPERATE A
DISTRIBUTION CENTER
IN THE VILLAGE OF SUSSEX**

WHEREAS, a petition has been filed by Beer Capitol (collectively, hereinafter "Petitioner"), and

WHEREAS, the Petitioner is requesting that a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for property commonly referred to as W222N5700 Miller Way, all as legally described on Exhibit A, attached hereto and incorporated herein (hereinafter "Subject Property"); and

WHEREAS, the Subject Property is owned by the Petitioner and is zoned BP-1 Business Park District; and

WHEREAS, the Petitioner is requesting a conditional use permit be granted to enlarge their existing warehousing and distribution center on the Subject Property; and

WHEREAS, fermented malt beverage distribution facilities are conditional uses in the BP-1 Business Park District, pursuant to Section 17.0506(A)(10) of the Village of Sussex Zoning Code; and

WHEREAS, upon publication of the required "Notice of Public Hearing" and mailing of said "Notice of Public Hearing" to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on September 19, 2023 and October 17, 2023 as required by Section 17.0503 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Plan Commission for the Village of Sussex, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing on the date hereof, a conditional use permit for the subject premises is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by the Petitioner for a fermented malt beverage distribution facility and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions and limitations.

A. This conditional use is granted to the Petitioner for a fermented malt beverage distribution facility and related uses described herein on the Subject Property, subject to the following conditions:

1. Presentation Compliance. The facilities and structures on the Subject Property, and the use thereof, shall be constructed and used in substantial conformity with the presentation at the Public Hearing before the Village of Sussex Plan Commission held on September 19, 2023 and October 17, 2023, and in compliance with the plans, and conditions of the original construction approval from the Village Plan Commission of July 18, 2000 hereinafter referred to as "Meetings".
2. Subject Property. This conditional use permit issued to the Petitioner shall be limited to the Subject Property described in Exhibit "A" attached hereto and incorporated herein and to the site plan presented at the public hearing. Any requests for expansion shall be treated as a new matter and application for a conditional use permit shall be made in the manner then required.
3. Plans. The Petitioner is required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Plan Commission for the Village of Sussex. The Petitioner shall be entitled to amend or change any plan contemplated herein subject to the aforementioned conditions and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial change from the original plan as approved and as allowed herein. Any amendment or change in any plan contemplated herein that the Plan Commission for the Village of Sussex feels, in its sole discretion, to be substantial will require a new permit and all Village procedures in place at the time must be followed.

A. Site Plan. The Petitioner shall submit to and receive approval from the Village Plan Commission a specific site plan for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meetings. Once approved the Site Plan shall be attached hereto and incorporated herein as **Exhibit B**.

B. Plan of Operation. The Petitioner shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meeting. Once approved the plan of operation shall be attached hereto and incorporated herein as **Exhibit C**.

- C. Traffic and Access Plans. The conditional use permit is subject to the existing traffic, access, parking, loading and unloading, ingress and egress plan already approved for this site.
- D. Fence, Landscaping, Berm, and Open Space Utilization Plan. The Petitioner shall submit to and receive approval from the Village Plan Commission a specific landscaping/fence plan for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meeting. Once approved this plan shall be attached hereto and incorporated herein as **Exhibit D.**
- E. Utility and Lighting Plans. The Petitioner shall submit to and receive approval from the Village Plan Commission a specific utility plan for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meeting. Once approved this plan shall be attached hereto and incorporated herein as **Exhibit E.**
- F. Architectural and Building Plan. The Petitioner shall submit to and receive approval from the Village Plan Commission a specific architectural plan for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meeting. Once approved this plan shall be attached hereto and incorporated herein as **Exhibit F.** Any changes to the interior/exterior architecture of the structure may be approved by the Plan Commission without a new public hearing if the Plan Commission finds that such changes will not have a negative impact on the health, welfare, or safety of the community. Any expansions of the building from its current size shall be treated as a new matter and application for a conditional use permit shall be made in the manner then required.
- G. Signage. The Petitioner shall follow the existing signage plan for the Subject Property and all signage on the Subject Property shall conform to the requirements of the Village Zoning Ordinance and the Design Standards of the Village of Sussex.
- H. Outdoor Storage. The Petitioner shall follow the existing outside storage plan for the subject property as approved by the Village of Sussex Plan Commission with the original approvals in 2000. No other outdoor storage shall be permitted on the Subject Property. The limits on outside storage includes denial of any sale of any items outside of the building.
- I. Noise Attenuation Plan. The Petitioner shall follow the existing noise attenuation plan for the subject property as approved by the Village of Sussex Plan Commission with the original approvals in 2000. As part of the noise attenuation plan, the Petitioner was required to describe the plan for outdoor parking of trucks, including refrigerated trucks. A maximum of three semi trucks with running refrigeration units may be allowed to stand or be stored outdoors at this time. This conditional use does not prohibit the Petitioner from operating additional outside semi truck refrigeration units in the event that more are needed for operations, but prior to such additional outside operation, the Petitioner must submit to and receive approval from

the Village Plan Commission, amendments to the noise attenuation plan to specifically describe how the proposed use will be conducted, including such details as the location of such operations on the subject property; the distance between that location and the nearest residential properties; the days of the week and times of day that such operations will be conducted; the number of trucks that will be stored during such days and times; the natural or constructed barriers in that location, if any, that may limit the impact that the noise would have upon surrounding areas; and the manner in which Petitioner will address and correct complaints that may be received from neighboring property owners.

- J. Natural Resources Forestation Plan. The Petitioner shall follow the existing natural resources forestation plan for the Subject Property, which includes the following information: a description of Petitioner's means of achieving Petitioner's goal of retaining 50% of the existing trees; showing the areas that are to be preserved as an isolated natural area; describing Petitioner's obligations to maintain and improve the maximum environmental integrity of the isolated natural areas; and showing the areas that will be reforested.
4. Licenses. The Petitioner shall be required to obtain any and all required licenses and permits from the Village, County, State, and Federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.
5. Laws. The Petitioner shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
6. Building and Fire Inspection. The Petitioners is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.
7. Aesthetics. The Petitioner is required to properly maintain the Subject Property at all times and in full compliance with the Aesthetics Ordinance all to the satisfaction of the Plan Commission for the Village of Sussex.
8. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property.
9. Temporary Use or Activity. No temporary use or special activity or event shall be permitted without prior approval of the Plan Commission of the Village of Sussex and the same must be in compliance with all ordinance, rules, and regulations of the Village of Sussex and all necessary permits must be obtained.
10. Fees and Expenses. The Petitioner, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the Petitioner with copies of all itemized invoices.

11. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate.
12. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the Applicant.
- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.
- D. This conditional use hereby authorized shall be confined to the Subject Property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.
- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the Applicant be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized herein, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Plan Commission, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed.
- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.

- I. This conditional use permit shall be effective for an initial term that ends five years from the date of January 1 of the year the conditional use is approved. During the final year of the 5 year term of the CU the Village Administrator or designee shall examine the record to determine if concerns about the operation have been raised in writing by the public, a governmental body or official, or anyone else, and shall also review the site and the adjoining area for compliance with the conditions of the CU. If based upon that review the use of the property is compatible with the surrounding areas and the Petitioner is in substantial compliance with all terms of this conditional use agreement, then, in that event, the Conditional Use can be automatically renewed for another 5 year term. If based upon that review the Village Administrator finds concerns about compliance with the conditions of the Conditional Use, the Petitioner shall be brought back before the Plan Commission for consideration of the renewal. The Petitioner shall have the responsibility to apply for the renewal by January 30th of the final year of the term of the CU. Failure of Petitioner to apply for the renewal as provided herein shall be deemed a violation of the conditions of the conditional use and may serve as a basis for termination of the conditional use permit. The Plan Commission for the Village of Sussex may add additional conditions at any time.
 1. Where the changing character of the surrounding area causes the original conditional use or subsequent approved amendments thereto to no longer be compatible with the surrounding area, or for similar cause, based upon consideration for the public welfare, the conditional use order and any subsequent approved amendments or changes may be terminated by action of the Plan Commission of the Village of Sussex. Such use shall thereafter be classified as a legal nonconforming use as it was permitted to exist on the day it was terminated.
 2. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes, the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.
 3. This conditional use may be reviewed annually. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.
- J. Upon acceptance by Applicant of this conditional use permit, all prior conditional use permits granted to the Subject Property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the Petitioner.

Approved this _____ day of _____, 2023 BY THE PLAN COMMISSION
FOR THE VILLAGE OF SUSSEX

Anthony LeDonne
Village President

Jennifer Moore
Village Clerk

PETITIONER ACCEPTANCE

I hereby accept the terms and conditions of this Conditional Use in its entirety and am authorized to do so on behalf of the Petitioner.

Dated this _____ day of _____, 2023.

BEER CAPITOL

By: _____

_____, Member Attest: _____

This Conditional Use was drafted by Assistant Village Administrator Jeremy Smith off of a model from Attorney John P. Macy Arenz, Molter, Macy & Riffle, S.C.

Exhibit A

SUBJECT PROPERTY

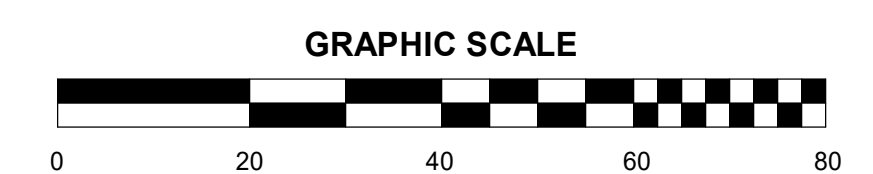
LOT 2 CERT SURV 9060 VOL 81/282 PT SE1/4 SEC 25 & PT NE1/4 SEC 36 T8N R19E 24.026
AC DOC# 2874739

DESIGN GROUP
N BROOKFIELD ROAD, SUITE 200
WILKFIELD WISCONSIN 53045-1950
(262) 790-0500 PHONE
(262) 760-0505 FAX

5

B:	230041
AWN:	CK
ECKED:	DF
TE:	07/31/2023
EET:	

A0.1





PLAN OF OPERATION

To be used for a business with new construction.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

OR an amendment to an existing CU? _____

(Conditional Use Permits require a Public Hearing)

Address location of new construction _____

Tax Key # _____

Zoning: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts:

_____ Employees

_____ Shifts

Please see attached narrative

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

Exhibit C

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. *Please see attached narrative*
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____ Arcade permit? _____
If yes, explain: _____
If yes, please obtain and complete form.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____
If yes, explain: _____

11. Dimensions and levels of all buildings:

	Dimensions	Levels	Square footage
Building 1	_____	_____	_____
Building 2	_____	_____	_____
Building 3	_____	_____	_____

Is the building(s) to be used for multi-tenant purpose? _____

12.	Lot size	Depth	Width	Area
	_____	_____	_____	_____
	<i>Above to be included on survey</i>			

- 13 Parking: Dimensions of parking lot _____
Parking lot construction _____
Type of screening: Fence _____ or Plantings _____
Number of spaces needed per code _____ # of spaces for employees _____
Above to be included on site plan

Please provide the following information:

Total square footage of building, new and existing _____

Total square footage of parking lot, new and existing _____

14. Signs: Type: Free standing _____ Attached to building _____
no new signage Lighted _____ Single or double faced _____
Size _____ Location _____
Above to be included on sign plan

15. What security lighting are you proposing? (Please include on lighting plan)

Exhibit C

16. Is there a need for outside storage? _____ If yes, explain:

17. Is a Highway access permit needed from the state or County Highway Departments? _____

If yes, please attach a copy of the secured permit.

What conditions has the State or County imposed upon your permit?

18. Is there a need for any special type of security fencing? _____

If yes, what type? _____

19. What provisions are you making for fire protection? _____

What provisions are your making for a sprinkler system? _____

Storage system? _____

Hydrant stand pipes? _____

Is there a fire lane shown on your site plan? _____

Explain: _____

20. Surface water drainage facilities and impervious areas, describe and/or include on site plan.

21. Did Wisconsin State Department of Industry Labor and Human Relations approve building plans?

_____ If yes, explain: _____

22. Please give a timetable for items to be completed:

Building construction _____

Paving _____

Landscaping _____

Occupancy _____

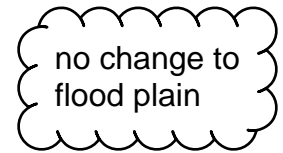
I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position



Information on Flood Plain Occupancy:

1. What is the flood plain elevation at the site? _____
2. Is the flood plain construction elevated or flood proofed? Elevated _____ Flood proofed _____
3. What is the elevation of the lowest floor of the structure? _____
4. What is the elevation of the land fill surrounding the structure? _____
5. Does the fill extend beyond the structure? _____
How far beyond the structure? _____ feet
6. Is dry land access provided? _____
7. If the structure is flood proofed, what flood proofing measures are used?

8. Certification of elevation or flood proofing must be provided by a licensed surveyor or registered Engineer.



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

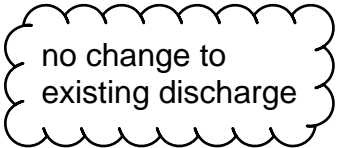
Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes

No (no change)

Exhibit

CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
FAX (414) 443-1317
www.cj-engineering.com

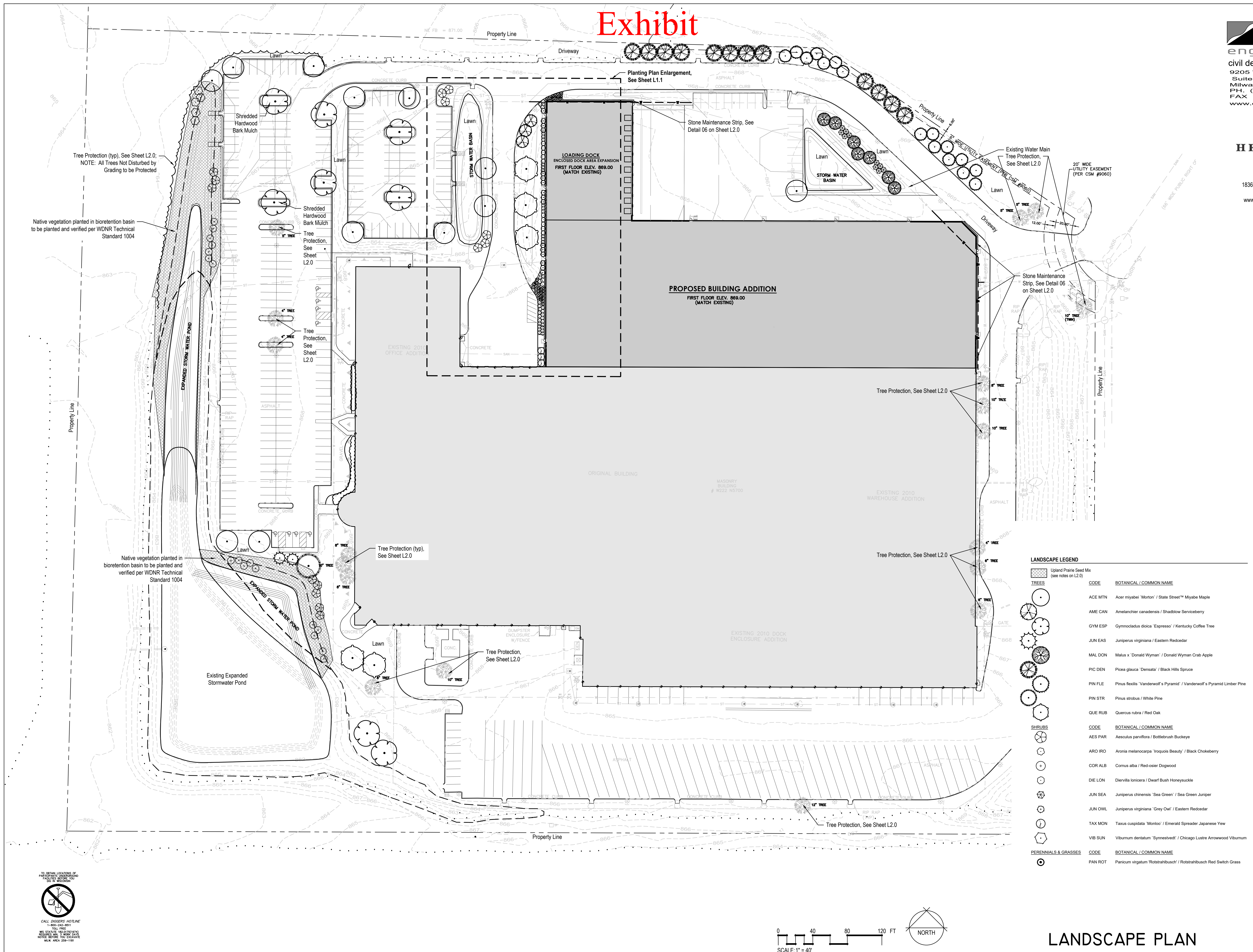


ADAMS GARDEN PARK
1836 W. FOND DU LAC AVE, SUITE 100
MILWAUKEE, WI 53204
www.healthyenvironmentsdesigned.com

BEER CAPITAL
W222 N5700 MILLER WAY SUSSEX, WI

CJE NO.:
JULY 31, 2023

L1.0



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Lighting	+	1.5 fc	27.5 fc	0.0 fc	N/A	N/A

(TYPES '06' & '06C') (TYPE '0A')

POLE, LUMINAIRE BASE ASSEMBLY AND ANCHOR BOLTS TO BE CAPABLE OF WITHSTANDING A MINIMUM OF 50 MPH WIND WITH AN ADDITIONAL DUST FACTOR OF 30% DEFLECTION SHALL NOT EXCEED 5%.

SQUARE STRAIGHT STEEL POLE, DARK BRONZE, POWDER COAT FINISH.

20'-0"

Ø 22 GRI RECEPTACLE BUILT INTO POLE.

ACCESS HOLE WITH COVER AND GROUND LUG BEHIND COVER.

BASE COVER

1/1" MIN. CHAMFER

(4) 3/4" x 25" ANCHOR BOLTS

CONCRETE BASE BY E.C.

REINFORCING STEEL

FINISH GRADE

2'-0"

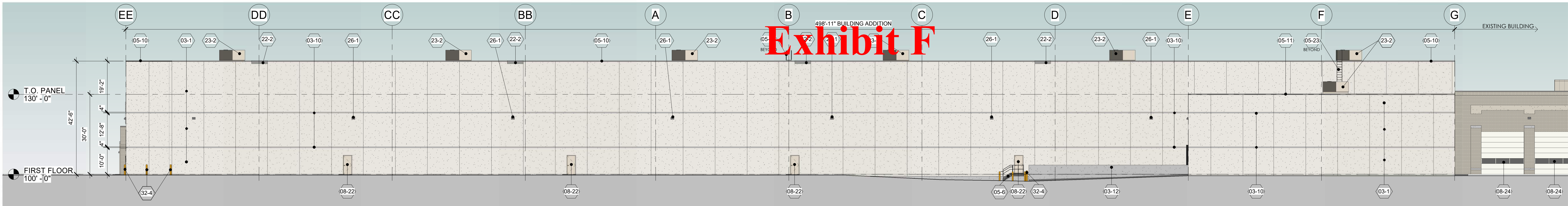
INSTALL CONDUIT BELOW GROUND LINE (MIN. 30")

8'-0"

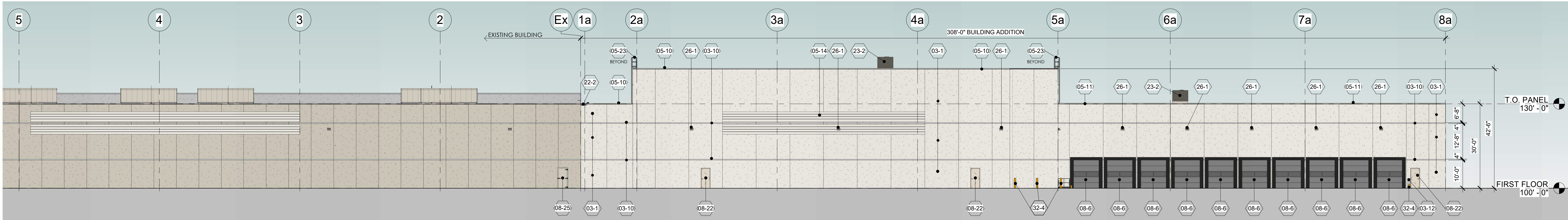
A A

1 SITE LIGHTING PLAN
E1.0 1" = 40'-0"

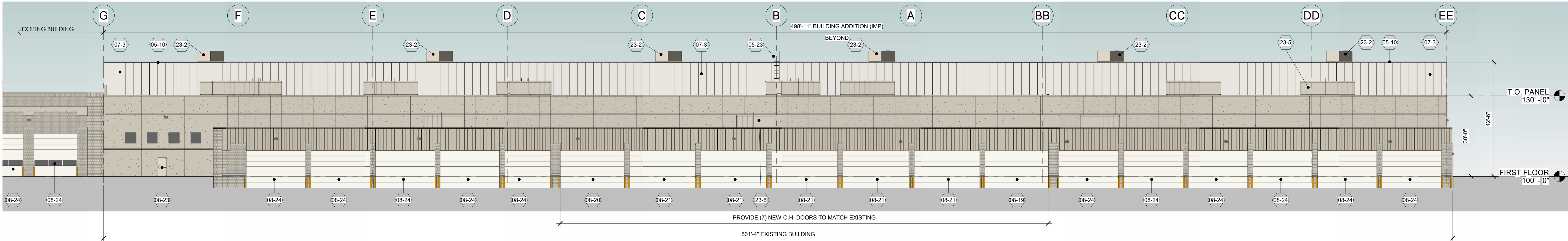




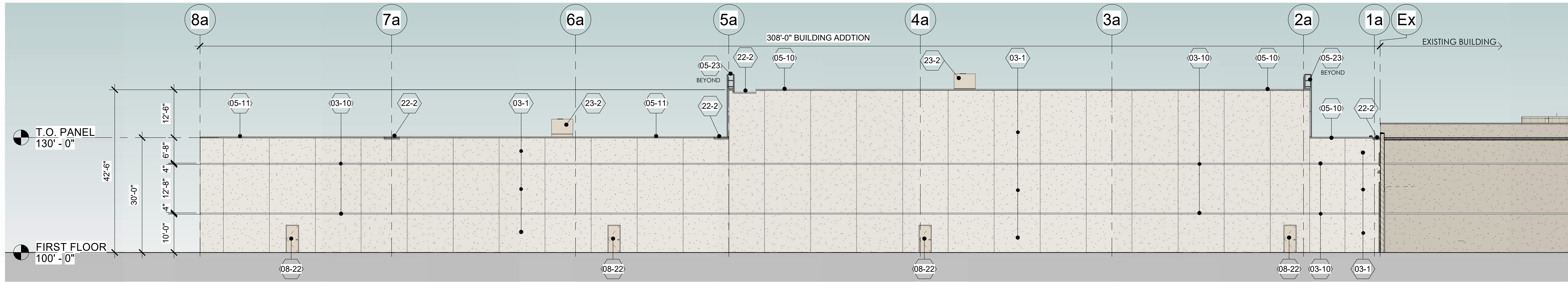
1 ENLARGED NORTH ELEVATION
1/16" = 1'-0"



2 ENLARGED EAST ELEVATION
1/16" = 1'-0"



3 ENLARGED SOUTH ELEVATION
1/16" = 1'-0"



4 ENLARGED WEST ELEVATION
1/16" = 1'-0"

EXTERIOR SYSTEMS:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3" STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM. INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)

PRECASTER NOTE:

PRECASTER TO PROVIDE COVERS FOR ALL ROUND RECESSED POCKETS AND PROVIDE CLOSED CELL SPRAY FOAM INSULATION WITH STEEL PREFINISHED METAL COVER PLATES FOR ALL OTHER SHAPE OPENINGS OR RECESSED AREAS (BEAM, LINTEL, JOIST, GIRDER BEARING OR OTHER POCKETED CONDITIONS) ON INTERIOR SIDE OF THE PRECAST WALL PANELS

WALL COLOR LEGEND

COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1/2" DEEP REVEAL

KEYNOTE LEGEND ELEVATION

MARK	FLOOR PLAN CODED NOTES
03-1	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH TO MATCH EXISTING - COLOR 1 (SW 9166 DRIFT OF MIST)
03-10	4" X 1/2" DEEP REVEAL (HORIZONTAL) COLOR 2
03-12	CONCRETE RETAINING WALL (SEE CIVIL AND STRUCTURAL DWGS)
05-6	EXTERIOR STEEL STAIRS WITH GALVANIZED STEEL BAR GRATE TREADS AND LANDING. PROVIDE STEEL CLOSED RISERS WITH PIPE GUARD/HAND RAILING DESIGN AND FABRICATION TO BE CODE/OSHA/ANSI COMPLIANT. STEEL TO BE PAINTED. LANDING TO BE SIZED FOR AREA OF RESCUE.
05-10	PRE-FINISHED METAL CAP/COPING ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-14	PREFINISHED DECORATIVE METAL PROFILE TO MATCH EXISTING - REFER TO DETAILS.
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER AND PLATFORM BRIDGE BETWEEN WITH STEEL GUARDRAIL PAINTED.
07-3	INSULATED METAL WALL PANELS (MATCH COLOR 1)
08-6	9'-0" WIDE X 10'-0" HIGH INSULATED OH DOOR FACTORY FINISHED TO MATCH COLOR 1 WITH DOCK SEALS, DOCK LEVELERS AND BUMPERS.
08-19	23'-6" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.
08-20	23'-9" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.
08-21	24'-5" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.
08-22	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS CODE REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.
08-23	EXISTING DOOR TO REMAIN.
08-24	EXISTING O.H. DOOR TO REMAIN.
08-25	REMOVE EXISTING 3'-0" X 7'-0" HOLLOW METAL DOOR AND FRAME AND REPLACE WITH NEW COOLER DOOR - REFER TO DOOR SCHEDULE - PAINTED TO MATCH ADJACENT WALL COLOR.
22-2	2'-0", 4'-0" OR 6'-0" WIDE SCUPPERS - 6" ABOVE PRIMARY DRAIN - REFER TO ARCHITECTURAL ELEVATION DRAWINGS, STRUCTURAL AND PLUMBING DRAWINGS, LOCATION OF SCUPPER DRAINS. DO NOT PLACE OUTFALL DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. REFER TO DETAIL 3/A4.0. ALTERNATE: PROVIDE SCRUPPER BOX WITH DOWNSPOUT.
23-2	RTU-REFER TO HVAC DRAWINGS. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND MATCH AS REQUIRED AND PROVIDE ROOF SCREENS.
23-5	POTENTIAL ROOF TOP REFRIGERATION UNITS FOR NEW COOLER TO REPLACE EXISTING RTUs.
23-6	POTENTIAL NEW RTU.
26-1	EXTERIOR LIGHT FIXTURE - CUT-OFF LED WALLPACK - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT (TYPICAL FOR EXTERIOR DOORS)
32-4	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S), PAINTED SAFETY YELLOW.

Revision	Date	Job	2300041
		DRAWN:	CK
		CHECKED:	DF
		DATE:	07/31/2023
		SHEET:	



Project Name _____

Tax Key # 232 999.004

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

• JUNE 20TH
• AUGUST 15TH
• SEPTEMBER 19TH

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: ADDITIONAL PARKING, MULTI-USE

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: MIKE DUPONT Phone # 414-520-9989

E-mail: Kocherenterprises@live.com

For office use only:

Met with staff on: 6/19/23

Paid fees on: 6/19/23

To be on the Plan Commission Agenda for: AUGUST 2023

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____

PAID 6/19/23
CHECK NO. 1241



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? YES If yes, is this a new CU? YES

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # 232-999.004

Zoning: B-3

Address of Tenant Space: W240N6689 MAPLE AVE.

1. Name of Business:

MIKES WOODLAND FARMS LLC

Business

P.O. BOX 456 SUSSEX, WI 53089 414-520-9989

Address

City, State, Zip

Phone #

Kocherenterprises@live.com

Fax #

Email address

2. Business owner contact information:

MIKE DUPONT OR MIKE KOCHER

Contact

W239N5718 MAPLE AVE. SUSSEX, WI 53089 414-520-9989

Address

City, State, Zip

Phone #

Kocher enterprises@live.com

Fax #

Email address

3. Building/Land owner contact information:

SAME

Contact

Address

City, State, Zip

Phone #

Fax #

Email address

4. Number of Employees/Shifts:

N/A
Employees

N/A
Shifts

5. Days of Operation:

Put an X in box that applies:
Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
<u>N/A</u>						

6. Is this an extension of an existing operation? YES
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? NO Do you need an Outdoor Establishment Permit? NO
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? NO If yes, explain: _____
11. Dimension of area to be occupied N/A Total square footage N/A
If applicable list square footage according to 1st floor N/A 2nd floor N/A

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 14-15 Number of spaces needed per code N/A
Number of spaces allocated for employee parking _____
Dimensions of parking lot 170' x 40' Is parking lot paved? RECYCLED ASPHLT

13. Signage: What type of signage are you proposing for your business?
N/A

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

MICHAEL DUPONT
Name
OWNER
Title or Position

6/19/23
Date

I am aware and approve of the business to be operating in the building owned by _____.

Name

Title or Position

Date



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:


MIKE DUPONT / MIKE KOCHER
P.O. BOX 456 SUSSEX, WI 53089

Business Name: MIKES WOODLAND FARMS LLC

Name of Owner and Address of the Property involved in the Request (if different from above):

SAME
W240N6689 MAPLE AVE. SUSSEX, WI 53089

Tax Key No. of the Property involved in the Request: SUXV


Signature of Property Owner and /or Authorized Agent

6/12/2023
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: MIKES WOODLAND FARMS LLC

Address: W240 N6689 MAPLE AVE. SUSSEX, WI 53089

Owner/Operator: MIKE DUPONT / MIKE KOCHER

Standard Industrial Classification #: _____

How many people do you employ? N/A

What are your businesses hours of work? N/A

Who is responsible for water quality? (List job titles)

N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

NONE - PARKING ONLY

Please list each product your business produces. (Include type, amount and rate of production):

NONE

What are the constituents and characteristics of your wastewater?

NONE

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: MIKES WOODLAND FARMS LLC

Business Address: W240 N6689 MAPLE AVE SUSSEX, WI 53089

Business Phone #: 414-520-9989

Business
Email: Kocherenterprises@live.com

Business Emergency Contacts

Name and Phone #: MIKE DUPONT 414-520-9989

Name and Phone #: MIKE KOCHER 414-975-9794

Name and Phone #: _____

Building Owner Name: MIKE DUPONT / MIKE KOCHER

Building Owner Email: Kocherenterprises@live.com

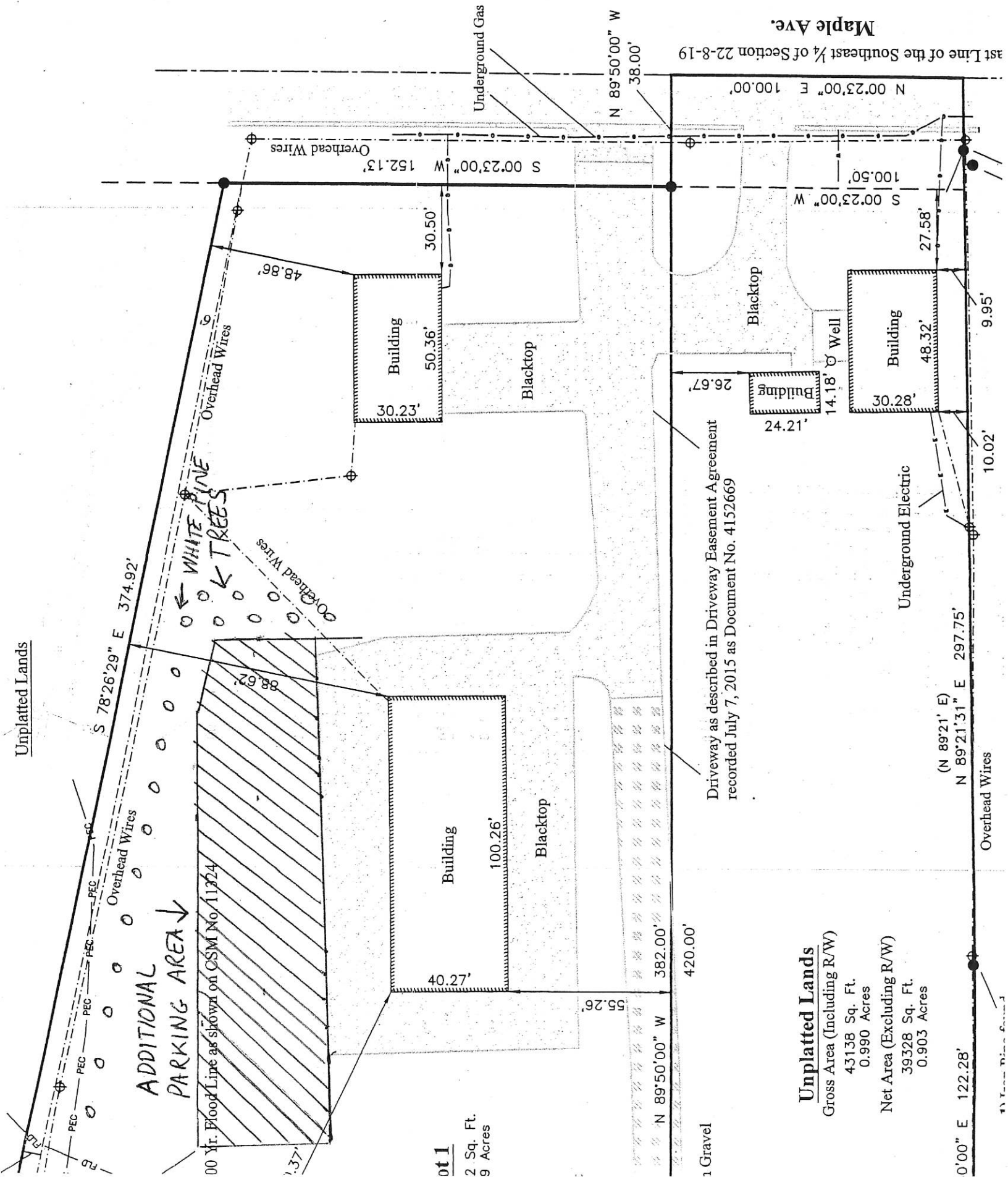
Building Owner Emergency Contacts

Name and Phone #: SAME

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

Unplatted Lands



Lot 1

2 Sq. Ft.
9 Acres

Unplatted Lands

Gross Area (Including R/W)

43138 Sq. Ft.
0.990 Acres

Net Area (Excluding R/W)

39328 Sq. Ft.
0.903 Acres

Gravel

0'00" E 122.28'

(N 89°21' E)

N 89°21'31" E 297.75'

Overhead Wires

10.02'

9.95'

27.58'

100.50'

N 89°50'00" W

38.00'

N 00°23'00" E 100.00'

Maple Ave.

1st Line of the Southeast 1/4 of Section 22-8-19

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0418 B-3 Highway Business District

17.0418 B-3 HIGHWAY BUSINESS DISTRICT

The B-3 Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such

traffic.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Hotels and motels
- (b) Bed and breakfast establishments
- (c) Restaurants, snack stands, and mobile food services. For a drivethrough the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (d) Bars
- (e) Food service contractors and caterers

2. Arts, Entertainment, and Recreation Services

- (a) Promoter, agent, artists offices/studio
- (b) Theater companies and dinner theaters, dance, musical groups, and performing arts companies.

3. Educational, Health Services, and Social Services

- (a) Fine arts and language schools and studios
- (b) Sports and recreation instruction
- (c) Automobile driving school
- (d) General medical services
- (e) Vocational rehabilitation services
- (f) Religious facilities
- (g) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
- (h) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
- (e) Office equipment rental and leasing
- (f) Rental Centers

5. General Services

- (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Personal care and weight loss services
- (d) Funeral home and funeral services
- (e) Coin operated laundries and drycleaners
- (f) Dry cleaning and Laundry Services (non-industrial)
- (g) Photo finishing laboratories
- (h) General business offices
- (i) Travel and visitor services
- (j) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)
- (k) Animal Boarding in the B-3 district provided that the animals are domestic pets including (dogs, cats, hamsters or similar pet rodents, pet fish, reptiles and pet birds). In no way shall the operation be allowed to board wild animals or any pets not included in the list above. The boarding shall be for limited periods of time with no animal allowed to be continually boarded for longer than 3 weeks in row. No boarding facility may sell, trade, or in any other way exchange animals. The Plan Commission when determining the appropriateness of the site for animal boarding shall take into account the available space for outside animal activity and the impact the noise of such a

facility will have on adjacent properties. An animal boarding operation shall be at least 1,000 feet from a residential zoned property, measured from the closest point where any boarded animal may be located to the closest residential zoning district property line.

The Plan Commission recognizes that customer's demands of animal boarding services and the culture related to taking care of pets is regularly evolving. These changes make it improbable to list all of the accessory uses of an animal boarding operation in the Code; therefore, the Plan Commission may consider accessory uses to the animal boarding operation such as, but not limited to; animal grooming, animal physical rehab, animal photography studios, retail sales of animal related products, if the Plan Commission finds the following:

1) The accessory use is consistent with the intent of the zoning district.

2) The accessory use is clearly established by the petitioner to be interrelated to and an accessory use of the principal animal boarding operation.

3) The site and or building are appropriately designed and located, or will be made so, to accommodate the accessory use and any impacts thereof.

6. Information Services

(a) Radio/TV/Cable network, stations, news syndicates, excluding towers and dishes.

(b) Telecommunications services

(c) Motion picture and video production

(d) Newspaper, printers, paper and software publishers, recording studio record production, telecommunications services and data processing.

(e) Libraries and archives.

7. Professional, Technical, Scientific, and Administrative Services

(a) Legal, notaries, and title services

(b) Accountants, tax preparation, payroll, and other accounting services

(c) Architects, landscape architects, engineering, surveying services

(d) Interior, industrial, graphic, and fashion design services

(e) Private investigators, locksmiths, security, and armored car services

(f) Janitorial services

(g) Pest control services

(h) Packaging and labeling service

(i) Veterinary Offices

(j) Offices of holding companies and regional managing offices

8. Retail Trade

(a) Furniture, flooring, and home furnishing stores

(b) Appliances, electronics, camera, office supply and copying stores

(c) Home improvement and hardware stores

(d) Grocery, supermarkets, convenience, and specialty food stores/markets

(e) Liquor/packaged beverage and tobacco stores

(f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores

(g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores

(h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.

(i) Gift shops, florists, variety stores, antiques, used merchandise

(j) Pet and pet supply stores

(k) Art dealers/store

(l) Internet sales shopping/mail order business and vending machine sales

(m) Building supply stores and general sales of industrial products, such as building materials, electrical supplies, heating supplies, lighting supplies, paint and painting supplies, plumbing supplies, roofing supplies, wallpaper and wallpaper supplies, and windows and doors.

(n) Outdoor Power Equipment

(o) Garden Centers

(p) Manufactured/mobile home sales

9. Manufacturing/Assembly

(a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.

10. Public Administration and Government Services

(a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.

11. Transportation and Warehousing

(a) Courier, delivery, postal service businesses

12. Parking Lots

(a) Parking lots are permitted without a principal structure, provided that the property owner submits a parking plan to the Plan Commission, and the Plan Commission approves the parking plan. The parking plan shall indicate whether the private parking area described in the parking plan may be used by the general public when the parking spots are not needed for the private use. If the plan so indicates, and if the plan is approved, then general public parking uses may be permitted upon such terms and conditions as are agreed upon in writing between the Village Board and the property owner, in a form approved by the Village Attorney. The Plan Commission shall approve the parking plan only if it finds all of the following:

(1) The lot where the proposed parking is located must be immediately adjacent to a lot that is zoned B-4 Central Mixed Use District that is proposed for development or change of use; and

(2) The adjacent B-4 Central Mixed Use District lot must have inadequate parking available on the lot to serve the new development or change of use, per the requirements of Section 17.0603 of this Code; and

(3) The parking plan must demonstrate that the parking lot will be in full compliance with all applicable requirements of this Code, except as to any modifications that may be granted pursuant to Section 17.0603(L) of this Code;

and

(4) Deed restrictions must be imposed and agreements must be entered between the adjacent lot owners, to the satisfaction of the Village Attorney, to allow the parking area to be used by the adjacent lot owner in compliance with the parking plan; and

(5) Subject to such reasonable conditions as the Plan Commission may deem to be necessary or appropriate.

13. Housing. Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.

B. Permitted Accessory Uses

1. Accessory garages for storage of vehicles used in conjunction with the operation of the business or for occupants of the premises.

2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.

3. Residential quarters for the owner or proprietor located in the same building as the business.

4. Rental efficiency and one-bedroom apartments on a non-ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.

5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.

6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

1. Conditional uses as allowed in Section 17.0500 Conditional Uses.

2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

1. Lots shall have a minimum area of 10,000 square feet and shall be not less than 75 feet in width.

2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

E. Building Height

1. No principal building or parts of a principal building shall exceed 30 feet in height.

F. Setback and Yards

1. There shall be a minimum building setback of 30 feet from the right-of-way of all streets.

2. There shall be a side yard on each side of all buildings not less than 15 feet in width.

3. There shall be a rear yard of not less than 25 feet.

4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Village Municipal Code.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be submitted to Plan Commission

1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

11. Miscellaneous Items (Towers/Antenna and Outside Storage)

a) Commercial Use Outside Storage. Outside storage maybe permitted for commercial uses in the B-1, B-2, B-3, B-4, BP-1, and OP-1, districts. All outside storage areas shall be at least 100 feet from residential, park, and institutional districts located in the Village or adjacent community. In all cases, outside storage shall be screened from all sides. All screening plans are subject to Plan Commission review and approval. Screening shall be a permanent opaque wall matching the materials of the building and may include fencing as deemed appropriate by the Plan Commission. The Plan Commission may allow vegetative screening in part or in whole, where it determines the vegetative screening shall provide sufficient and aesthetically pleasing screening and said screening is appropriate for the type of items being screened from view. The height of the wall necessary shall be sufficient to screen the product(s) in the outside storage area. The Plan Commission shall set the appropriate height of any fencing based upon the site conditions and the types of outdoor storage to be screened. Outside Storage shall not be construed to include the temporary or seasonal outdoor sales or

services allowed as part of a Village approved outdoor sales and services permit.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of

product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

Impact Report for Mike's Woodland Farms, LLC

Reason for report: Increasing driveway size with the addition of parking

1. Neighboring properties-Neighbors impacted are Kieth adjacent to the proposed driveway addition and Bill Evers Excavating to the rear. Kieth has no issues but has commented that he prefers a natural barrier(I.E. planted trees) to a fence. Bill Evers also has no issue and is also the contractor who has been performing the excavating and grading. All other neighbors are on the complete opposite side of the property behind the main building and a naturally forested area.
2. Village services:

A. Traffic-unaffected as the addition is far into our property on our own driveway.

B. Parking and overflow parking-unaffected.

C. Noise-nothing out of the ordinary.

D. Odor-None

E. Safety-standard motor vehicle operation by a licensed driver.

F. Crime-Potential for vehicle theft as with any other parking lot or driveway in the community.

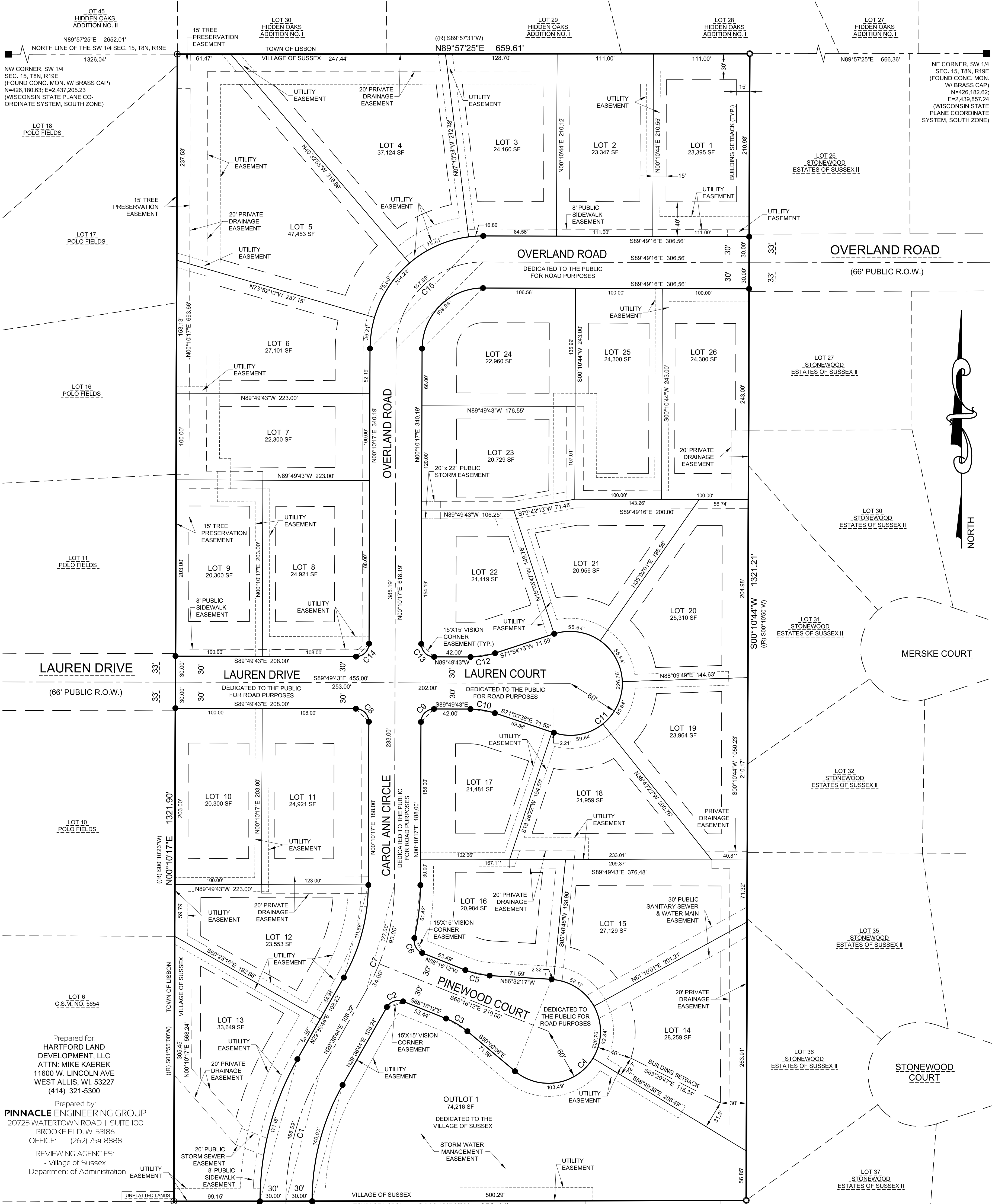
G. Hours of operation-N/A

H. Health and Sanitation-N/A

I. Property Maintenance-All normal maintenance performed by the owners. (I.E. grass cutting, tree and bush pruning/removal/planting, etc.) Snow removal is contracted. Large jobs are contracted out, such as excavation and grading.

GOLDEN FIELDS OF SUSSEX

Being a part of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 8 North,
Range 19 East, Village of Sussex, Waukesha County, Wisconsin



Prepared for:
HARTFORD LAND
DEVELOPMENT, LLC
ATTN: MIKE KAEREK
11600 W. LINCOLN AVE
WEST ALLIS, WI. 53227
(414) 321-5300

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

REVIEWING AGENCIES:
- Village of Sussex
- Department of Administration

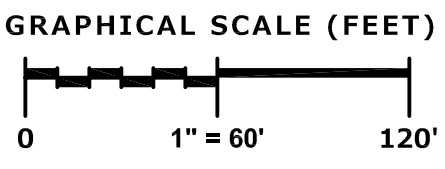
BUILDING SETBACKS
LOTS 1-13 & 15-26:
FRONT SETBACK = 40'
SIDE SETBACK = 15'
REAR SETBACK = 30'

LOT 14
GRAPHICALLY
SHOWN ON PLAT

- LEGEND:**
- - Denotes Found 2" Iron Pipe
 - - Denotes Found 1" Iron Pipe
 - - Denotes Set 1-1/4" X 18" Iron Rod, 4.30 LBS./FT.
 - All other corners marked by a set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
 - All measurements have been made to the nearest one-hundredth of a foot.
 - All angular measurements have been made to the nearest one second.



SEPTEMBER 7, 2023



Coordinates referenced to the Wisconsin State Plane
Coordinate System, South Zone (N.A.D. 1983/2011).
Bearings are referenced to the north line of the
Southwest 1/4 of Section 15, Township 8 North,
Range 19 East has a bearing of N89°57'25"E.

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

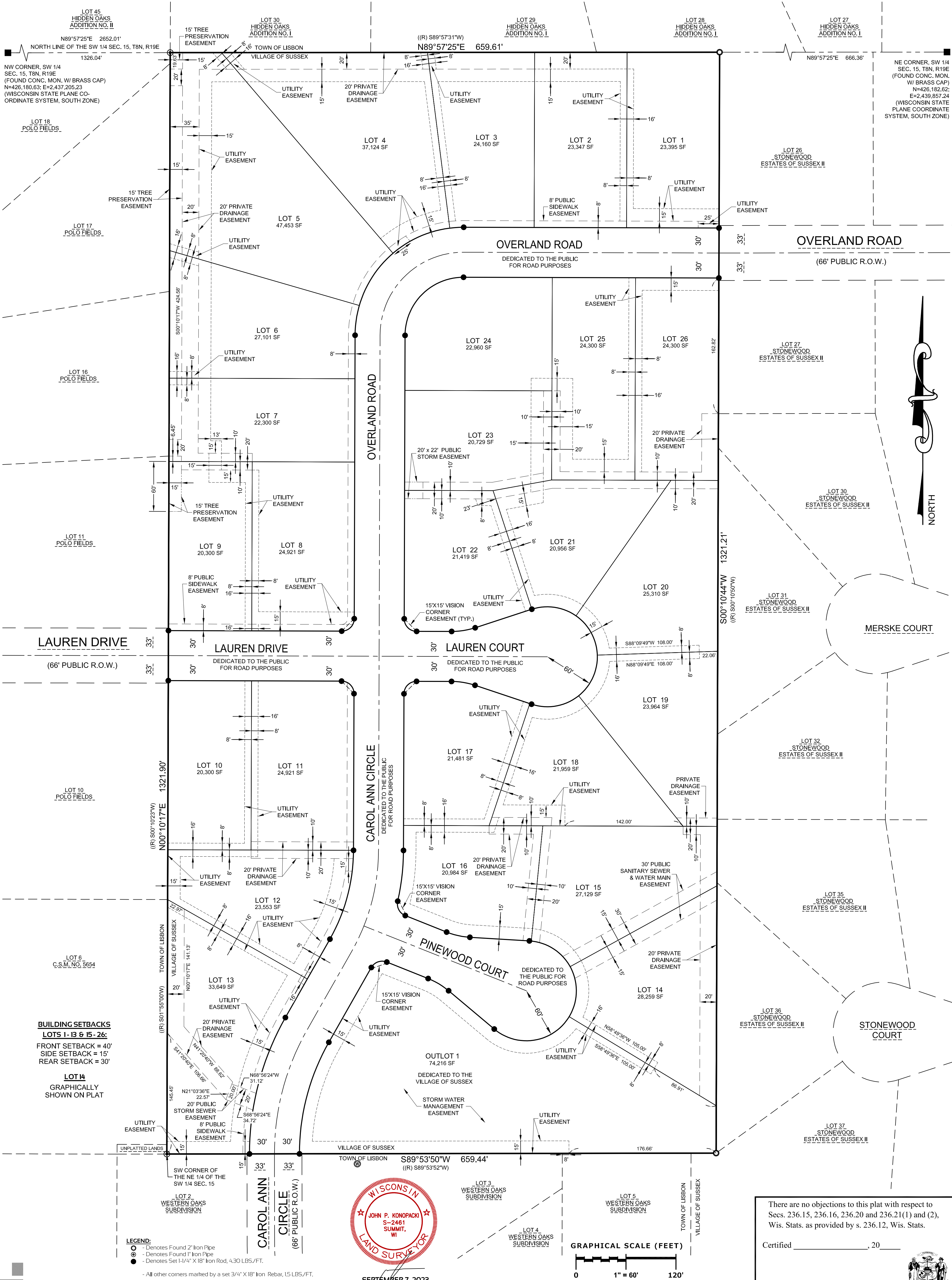
Department of Administration



DRAFTED BY: ST
PEG JOB#3042.00
SHEET 1 OF 3

GOLDEN FIELDS OF SUSSEX

Being a part of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 8 North,
Range 19 East, Village of Sussex, Waukesha County, Wisconsin



www.pinnacle-engr.com



NORTH

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP

PEG JOB#3042.00
SHEET 2 OF 3

GOLDEN FIELDS OF SUSSEX

Being a part of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 8 North, Range 19 East, Village of Sussex, Waukesha County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided that part of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 8 North, Range 19 East, Village of Sussex, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 15; thence North 89°57'25" East along the north line of said Southwest 1/4, 1326.04 feet to the northeast corner of Polo Fields, a recorded subdivision, and the Point of Beginning;

Thence continuing North 89°57'25" East along said north line, 659.61 feet to the northwest corner of Stonewood Estates of Sussex II, a recorded subdivision;
Thence South 00°10'44" West along the west line of said subdivision, 1321.21 feet;
Thence South 89°53'50" West along said Stonewood Estates of Sussex II and then along the north line of Western Oaks Subdivision, a recorded subdivision, 659.44 feet to the monumented southwest corner of the Northeast 1/4 of the said Southwest 1/4;
Thence North 00°10'17" East and then along the east line of Certified Survey Map No. 9654 and then along the east line of the aforesaid Polo Fields, 1321.90 feet to the Point of Beginning.

Dedicating that portion of subject property as graphically shown for public right of way purposes.

Containing 871,588 square feet (20.0089 acres) of land Gross and 730,489 square feet (16.7697 acres) of land Net more or less.

That I have made such survey, land division and map by the direction of HARTFORD LAND DEVELOPMENT, LLC, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Sussex Land Division Ordinance in surveying, mapping and dividing the land within the subdivision.

Date: SEPTEMBER 7, 2022



John P. Konopacki
Professional Land Surveyor S-2461

OWNER'S CERTIFICATE OF DEDICATION

HARTFORD LAND DEVELOPMENT, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

HARTFORD LAND DEVELOPMENT, LLC, as owner, does further certify that this plat is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

- Village of Sussex
- Department of Administration
- Waukesha County Parks & Land Use Department

IN WITNESS WHEREOF, the said HARTFORD LAND DEVELOPMENT, LLC has caused these presents to be signed by Michael J. Kaerek, its Member, at (city) _____, _____ County, Wisconsin, on this _____ day of _____, 2023.

In the presence of: HARTFORD LAND DEVELOPMENT, LLC

Michael J. Kaerek - Member

STATE OF WISCONSIN
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2023, Michael J. Kaerek - Member, of the above named limited liability company, to me known to be the persons who executed the foregoing instrument, and to me known to be such Member of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the Village of Sussex on this _____ day of _____, 2023.

Date _____ Anthony J. LeDonne, Chairman

Date _____ Jennifer Moore, Village Clerk

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Sussex, Wisconsin, on this _____ day of _____, 2023.

Date _____ Anthony J. LeDonne, Village President

Date _____ Jennifer Moore, Village Clerk

VILLAGE OF SUSSEX TREASURER'S CERTIFICATE

I, Jennifer Moore, being the duly elected, qualified, and acting Treasurer of the Village of Sussex, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2023, on any of the land included on this plat of GOLDEN FIELDS OF SUSSEX.

Date _____ Jennifer Moore, Treasurer

WAUKESHA COUNTY TREASURER'S CERTIFICATE

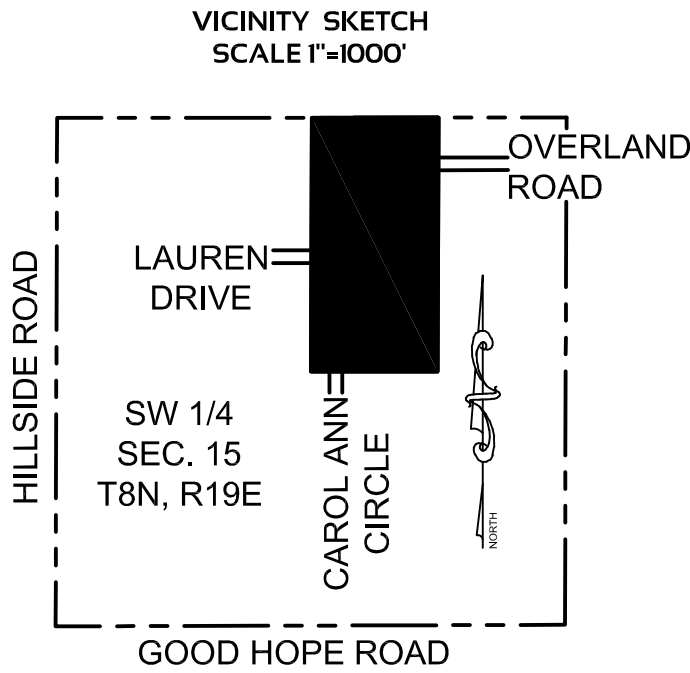
STATE OF WISCONSIN
WAUKESHA COUNTY) SS

I, Pamela Reeves, being duly elected, qualified and acting Treasurer of Waukesha County, do hereby certify in accordance with the records in my office, there are no unpaid taxes or special assessments as of _____ day of _____, 2023 on any of the lands in the plat of GOLDEN FIELDS OF SUSSEX.

Date _____ Pamela Reeves, Waukesha County Treasurer

BASEMENT GROUNDWATER RESTRICTION:

Although all lots in the subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to the basement construction. It is recommended that a licensed professional engineer design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.



CURVE TABLE							
CURVE NO.		LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT
C1	CENTERLINE	155.59'	300.00'	029°42'54"	N14°45'17"E	153.85'	N00°06'10"W
	OUTLOT 1	140.03'	270.00'	029°42'54"	N14°45'17"E	138.47'	
	LOT 13	171.15'	330.00'	029°42'54"	S14°45'17"W	169.24'	
C2	OUTLOT 1	21.50'	15.00'	082°07'04"	S70°40'16"W	19.71'	N29°36'44"E
C3	OUTLOT 1	28.70'	90.00'	018°16'04"	S59°08'10"E	28.57'	S68°16'12"E
C4	ROW	226.76'	60.00'	216°32'09"	N21°43'48"E	113.95'	S50°00'08"E
	OUTLOT 1	103.49'	60.00'	098°49'28"	N80°35'08"E	91.13'	
	LOT 14	62.84'	60.00'	060°00'24"	N1°10'12"E	60.01'	
	LOT 15	58.11'	60.00'	055°29'12"	N56°34'36"W	55.86'	
	LOT 16	2.32'	60.00'	002°13'05"	N85°25'44"W	2.32'	
C5	LOT 16	28.70'	90.00'	018°16'04"	N77°24'14"W	28.57'	N86°32'17"W
C6	LOT 16	21.24'	15.00'	081°08'22"	N27°42'01"W	19.51'	N68°16'12"W
C7	CENTERLINE	127.00'	247.15'	029°26'27"	N14°53'31"E	125.60'	N29°36'44"E
	LOT 16	61.42'	277.15'	012°41'53"	N6°31'14"E	61.30'	
	LOT 12	111.58'	217.15'	029°26'27"	N14°53'31"E	110.36'	
C8	LOT 11	23.56'	15.00'	090°00'00"	N44°49'43"W	21.21'	N00°10'17"E
C9	LOT 17	23.56'	15.00'	090°00'00"	N45°10'17"E	21.21'	N00°10'17"E
C10	LOT 17	28.70'	90.00'	018°16'04"	S80°41'41"E	28.57'	S89°49'43"E
C11	ROW	226.76'	60.00'	216°32'09"	N0°10'17"E	113.95'	S71°33'38"E
	LOT 18	59.84'	60.00'	057°08'44"	N79°52'00"E	57.39'	
	LOT 19	55.64'	60.00'	053°07'48"	N24°43'44"E	53.67'	
	LOT 20	55.64'	60.00'	053°07'48"	N28°24'05"W	53.67'	
	LOT 21	55.64'	60.00'	053°07'48"	N81°31'53"W	53.67'	
C12	LOT 22	28.70'	90.00'	018°16'04"	S81°02'15"W	28.57'	S71°54'13"W
C13	LOT 22	23.56'	15.00'	090°00'00"	N44°49'43"W	21.21'	N89°49'43"W
C14	LOT 8	23.56'	15.00'	090°00'00"	N45°10'17"E	21.21'	S89°49'43"E
C15	CENTERLINE	157.09'	100.00'	090°00'27"	N45°10'31"E	141.43'	N00°10'17"E
	LOT 24	109.96'	70.00'	090°00'27"	N45°10'31"E	99.00'	
	ROW	204.22'	130.00'	090°00'27"	N45°10'31"E	183.86'	
	LOT 3	16.80'	130.00'	007°24'18"	N86°28'35"E	16.79'	
	LOT 4	75.61'	130.00'	033°19'19"	N66°06'47"E	74.54'	
	LOT 5	75.60'	130.00'	033°19'19"	N32°47'27"E	74.54'	
	LOT 6	36.21'	130.00'	015°57'30"	N8°09'02"E	36.09'	

GENERAL NOTES

- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0088G with an effective date of NOVEMBER 5, 2014. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- Outlot 1 in the plat of Golden Fields of Sussex shall be dedicated to the Village of Sussex. A separate Storm Water Management Practices Maintenance Agreement has been recorded that describes maintenance responsibilities for Outlot 1.
- All vision corner easement are 15x15' as shown on the plat. The vision corner easements are located on Lots 8, 11, 16, 17, 22 and Outlot 1. VISION CORNER EASEMENT RESTRICTION: Within the area of the vision corner easement, the height of all plantings, berms, fencing, signs, any other structure shall be limited to 24 inches above the intersection elevation. No access to any roadway shall be permitted over the vision corners from the adjacent lots.
- Wetland Waterway Consulting, LLC inspected the subject property in November 2022 and determined there are no wetlands on the property.
- Waukesha County is not liable for any fees or special charges in the event any Lot or Outlot becomes tax delinquent.
- A master grading plan for this subdivision is on file with the Village of Sussex.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

HARTFORD LAND DEVELOPMENT, LLC, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC,
Wisconsin corporations doing business as We Energies, Grantee,

SPECTRUM MID-AMERICA, LLC, Grantee, and

WISCONSIN BELL, INC., doing business as AT&T WISCONSIN, a Wisconsin corporation, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 _____

Department of Administration



This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

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MEMORANDUM

To: Gabe Gilbertson, Community Development Director
From: Judith A. Neu, Village Engineer
Date: September 21, 2023
Re: Golden Fields of Sussex – Final Plat

Following are comments and concerns of Engineering Division staff regarding the Final Plat for Golden Fields of Sussex that was submitted by Pinnacle Engineering on behalf of Hartford Land Development, LLC (Mike Kaerek) dated September 7, 2023, and received in this office on September 12, 2023.

1. The easement provisions for 5 easement types must be added to the plat. I've attached a couple of examples of other plats that include easement language. The Easement provisions must be added for the following easement types:
 - a. Private Drainage Easement
 - b. Public Storm Sewer Easement
 - c. Sidewalk Easement
 - d. Public Sanitary Sewer and Water Main Easement
 - e. Tree Preservation Easement.
2. The label of the public easement on lots 22 and 23 should read "Public Storm Sewer Easement" to match the easement label on lot 13.
3. It would be helpful to show the existing public sanitary Sewer and water main easement outside the plat in the Stonewood Estates of Sussex II subdivision.
4. The bearing of the recorded as line along the west side of Lot 13 has some extra symbols and misplaced symbols. Please correct.
5. Waukesha County should also be listed as a reviewing agency on Sheet 1 of 3.
6. I'd like to see the curve lengths of C3 and C5 (both 28.7') shown on the face of the plat.
7. Why are there 2 lines for each Vision Corner Easement at the Pinewood Court and Carol Ann Circle intersection.
8. I'd like to see the curve lengths of C10 and C12 (both 28.7') shown on the face of the plat.

If you have any questions or concerns, please respond in writing.