



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

Architectural Review Board Agenda
4:00 PM Wednesday, September 6, 2023
Sussex Civic Center – Committee Room Second Floor

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Sussex Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. (If a Quorum is present the Chairperson shall announce, "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during any Public Hearing(s) or if the rules are suspended to allow them to do so.)

1. Roll call.
2. Consideration and possible action on the minutes of June 7, 2023.
3. Discussion and possible action on building and site plans in association with a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.
4. Discussion and possible action on an exception from the Sussex Design Standards in association with a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.
5. Adjournment.

Anthony LeDonne
Chairperson

Jeremy Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Jeremy Smith at 246-5200.



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MEMORANDUM

TO: Architectural Review Board
FROM: Gabriel Gilbertson, Community Development Director
RE: September 6, 2023 Architectural Review Board
DATE: August 31, 2023

The following is background information for the ARB agenda items (Design Standards 3-25-2014)

- I. **Roll call.**
- II. **Consideration and possible action on the ARB minutes of June 7, 2023.**
- III. **Discussion and possible action on building and site plans in association with a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.**

The subject property is zoned BP-1 Business Park District and is the occupied by Beer Capitol – a beverage wholesaler. Beer Capitol operates 24 hours a day Monday through Friday and employs 372 full time employees. A conditional use permit amendment application was submitted for a roughly 98,500 square foot warehouse and loading dock expansion to the existing building which would bring the total size of the building up to 360,926 square feet.

Site

- The building addition will be going on the north side of the existing building where there are currently two wooded areas.
- Additional parking areas will be added to the site; one as an extension to the existing parking lot on the west side of the property, a new parking lot adjacent to the expansion, and additional stalls as part of the loading dock expansion.

Architecture

- The proposed addition will be constructed of the same style and finish of tilt-up concrete panels as the existing building. The color and architecture of the addition will match.

Lighting and Signage

- No signage is proposed with this addition. There is additional lighting proposed. The developer is proposing new parking lot lighting on bases and has been advised that the bases should be buried and not exposed. The proposed site and building lighting will match existing lighting.
- There is some lighting that is shown to spill over the northern property line. Lights should be redirected or shielded to prevent this.

Landscape

- The proposed expansion will eliminate wooded areas that exist on the site and the applicant has submitted a plan documenting the trees to be removed. A Tree Mitigation plan will be reviewed by the Park Board. Mitigation measures include new trees along the northern driveway and adjacent to the northern stormwater basin. Trees within parking lot islands is also proposed in the parking lot expansions.

Policy Question:

1. Are there any concerns with the submitted plans?

Action Items:

1. Approve the site and building plans and recommend the Plan Commission approve the Conditional Use Permit.

Staff Recommendation: Staff recommends the Architectural Review Board approve the site and building plans and recommend the Plan Commission approve the Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.

IV. Discussion and possible action on an exception from the Sussex Design Standards in association with a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.

The Sussex Design Standards require industrial buildings in the Village to have a minimum of 20% of window or door openings on facades that face the street. The Design Standards also require loading docks to be screened and to have very limited impact on neighboring properties.

The existing building does not have any windows or door openings on the facades that face the street. The proposed addition does not include any additional windows or door openings. Staff would not consider the loading dock doors into this equation as they should be located on the backside of the building for screening purposes.

The Sussex Design Standards does allow for exceptions from the standards with approval by the Architectural Review Board and Plan Commission.

Policy Question:

1. Are there any concerns with the requested exception from the Sussex Design Standards to have less than the 20% window and door opening and for the loading docks to be visible from the public right-of-way?

Action Items:

1. Take action on the submitted site plans to approve or deny the exceptions from the Sussex Design Standards.

Staff Recommendation: Staff recommends the Architectural Review Board Staff approve an exception from the Sussex Design Standards for the reduced window and door opening requirements and loading dock location in association with the Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.

VILLAGE OF SUSSEX
SUSSEX, WISCONSIN

Minutes of the Architectural Review Board (ARB) meeting held on June 7, 2023.

President LeDonne called the meeting to order at 4:13 p.m.

Members present: Anthony LeDonne, Gary Foxe, and Mike Knapp

Members absent: Stacy Riedel and Michael Smith

Others present: Gabe Gilbertson, Community Development Director

Consideration and possible action on the minutes of February 1, 2023.

A motion by LeDonne, seconded by Foxe to approve the minutes of the meeting held on February, 1, 2023.

All ayes, motion carried.

Discussion and possible action on a detached garage in the B-4 Central Mixed Use Business District in accordance with Section 17.0419(I)(1) for the property located at N64W23602 Main Street.

A motion by LeDonne, seconded by Foxe to approve the building permit for a detached garage in the B-4 Central Mixed Use Business District in accordance with Section 17.0419(I)(1) for the property located at N64W23602 Main Street subject to Staff confirming green space requirements will be met.

All ayes, motion carried.

Discussion and possible action on a proposed fence located at N64W23589 Ivy Lane.

The applicant, Britney Hammer, N64W23589 Ivy Lane, Sussex, WI 53089 was present to address the Architectural Review Board.

A motion by LeDonne, seconded by Knapp to allow the existing fence to remain until June 30, 2024 at which time the applicant either removes the existing fence or replaces it with a more common fence material.

All ayes, motion carried.

A motion by LeDonne, seconded by Foxe to adjourn the meeting at 4:36 pm.

All ayes, motion carried.

Respectfully submitted,
Jeremy Smith, Village Administrator



PLAN OF OPERATION – NEW CONSTRUCTION
PROCEDURE LIST

Project Name _____

Tax Key # _____

Pre-application conference must be arranged with staff. Please contact us at 262-246-5215 prior to submitting application materials.

Submittal checklist:

- _____ Original completed Plan of Operation (Page 1-3)
- _____ Original completed Professional Services Reimbursement, Emergency Contact, Wastewater Discharge Permit and Flood Plain Occupancy
- _____ 3 original size and 3 reduced (11 x 17) copies of Site Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Architectural plans
- _____ 3 original size and 3 reduced (11 x 17) copies of Sign Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Landscape Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Lighting Plan
- _____ Submit plans in PDF format on a disc

The following fees are required at the time of submittal:

- _____ Plan of Operation fee \$175.00
- _____ Conditional Use fee \$210.00
- _____ Plan Review fee \$250.00

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Please make check payable to: Village of Sussex (fees are non refundable)

Deadline for submittals is the last business day of the month for consideration for the next Plan Commission Agenda. (Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda.). Application can be submitted via email to ggilbertson@villagesussex.org.

Contact Name for meetings: _____ Phone # _____
E-mail: _____

For office use only:

Met with staff on: _____
Received documents on: _____
Fees received and paid on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on PROPERTY _____

SITE PLAN REVIEW CHECKLIST

This checklist is a guide for developers to have a project reviewed by the Village of Sussex Plan Commission. Before a project can be reviewed by the Plan Commission, initial consultation should be made with staff.

GENERAL INFORMATION

Names and addresses of owner/developer/
designer/engineer
Graphic scale, north arrow
Location sketch
Size of site (gross and net acreage)
Existing zoning, adjacent zoning
Summary of proposed development

EXISTING SITE INFORMATION

Dimensions of site and lot lines
Existing grades
Adjacent property grades and structures
Drainage systems and structures
Natural features
Wetland boundaries
Floodplain elevation and boundaries
Environmental concerns
Roads, curbs, parking lots, pavement areas
Structures (location, size)
Rights-of-way (existing/proposed)
Easements (drainage, utility)
Existing utilities
Benchmark locations and elevations
Location of fences, wells, borings, etc.

ARCHITECTURAL PLANS

Existing building location
Existing building elevations/materials
Proposed use
Proposed floor plans
Square footage
Proposed elevations, building height
Proposed materials and colors (material sample
board
required for new construction)
Details of any special features

PROPOSED SITE PLAN

Grading and spot elevations
Erosion control measures
Stormwater management
Stormwater management design report
General drainage pattern
Swales w/ arrows for direction of flow
Pond design with outfalls
Culverts location/size
Utilities
Sanitary
Water
Stormsewer
Electrical or power generators
Building location (dimension)
Building elevation (finished grade)
Location of proposed signage
Dumpster enclosure details
Setbacks (clearly marked and dimensioned)
Vehicular entrances (dimension to centerline of
nearest intersection)
Streets (dimension and direction for one-ways)
Curve radii
Sidewalks
Parking areas (show striping/spot elevations)
Parking setback from property line
Lot coverage
Square footage total
Impervious surface total %
Green space total %
Percent permitted %
Municipal utility connections
Sanitary sewer (pipe size/elevations)
Water (size, valve location, elevations)
Location of hydrants
Easement for public water mains

LIGHTING PLAN

Major improvements for context
Location/nature of existing fixtures
Location of proposed fixtures
Photometric report (to scale on plan)
Manufactures cut-sheets of all fixtures
Lighting schedule
Key to plan
Number/type of fixtures
Output (wattage)
Installation details as appropriate

The following materials can be reviewed on our website www.villagesussex.org

Design Standards
Chapter 17 & 18
Development Requirements
Downtown Plan
2040 Comprehensive Plan
2040 Land Use Plan

LANDSCAPING PLAN

Landscape plan to be same scale as site plan
Location of driveways, walk ways and sidewalks
Proposed outdoor amenities (benches, decks, gazebos)
Existing vegetation plan
Saved
Destroying
Proposed landscape features (berms, fountains)
Plant list broken down in the following categories
Deciduous trees, names and numbers
Evergreens, names and numbers
Shrubs/flowers, names and numbers
Indicate sizes of plantings

Fire Department Chapter 5

ITEMS SUBMITTED FOR PLAN COMMISSION

Completed Plan of Operation
Required # of copies to be received by established deadline date
Building material sample board
All required fees paid

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.



PLAN OF OPERATION

To be used for a business with new construction.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

OR an amendment to an existing CU? _____

(Conditional Use Permits require a Public Hearing)

Address location of new construction _____

Tax Key # _____

Zoning: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts:

_____ Employees

_____ Shifts

Please see attached narrative

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. Please see attached narrative
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____ Arcade permit? _____
If yes, explain: _____
If yes, please obtain and complete form.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____
If yes, explain: _____

11. Dimensions and levels of all buildings:

	Dimensions	Levels	Square footage
Building 1	_____	_____	_____
Building 2	_____	_____	_____
Building 3	_____	_____	_____

Is the building(s) to be used for multi-tenant purpose? _____

12.	Lot size	Depth	Width	Area
	_____	_____	_____	_____
	<i>Above to be included on survey</i>			

- 13 Parking: Dimensions of parking lot _____
Parking lot construction _____
Type of screening: Fence _____ or Plantings _____
Number of spaces needed per code _____ # of spaces for employees _____
Above to be included on site plan

Please provide the following information:

Total square footage of building, new and existing _____

Total square footage of parking lot, new and existing _____

14. Signs: Type: Free standing _____ Attached to building _____
no new signage Lighted _____ Single or double faced _____
Size _____ Location _____
Above to be included on sign plan

15. What security lighting are you proposing? (Please include on lighting plan)

16. Is there a need for outside storage? _____ If yes, explain:

17. Is a Highway access permit needed from the state or County Highway Departments? _____

If yes, please attach a copy of the secured permit.

What conditions has the State or County imposed upon your permit?

18. Is there a need for any special type of security fencing? _____

If yes, what type? _____

19. What provisions are you making for fire protection? _____

What provisions are your making for a sprinkler system? _____

Storage system? _____

Hydrant stand pipes? _____

Is there a fire lane shown on your site plan? _____

Explain: _____

20. Surface water drainage facilities and impervious areas, describe and/or include on site plan.

21. Did Wisconsin State Department of Industry Labor and Human Relations approve building plans?

_____ If yes, explain: _____

22. Please give a timetable for items to be completed:

Building construction _____

Paving _____

Landscaping _____

Occupancy _____

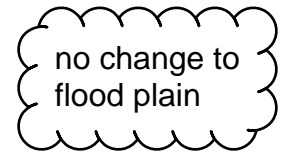
I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position



Information on Flood Plain Occupancy:

1. What is the flood plain elevation at the site? _____
2. Is the flood plain construction elevated or flood proofed? Elevated _____ Flood proofed _____
3. What is the elevation of the lowest floor of the structure? _____
4. What is the elevation of the land fill surrounding the structure? _____
5. Does the fill extend beyond the structure? _____
How far beyond the structure? _____ feet
6. Is dry land access provided? _____
7. If the structure is flood proofed, what flood proofing measures are used?

8. Certification of elevation or flood proofing must be provided by a licensed surveyor or registered Engineer.



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**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



no change to
existing discharge

WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes

No (no change)



BRIOHN BUILDING CORPORATION

Caitlin LaJoie
Briohn Building Corporation
3885 N Brookfield Rd, Suite 200
Brookfield, WI 53045

July 31, 2023

Village of Sussex
N64W23760 Main Street
Sussex, WI 53089

VIA Email: Gabe Gilbertson (ggilbertson@sussexwi.gov)

Dear Village Staff, Commissioners, and Board Members:

Briohn Building Corporation is pleased to present the following proposal on behalf of Beer Capitol ("Developer") to the Village of Sussex ("Village") for the proposed addition ("Development") to their existing facility.

Subject Site

The subject site ("Site") is located at W222N5700 Miller Way, Sussex, WI 53089 (Tax Key SUXV0244992002) and is approximately 24.18 acres. The Site is currently zoned BP-1 with Exceptions, which will remain.

Company History

Beer Capitol was founded in 1933 and is now in its fourth generation of being family owned and operated. In 2016, Frank Beverage Group acquired Beer Capitol which has proven to be a successful venture as the two companies have many shared values. The Sussex headquarters continues to be a state-of-the-art facility as multiple additions have occurred over the years to accommodate a growing customer base of over 3,100 customers.

Beer Capitol is open Monday through Friday 24 hours and employs 372 full-time employees. There are approximately 80 warehouse employees, 96 delivery/transport drivers, 163 sales/merchandising employees, and 33 administrative employees. Additionally, there are 35 yearly part-time employees plus 40 summer employees. The addition is expected to assist in territory and supplier growth.

Beer Capitol is a beverage wholesaler whose facility sells approximately 9 million case equivalences of beer annually. Below is a list of top suppliers, by volume:

- Molson Coors Beverage Company

- Constellation Brands (Coronoa, Modelo)
- Mikes Hard Lemonade (Mikes, White Claw)
- Pabst Brewing Company
- Boston Beer Company (Sam Adams, Truly, Twisted Tea)
- Heineken
- Lakefront Brewery
- Premium Waters
- FIFCO (Seagram's)
- New Belgium Brewing (New Belgium, Bells)
- Eagle Park
- Raised Grain
- Stevens Point Brewery
- City Lights
- Sprecher Brewery

Vision of Development

The Developer is seeking approvals for the site plan, architecture, conditional use permit amendment, and proposed tree replacement from the Village. After completing a wetland delineation, a request for artificial wetland exemption was submitted to the WDNR on 7/27/23. Additional coordination and/or approvals from the county, state, and utility companies will be obtained as needed.

The proposed addition is to expand the existing warehouse to the north by 84,668 SF plus a loading dock addition of 13,800 SF with 10 overhead doors for a total building size (existing plus proposed) of 332,618 SF. There will be additional parking stalls to accommodate employees. Proposed interior alterations to increase efficiencies include relocating the combined cooler, creating new staging areas and modifying the dock enclosures along the southern wall. The Development will be fully sprinkled (NFPA 13) throughout with ESFR in all S-1 occupancy areas; Type 2B construction with primary occupancies as S-1 (storage moderate hazard) and secondary occupancy as B (business).

The Development will meet all BP-1 bulk zoning requirements, summary below:

	BP-1 Standard	Development
Front Setback	40'	76.1'
Side Setback	25'	137.7'
Rear Setback	25'	167.3'
Max Building Height	60'	30'
Min Open Space	25%	39% (403,584 SF)
Max Lot Coverage	75%	61% (642,983 SF)
Parking		276 car parking stalls 49 trailer parking stalls 29 van spaces

The Development is designed to be consistent with the existing building while meeting Beer Capitol's demand for additional warehouse space.

The proposed landscape plan has been prepared by a professional landscape architect. The design will meet or exceed Village ordinance and provide adequate screening.

Entitlement and Construction Timeline

08/15/2023 – Plan Commission meeting to accept application and set public hearing

08/21/2023 – Anticipated WDNR wetland approval

09/19/2023 – Plan Commission public hearing to approve site plan

10/04/2023 – Architectural Review Board meeting

10/17/2023 – Plan Commission public hearing to amend conditional use permit

A tree survey was completed and the Developer will present findings to the Parks Board at an upcoming meeting (to be coordinated with Staff).

Building permits will be applied for immediately so earth work can begin this fall, allowing Beer Capitol to be operational in the addition prior to Memorial Day 2024.

Materials and Image

The Developer has reviewed and understands the architectural design elements required by the Village. The preliminary design meets or exceeds the code while being aesthetically pleasing. Please reference Exhibit B attached hereto for proposed renderings; full size hard copies and electronic plans provided.

Contact Information

Dom Ferrante, Vice President - Architecture | Briohn Design Group
dferrante@briohn.com | 262-790-0500 x 405

Peyton Paquin, Senior Project Manager | Briohn Building Corporation
ppaquin@briohn.com | 262-790-0500 x 284

Kyle Roadt, Project Manager | Briohn Building Corporation
kroadt@briohn.com | 262-790-0500 x 286

Caitlin LaJoie, Director of Land Development | Briohn Building Corporation
clajoie@briohn.com | 262-307-8792

Conclusion

Thank you for reviewing and discussing the proposed development with our design team. We look forward to continuing the conversation with the Village. Should you have any further questions, please do not hesitate to contact me.

Sincerely,

Caitlin LaJoie, Director of Land Development
Briohn Building Corporation

Exhibit A – Aerial View

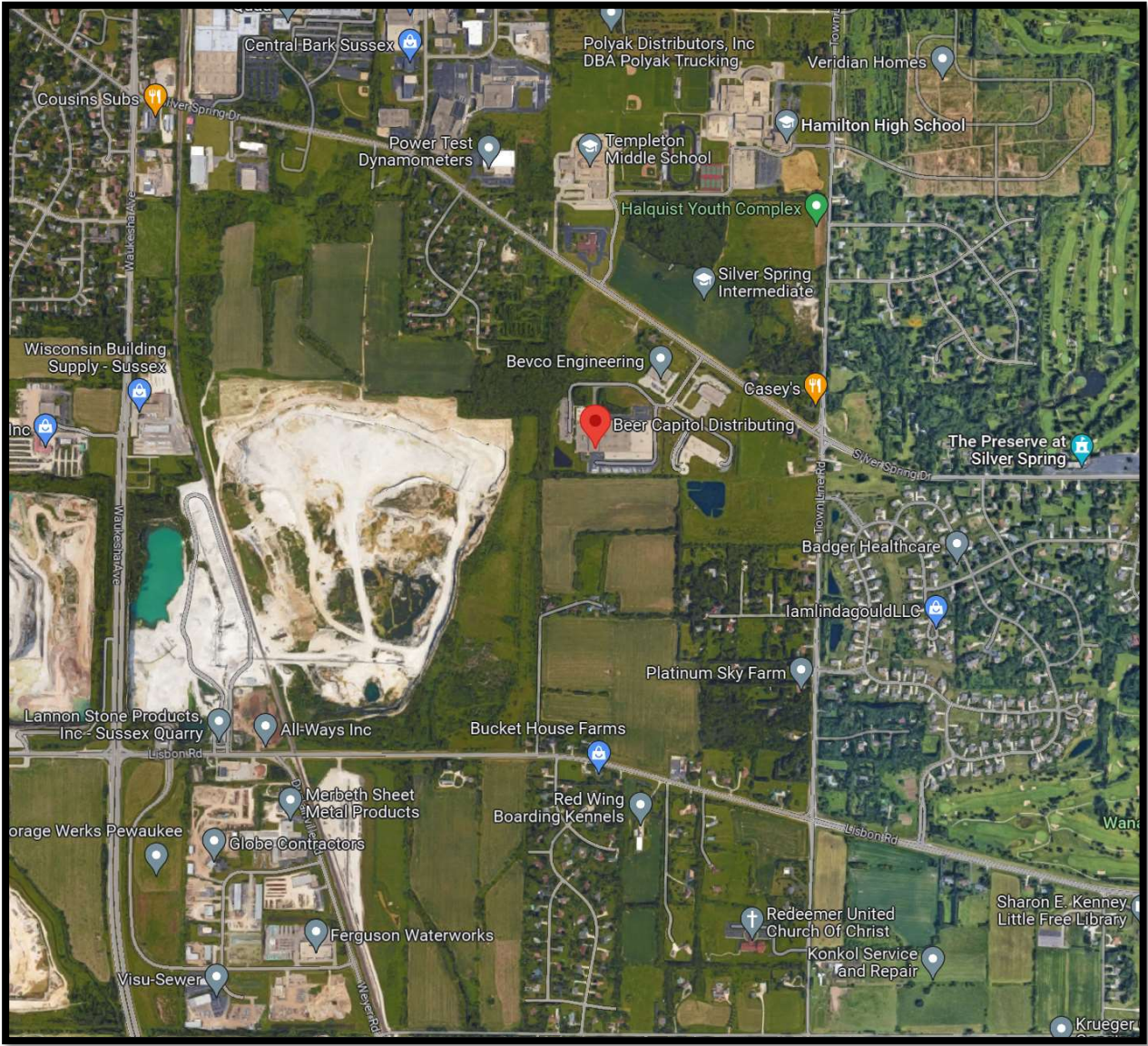
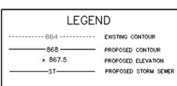




Exhibit B – Preliminary Site Plan, Elevations, and Renderings

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CJE NO.: CJE2329R3
JULY 28, 2023



www.DiggerHotline.com

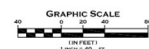
DIGGERS HOTLINE

DIAL 811 OR (800) 242-8511

NOTES:

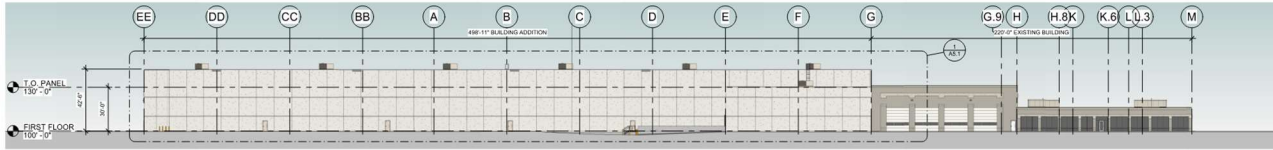
1. SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE OF THE CURB.

2. ***

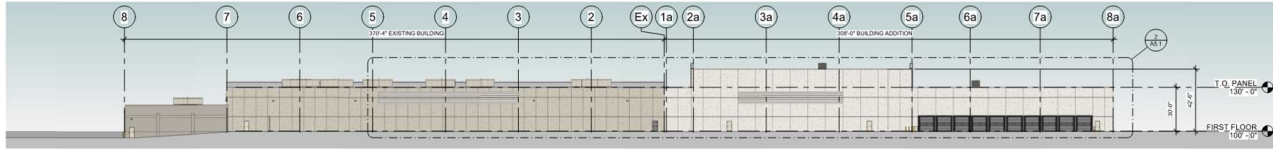


SITE PLAN

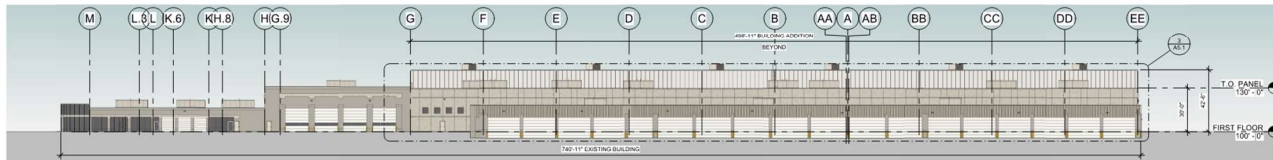
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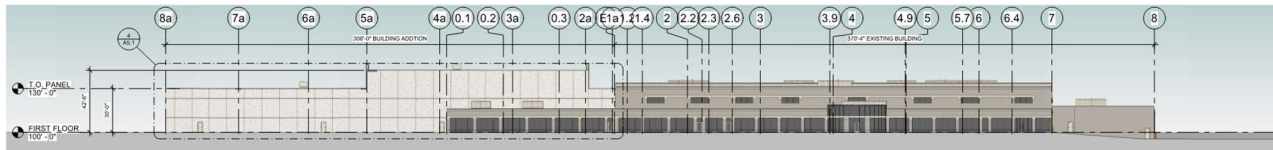
1 NORTH ELEVATION
1" = 30'-0"



2 EAST ELEVATION
1" = 30'-0"



4 SOUTH ELEVATION
1" = 30'-0"



3 WEST ELEVATION
1" = 30'-0"

WALL COLOR LEGEND

COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1 1/2" DEEP REVEAL

EXTERIOR SYSTEMS

ROOF ASSEMBLY (AMBIENT): BALLASTED 40 MIL EPDM ROOF MEMBRANE ON 4" DIRECT TO SLAB APPROVED DFI INSULATION (SEE TWO LAYERS OF 2" STAGGERED ON METAL DECK (SEE STRUCTURAL DRAWINGS))

INSULATED PRECAST WALL PANEL SYSTEM: 12" INSULATED PRECAST CONCRETE WALL PANEL (R-19)

INSULATED METAL WALL PANEL SYSTEM: 3" INSULATED METAL REVEAL WALL PANEL SYSTEM (R-42)

PRECASTER NOTE

PRECASTER TO PROVIDE COVERS FOR ALL ROUND RECESSED HOLES AND PROVIDE CLOSED GILL GRAY FOAM INSULATION WITH STEEL REINFORCED METAL COVER PLATE FOR ALL OTHER SHAFT OPENINGS OR RECESSED METAL BEAM JOINTS, JOIST GIRDERS BEARING OR OTHER PUNCTURED CONDITIONS ON INTERIOR SIDE OF THE PRECAST WALL PANELS

THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 4 (PER ICC SECTION 602) PER TABLE 602.2 (1) BUILDING ENVELOPE REQUIREMENTS - CLIMATE ZONE 4

ROOFS - PROPOSED ROOF INSULATION MINIMUM ABOVE DECK R-20 REQUIRED AND R-20 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.301 REQUIRED AND R-140 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW GRADE AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 602.3 BUILDING ENVELOPE REQUIREMENTS PENETRATION

VERTICAL PENETRATION LINE MAXIMUM ALLOWED ABOVE GRADE (IF ACTUAL PROVIDED REQUIRED) - FACTOR 40 ACTUAL PROVIDED 29 AND SHIP 2

RECESSIONS

CA202.5 AIR (LEAKAGE THERMAL ENVELOPE, PROPOSED BUILDING COMPLETES.

CA202.5 AIR BARRIER PER CA202.5.1.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE, PROPOSED BUILDING COMPLETES.

CA202.5.1 AIR (LEAKAGE PENETRATION SEE EXCEPTION 1. FIBER FABRICATED PENETRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION CA202.5.1, PROPOSED BUILDING COMPLETES.

CA202.5.1 ROOMS CONTAINING FUEL-BURNING APPLIANCES EXCEPT 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTRIBUTING TO OUTSIDE, PROPOSED BUILDING COMPLETES.

CA202.5.1 DOORS AND ACCESS OPENINGS TO DRAPES, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES, NOT APPLICABLE TO PROPOSED BUILDING.

CA202.5.1 AIR INLETS, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED, PROPOSED BUILDING COMPLETES.

CA202.5.1 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS, PROPOSED BUILDING COMPLETES.

CA202.5.1 VENTILATION EXCEPT 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, OR INTENDED SOLELY FOR EMPLOYEE USE, EXCEPT 4. DOORS MAY OPEN DIRECTLY FROM A SPACE LESS THAN 300 SQUARE FEET IN AREA, EXCEPT 4. DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS, PROPOSED BUILDING COMPLETES.

CA202.5.1 RECESSED LIGHTING, NOT APPLICABLE TO PROPOSED BUILDING.

Revision	By	Date
1	AL	2/20/24
2	AL	2/20/24
3	AL	2/20/24
4	AL	2/20/24
5	AL	2/20/24
6	AL	2/20/24
7	AL	2/20/24
8	AL	2/20/24
9	AL	2/20/24
10	AL	2/20/24
11	AL	2/20/24
12	AL	2/20/24
13	AL	2/20/24
14	AL	2/20/24
15	AL	2/20/24
16	AL	2/20/24
17	AL	2/20/24
18	AL	2/20/24
19	AL	2/20/24
20	AL	2/20/24



① PERSPECTIVE VIEW LOOKING SOUTH / SOUTHEAST
10/1/17



② PERSPECTIVE VIEW LOOKING SOUTH / SOUTHEAST
10/1/17



③ PERSPECTIVE VIEW OF EXISTING LOADING DOCK LOOKING NORTH / NORTHEAST
10/1/17



EXTERIOR RENDERINGS

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITAL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN



T1.1

PROPOSED NEW WAREHOUSE AND LOADING DOCK ADDITIONS FOR:

BEER CAPITOL DISTRIBUTING

W222 N5700 MILLER WAY
SUSSEX, WISCONSIN 53089



1 AERIAL VIEW LOOKING NORTH / NORTHEAST
12" = 1'-0"



2 AERIAL VIEW LOOKING SOUTH / SOUTHWEST
12" = 1'-0"

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0 - GENERAL	
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TI.1	EXTERIOR RENDERINGS
1 - SPECIFICATIONS	
GS.1	SPECIFICATIONS
GS.2	SPECIFICATIONS
2 - SURVEY	
SV-1.0	EXISTING CONDITIONS SURVEY
SV-2.0	TREE INVENTORY MAP
3 - CIVIL	
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C1.1	FIRE APPARATUS PLAN
C1.2	WB-67 TURNING MOVEMENT
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	EROSION CONTROL PLAN
C5.0	SITE DETAILS
C6.0	SITE DEMO PLAN
4 - LANDSCAPING	
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN ENLARGEMENT
L2.0	LANDSCAPE NOTES & DETAILS
5 - ARCHITECTURAL	
A0.1	ARCHITECTURAL SITE PLAN
A1.0	OVERALL SITE AND FLOOR PLAN EXISTING CONDITIONS
A1.1	OVERALL FLOOR PLAN
A1.2	ENLARGED FIRST FLOOR PLAN
A1.3	ENLARGED EXISTING FIRST FLOOR PLAN
A4.0	OVERALL ROOF PLAN
A5.0	OVERALL EXTERIOR ELEVATIONS
A5.1	ENLARGED EXTERIOR ELEVATIONS
A6.0	BUILDING LINE OF SIGHT SECTIONS
7 - ELECTRICAL	
E1.0	SITE LIGHTING PLAN
E2.0	LIGHTING CUT SHEETS
E2.1	LIGHTING CUT SHEETS

PLAN COMMISSION SUBMITTAL SET JULY 31, 2023

OWNER :	GENERAL CONTRACTOR :
BEER CAPITOL DISTRIBUTING GARY GENZ	BRIOHN BUILDING CORPORATION Kyle Roadt, PM
W222 N5700 MILLER WAY SUSSEX, WI 53089	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX
ARCHITECT :	STRUCTURAL ENGINEER:
BRIOHN DESIGN GROUP, LLC Domenico Ferrante, AIA	BRIOHN DESIGN GROUP, LLC Kevin Jankowski, PE
3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX
CIVIL ENGINEER:	LANDSCAPE ARCHITECT:
CJ ENGINEERING Christopher A. Jackson, P.E.	HELLIANTHUS LLC Kristi Sherfinski, PLA
9205 WEST CENTER STREET, SUITE 214 MILWAUKEE, WISCONSIN 53222 (414) 443-1312 PHONE (414) 443-1317 FAX	1836 W. FOND DU LAC AVE., SUITE 100 MILWAUKEE, WISCONSIN 53205 (414) 622-0103 PHONE

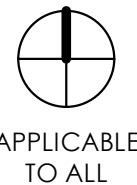
PROJECT LOCATION:



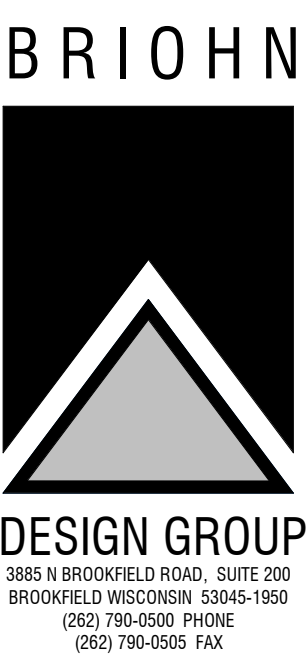
SITE LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366 ACCESSIBILITY CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ENERGY CODE: 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363 MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364 PLUMBING CODE: 2014 WISCONSIN PLUMBING CODE SPS 381-387 ELECTRICAL CODE: 2017 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS31.6 FIRE CODE: SPS 314 FIRE PREVENTION	
OCCUPANCY:	PRIMARY S-1 (MODERATE HAZARD STORAGE) SECONDARY B (BUSINESS)
CLASS OF CONSTRUCTION:	TYPE 2B UNLIMITED AREA BUILDING PER IBC 507
SPRINKLER SYSTEM:	NFPA 13 OVERALL: ESFR FOR S-1 OCCUPANCY AREAS
FLOOR LEVELS:	1
NUMBER OF STORIES	1
TOTAL SITE AREA:	TOTAL CURRENT SITE 1,046,567 SF / 24.0259 ACRES
TOTAL EXISTING BUILDING AREA:	262,458 SF
PROPOSED WAREHOUSE ADDITION:	84,668 SF
PROPOSED LOADING DOCK ADDITION:	13,800 SF
TOTAL PROPOSED BUILDING AREA:	98,468 SF
TOTAL PROPOSED & EXISTING BUILDING AREAS:	360,926 SF
NOTE:	ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS



APPLICABLE
TO ALL
PLAN VIEWS

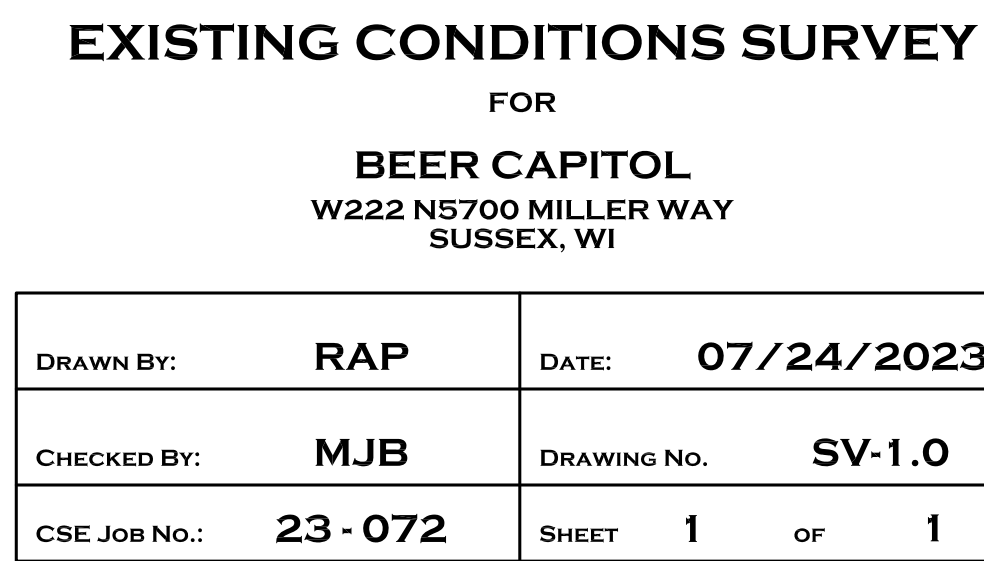


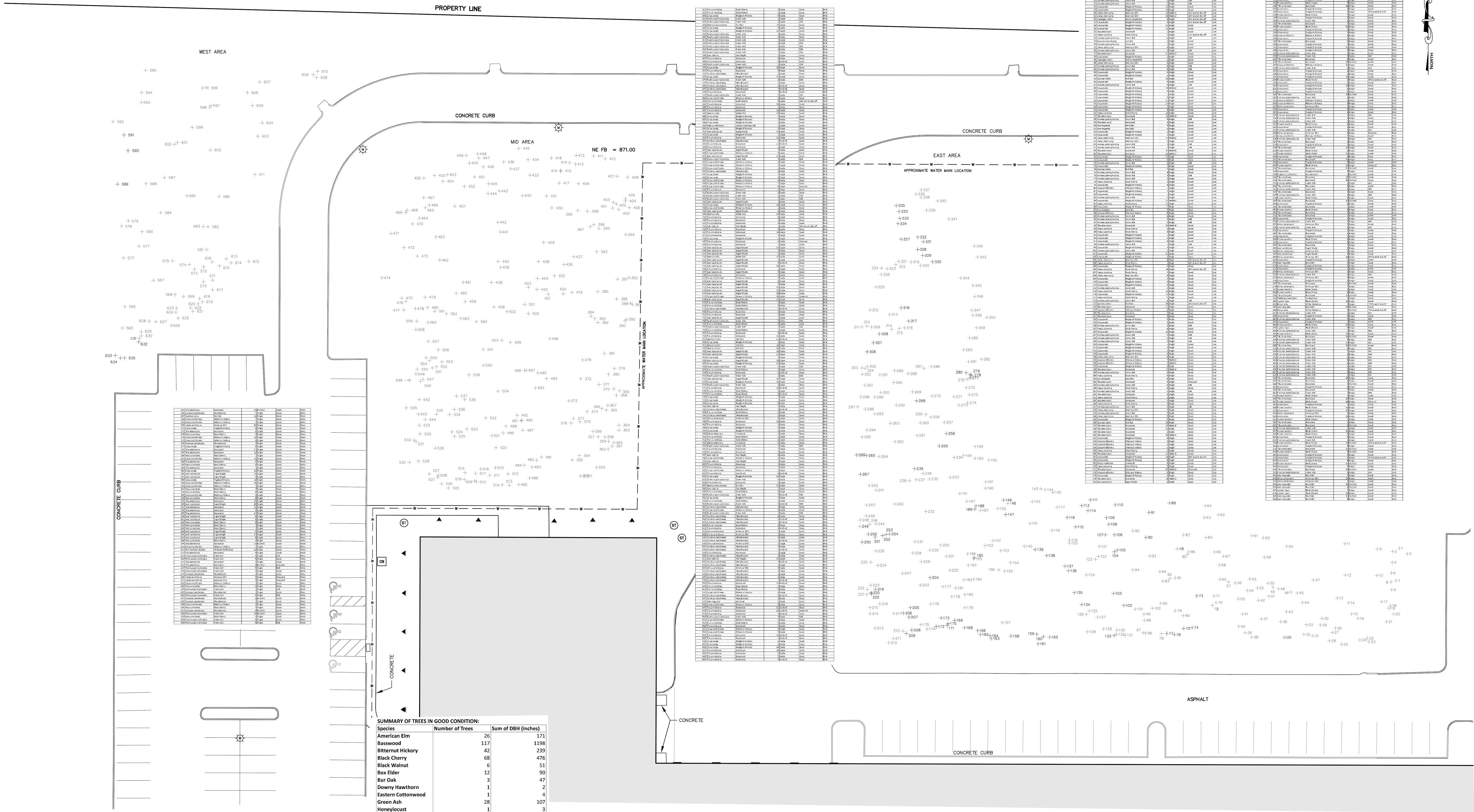
TITLE SHEET

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Revision	
Date	
JOB:	230041
DRAWN:	CK
CHECKED:	DF
DATE:	07/31/2023
SHEET:	T1.0

[illegible]





TREE INVENTORY MAP

FOR

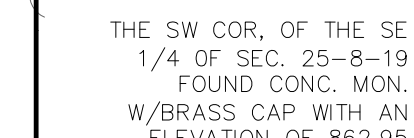
BEER CAPITOL
W222NN5700 MILLER WAY
SUSSEX, WI

DRAWN BY:	RAP	DATE:	07/26/2023
CHECKED BY:	MJB	DRAWING NO.	EC-TREE
CSE JOB NO.:	23-072	SHEET	SV-2.0

SUSSEX, WISCONSIN

CJE NO.: CJE23
JULY 31, 2023

C1.0

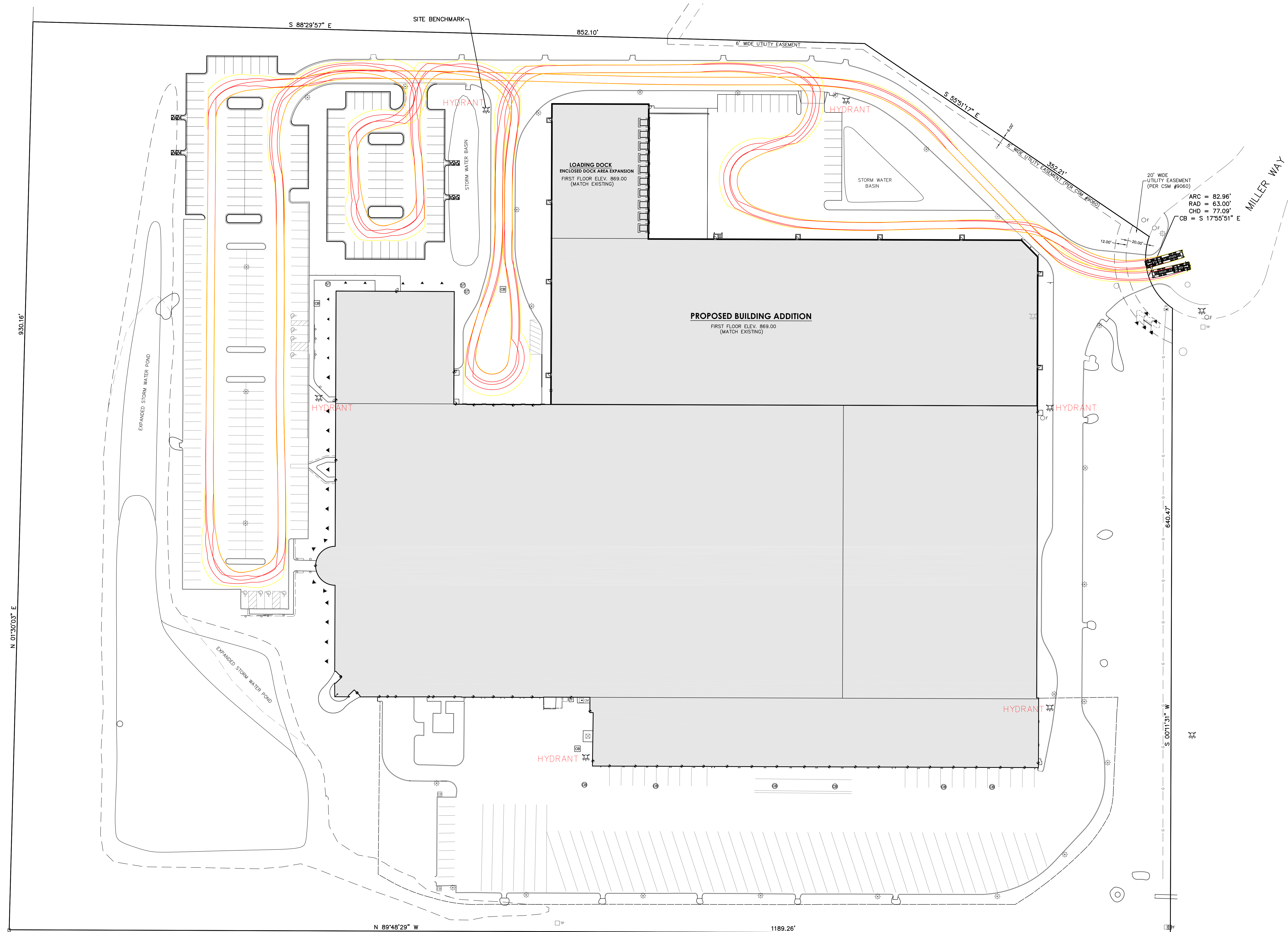


DIAL **811** OR (800) 242-8511

GRAPHIC SCALE

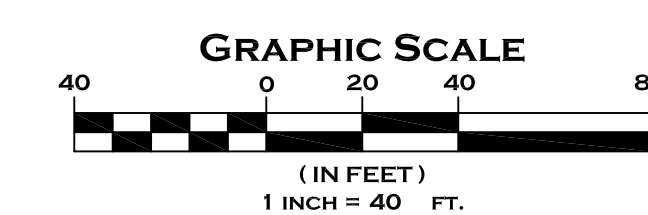
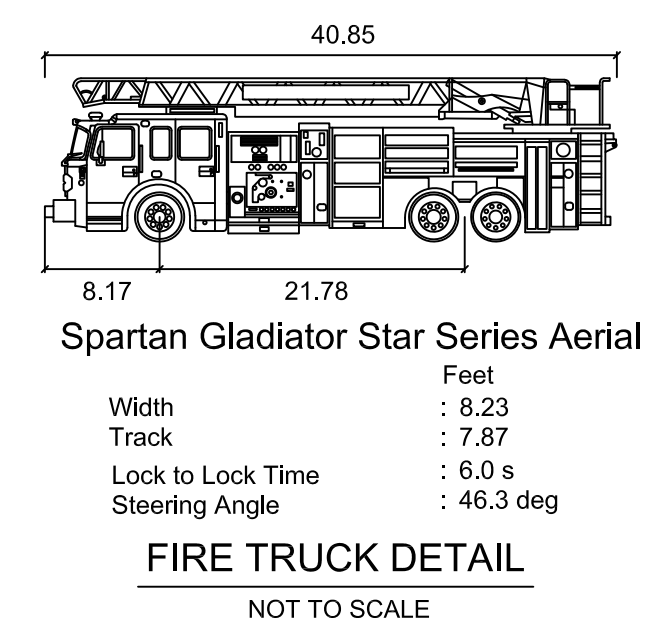
(IN FEET)
1 INCH = 40 FT.

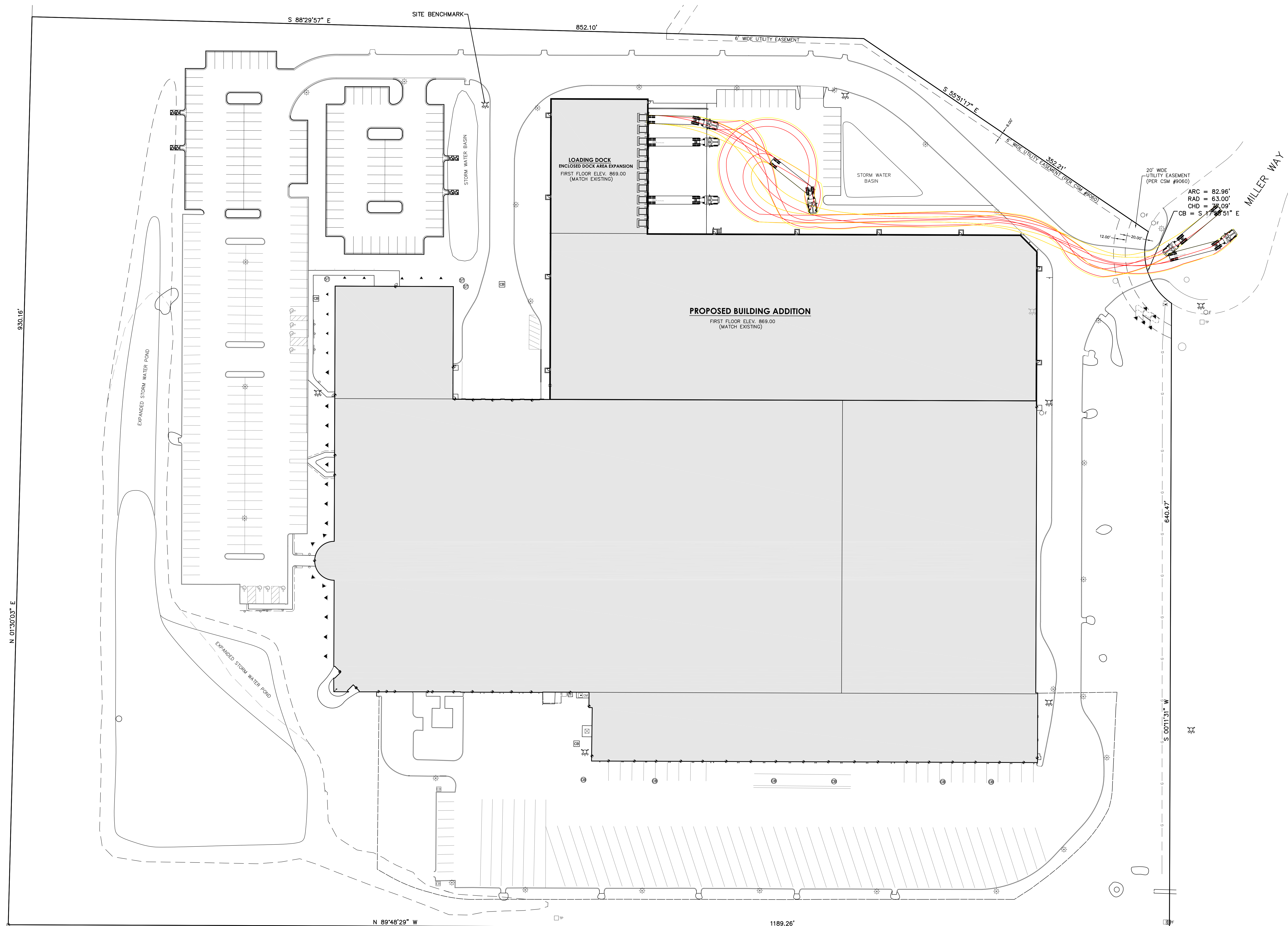
TOTAL SITE AREA = 1,046,567 S.F. (24.026 ACRES)



LEGEND

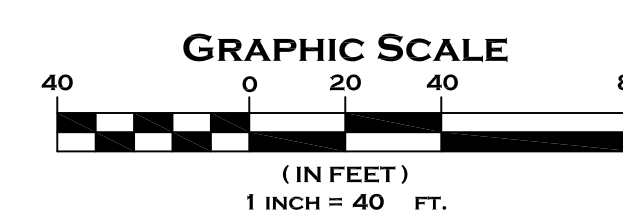
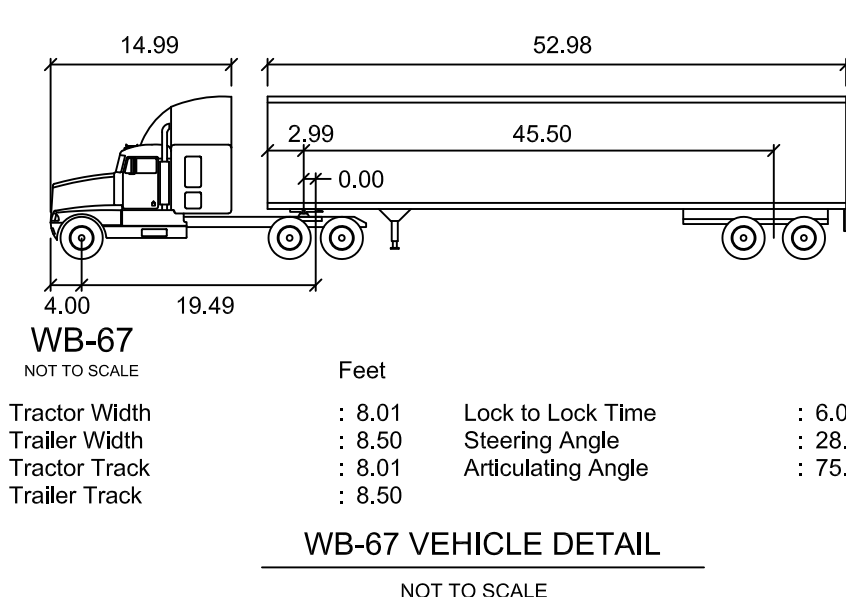
- FRONT WHEEL PATH
- REAR WHEEL PATH
- VEHICLE BODY OVERHANG





LEGEND

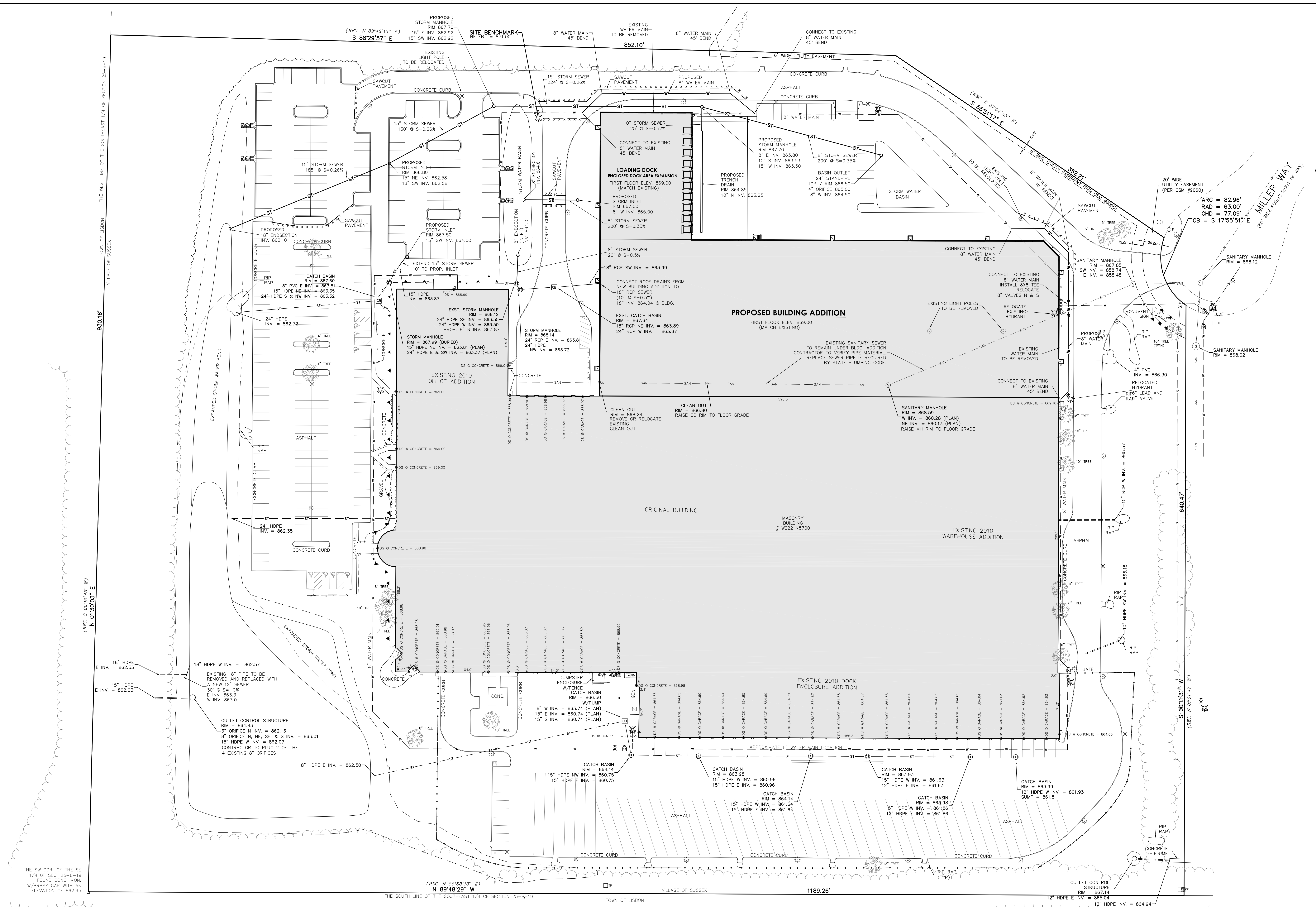
- FRONT WHEEL PATH
- REAR WHEEL PATH
- VEHICLE BODY OVERHANG





BEER CAPITOL
SUSSEX, WISCONSIN

CJE NO.: CJE2329R4
JULY 31, 2022

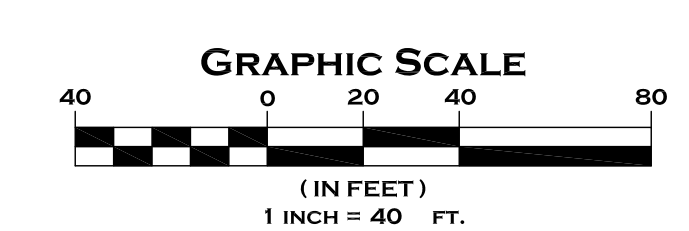


LEGEND

—ST—	EXISTING STORM SEWER
—ST—	PROPOSED STORM SEWER
—SAN—	EXISTING SANITARY SEWER
—SAN—	PROPOSED SANITARY SEWER
—W—	EXISTING WATER MAIN
—W—	PROPOSED WATER MAIN
—G—	BURIED GAS MAIN
—//—	OVER HEAD WIRE
—E—	BURIED ELECTRIC



- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF SUSSEX REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 8.4.3.4 AND PER FILE NO. 4 COMPACTED SECTION (CLASS "B" BEDDING).
 3. PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR AND PLUMBER SHALL VERIFY THE SIZE, SLOPE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING. DOCUMENTATION CONFIRMING THE SIZING REQUIREMENTS SHALL BE PROVIDED TO THE CITY PRIOR TO ANY CONSTRUCTION OF THE SANITARY AND WATER SERVICES.
 4. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6.0 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. UTILITY SPECIFICATIONS:
WATER SERVICE: CLASS 150 PVC; AWWA C900, SDR 18
STORM SEWER: ADS HDPE N-12



SITE UTILITY PLAN

C3.0

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. INSTALL CONSTRUCTION EXIT.
3. INSTALL SILT FENCE.
4. INSTALL INLET PROTECTION IN EXISTING INLETS AS SHOWN ON PLAN.
5. REMOVED EXISTING TREES IN THE AREA OF NEW DEVELOPMENT.
6. SAWCUT AND REMOVE PAVEMENT (SEE DEMO PLAN).
7. ROUGH GRADE SITE.
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES.
10. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
11. INSTALL OUTLET PROTECTION.
12. INSTALL BASE COURSE OF PAVEMENT.
13. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
14. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
15. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
16. ESTIMATED TIME BEFORE FINAL STABILIZATION -10 MONTHS.

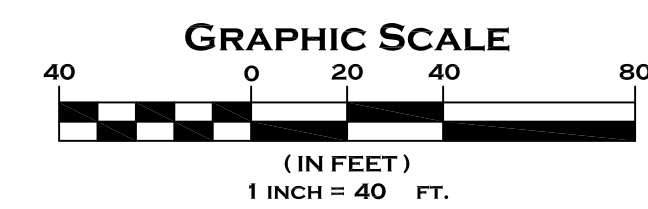


BEER CAPITAL SUSSEX, WISCONSIN

EROSION CONTROL PRACTICES

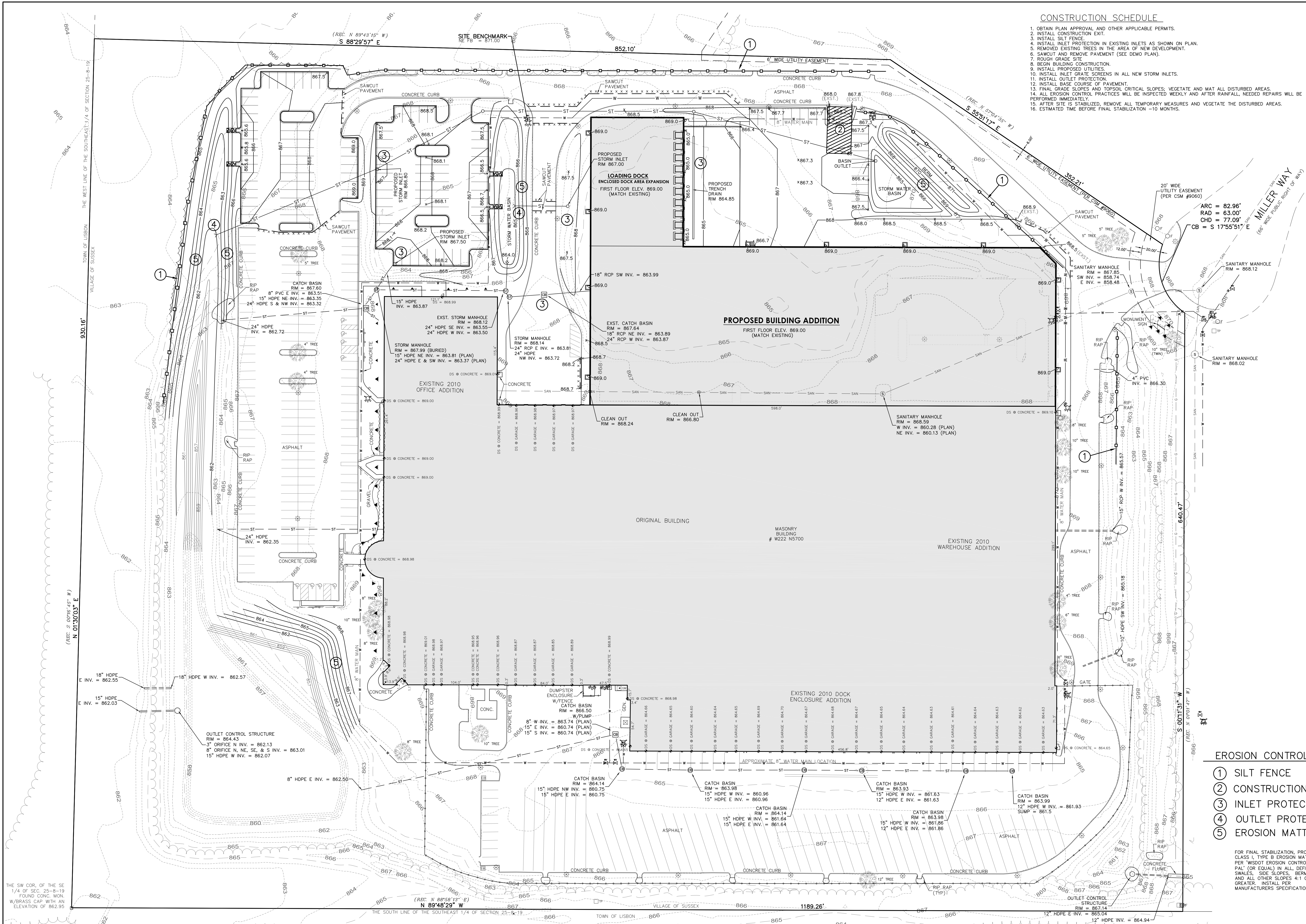
- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ OUTLET PROTECTION
- ⑤ EROSION MATTING

FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER WISDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.



EROSION CONTROL PLAN C4.0

CJE NO.: CJE2329R4
JULY 31, 2023



NOTES:

1. SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE OF THE CURB.
2. DISTURBED AREA: 256,400 S.F. 5.89 ACRES

LEGEND

--- 864 ---	EXISTING CONTOUR
--- 868 ---	PROPOSED CONTOUR
x 867.5	PROPOSED ELEVATION
--- ST ---	EXISTING STORM SEWER
--- ST ---	PROPOSED STORM SEWER
--- S ---	SILT FENCE LOCATION

www.DiggersHotline.com



TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROPS) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131*	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

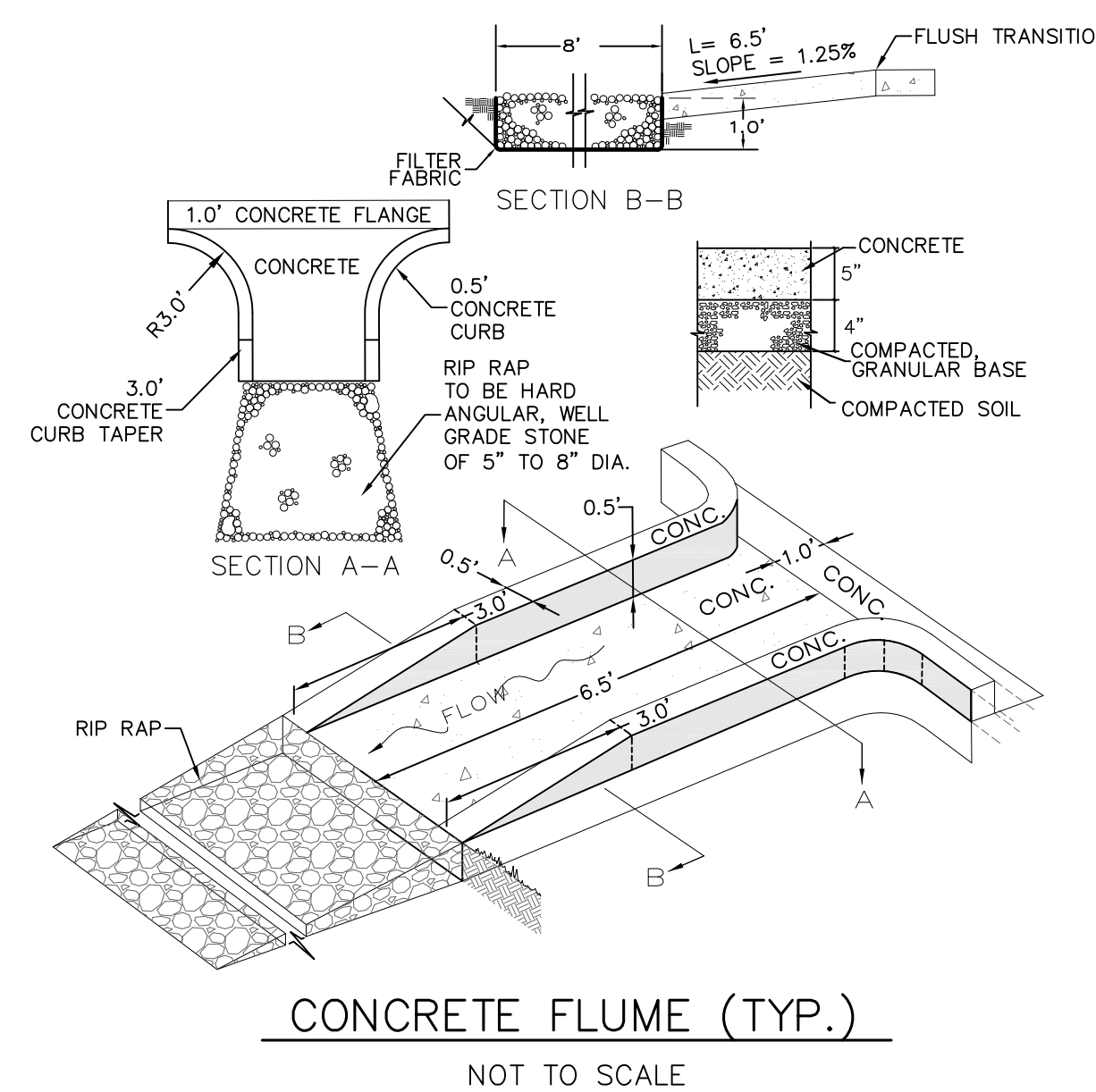
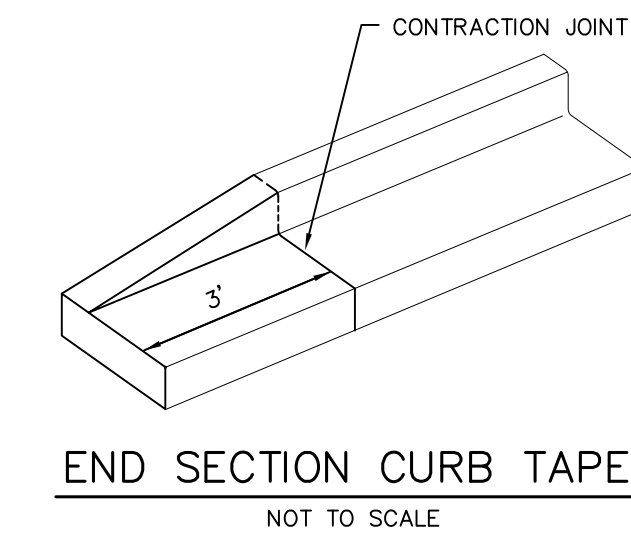
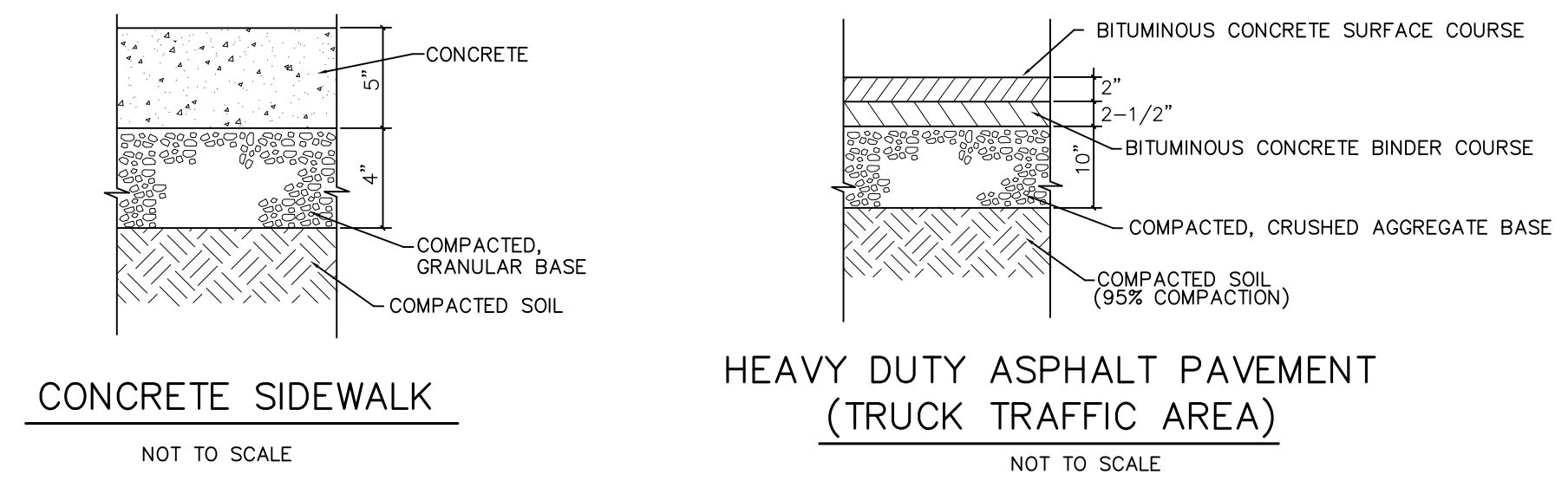
* Fall Seeding

LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST MOOT PAL (UPDATED 11/2/2017) - SEE MWR TECHNICAL STANDARD 1050.

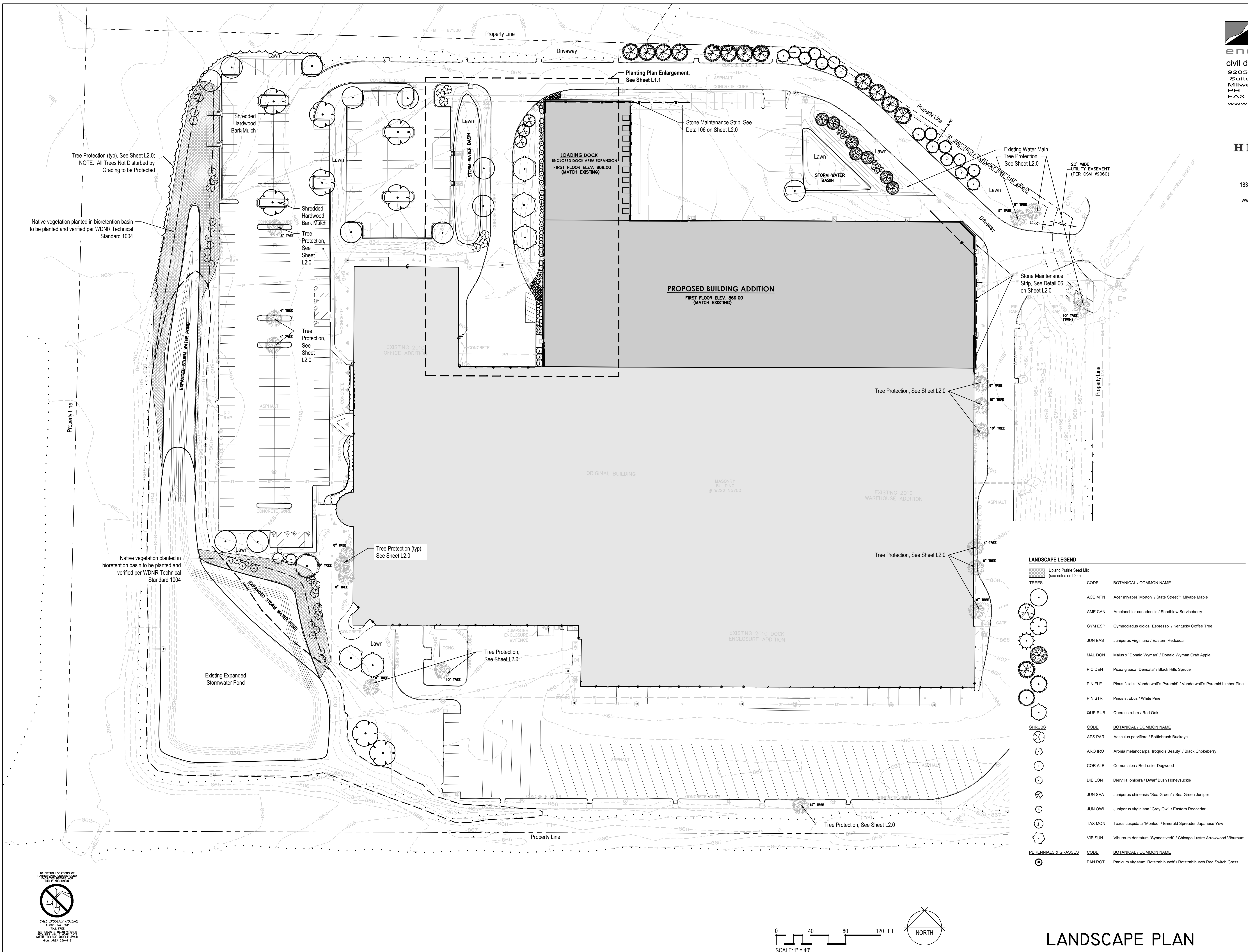
STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

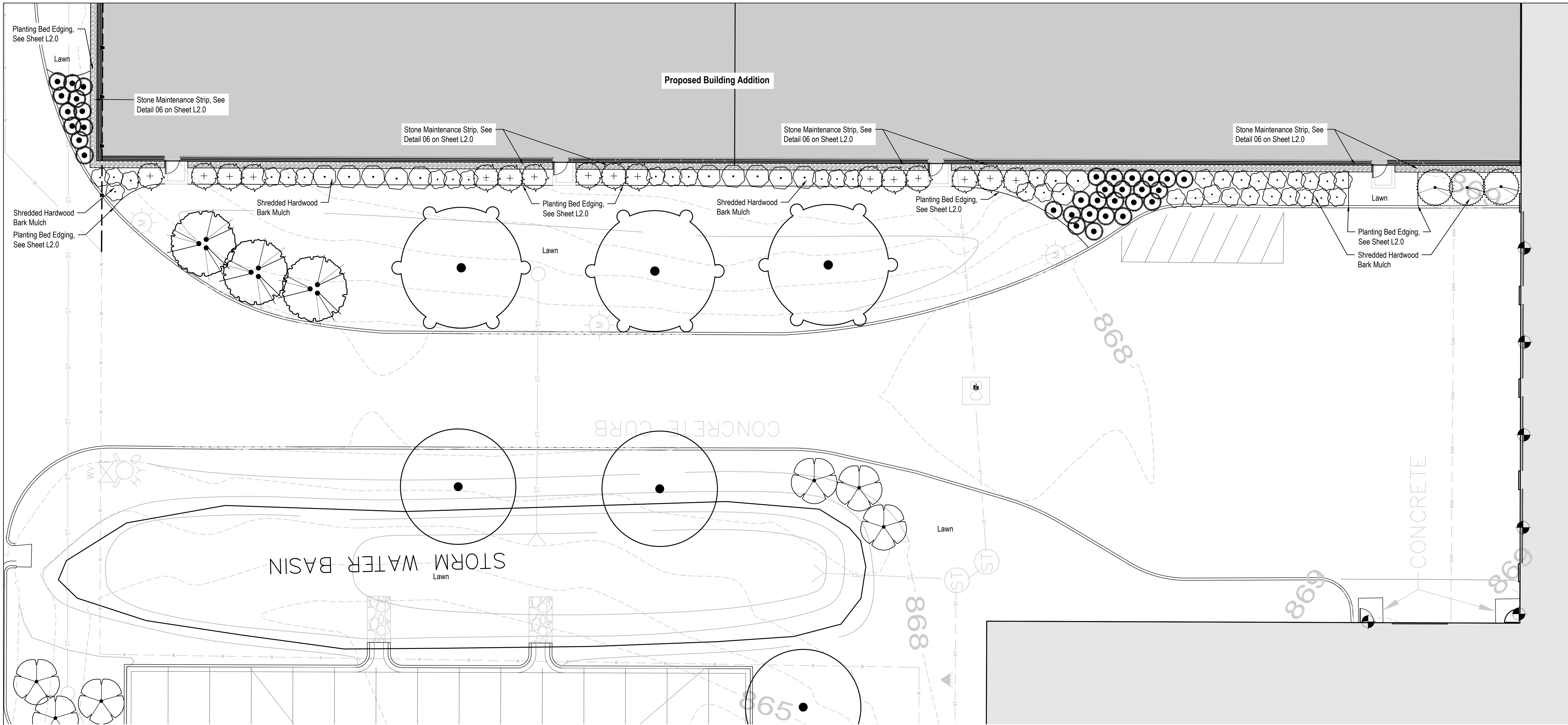
MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, RESEEDING AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE, VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



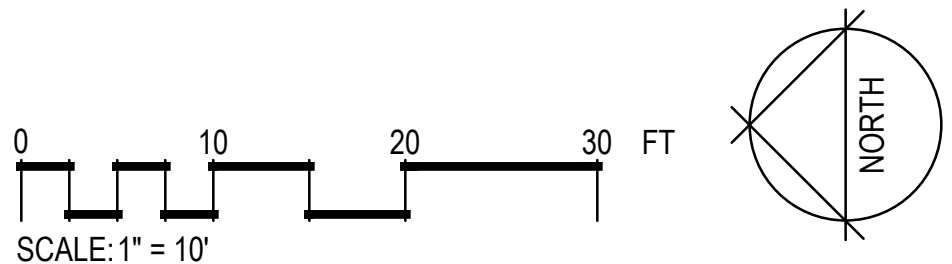






TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND UTILITY SERVICES, YOU MUST CALL 811.

CALL DIGGERS HOTLINE
1-800-4-A- Dig
TOLL FREE
MIS STATUTE, REGISTRATION
REQUIRED AND 15 MINUTE
NOTICE BEFORE YOU EXCAVATE
MILWAUKEE 201-1181



LANDSCAPE PLAN
ENLARGEMENT

L1.1

CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
FAX (414) 443-1317
www.cj-engineering.com

HELIANTHUS
ADAMS GARDEN PARK
1836 W. FOND DU LAC AVE, SUITE 100
MILWAUKEE, WI 53204
www.healthyenvironmentsdesigned.com

BEER CAPITOL
W222 N5700 MILLER WAY SUSSEX, WI

CJE NO.:
JULY 31, 2023

GENERAL

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- TOP OF MULCH SHALL BE ½" MINIMUM BELOW THE TOP OF WALKS AND CURBS
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- THE LANDSCAPE SHALL BE MAINTAINED IN A MANNER COMMON TO THE PRACTICE, INCLUDING MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, TRASH REMOVAL, AND OTHER SUCH ACTIVITIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING FOR 60 DAYS, OR UNTIL FINAL ACCEPTANCE BY THE OWNER. AN ON-SITE INSPECTION BY THE OWNER'S AGENT WILL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- DURING WORK, PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS THE WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT THE END OF EACH WORK DAY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER'S AGENT. PLANTS SHALL BE IN HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE AT NO COST TO OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR MAINTENANCE PERIOD.

QUALITY ASSURANCE

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- SELECTION OF PLANT MATERIAL: MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- SUBSTITUTIONS: DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WRITTEN VERIFICATION WILL BE REQUIRED DOCUMENTING MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
- MEASUREMENTS: TAKE CALIPER MEASUREMENTS OF TREES SIX INCHES ABOVE GROUND. MEASURE MAIN BODY OF ALL PLANT MATERIAL FOR HEIGHT AND SPREAD DIMENSIONS, NOT FROM TIP-TO-TIP.
- LANDSCAPE ARCHITECT OR OWNER, SHALL INSPECT ALL PLANT MATERIAL WITH RESPECT TO GENUS, SPECIES, CULTIVAR/VARIETY, SIZE AND QUALITY, INCLUDING SIZE AND CONDITION OF ROOT SYSTEMS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, OR OTHER LATENT DEFECTS UPON ARRIVAL TO SITE OR DURING INSTALLATION.
- LANDSCAPE ARCHITECT OR OWNER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE WORK PROCESS. REMOVE REJECTED MATERIALS FROM SITE AND REPLACE WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PRODUCT DELIVERY, STORAGE AND HANDLING

- DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON THE JOB SITE.
- PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NO PLANTED WITHIN 24 HOURS OF DELIVERY.
- TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS.



CALL DIGNOSIS HOTLINE
1-800-222-2222
NYS STATE REGISTRATION
NOTICE BEFORE YOU EXCAVATE
NEW YORK STATE

MATERIALS

PLANTS

- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, MOST RECENT EDITION.
- PLANTS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL-SHAPED, FULL BRANCHED AND FREE OF DISEASE AND INSECTS.
- ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH, OR ARE IN ANY UNHEALTHY, BADLY SHAPED, OR UNDERSIZED CONDITION WILL BE REJECTED BY THE LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE PLANT AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS.
- PLANTS SHALL BE FRESHLY DUG FROM DURING THE MOST RECENT APPROPRIATE HARVEST SEASON.
- PRUNING SHALL BE LIMITED TO DEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300.

SOILS

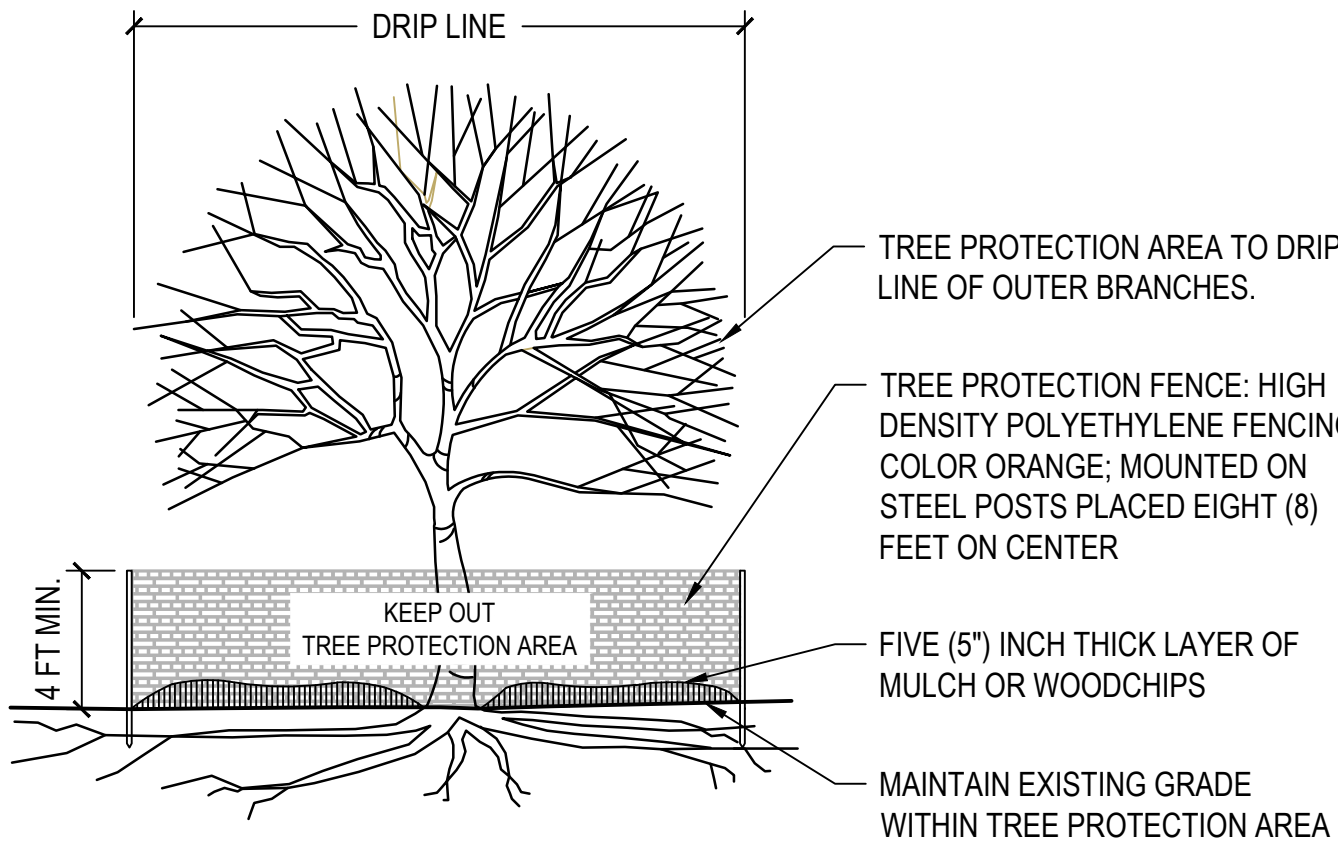
- PLANTING SOIL AND TOPSOIL TO BE A CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER ¾" IN DIAMETER, AND FREE FROM TOXINS AND WEEDS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 5.5 AND 7. ORGANIC MATERIAL SHALL BE 2.0-5.0% OF TOTAL DRY WEIGHT. SOLUBLE SALT LEVELS SHALL BE LESS THAN 2 mmho/cm. PLANTING SOIL AND TOPSOIL SHALL BE TESTED AND AMENDED TO MEET THESE SPECIFICATIONS.
- COMPOST SHALL BE COMMERCIALY PREPARED, PEAT-FREE COMPOST AND MEET US COMPOST COUNCIL STA/TMECC CRITERIA AND SHALL CONSIST OF PLANT-BASED MATERIALS, COMPOSTED FOR A MINIMUM OF 9 MONTHS AT TEMPERATURES SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS, AND LEAF STRUCTURES.
- ALL PLANTING AREAS WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF SIX (6) INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD THREE (3") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF THE TOPSOIL. ALL PLANTING AREAS WITHOUT EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF EIGHTEEN (18") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF EIGHTEEN (18") INCHES OF THE TOPSOIL.
- BACKFILL FOR TREE PITS SHALL CONSIST OF EXISTING TOPSOIL ON SITE (OR IMPORTED AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, SUBSOILS, ETC., PLACED IN NINE (9") LAYERS AND WATERED IN THOROUGHLY.

OTHER MATERIALS

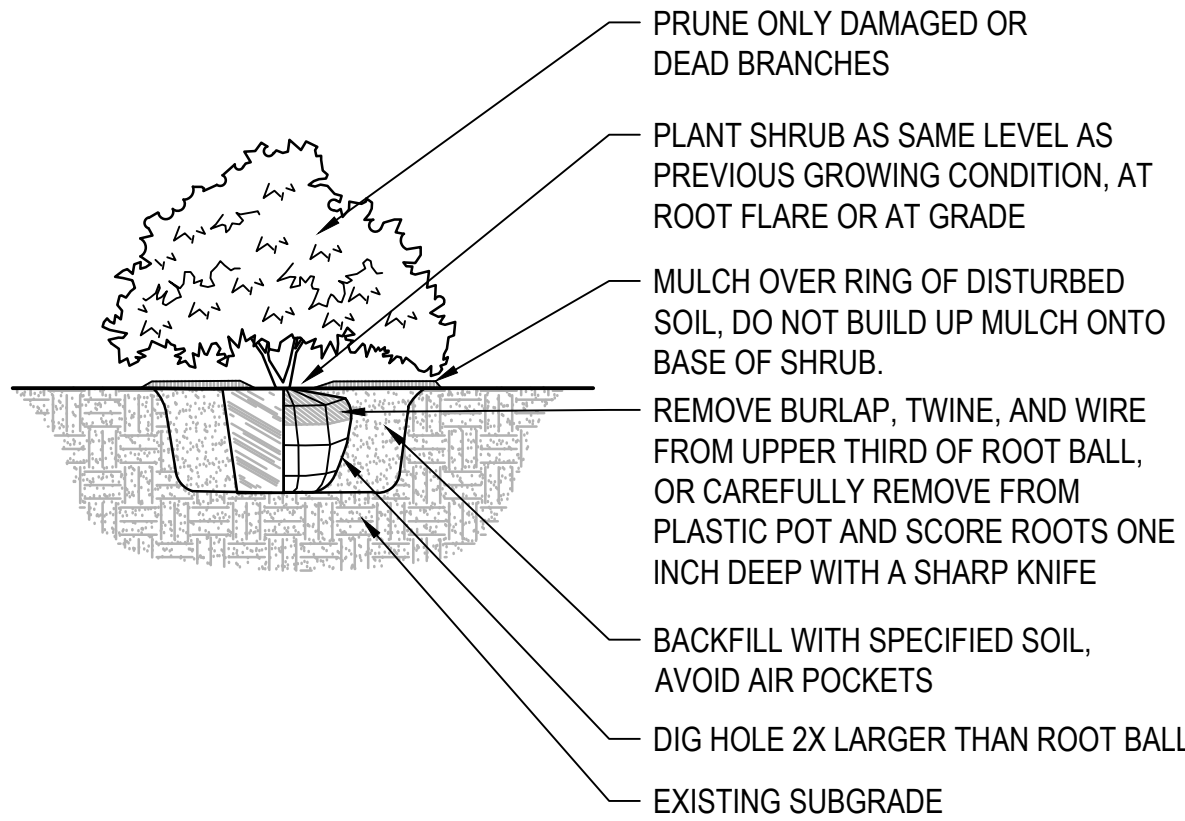
- SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF THREE (3") INCHES OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH, SIZE AND COLOR TO BE APPROVED BY OWNER'S AGENT PRIOR TO INSTALLATION. MULCHED AREAS SHALL NOT RECEIVE A WOVEN WEED BARRIER FABRIC.
- EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING, TO BE APPROVED BY OWNER'S AGENT.
- 18" WIDE STONE MAINTENANCE STRIP: DECORATIVE STONE TO MATCH EXISTING STONE ON SITE AND SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. INSTALL STONE MAINTENANCE STRIP IN THE LOCATIONS INDICATED IN THE PLAN FOLLOWING THE MANUFACTURER'S INSTRUCTIONS. THE GEOTEXTILE FABRIC SHALL BE PERMEABLE NONWOVEN MIRAFI MSCAPE E OR APPROVED EQUAL.
- SOD: ALL AREAS SPECIFIED ON PLAN AS SOD (IF APPLICABLE) SHALL BE A PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. TURFGRASS SOD SHALL BE REASONABLY FREE OF DISEASES, NEMATODES, INSECTS, GRASSY AND BROAD-LEAF WEEDS.
- LAWN SEED: DISTURBED LAWN AREAS LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH 'MADISON PARKS' OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 ½ POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- UPLAND NATIVE SEED MIX: POND SIDE SLOPES SHALL BE 'SHORTGRASS PRAIRIE FOR MEDIUM SOILS' BY AGRECOL OR APPROVED EQUAL. PLANT WITH COVER CROP OF COMMON OATS AT 20 LBS/ACRE OR OF WINTER WHEAT AT 12 LBS/ACRE FOR FALL SEEDING. COVER PLANTING WITH STRAW BLANKET FOR EROSION CONTROL.

INSTALLATION

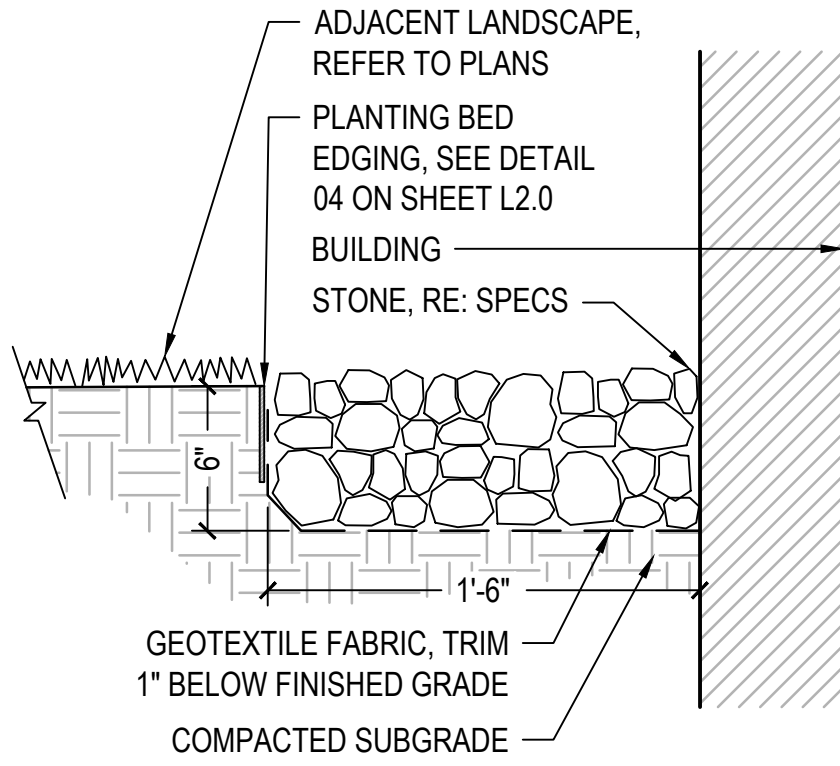
- PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING.
- EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO THE ROOT BALLS, AND SHALL BE PLACED AT THE SAME DEPTH RELATIVE TO FINISH GRADE AS IT DID TO THE SOIL SURFACE IN THE ORIGINAL PLACE OF GROWTH.
- SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO TIMES WIDER THAN THE LATERAL DIMENSIONS OF THE EARTH BALL AND NO DEEPER THAN ITS VERTICAL DIMENSION. THE SIDES OF THE HOLE SHALL BE ROUGH AND JAGGED, NEVER SLICK AND GLAZED, ROUGH UP WITH SHOVEL IF NEEDED.
- BACKFILL HOLE WITH 5 PARTS EXISTING SOIL AND 1 PART PLANT BED PREPARATION SOIL. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP, NYLON, STRING, AND WIRE FROM THE TOP ½ OF THE BALL. MULCH THE TOP OF THE BALL WITH A MINIMUM OF TWO (2") INCHES OF SPECIFIED MULCH OVER THE PLANTING PIT.
- DO NOT WRAP TREES. STAKE TREES AND LARGE SHRUBS ONLY AS SITE CONDITIONS REQUIRE.
- TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. ENSURE EDGES OF SOD ARE STAGGERED AND TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO THE SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY OWNER. THE SOD SUPPLIER MAY MAKE RECOMMENDATIONS REGARDING THE WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER THE SOD IS INSTALLED.
- THE NATIVE PRAIRIE VEGETATION PLANTED IN THE BASINS WILL BE REQUIRED TO BE PLANTED AND VERIFIED PER THE STANDARDS OF DNR TECHNICAL STANDARD 1004 AND THE WAUKESHA COUNTY PLANTING VERIFICATION DOCUMENT. A PLANTING VERIFICATION LETTER WILL BE REQUIRED TO BE COMPLETED BY A LANDSCAPE ARCHITECT OR OTHER QUALIFIED PROFESSIONAL.



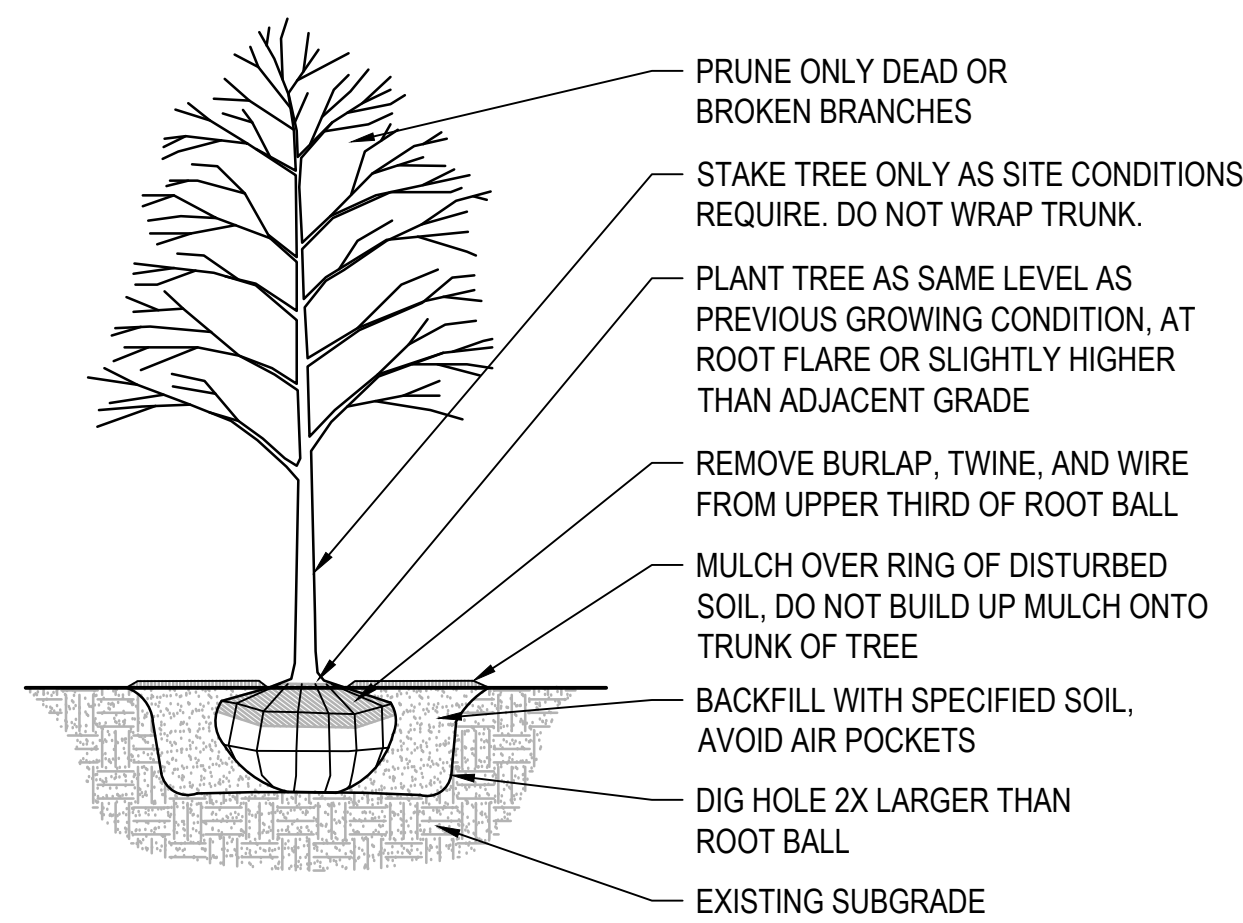
01 TREE PROTECTION
NTS



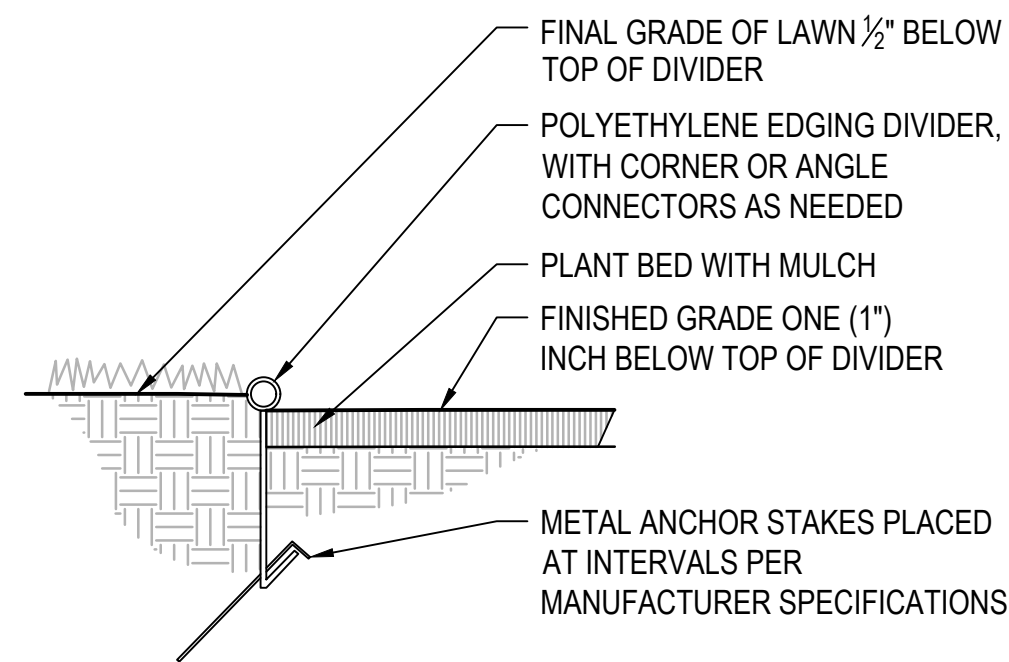
03 SHRUB PLANTING
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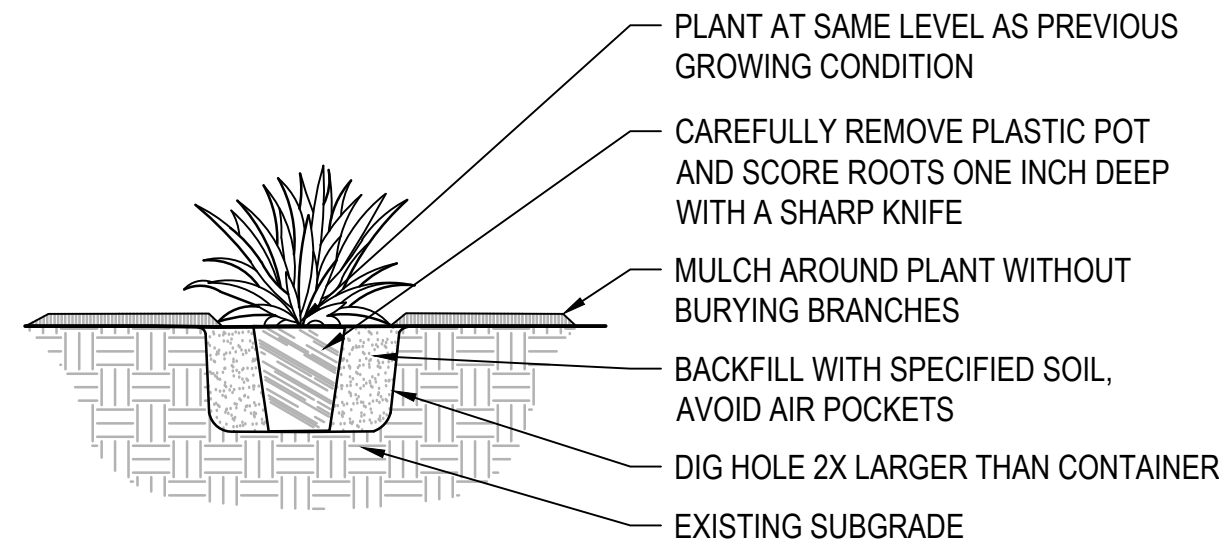
06 STONE MAINTENANCE STRIP
NTS



02 DECIDUOUS TREE PLANTING
NTS



04 PLANTING BED EDGING
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05 PERENNIAL PLANTING
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BEER CAPITOL
W222 N5700 MILLER WAY SUSSEX, WI

CJE NO.:
JULY 31, 2023

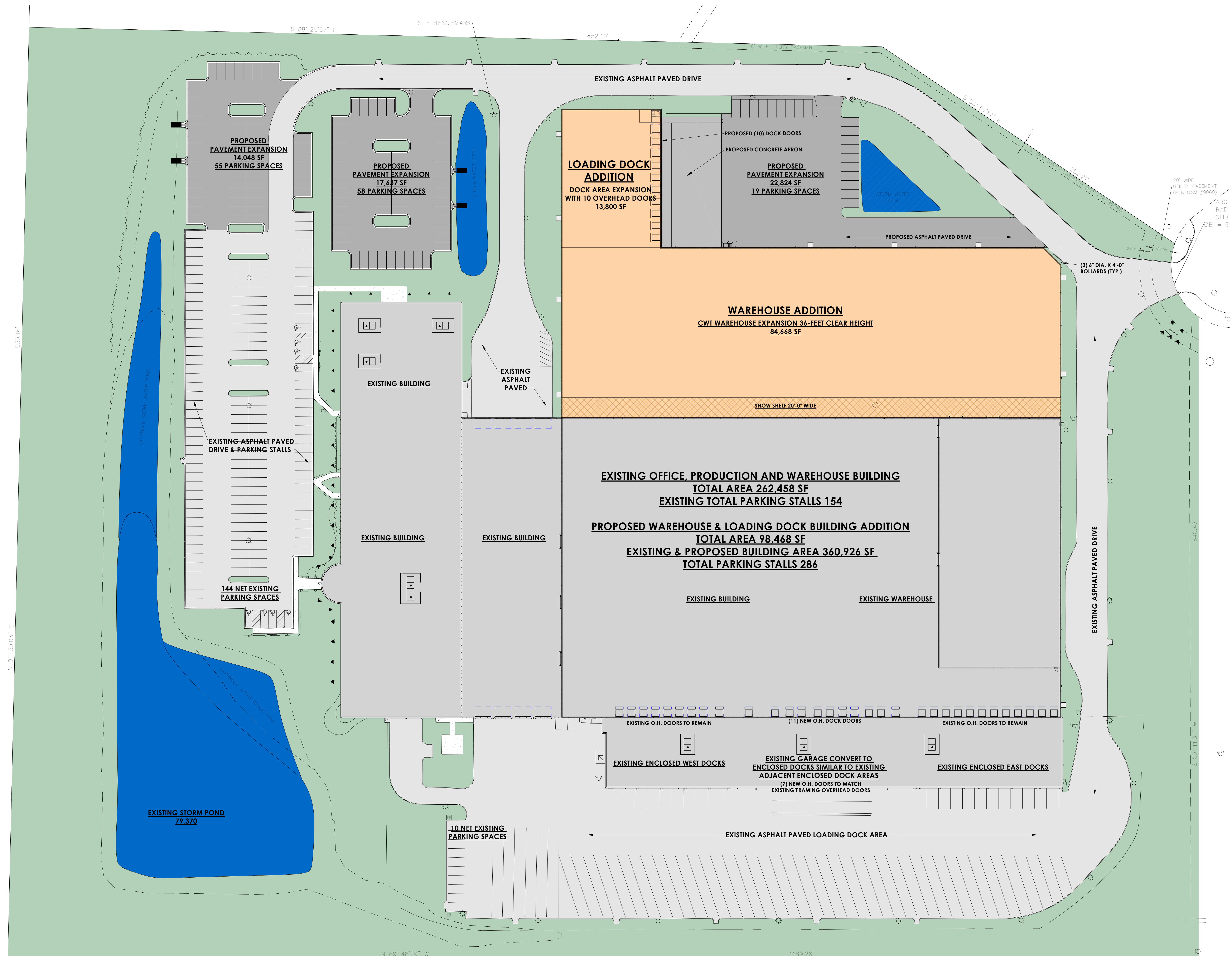


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SUSSEX, WISCONSIN

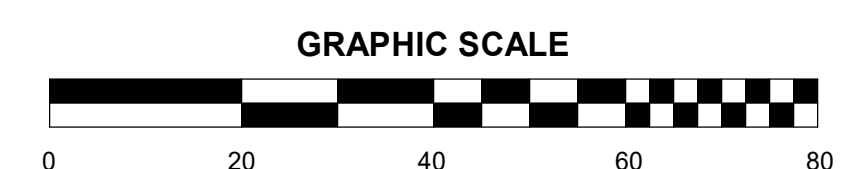
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MEET:	

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1 ARCHITECTURAL SITE PLAN
1" = 40'-0"



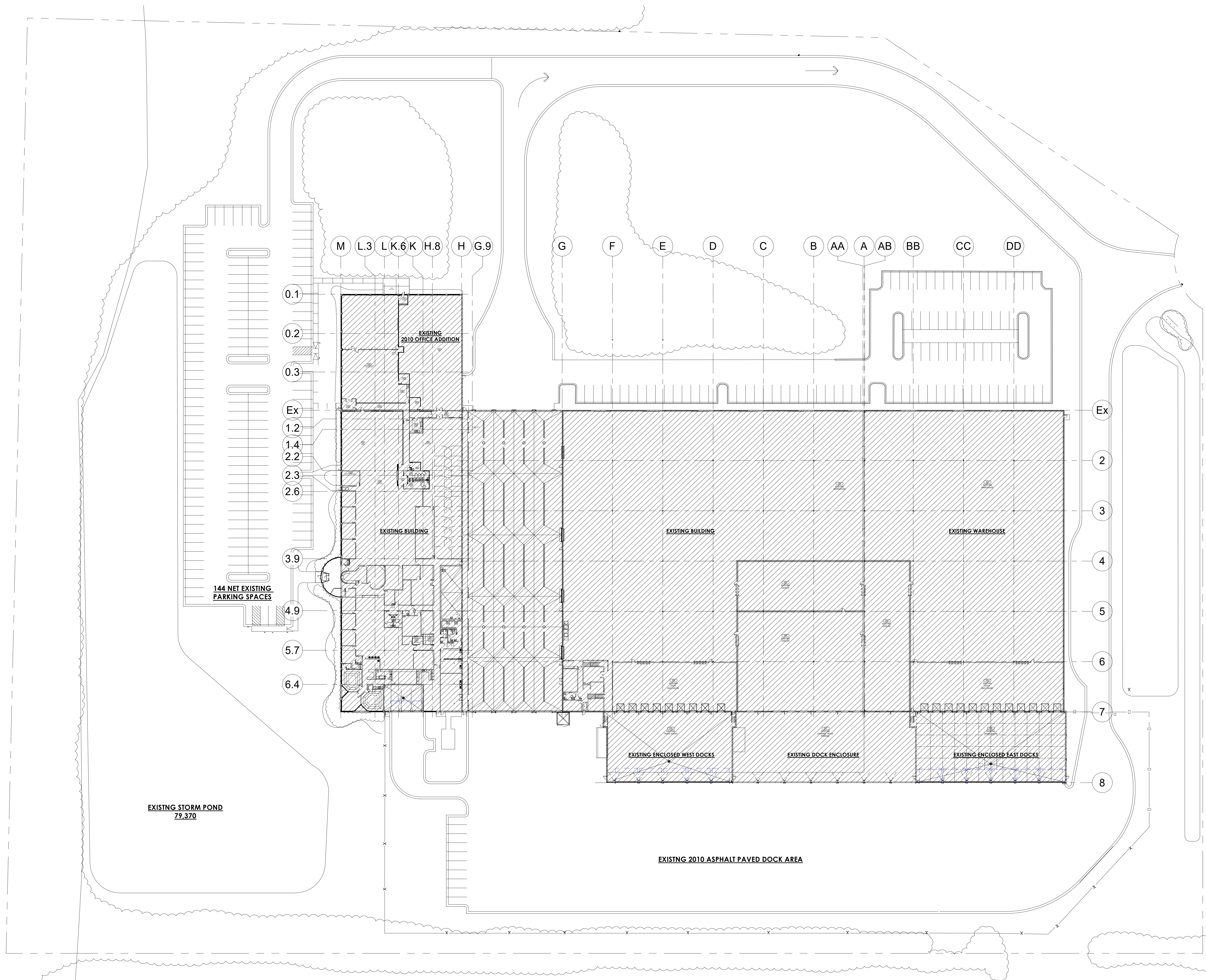


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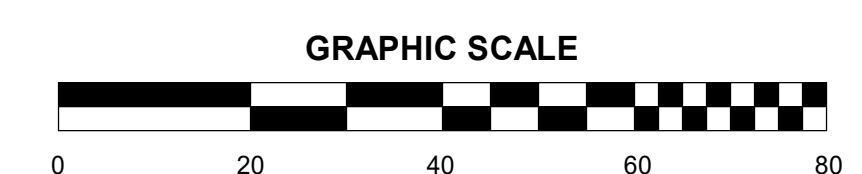
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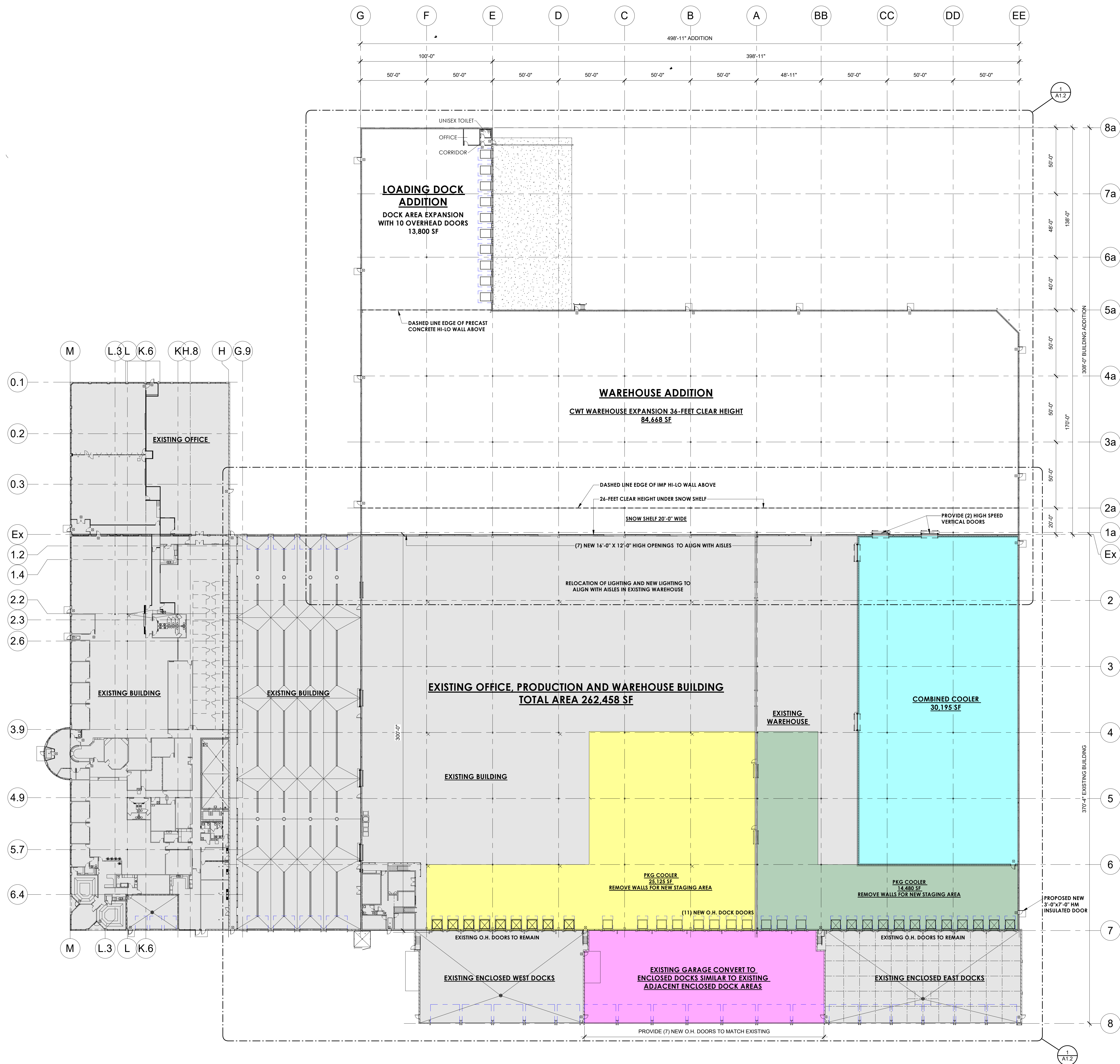
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1 OVERALL SITE AND FLOOR PLAN EXISTING CONDITIONS





FLOOR PLAN LEGEND		
ROOM	ROOM NAME	---
100	ROOM NUMBER	---
100	DOOR NUMBER	---
100	PARTITION TYPE	---
100	KEYNOTES	---
100	SURFACE MOUNTED FIRE EXTINGUISHER	---
100	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER	---
100	EXIT LIGHT	---
100	EXIT LIGHT (DIRECTIONAL)	---
100	BORROWED LIGHT TAG	---
100	TOILET ACCESSORY TAG	---
---	PARTITION TO BE DEMOLISHED	---
---	DOOR AND FRAME TO BE REMOVED	---
---	EXISTING PARTITION TO REMAIN	---
---	EXISTING DOOR TO REMAIN	---
---	NEW CONSTRUCTION	---
---	NEW DOOR & FRAME	---
---	MATCHLINE	---
---	MATCHLINE WITH SHEET REFERENCE	---

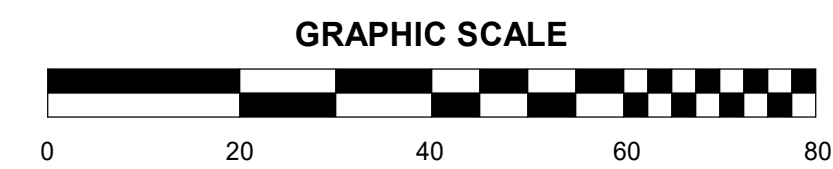
EXTERIOR SYSTEMS:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 4" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3" STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM. INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)

1 OVERALL FIRST FLOOR
1" = 30'-0"



BRIORN

DESIGN GROUP

3805 N. BROADFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1900
(262) 780-6500 PHONE
(262) 780-6505 FAX

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Revision

Date

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DRAWN: CK
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DATE: 07/31/2023
SHEET:

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1	VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BROHNS ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
2	VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3	AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
4	SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
5	SEE SHEET A0.2 FOR ADA REQUIREMENTS AND MOUNTING HEIGHTS
6	SEE SHEET A1.2 FOR PARTITION TYPE.
7	EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL. CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
8	FURNITURE AND APPLIANCES PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.
9	ALL WALLS TO BE PAINTED PROVIDING FRP WASCOT WHERE CALLED FOR.
10	ALL FLOORS THROUGH OUT ARE TO BE SEALED CONCRETE WITH CALKED CONTROL JOINTS.
11	EXPOSED STEEL DECK, JOISTS, GIRDERS AND COLUMNS ARE TO BE PRIME GREY.
12	LOCKERS AND BENCHES IN LOCKER ROOMS ARE PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.

MARK	FLOOR PLAN CODED NOTES
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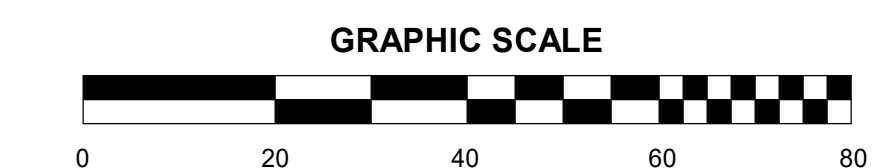


ROOM	ROOM NAME		
100	ROOM NUMBER	---	PARTITION TO BE DEMOLISHED
100	DOOR NUMBER		DOOR AND FRAME TO BE REMOVED
	PARTITION TYPE		
1	KEYNOTES		
	SURFACE MOUNTED FIRE EXTINGUISHER	==	EXISTING PARTITION TO REMAIN
F.E.C.	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER		EXISTING DOOR TO REMAIN
	EXIT LIGHT		NEW CONSTRUCTION
	EXIT LIGHT (DIRECTIONAL)		
BL-1	BORROWED LIGHT TAG		NEW DOOR & FRAME
TP-1	TOILET ACCESSORY TAG	MATCHLINE 3 / A1.2	MATCHLINE WITH SHEET REFERENCE

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - THIN LAYERS OF 3", STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM., INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)



PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

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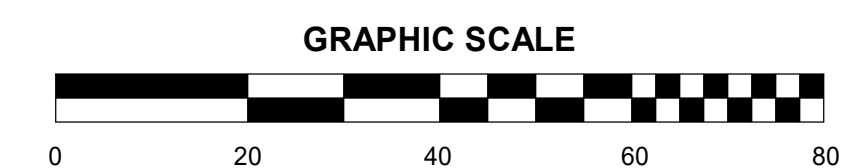
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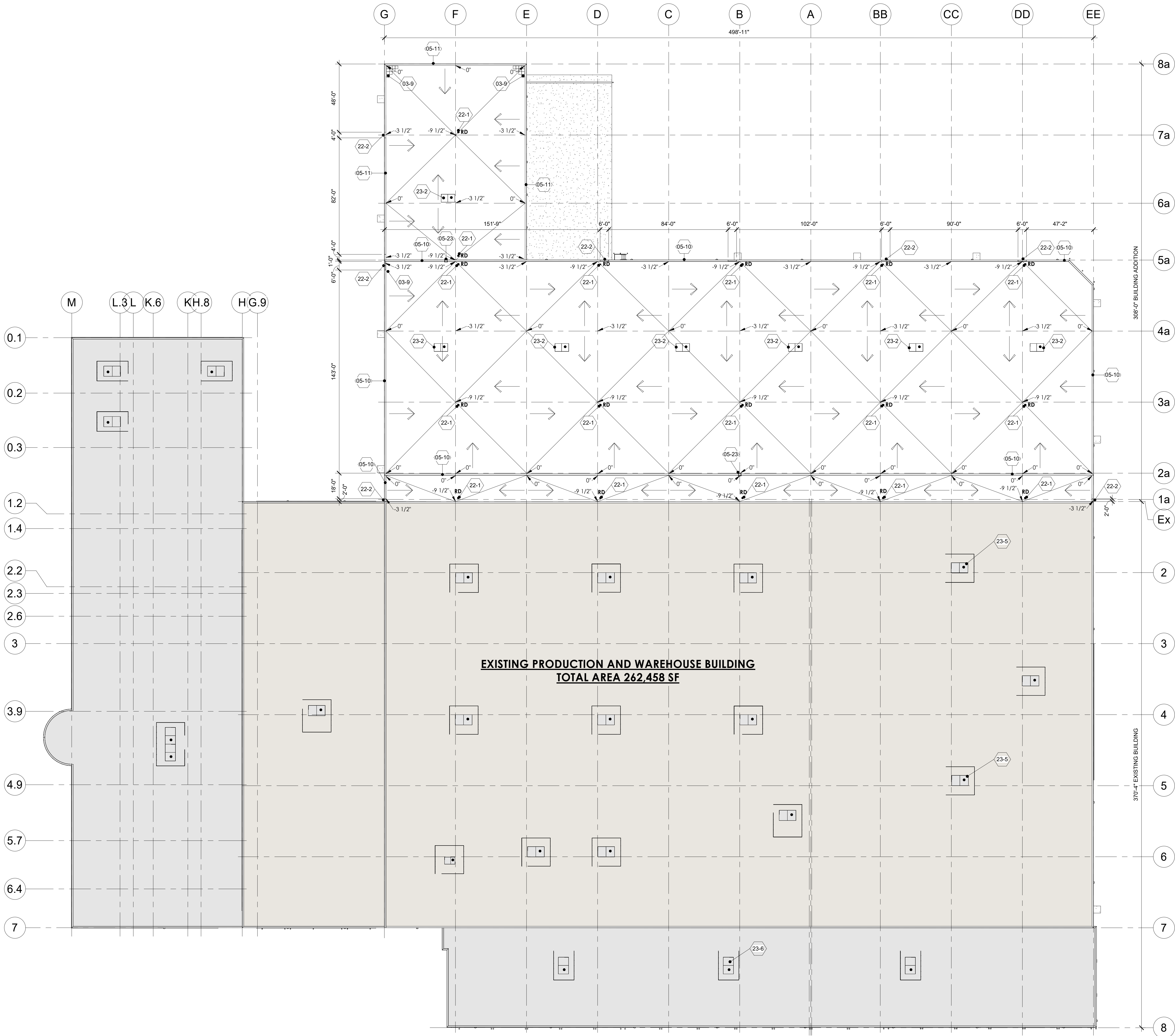
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

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1 OVERALL ROOF PLAN
1" = 30'-0"

GENERAL NOTES - ROOF PLAN

- 1 SEE STRUCTURAL DWGS FOR FURTHER STRUCTURAL INFORMATION.
- 2 COORDINATE ROOF SCREEN SIZE WHERE CALLED FOR WITH MECHANICAL UNITS. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- 3 SEE SHEET A4.2 FOR OTHER CANOPY AND TUBE SUN SHADES PLANS.
- 4 PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLAN BY OTHERS FOR LOCATIONS.
- 5 PROVIDE ROOF HATCH NOT LESS THAN 16 S.F. IN AREA AND HAVING A MINIMUM DIMENSION OF 24".
- 6 PROVIDE ALL REQUIRED FLASHING FOR HVAC ROOF TOP EQUIPMENT, INCLUDING ROOF TOP UNITS AND EXHAUST FANS.
- 7 PROVIDE AND INSTALL ALL REQUIRED FLASHING AND BOOTS FOR ROOF TOP AND PARAPET WALL ELECTRICAL PENETRATIONS AND HVAC EQUIPMENT.
- 8 PROVIDE FLASHING FOR PLUMBING VENTS.
- 9 PROVIDE 20 YEAR MANUFACTURERS LABOR AND MATERIAL WARRANTY.

KEYNOTE LEGEND ROOF PLAN

MARK	ROOF PLAN CODED NOTES
03-9	CONCRETE BALLAST PAVERS - 2' X 2' X 2" WITH PROTECTION SHEET.
05-10	PRE-FINISHED METAL CAP/COPING ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER AND PLATFORM 'BRIDGE BETWEEN' WITH STEEL GUARDRAIL, PAINTED.
22-1	PRIMARY ROOF DRAIN
22-2	2'-0" 4'-0" OR 6'-0" WIDE SCUPPERS - 6" ABOVE PRIMARY DRAIN - REFER TO ARCHITECTURAL ELEVATION DRAWINGS, STRUCTURAL, AND PLUMBING DRAWINGS. LOCATION OF SCUPPER DRAINS. DO NOT PLACE OUTFALL DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. REFER TO DETAIL 3/A4.0. ALTERNATE: PROVIDE SCUPPER BOX WITH DOWNSPOUT.
23-2	RTU-REFER TO HVAC DRAWINGS. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED AND PROVIDE ROOF SCREENS.
23-5	POTENTIAL ROOF-TOP REFRIGERATION UNITS FOR NEW COOLER TO REPLACE EXISTING RTU'S.
23-6	POTENTIAL NEW RTU.

ROOFING SYSTEM NOTES:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3", STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

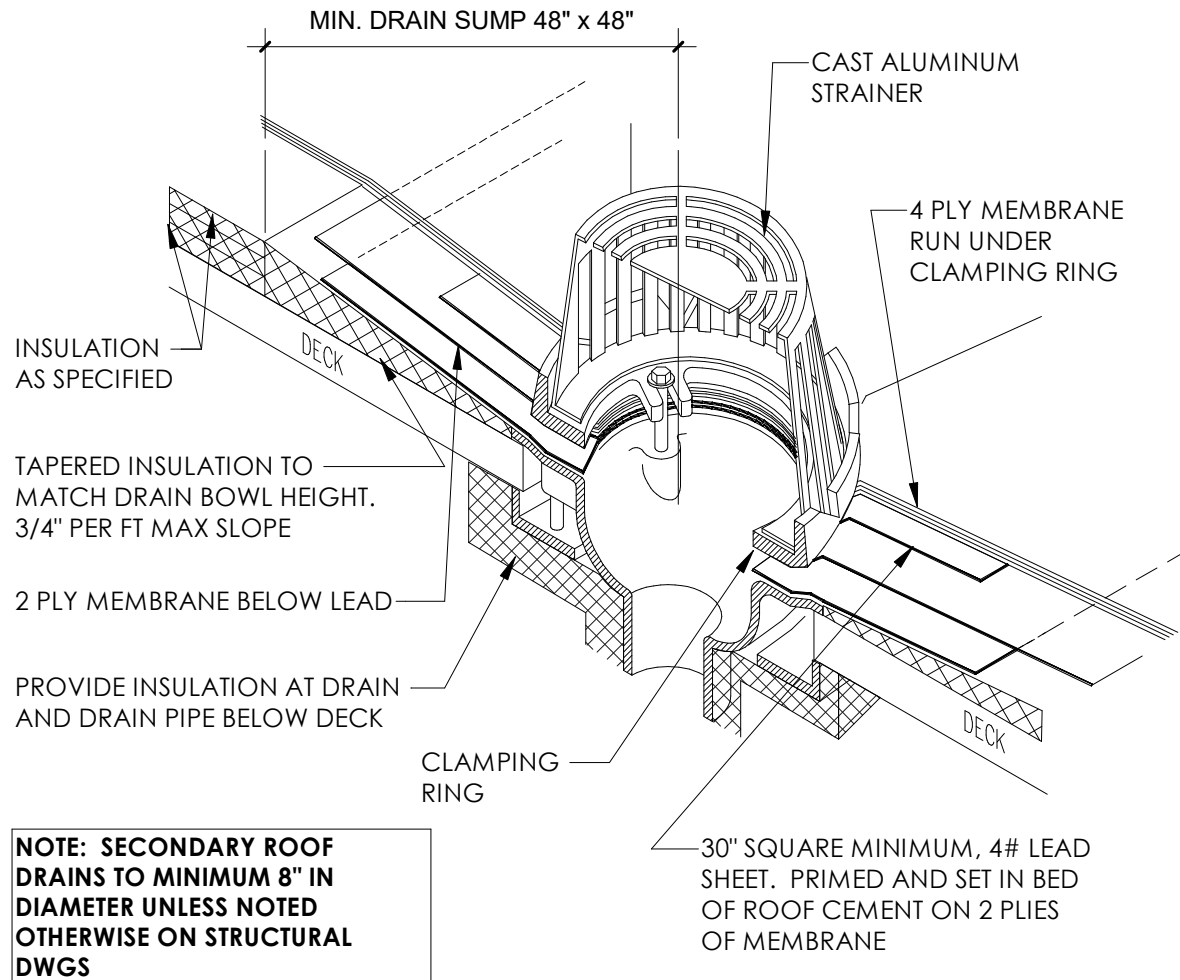
ROOF TOP EQUIPMENT TO BE POSITIONED BEHIND RAISED PARAPETS AS INDICATED BY HATCH PATTERN. PROVIDE SUPPLEMENTAL SCREENING FOR ROOF TOP UNITS THAT ARE NOT SCREENED BY PARAPETS.

PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLANS FOR EXACT LOCATION.

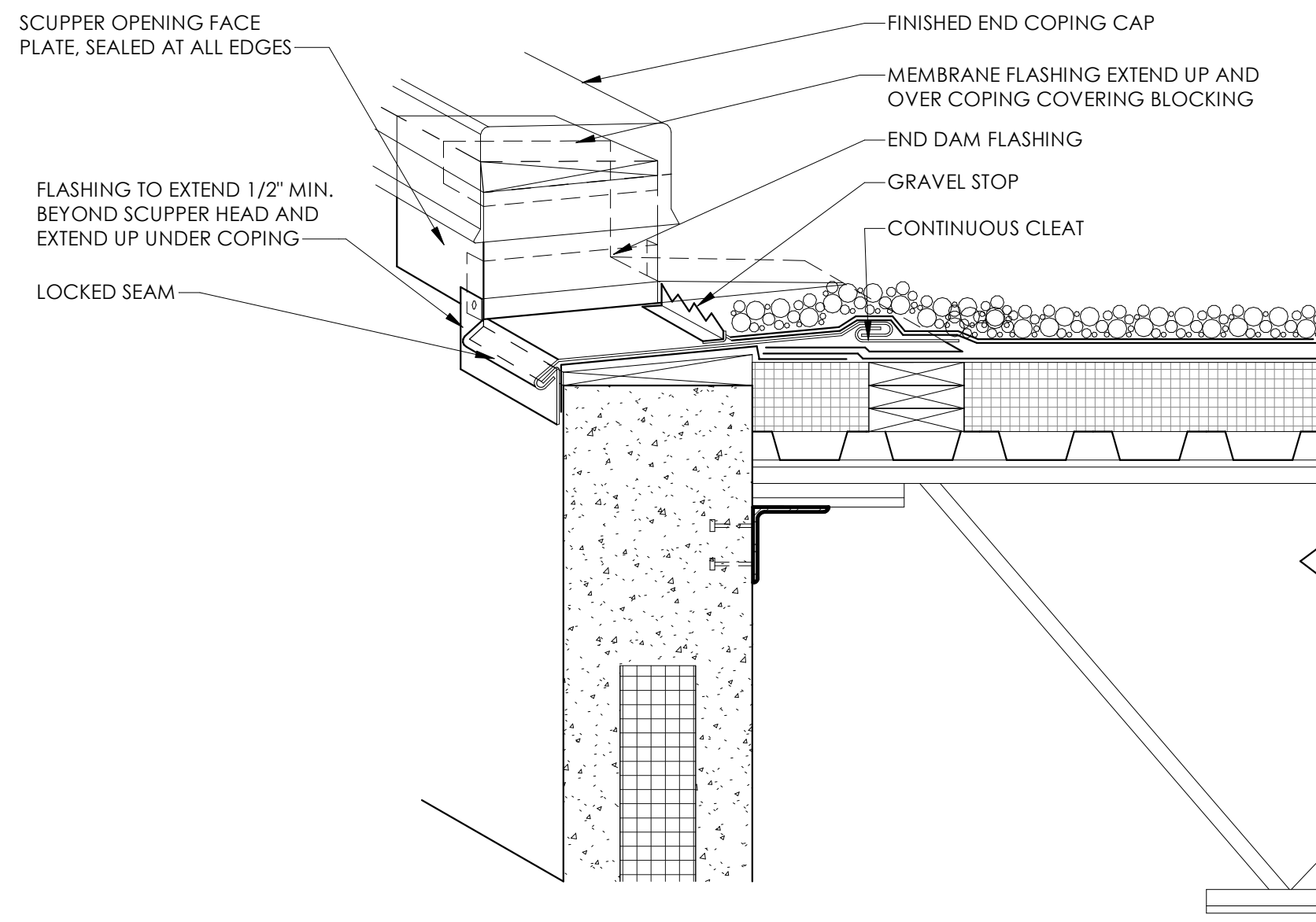
PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLANS FOR EXACT LOCATION.

ROOF IS DESIGNED FOR NO CONTROL FLOW

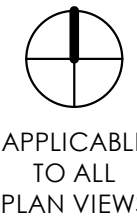
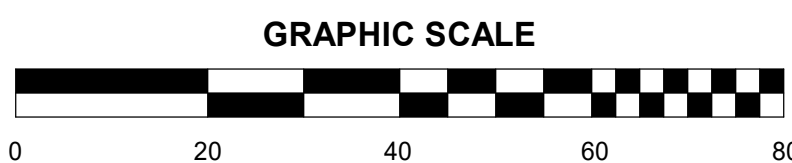
RTU EQUIPMENT REFER TO MECHANICAL PLANS



2 ROOF DRAIN DETAIL
1/2" = 1'-0"



3 DETAIL - OPEN SCUPPER @ PRECAST
1 1/2" = 1'-0"

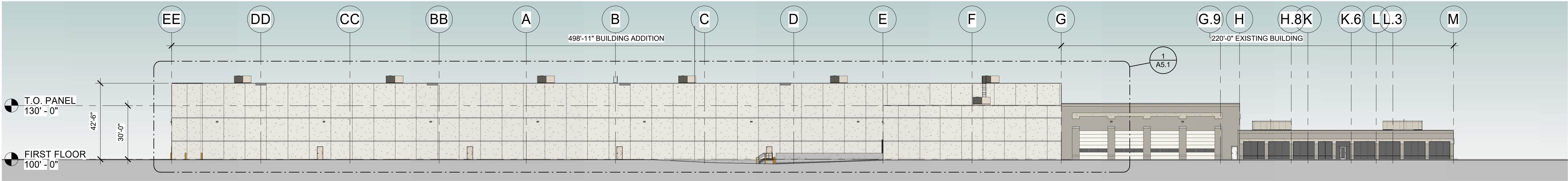


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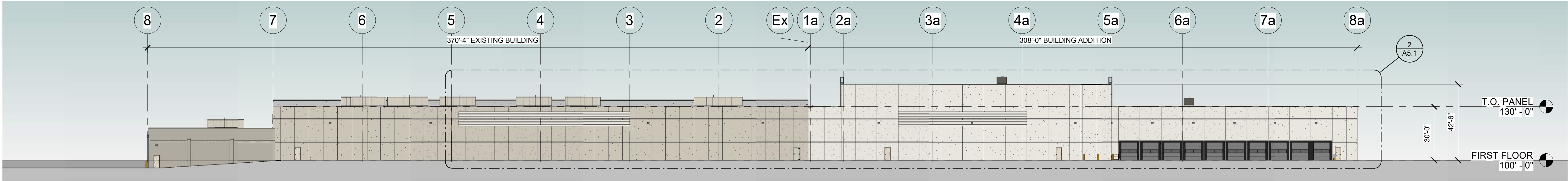
Date

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DRAWN: CK
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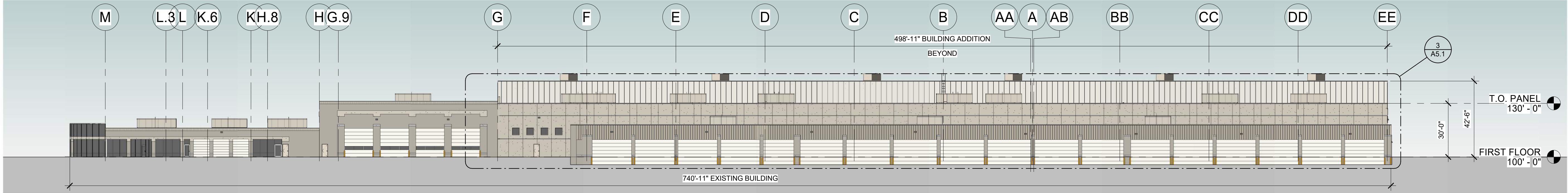
A4.0



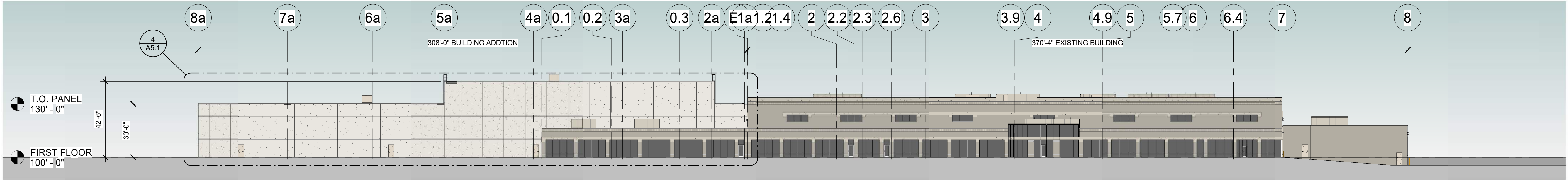
1 NORTH ELEVATION
1" = 30'-0"



2 EAST ELEVATION
1" = 30'-0"



4 SOUTH ELEVATION
1" = 30'-0"



3 WEST ELEVATION
1" = 30'-0"

WALL COLOR LEGEND

COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1/2" DEEP REVEAL

EXTERIOR SYSTEMS:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3" STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM. INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)

PRECASTER NOTE:

PRECASTER TO PROVIDE COVERS FOR ALL ROUND RECESSED POCKETS AND PROVIDE CLOSED CELL SPRAY FOAM INSULATION WITH STEEL PREFINISHED METAL COVER PLATES FOR ALL OTHER SHAPE OPENINGS OR RECESSED AREAS (BEAM, LINTEL, JOIST, GIRDER BEARING OR OTHER POCKETED CONDITIONS) ON INTERIOR SIDE OF THE PRECAST WALL PANELS

THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 4 (PER IECC SECTION 502) PER TABLE 502.2 (1) BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES.

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-25ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.
WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED AND R-16ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION
VERTICAL FENESTRATION (40% MAXIMUM ALLOWED ABOVE GRADE) 5% ACTUAL PROVIDE REQUIRED U - FACTOR .40 ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE.
PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE.
PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1, FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1.
PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1, DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE.
PROPOSED BUILDING COMPLIES.

C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES.
NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED.
PROPOSED BUILDING COMPLIES.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS.
PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2, DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS.
PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING.
NOT APPLICABLE TO PROPOSED BUILDING.

OVERALL EXTERIOR
ELEVATIONS

SHEET TITLE

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Revision	Date	Job:	230041
		DRAWN:	CK
		CHECKED:	DF
		DATE:	07/31/2023
		SHEET:	

A5.0



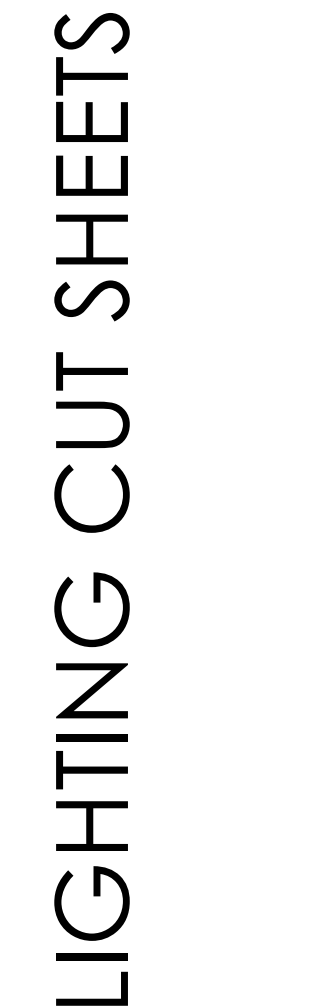
WALL COLOR LEGEND

COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1/2" DEEP REVEAL

MARK		FLOOR PLAN CODED NOTES
03-1	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH TO MATCH EXISTING - COLOR 1 (SW 9166 DRIFT OF MIST)	
03-10	4" X 1/2" DEEP REVEAL [HORIZONTAL] COLOR 2	
03-12	CONCRETE RETAINING WALL [SEE CIVIL AND STRUCTURAL DWGS.]	
05-6	EXTERIOR STEEL STAIRS WITH GALVANIZED STEEL BAR GRATE TREADS AND LANDING, PROVIDE STEEL CLOSED RISERS WITH PIPE GUARD/HAND RAILING DESIGN AND FABRICATION TO BE CODE/OSHA/ANSI COMPLIANT. STEEL TO BE PAINTED, LANDING TO BE SIZED FOR AREA OF RESCUE.	
05-10	PRE-FINISHED METAL CAP/COPING ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING, EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.	
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING, EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.	
05-14	PRE-FINISHED DECORATIVE METAL PROFILE TO MATCH EXISTING - REFER TO DETAILS.	
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER AND PLATFORM [BRIDGE BETWEEN] WITH STEEL GUARDRAIL, PAINTED.	
07-3	INSULATED METAL WALL PANELS [MATCH COLOR 1]	
08-4	2'-0" WIDE X 10'-0" HIGH INSULATED ON DOCK FACTORY FINISHED TO MATCH COLOR 1 WITH DOCK SEALS, DOCK LEVELERS AND BUMPER.	
08-19	23'-4" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.	
08-20	23'-9" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.	
08-21	24'-3" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.	
08-22	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS CODE REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.	
08-23	EXISTING DOOR TO REMAIN.	
08-24	EXISTING O.H. DOOR TO REMAIN.	
20-5	REMOVE EXISTING 3'-0" X 7'-0" HOLLOW METAL DOOR AND REPLACE WITH NEW COOLER DOOR - REFER TO DOOR SCHEDULE - PAINTED TO MATCH ADJACENT WALL COLOR.	
22-2	2'-0" 4'-0" OR 4'-0" X 7'-0" ABOVE WINDOW - REFER TO ARCHITECTURAL ELEVATION DRAWINGS, STRUCTURAL AND PLUMBING DRAWINGS, LOCATION OF SCUPPER DRAINS, DO NOT PLACE OUTFALL DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. REFER TO DETAIL 3/4/0-6, ALTERNATE: PROVIDE SCRUPPER BOX WITH DOWNSPOUT.	
23-2	RTU-REFER TO HVAC DRAWINGS, PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED AND PROVIDE ROOF SCREENS.	
23-3	POTENTIAL ROOF TOP REFRIGERATION UNITS FOR NEW COOLER TO REPLACE EXISTING RTUS.	
23-6	POTENTIAL NEW RTU.	
26-1	EXTERIOR LIGHT FIXTURE - CUT-OFF LED WALLPAC - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT (TYPICAL FOR EXTERIOR DOORS)	
32-4	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S), PAINTED SAFETY YELLOW.	





PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN


[illegible]

JOB: 230041
DRAWN: JDP/CK
CHECKED: DF
DATE: 07/31/2023
SHEET:

E2.0

ALED4T150N

RAB

	Project: BEER CAPITOL	Type: OC
	Prepared By: PACE ELECTRIC	Date: 7/26/23

Driver Info		LED Info	
Type	Current	Watts	150W
120V	1.31A	Color Temp	4000K (Neutral)
208V	0.80A	Color Accuracy	71 CRI
240V	0.69A	L70 Lifetime	100,000 Hours
277V	0.60A	Lumens	17,822 lm
Input Watts	154W	Efficacy	115.7 lm/W

Technical Specifications

Compliance

UL Listed:
Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P00001756

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Performance

Lifespan:

100,000 Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 600W Metal Halide

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candepower at lateral angles from 90° to 370°.

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adapter plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

EPAs:

- 1 Fixture: 0.75
- 2 Fixtures at 90°: 1.2
- 2 Fixtures at 90°: 2.4
- 3 Fixtures at 90°: 2.4
- 4 Fixtures at 90°: 1.8

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:

Multi-chip, high-output, long-life LEDs

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ALED4T150N

RAB

Technical Specifications (continued)

Color Consistency:

3 step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

One Driver, Constant Current, Class 2, 2100mA
100-277V, 50-60Hz, Power Factor 99%

THD:

5.9% at 120V, 11.1% at 277V

Power Factor:

99.5% at 120V, 93.7% at 277V

Surge Protection:

4kV

Optical

BUG Rating:

B1 U0-C0

Other

BAA Compliance:

Click here for BAA compliance.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions

Features

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty

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ALED4T150N

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	150		N				
4T = Type IV 3T = Type III 2T = Type II	50 = 50W 78 = 78W 105 = 105W 125 = 125W 150 = 150W	Blank = Pole mount S = digifitter	Blank = 5000K Cool N = 4000K Neutral Y = 3000K Warm	Blank = Bronze RG = Roadway Gray W = White K = Black	Blank = 120-277V /480 = 480V /RL = RL-Level /D10 = 0-10V Dimming /480/D10 = 480V, 0-10V Dimming	Blank = No Option /LC = Lightcloud® Controller /PCS = 120V Swivel PhotoCell /PCS2 = 277V Swivel PhotoCell /RCT = 120-277V Twistlock PhotoCell /PCS4 = 480V Swivel PhotoCell /PCT4 = 480V Twistlock PhotoCell /WS4 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant	

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AL2D80N/D10

RAB

Color: Bronze

Weight: 16.4 lbs

Project:
BEER CAPITOL

Type:
OG

Prepared By:
PACE ELECTRIC

Date:
7/26/23

Driver Info

Type	Constant Current
120V	0.71A
208V	0.41A
240V	0.36A
277V	0.31A
Input Watts	83.1W

LED Info

Watts	80W
Color Temp	4000K (Neutral)
Color Accuracy	96 CRI
L70 Lifespan	100,000 Hours
Lumens	10,018 lm
Efficacy	120.6 lm/W

Technical Specifications

Electrical

Drivers:

Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

5.99% at 120V, 10.03% at 277V

Power Factor:

99.3% at 120V, 99.0% at 277V

Surge Protection:

6kV

Compliance

UL Listed:

Suitable for wet locations. Suitable for mounting within 4 feet of the ground.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Performance

Lifespan:

100,000 Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 250W Metal Halide

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candpower at lateral angles from 90° to 270°.

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Thermal Management:

Cool aluminum Thermal Management system for optimal heat sinking. The AL2D is designed for cool operation, most efficient output and maximum LED life by minimizing LED junction temperature.

Housing:

Precision die cast aluminum housing, lens frame

Arm:

Die-cast aluminum with wiring access plate

Reflector:

Special vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone

EPAs:

- 1 Fixture: 1.5
- 2 Fixtures at 90°: 2.4
- 3 Fixtures at 180°: 2.9
- 4 Fixtures at 90°: 3.2
- 3 Fixtures at 90°: 3.2

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

Color Consistency:

3-step Macadam Ellipse binning to achieve consistent fixture-to-fixture color

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Page 1 of 3

ALED80N/D10

RAB

Technical Specifications (continued)

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.37-2017.

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Patents:

The WPELED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U2 G3

Dimensions

Technical drawings of the ALED80N/D10 LED fixture showing front, side, and detail views with dimensions in inches and millimeters.

- Front View:** Shows a rectangular fixture with a width of 1.0" (25.4 mm) and a height of 1.0" (25.4 mm). The mounting bracket has a width of 0.75" (19.0 mm) and a height of 0.75" (19.0 mm). The mounting holes are spaced 0.5" (12.7 mm) apart.
- Side View:** Shows the fixture's profile with a width of 1.0" (25.4 mm) and a height of 1.0" (25.4 mm). The mounting bracket has a width of 0.75" (19.0 mm) and a height of 0.75" (19.0 mm). The mounting holes are spaced 0.5" (12.7 mm) apart.
- Detail View:** Shows a close-up of the mounting bracket with dimensions: 0.75" (19.0 mm) width, 0.75" (19.0 mm) height, and 0.5" (12.7 mm) spacing between mounting holes.

Features

75% energy savings

Superior heat sinking with die cast aluminum housing and external fins

100,000-hour LED lifespan

5-Year, No-Compromise Warranty

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ALED80N/D10

RAB

Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options	Other Options
ALED		80	N		/D10		
Blank = Standard (15°)		52 = 52W	Y = 3000K Warm	Blank = Bronze	Blank = 120-277V	Blank = No Option	USA = BAA Compliant
C = Cutoff (2.3°)		80 = 80W	Blank = 5000K Cool	W = White	480 = 480V	/PCS = 120V Swivel Photocell	Blank = Standard
FC = Full Cutoff (0°)			N = 4000K Neutral		/B = 0-10-Level	/PCS2 = 277V Swivel Photocell	
					/D10 = 0-10V Dimming	/PCSA = 480V Swivel Photocell	
						/PCT = 120-277V Twistlock Photocell	
						/PCT4 = 480V Twistlock Photocell	
						ALC = Lightcloud® Controller	

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UNITE

Talon

TALON

Area Light

Ordering Information

Example: TL-150-SC-14-882-PM-3PHN-FC-MS

Series	Wattage	Optic	Color Temp	Voltage	Color	Mounting
T-150	150	H3 T120-3	40-500K	E3022T	82-930K	SP 120-180mm
	150	H3 T120-3		E-27T-40D	14 Beam	82-930K
	150	H3 T120-3			88W module	18W Torsion Mount
	300					
	300					

Accessories	Controls
SPN 3 3 Pin Socket Base Included SPN 3 3 Pin Socket Base Included 14W 14W Single Pole Protector MS 180mm Single Pole	PC Protocol MS 180mm Programmable Wireless Sensor MS 180mm Wireless Sensor MS 180mm Wireless Sensor MS 180mm Wireless Sensor

Performance Data

Dimming 0-10v, 0-10V to 100%,
 CCT 4000K
 Operating Temp -40°C to 55°C
 IP Rating IP 65

Description

The Talon is Unite's most popular area light offering both performance efficiency and reliability to provide the best one for all retrofit replacement within the market.

Multiple mounting options and distribution types make this a highly versatile solution for parking lots, alleys and roadways. The Talon is also part of Unite's 2 day quick ship program for ultimate convenience.

Features

- Highly durable powder coat finish over chromatic conversion coating
- Die cast aluminum H3 housing (E3 fitted with integral heatink
- 4 convenient mounting types for all installation
- Thermal and shock resistant 3G tested for roadways and crane mounting

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1

Talon

DIMENSIONS

TALON 100W & 150W

Technical drawing of the Talon 100W & 150W antenna. The top view shows a rectangular antenna with a central rectangular cutout. Dimensions are labeled: A (total width), B (width of the central cutout), C (total height), and D (height of the central cutout). The side view shows the antenna's profile with a curved top and a flat base.

Measure Point	Dimensions
A	13.14"
B	11.41"
C	12.4"
D	2.4"

TALON 200W

Technical drawing of the Talon 200W antenna. The top view shows a rectangular antenna with a central rectangular cutout. Dimensions are labeled: A (total width), B (width of the central cutout), C (total height), and D (height of the central cutout). The side view shows the antenna's profile with a curved top and a flat base.

Measure Point	Dimensions
A	14.84"
B	13.11"
C	12.4"
D	2.4"

TALON 240W & 300W

Technical drawing of the Talon 240W & 300W antenna. The top view shows a rectangular antenna with a central rectangular cutout. Dimensions are labeled: A (total width), B (width of the central cutout), C (total height), and D (height of the central cutout). The side view shows the antenna's profile with a curved top and a flat base.

Measure Point	Dimensions
A	22.72"
B	21.03"
C	12.39"
D	2.4"

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2

Talon

PERFORMANCE

LUMEN OUTPUT

Wattage	T3 Lum	T3 Eff	16 Lum	16 Eff	T5 Lum	T5 Eff
100W	14203	142 LP/W	14637	146 LP/W	14221	142 LP/W
150W	20144	140 LP/W	20574	139 LP/W	21347	141 LP/W
200W	29301	141 LP/W	29105	143 LP/W	29143	143 LP/W
240W	34710	145 LP/W	34928	145 LP/W	34975	145 LP/W
300W	42331	141 LP/W	42145	141 LP/W	42794	142 LP/W

LUMEN AMBIENT TEMP MULTIPLIERS

Temperature	Multiple
5c/32f	1.03
10c/50f	1.01
15c/59f	1.00
20c/68f	0.99
30c/86f	0.98
40c/104f	0.98

ELECTRICAL LOAD CALCULATIONS

Wattage	120V	208V	240V	277V
100W	0.83A	0.48A	0.42A	0.36A
150W	1.25A	0.72A	0.63A	0.54A
200W	1.66A	0.96A	0.84A	0.72A
240W	2.00A	1.15A	1.00A	0.86A
300W	2.50A	1.44A	1.25A	1.06A

B-U-G and EPA RATING

Wattage	B U G	EPA
100W	83 U1-G3	0.7
150W	83 U1-G3	0.7
200W	83 U2-G3	0.9
240W	84 U2-G4	1.0
300W	84 U2-G4	1.0

WEIGHT AND PACKAGING SIZE

Wattage	Weight	Box Size (LxHxT)
100W	6.3 lbs	19"x14.4"x5.7"
150W	6.6 lbs	19"x14.4"x5.7"
200W	7.0 lbs	19.8"x14.4"x5.7"
240W	10.3 lbs	22.7"x14.4"x5.7"
300W	10.8 lbs	22.7"x14.4"x5.7"

LUMEN MAINTENANCE

Operating Hours	5	35,000	50,000	100,000
Percent of Initial	100%	90%	93%	86%

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3

Talon

MOUNTING

SF Slip Fit Bracket

FM Pole Mount (Round and Square)

TRN Trunlon

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4


UNITE

Talon

CONTROLS


Photocell

The Talon photocell is the most economical choice for house free controls. The PC will detect natural light and activate the Talon at dusk and shut it off at dawn.




Programmable Microwave Sensor

The Talon can integrate a programmable microwave sensor for total independent control. Functionality includes daylight harvesting, occupancy sensing, high low dimming at 10%, 30% or 50% standby levels with cycling hold times up to one hour.




Sliver Wireless Control

The Sliver wireless control system offers qualified two-wireless technology to offer a truly open source wireless control system. Easily integrated with EndOcean switches, the Sliver controls in seconds and provides five wireless network control.



Auranti Wireless Control

Auranti is a mid-range ZigBee wireless control platform that can offer advanced features such as space utilization, guest counting, temperature data collection, and advanced energy monitoring.



Synapse Wireless Control

Synapse is the Cadillac of outdoor wireless controls. Appropriate for single site to entire cities, Synapse boasts 1000 foot range as well as capacity for up to 10,000 lights at within one network. Functionality includes advanced features such as Internet free network and full Backlit integration.



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Talon

EPA RATINGS

S Single

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	0.70	0.90	1.00

D90 Double 90

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	1.10	1.20	1.50

D180 Double 180

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	1.60	1.90	2.00

T90 Triple 90

Size	100 & 150	200	240 & 300
Weight	19.3 lbs	21.0 lbs	32.4 lbs
EPA	1.80	2.10	2.20

T120 Triple 120

Size	100 & 150	200	240 & 300
Weight	19.3 lbs	21.0 lbs	32.4 lbs
EPA	1.80	2.10	2.20

Q90 Quad

Size	100 & 150	200	240 & 300
Weight	25.5 lbs	28.0 lbs	43.2 lbs
EPA	1.90	2.20	2.40

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Since 100's performance, dimensions and pricing are subject to change without notice. Contact Uniteg for latest information.

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Talon

PHOTOMETRY 100W

100W Type 3

Distance in increments of 40ft
Beamwidth: 120°

Talon 100W T3		
Zonal Lumens Summary		
Zone	Lumens	%Sphere
0-30°	2947	21%
0-40°	4645	34%
0-60°	9874	70%
0-80°	13373	97%
0-90°	14204	99%
40-60°	6685	47%
70-80°	3899	27%
80-90°	1737	12%
0-180°	14203	100%

100W Type 4

Talon 100W T4		
Zonal Lumens Summary		
Zone	Lumens	%Sphere
0-30°	2140	15%
0-40°	3655	26%
0-60°	9005	62%
0-80°	14150	97%
0-90°	14458	99%
40-60°	8020	55%
70-80°	5145	35%
80-90°	2337	16%
0-180°	14437	100%

100W Type 5

Talon 100W T5		
Zonal Lumens Summary		
Zone	Lumens	%Sphere
0-30°	1712	12%
0-40°	3367	24%
0-60°	8512	60%
0-80°	13812	97%
0-90°	14879	99%
40-60°	6792	48%
70-80°	5300	37%
80-90°	2318	17%
0-180°	14221	100%

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Talon

PHOTOMETRY STUDY

150W Type 3

Distance in Increments of 40ft
Mounting Height = 25ft

150W Type 4

150W Type 5

Talon 150W T3

Zone/Lumen Summary		
Zone	Lumens	%/Footcandle
0-30	2991	1%
0-40	5471	20%
0-60	13533	64%
0-80	20399	97%
0-90	20779	99%
0-100	11296	54%
0-120	8856	43%
0-150	2924	14%
0-180	21044	100%

Talon 150W T4

Zone/Lumen Summary		
Zone	Lumens	%/Footcandle
0-30	3031	1%
0-40	5604	27%
0-60	13664	65%
0-80	20413	98%
0-90	20817	99%
0-100	11244	54%
0-120	8749	42%
0-150	2899	11%
0-180	20875	100%

Talon 150W T5

Zone/Lumen Summary		
Zone	Lumens	%/Footcandle
0-30	3093	1%
0-40	5668	27%
0-60	13870	65%
0-80	20723	97%
0-90	21105	99%
0-100	11460	54%
0-120	8853	42%
0-150	2876	13%
0-180	21347	100%

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PHOTOMETRY 200W

Distance in increments of 40ft
Hanging height: 20ft

200W Type 3

Talon 200W Type 3		
Talon Lumens Summary		
Zone	Lumens	%Hue
0-30	4601	16%
0-40	7621	28%
0-50	11704	43%
0-60	27502	97%
0-70	28003	99%
60-80	15335	54%
70-80	978	3%
80-90	4377	15%
0-180	28301	100%

200W Type 4

Talon 200W Type 4		
Talon Lumens Summary		
Zone	Lumens	%Hue
0-30	4270	15%
0-40	7750	26%
0-50	11766	42%
0-60	28172	97%
0-70	28788	99%
60-80	15936	55%
70-80	10186	35%
80-90	4460	16%
0-180	29105	100%

200W Type 5

Talon 200W Type 5		
Talon Lumens Summary		
Zone	Lumens	%Hue
0-30	3760	14%
0-40	7200	25%
0-50	17815	41%
0-60	28210	97%
0-70	28826	99%
60-80	14244	56%
70-80	10397	34%
80-90	4160	14%
0-180	29143	100%

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Talon

PHOTOMETRY 240W

10% 5%
5% 1%
2%

Equivalent to footcandles at 40ft
Beamwidth length = 120'

240W Type 3

240W Type 4

240W Type 5

Talon 240W 10

Total Lumens Summary		
Zone	Lumens	Footcandle
O-30	5300	15%
O-40	9501	28%
O-50	22113	44%
O-60	33788	97%
O-70	34380	99%
O-80	18549	53%
70-80	11625	33%
80-90	5500	14%
O-100	34710	100%

Talon 240W 14

Total Lumens Summary		
Zone	Lumens	Footcandle
O-30	6178	18%
O-40	11026	32%
O-50	23718	69%
O-60	34008	97%
O-70	34517	99%
O-80	16903	48%
70-80	10292	29%
80-90	4964	14%
O-100	34928	100%

Talon 240W 15

Total Lumens Summary		
Zone	Lumens	Footcandle
O-30	6791	19%
O-40	11865	34%
O-50	24527	70%
O-60	34616	97%
O-70	34955	99%
O-80	11102	45%
70-80	9509	27%
80-90	4964	14%
O-100	34914	100%

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Talon

PHOTOMETRY 300W

300W Type 3

Distance in increments of 4m
Beamwidth Height = 30m

Talon 300W T3			
Zone Lumens Sulfure			
0-30	4472	11%	
0-40	17244	29%	
0-60	28351	47%	
0-80	41325	98%	
0-90	41814	99%	
0-95	27168	51%	
70-93	12974	31%	
80-95	5001	12%	
0-180	42231	100%	

300W Type 4

Talon 300W T4			
Zone Lumens Sulfure			
0-30	4472	11%	
0-40	11930	28%	
0-60	28623	67%	
0-80	41147	98%	
0-90	41826	99%	
0-95	27799	52%	
70-93	13094	31%	
80-95	5061	12%	
0-180	42143	100%	

300W Type 5

Talon 300W T5			
Zone Lumens Sulfure			
0-30	2778	14%	
0-40	11512	27%	
0-60	28554	66%	
0-80	41478	97%	
0-90	42647	99%	
0-95	27548	53%	
70-93	13624	32%	
80-95	5201	13%	
0-180	42784	100%	

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The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0420 BP-1 Business Park District

17.0420

BP-1 BUSINESS PARK DISTRICT

The BP-1 Business Park District is intended to provide for the orderly and attractive grouping of diverse office, retail, and customer service uses, mixed with industrial uses of limited intensity where the appearance of such mixed uses is enhanced by pleasing building architecture and generously landscaped sites free of outside storage and outside

display of products. The district is intended to be located in highly visible locations adjacent to arterial highways, and should be buffered by means of landscaping and berms from residential uses.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (b) Food service contractors and caterers
- (c) Hotels and Motels

2. Educational, Health Services, and Social Services

- (a) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.

3. General Services

- (a) Repair and Maintenance of consumer electronics, electronic and precision equipment commercial and Industrial machinery and equipment, appliances, furniture/reupholsters.
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Dry cleaning and laundry services (non-industrial)
- (d) Photo finishing laboratories
- (e) General Business Offices.
- (f) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial Service Institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Monetary Authority
- (c) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, and developer offices

5. Office equipment rental and leasing Information Services

- (a) Newspapers and Publishers

- (b) Computer programming, software publishers and data/system processing
 - (c) Video, film, sound, photo production and studios
 - (d) Media station and distribution center, excluding towers and dishes
 - (e) Telecommunications services, excluding towers and dishes
6. Manufacturing: The manufacture, fabrication, assembly, and/or processing of the following products; or parts, supplies, or sub-assemblies of the same:
- (a) Fabrics and Textile Products
 - (1) Yarn, felt, and fabric
 - (2) Carpet, rugs, drapes, canvas, and rope
 - (3) Clothing, hosiery, hats, gloves, shoes
 - (4) Packing and assembly of fur and leather products, no tanning
 - (5) Upholstery of furniture and automotive
 - (b) Wood and Paper Products
 - (1) Wood furniture and wood products
 - (2) Paper products (non pulp)
 - (3) Printing, binding, and associated printing services
 - (c) Home, health, beauty, and cleaning Products
 - (1) Toiletries
 - (2) Medical, botanical, and pharmaceutical processing (non hazardous)
 - (3) Cosmetic manufacturing
 - (4) China, pottery, porcelain, clay, ceramics, silverware
 - (5) Glass and glass products
 - (6) Jewelry
 - (7) Home décor items of art, lamps, furniture, wallpaper.
 - (8) Brooms and brushes
 - (d) Machinery and Metal Products
 - (1) Rolled wire, metal product manufacturing
 - (2) Tool and die, and machining
 - (3) Machinery for of farming, construction, mining, woodworking, paper, textile, printing, food products, commercial or industrial uses, service industry, mechanical, crane, elevator, pumps, and motors.
 - (e) General manufacturing
 - (1) Electronics, telecommunications, medical instruments, scientific and laboratory equipment, measuring and recording devices.
 - (2) Electrical appliances, switches, cable, and components
 - (3) Vehicles, vehicle parts, and equipment
 - (4) Sporting goods, hobby products, musical instruments, and marking devices
 - (5) Signage and advertising products
7. Professional, Technical, Scientific, and Administrative Services
- (a) Legal, notaries, and title services
 - (b) Accountants, tax preparation, payroll, and other accounting services
 - (c) Architects, landscape architects, engineering, surveying services
 - (d) Interior, industrial, graphic, and fashion design services
 - (e) Consulting/professional services of advertising, management, HR, marketing, IT.

- (f) Laboratories, research, and development facilities
- (g) Translation and interpretation services
- (h) Employment placement and provider services
- (i) Private investigators, locksmiths, security, and armored car services
- (j) Janitorial services
- (k) Pest control services
- (l) Business service centers and telemarketers
- (m) Building maintenance services
- (n) Packaging and labeling services
- (o) Veterinary Services
- (p) Offices of holding companies and regional managing offices
- 8. Retail Trade
 - (a) Internet sales shopping/mail order business and vending machine sales
 - (b) Factory Outlets and retail sales of products made onsite in the principal industrial operation.
- 9. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 10. Transportation and Warehousing, as follows:
 - (a) Courier, delivery, postal service businesses
 - (b) Limited wholesaling, warehousing and storage facilities for distributors, provided that such warehousing and storage does not exceed 50,000 square feet.

B. Permitted Accessory Uses

- 1. Garages for storage of vehicles used in conjunction with the principal business park operation.
- 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 3. Office, storage, power supply, distribution, warehousing, and other uses normally auxiliary to permitted business park uses.
- 4. Indoor storage and sale of machinery and equipment associated with the permitted business park uses.
- 5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- 6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Certain Incompatible Uses Prohibited

The following uses are considered to be incompatible with the residential characteristics of the Village and surrounding area and are herewith prohibited:

- 1. Manufacturing/processing of ammonia, asbestos, asphalt, cabbage,

chlorine, coal tar, creosote, explosives, fertilizer, fish, glue, grease, gypsum,

insecticide, lampblack, offal, poison, pulp, pyroxylin, and radioactive materials.

2. Storage of bulk fertilizer, explosives, gasoline in excess of 50,000 gallons, grease, and radioactive materials.
3. Forges, foundries, garbage incinerators, animal reduction, rubbish storage, slaughter houses, smelters, stockyards, and tanneries.

E. Lot Area and Width

1. Lots shall have a minimum of 40,000 square feet in area and shall be not less than 150 feet in width.
2. To achieve a campus-like appearance, lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

F.

1. **Building Height**
No building or parts of a building shall exceed 60 feet in height.

G. Setback and Yards

1. There shall be a minimum building setback of 40 feet from the street right-of-way.
2. There shall be a side yard of 25 feet on each side of all structures not exceeding 45 feet in height. Buildings in excess of 45 feet in height shall increase the minimum side yards one (1) foot for each additional one (1) foot of building height over 45 feet up to a maximum height of 60 feet.
3. There shall be a rear yard of not less than 25 feet.
4. The Plan Commission may reduce setbacks within this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction,
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards of the Village.
5. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.
6. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

- H. Erosion Control
 - 1. See Chapter 14 of the Village Municipal Code.
- I. Development Design Standards
 - 1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- J. Plans and Specifications to be Submitted to Plan Commission
 - 1. To encourage a business park environment that is compatible with the residential character of the Village, and that will maintain a campus like setting, building permits for permitted uses in the BP-1 Business Park District shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, architectural plans, ingress and egress, parking, loading and unloading, landscaping, and open space utilization.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

- 10. Transportation and Warehousing
 - Petitioners for conditional uses in the Warehousing section must:
 - a) In the BP-1 district, truck terminals, warehousing, wholesale and distribution centers, and mail-order centers when not accessory to a BP-1 district permitted use. The Plan Commission must also find the following items: that traffic from the use will not reduce the functionality grade of any nearby intersection(s) without the same being mitigated; and that noise standards of the operations shall be at least 10% lower at the property line than the Village Ordinance. The

Plan Commission must find that the buildings fully adhere to the design standards of the Village and the lot is screened such that the parked vehicles or equipment are not visible from any residential district and the street.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the

street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.