



N64W23760 Main Street
Sussex, Wisconsin 53089

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AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, AUGUST 15, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of June 20, 2023.
3. Consideration and possible action on Permitted Uses and Plans.
 - a. Discussion and possible action on a Plan of Operation for The Marek Group located at W251N5350 Business Dr.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Reconvene a Public Hearing on a Conditional Use Permit for outdoor storage associated with the T-Mobile cell tower collocation on Freiheit Court.
 - b. Discussion and possible action on a Conditional Use Permit for outdoor storage associated with the T-Mobile cell tower collocation on Freiheit Court.
 - c. Consideration of a Legal Non-Conforming Conditional Use Permit for Mike Dupont for a self-storage building and outdoor storage in the B-3 Highway Business Zoning District.
 - d. Consideration of a Conditional Use Permit amendment for Beer Capitol for a warehouse and distribution expansion at their facility located at W222N5700 Miller Way.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. Discussion and possible action on a resolution recommending the Village Board adopt an Ordinance amending the Land Use for a portion of the parcel identified by Tax Key No. 227.038.007 in the Vista Run Subdivision from the Single-Family Attached and Two-Family Residential Land Use classification to the Medium Density Single Family Residential Land Use classification.
 - b. Discussion and a possible recommendation to the Village Board to adopt an Ordinance Rezoning a portion of the parcel identified by Tax Key No. 227.038.007 in the Vista Run Subdivision from the SFRD-3 Single-Family Attached with a PDO Planned Development Overlay to the RS-2 Single-Family Residential with a PDO Planned Development Overlay.
 - c. Consideration and possible action on a Preliminary Plat for the Vista Run Subdivision for a portion of the parcel identified by Tax Key No. 227.038.007.
 - d. Consideration and possible action on a Final Plat for the Vista Run Subdivision for a portion of the parcel identified by Tax Key No. 227.038.007.

- e. Consideration and possible action on an Ordinance to repeal and recreate the Floodplain Management section of Chapter 14 Stormwater Management.
 - f. Reconsideration and possible action on an Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village.
 - g. Consideration and possible action on an accessory structure larger than 250 square feet as regulated by Section 17.0704(A)(2) for the property located at W240N7449 Maple Avenue.
- 6. Other items for future discussion.
 - 7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**DISCLAIMER- THE FOLLOWING ARE DRAFT MINUTES FROM
THE PLAN COMMISSION AND ARE
SUBJECT TO CHANGE UPON APPROVAL OF THE COMMISSION**

**VILLAGE OF SUSSEX
PLAN COMMISSION
6:30PM TUESDAY, June 20, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:30pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Commissioners Jim Muckerheide, Mike Knapp, Roger Johnson, Mike Schulist, Debbie Anderson, Trustee Greg Zoellick and Village President Anthony LeDonne

Members excused: None

Others present: Community Development Director Gabe Gilbertson, Village Engineer Judy Neu, Village Attorney John Macy, Deputy Clerk Jen Boehm, IT Coordinator Diane Bruns, applicants, and members of the public.

A quorum of the Village Board was not present at the meeting.

Consideration and possible action on the minutes on the Plan Commission meeting of May 16, 2023.

A motion by Zoellick, seconded by Muckerheide to approve the minutes of the Plan Commission meeting of May 16, 2023 as presented. Motion carried 7-0

Consideration and possible action on a Plan of Operation for Servpro located at N63W22639 Main Street

A motion by LeDonne, seconded by Anderson to approve the Plan of Operation for Servpro located at N63W22639 Main Street subject to the standard conditions of Exhibit A.

Motion carried 7-0

Consideration and possible action on a Plan of Operation for Papa John's Pizza located at W249N5245 Executive Dr. #204.

A motion by Johnson, seconded by Muckerheide to approve the Plan of Operation for Papa John's Pizza located at W249N5245 Executive Dr. #204 subject to the standard conditions of Exhibit A.

Motion carried 7-0

Reconvene a Public Hearing on a Conditional Use Permit for an amendment to the 2020 Conditional Use Permit for a car and bike night at Sussex Bowl.

A representative for Sussex Bowl, Beth Kjell, was present and available for questions. There were no questions or comments from the public.

A motion by LeDonne, seconded Schulist by to close the Public Hearing at 6:38pm.

Motion carried 7-0

Consideration and possible action of a Conditional Use Permit, Plan of Operation, and site plan for a Tuesday car and bike night for Sussex Bowl located at N64W24576 Main Street

A motion by LeDonne, seconded by Schulist to approve a Conditional Use Permit, Plan of Operation, and site plan for a Tuesday car and bike night for Sussex Bowl located at N 64W24576 Main Street and a finding the use and structures meet the principals of 17.1002(A-H); subject to the standard conditions of Exhibit A. Motion carried 7-0

Public Hearing on a Conditional Use Permit for outdoor storage in associated with the T-Mobile cell tower collocation on Freiheit Court.

A representative for T-Mobile, Karol Fahey was present and gave a brief overview of the Plan of Operation. There were no questions or comments from the public.

A motion by LeDonne, seconded by Anderson to reconvene the Public Hearing to the August 15, 2023 meeting and direct staff to put together final documents.

Motion carried 7-0

Consideration and possible action of a Conditional Use Permit for outdoor storage in associated with the T-Mobile cell tower collocation on Freiheit Court.

Motion by LeDonne, seconded by Johnson to make the determination that the proposed modifications to the existing array of additional antenna for US Cellular on the cell tower located at N64W24837 Freiheit Court are not substantial.

Motion Carried 7-0

Consideration and possible action on a Site Plan for US Cellular antenna installation on a communications tower located at N64W24837 Freiheit Ct.

A motion by LeDonne, seconded by Muckerheide to approve 6 new antennae, 1 surge protector, and necessary cable on the communications tower located at N64W24837 Freiheit Ct.

Motion Carried 7-0

Consideration and possible action on an Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village.

A motion by Knapp, seconded by Muckerheide to recommend to the Village Board approval fo the Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village.

Motion carried 7-0

Other Items for Future Discussion

Commissioner Johnson would like the property line on the patio next to Mammoth Springs researched.

Adjournment

A motion by LeDonne, seconded by Anderson to adjourn the meeting at 7:07p.m.

Motion carried 7-0

Respectfully submitted,
Jen Boehm
Deputy Clerk



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MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of August 15, 2023
DATE: August 8, 2023

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. Minutes of the Plan Commission meeting of June 20, 2023.

03. Consideration and possible action on Permitted Uses and Site Plans:

A. Discussion and possible action on a Plan of Operation for The Marek Group located at W251N5350 Business Dr.

This site is zoned BP-1 Business Park. The Marek Group specializes in field sales and marketing execution through printed products, direct mail, promotional items, inventory management, and a fulfillment center. The Sussex location will house their fulfillment center and process orders from both customer and The Marek Group owned items. The use is a permitted use under Section 17.0420(A)(8)(a).

According to the Plan of Operation application, the hours of operation will be between 7:00 am and 7:00 pm Monday through Friday with 8 employees on the largest shift and a possibility to have an additional 10-12 employees for special projects.

Parking code requires one stall per 2,500 sf of gross floor area and one stall per employee on the largest shift. The Code requires 40 stalls based on their permanent number of employees and up to 52 stalls required if additional staff is brought in for projects. The site has 102 parking stalls in total. However, this user is taking a portion of the subject building and the parking requirements for additional users of the building will be evaluated when additional Plan of Operations are received.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation: Staff recommends approval of the Plan of Operation for The Marek Group located at W251N5350 Business Dr.

04. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans:

A. Reconvene a Public Hearing on a Conditional Use Permit for outdoor storage associated with the T-Mobile cell tower collocation on Freiheit Court on the parcel identified by Tax Key No. 231.989.007.

The subject property is zoned B-2 Regional Business District. T-Mobile submitted plans to collocate on the Freiheit Court cell tower and at its March 21, 2023 Plan Commission meeting, the Board made the determination that the collocation was not substantial and approved a site plan for the installation of the ground equipment in association with the collocation.

The site plan was approved subject to the ground equipment being placed inside of an equipment shelter similar to the shelter that is currently there or submit for a conditional use permit for the outdoor storage in accordance with Section 17.0500(A)(11)(a) that states that outside storage maybe permitted with a conditional use permit for commercial uses in the B-2 District and that in all cases, outside storage shall be screened from all sides.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

A public hearing was held at the June 20, 2023 Plan Commission meeting and no citizen comments were received.

The Petitioner spoke and requested the Plan Commission to approve the Conditional Use Permit and that they would adhere to the conditions placed on the Conditional Use Permit. Staff has prepared a Conditional Use document for consideration and that document is attached to this memo. The Conditional Use standards to be met are included in that document.

Additional Plan Commission conditions:

The Petitioner, Public and Plan Commission will have a chance to present evidence and discuss the Conditional Use Order.

Policy Questions:

1. Is there any further unanswered questions by the Plan Commission or any other items requiring a continuation of the Public Hearing?

Action:

1. Close the public hearing or continue the public hearing with specific information sought by the Petitioner/Public.

B. Discussion and possible action on a Conditional Use Permit for outdoor storage associated with the T-Mobile cell tower collocation on Freiheit Court on the parcel identified by Tax Key No. 231.989.007.

Staff has prepared a conditional use document for consideration at this meeting. The Plan Commission has heard testimony on the application for the car and bike night to occur on Tuesday nights at Sussex Bowl.

Policy Questions:

Has the Petitioner provided substantial evidence proving they meet the standards/regulations of the Ordinance, the conditions and standards of the Conditional Use Permit, and the other conditions as set forth by the Plan Commission?

If No, the deficiency will need to be detailed.

Has the Petitioner provided substantial evidence with regards to the following Standards/Regulations?

The Application is complete and consistent with 17.0502: Yes or No

The use(s) and plans are compliant with 17.0503 (Review of CU's): Yes or No

The use(s) and plans are compliant with 17.0200 (General Conditions): Yes or No

The uses(s) and plans are compliant with 17.0418 B-2 Regional Business District: Yes or No

The uses(s) and plans are compliant with 17.1000 (Site Plan Review): Yes or No

Has the Petitioner provided substantial evidence and adequately addressed the findings of the impact report per 17.0506.A. Yes or No

Has the Petitioner provided substantial evidence with regards to the Conditional Use Permit as follows:

A.3.A. Site Plan Standards compliance: Yes or No

A.3.B. Plan of Operation compliance: Yes or No

A.3.C. Various Plan(s) compliance: Yes or No

A.4.-15. CU condition compliance: Yes or No

B-L. Administrative CU Condition compliance: Yes or No

Action Items:

1. Act on the Conditional Use Permit and Plan of Operation.

Staff Recommendation: Staff recommends approval of the Conditional Use, Plan of Operation, and site plan for outdoor storage of equipment associated with a wireless communication tower collocation located at the property identified by Tax Key No. 231.989.007 and a finding the use and structures meet the principals of 17.1002(A-H); subject to the standard conditions of Exhibit A.

C. Consideration of a Legal Non-Conforming Conditional Use Permit for Mike Dupont for a self-storage building and outdoor storage in the B-3 Highway Business Zoning District.

The subject property is zoned B-3 Highway Business District and has a legal-nonconforming mini-warehouse and an illegal outdoor storage facility operation on it. The property began expanding the outdoor storage component when Village Staff notified the property owner that per Section 17.0506(A)(11)(a) outside storage may be permitted for commercial uses in the B-3 Highway Business District with a Conditional Use Permit. There is currently an existing outdoor storage use installed between 2020 and 2022 without approval from the Village of Sussex, which is required to be made part of the Legal Non-Conforming Conditional Use Permit in order to continue.

The applicant submitted a conditional use permit application for the addition of an approximately 170 foot by 40 foot outdoor storage area. The Conditional Use Permit would incorporate the proposed storage area and the existing storage area.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

Policy Question:

1. Are there any concerns the Plan Commission has that they may want the applicant to address at the public hearing.
 - a. The Plan Commission will need to consider if this is a use the Board is comfortable formalizing with the Conditional Use Permit.
 - b. The applicant has planted evergreens around the area where the proposed outdoor storage space is, Staff recommends the installation of a solid fence to fully screen the outdoor storage. The applicant would also be required to pave both outdoor storage areas as gravel is not permitted in the commercial zoning districts.
 - c. The Plan Commission may want to consider limiting what is permitted to be stored outdoors to residential recreational vehicles, i.e., trailers, boats, campers, etc.

Action Items:

1. Direct staff to schedule the public hearing.

Staff Recommendation: Staff recommends scheduling the public hearing for the September 19, 2023 meeting.

D. Consideration of a Conditional Use Permit for Beer Capitol for beverage warehouse and distribution facility expansions in the BP-1 Business Park District.

The subject property is zoned BP-1 Business Park District and is occupied by Beer Capitol – a beverage wholesaler. Beer Capitol operates 24 hours a day Monday through Friday and employs 372 full time employees. The number of employees is not expected to grow, but the expansion would allow for territory and supplier growth. A conditional use permit was amended in 2009 to accommodate a building expansion and because transportation and warehousing uses in the BP-1 District are a Conditional Use Permit under Section 17.0506(A)(10). According to the Municipal Code requires 278 parking stalls and the site plan proposes a total of 286 total parking stalls.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

Policy Question:

1. Are there any concerns the Plan Commission has that they may want the applicant to address at the public hearing.
 - a. A tree mitigation plan must be reviewed and approved by the Tree Board.
 - b. The Sussex Design Standards require loading docks to be screened from the public right of way and for street facades to have a minimum of 20% of window or door openings (excluding loading docks). Deviations from the Sussex Design Standards can be approved by the ARB and Plan Commission.
 - c. The petitioner is providing Staff with employee shift information to determine the number of parking stalls required for the site.

Action Items:

1. Direct staff to schedule the public hearing.

Staff Recommendation: Staff recommends scheduling the public hearing for the September 19, 2023 meeting.

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items:

A. Discussion and possible action on a resolution recommending the Village Board adopt an Ordinance amending the Land Use for a portion of the parcel identified by Tax Key No. 227.038.007 in the Vista Run Subdivision from the Single-Family Attached and Two-Family Residential Land Use classification to the Medium Density Single Family Residential Land Use classification.

The developer for the Vista Run subdivision submitted an application to amend the land use portion of the Comprehensive Plan to change the Land Use for Outlot 10 and Outlot 12 of the Vista Run Subdivision from the Single-Family Attached and Two-Family Residential Land Use Classification to the Medium Density Single-Family Residential Land Use Classification.

This land use amendment is the first step in a process to allow the Developer to develop these lands as additional single-family homes similar to the homes to the west rather than the side-by-side units that were originally approved.

Policy Question:

1. Are there any concerns with the proposed amendment to the Land Use Plan Map?
2. Are there any concerns with the Resolution?

Action Items:

1. Act on the Resolution.
2. Direct staff to schedule a public hearing.

Staff Recommendation: Staff recommends approval of the Resolution and for the Plan Commission to recommend to the Village Board the adoption of an Ordinance to amend the Land Use Plan Map, a component of the Comprehensive Plan for Outlot 10 and 12.

B. Discussion and a possible recommendation to the Village Board to adopt an Ordinance Rezoning a portion of the parcel identified by Tax Key No. 227.038.007 in the Vista Run Subdivision from the SFRD-3 Single-Family Attached with a PDO Planned Development Overlay to the RS-2 Single-Family Residential with a PDO Planned Development Overlay.

The petitioners have filed a petition to rezone the approximately 3.41 acre parcels, Outlot 10 and Outlot 12 identified as a portion of Tax Key No. 227.038.007 of the Vista Run subdivision from the SFRD-3 Single Family Attached with a PDO Overlay to the RS-2 Single-Family with a PDO Overlay.

The rezoning is in conjunction with the submitted Land Use Plan amendment and would allow the developer to develop the approximate 3.41 acres as single family homes rather than two-family condos.

Staff has prepared an Ordinance for consideration to rezone the property. The next step is for the Plan Commission to recommend to the Village Board and schedule a public hearing.

Policy Questions:

1. Are there any concerns with the petition?
2. Are there any concerns with the proposed zoning change?
3. Are there any concerns with the Ordinance?

Action Item:

1. Act on the Ordinance.
2. Direct staff to schedule a public hearing.

Staff Recommendation: Staff recommends the Plan Commission recommend to the Village Board to approve the Ordinance to rezone a portion of the parcel identified by Tax Key No. 227.038.007 of the Vista Run subdivision from the SFRD-3 Single Family Attached with a PDO Overlay to the RS-2 Single-Family with a PDO Overlay.

C. Consideration and possible action on a Preliminary Plat for the Vista Run Phase V Subdivision for a portion of the parcel identified by Tax Key No. 227.038.007.

The applicant has submitted a Preliminary Plat labeled as Phase V for the Vista Run Subdivision that would convert a portion of the of the “Reserves at Vista Run” two-family condo development into 13 single family lots. The single family lots would be classified as the Villa Lots which require a 65-foot minimum lot width and minimum 9,000 square foot lot size, which is consistent with adjacent lots. The applicant has stated that the values generated from the 13 singly family lots would be consistent with the values generated from the 18 units in 9 condo buildings currently approved.

Policy Questions:

1. Are there any concerns with the Preliminary Plat?
 - a. Staff supports the proposed change given the marketplace conditions.
 - b. The Engineering Department has reviewed the Preliminary and Final Plats and all issues has been resolved.

Action Items:

1. Act on the Plat.

Staff Recommendation: Staff recommends the Plan Commission approve the Preliminary Plat and recommend to the Village Board to approve the Preliminary Plat for Vista Run Phase V Subdivision for a portion of the parcel identified by Tax Key No. 227.038.007, subject to the following conditions:

1. Standard conditions of approval for Preliminary Plats.
2. Approval of the proposed Land Use Amendment and Rezoning by the Village Board to allow for the proposed development.
3. Final review and conditions from Waukesha County and the Wisconsin DOA being addressed.
4. The standard conditions of Exhibit A.

D. Consideration and possible action on a Final Plat for the Vista Run Phase V Subdivision for a portion of the parcel identified by Tax Key No. 227.038.007.

The proposed Zoning for the subject lands is RS-2 Single Family Residential. The submitted Final Plat which is Phase V of the single-family portion of the Vista Run subdivision is in substantial conformance to the preliminary plat and would establish an additional 13 single family lots of the subdivision.

Section 18.0305(F) requires all improvements be either installed or a contract and sureties ensuring their installation be filed prior to the plat being recorded. Since substantial completion for Phase 2 has not occurred, the Final Plat may receive conditional approval from the Village Board subject to Section 18.0305(H) and said approval will be conditioned upon all improvements being completed and accepted by the Village.

Policy Question:

1. Are there any concerns with the Final Plat.
 - a. The Engineering Department has reviewed the Preliminary and Final Plat and all issues have been resolved.

Action Items:

1. Act on the Final Plat.

Staff Recommendation: Staff recommends the Plan Commission recommend approval to the Village Board of the Final Plat for Vista Run Phase V subject to the following conditions:

1. The standard conditions of Plat approval that are not in conflict with Wis. Stats. 236.13.
2. Payment of all fees and subject to the standard conditions of Exhibit A.
3. A final Utilities Plan submitted to the Engineering Department for their review and approval and utilities installed before the Final Plat is recorded.
4. Final review and conditions from Waukesha County and the Wisconsin DOA being addressed.

E. Consideration and possible action on a recommendation to the Village Board to repeal and recreate the Floodplain Management Sections of Chapter 14 Stormwater Management of the Municipal Code.

The Village is required to update the floodplain management section of Chapter 14 of the Municipal Code as part of the Flood Insurance Study and Flood Insurance Rate Map updates for Waukesha County. The Code update is required by the Village to be compliant with its participation in the Nation Flood Insurance Program.

The proposed changes to the Flood Management section of Chapter 14 have been reviewed and approved by the Wisconsin Department of Natural Resources for compliance and a proposed Ordinance is attached to this memo for the Plan Commission's review.

Policy Question:

1. Are there any concerns with the Ordinance?

Action Items:

1. Act on the Ordinance.

Staff Recommendation:

Staff recommends the Plan Commission recommend to the Village Board to approve the Ordinance to repeal and recreate the Floodplain Management sections of Chapter 14 Stormwater Management of the Municipal Code.

F. Reconsideration and possible action on an Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village.

At its June 20, 2023 meeting, the Plan Commission recommended the Village Board adopt an ordinance to amend Section 4.06(6)(A) which states that it shall be unlawful to keep more than two dogs over the age of 5 months upon any premises within any district within the Village. The amendment was proposing to increase the number of allowed dogs from two to three. The Village Board discussed the matter and referred the matter back to the Plan Commission for additional discussion.

Staff looked at surrounding communities as a basis for discussion. The following communities and their dog limits are below:

1. Village and City of Pewaukee: 2 dogs. Additional dogs with a permit.
2. Elm Grove and Oconomowoc: 3 dogs.
3. Delafield: 3 dogs. Additional dogs with a permit.
4. Grafton and Hartford: Three dogs or cats over the age of 5 months.
5. Hartland: 5 animals with no more than two of each breed.
6. Menomonee Falls: No limit.

Some concerns raised involved whether additional animals would create incentive to push it to 4 and then 5, etc. How this ordinance related to Kennel operations was raised and staff addressed this by tying the Ordinance to the conditional use provisions for Animal Boarding? Another suggestion was to base dog numbers about lot size or surrounding area or to have a base of 2, but allow additional by a permit.

This is a policy issue for the Commission and Village Board to determine. Staff does not have a recommendation other than to keep the Ordinance simple to administer. It is unlikely that any complex ordinance would be sustainable as folks move and animal numbers ebb and flow often without any Village knowledge. Animal complaints related to the number of animals is not presently a common neighbor dispute in the Village.

Policy Question:

1. Are there any concerns with the Ordinance?
2. Is there a concern that raising the number of dogs would lead to further expansion or additional animal complaints?

Action Items:

1. Act on the Ordinance.
2. Recommend no change in the Ordinance.

Staff Recommendation:

Staff has no recommendation, but the Plan Commission could recommend to the Village Board to approve the Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village with any changes made as the Plan Commission deems appropriate.

G. Consideration and possible action on an accessory structure larger than 250 square feet as regulated by Section 17.0704(A)(2) for the property located at W240N7449 Maple Avenue.

The subject property is zoned RS-2 Single Family Residential with a lot size of approximately 1.28 acres. The owner is requesting to build an accessory structure with an area of 864 square feet. Section 17.0704(A)(2) states that accessory buildings shall not exceed 250 square feet. However, Section 17.0704(A)(2)(1) states that on larger lots, in any residential district, the Plan Commission may at its discretion, permit more than one accessory structure or may permit a structure exceeding 250 sq.f. in area.

The applicant has submitted a request to build a structure larger than the permitted 250 square feet on his 1.28 acre property.

Policy Question:

1. Are there any concerns with the proposed size of the accessory structure?

Action Items:

1. Approve or deny the 864 square foot accessory structure.

Staff Recommendation:

Because the subject property is 1.28 acres large and the scale of the accessory structure would be balanced with the size of the lot, Staff recommends the Plan Commission approve the accessory structure at 864 square feet at the property located at W240N7449 Maple Avenue.

6. Other Items for future discussion.

7. Adjournment.



Project Name _____

Tax Key # _____

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: _____ Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position

I am aware and approve of the business to be operating in the building
owned by _____.

Name

Date

Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

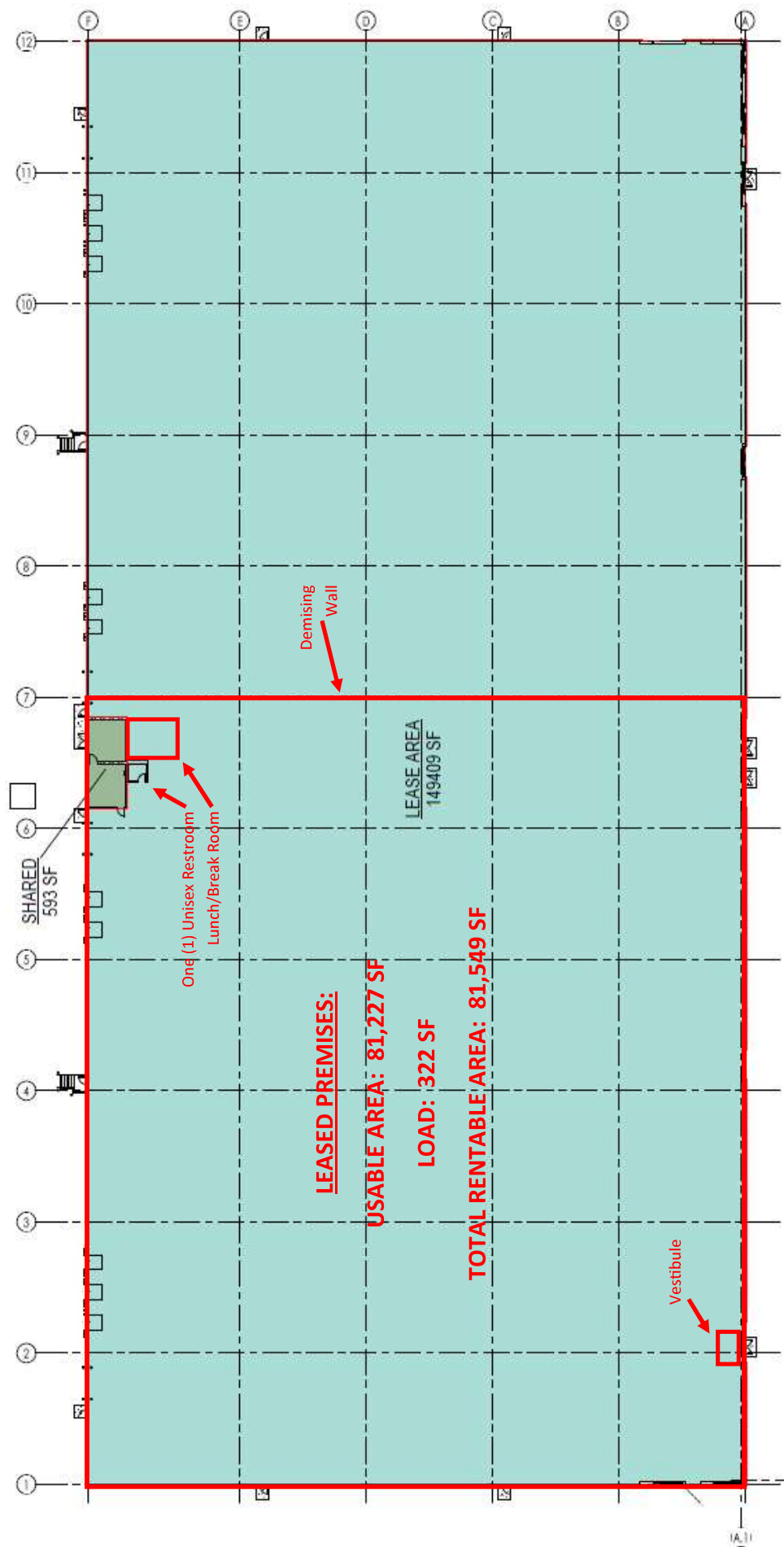


The Marek Group

The Marek Group is an industry leader in field sales and marketing execution, through the use of printed products, direct mail, promotional items, inventory management and a fulfillment services.

The Sussex location will house our fulfillment center, processing orders from both customer owed items and TMG owed items.

Approximately 1,000 orders per day will be picked, packed and shipped out via USPS, UPS, FedEx and various LTL services.





Project Name T-Mobile ML89143A-NSD

Tax Key # SUXV0231989007

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile, 708-359-7638; kfahey@insite-inc.com.

Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # SUXV0231989007

Zoning: _____

Address of Tenant Space: Freiheit Court

1. Name of Business:

1s660 Midwest Rd, Suite 140, Oakbrook Terrace, IL 60181

Business		
N/A	Oakbrook Terrace, IL 60181	224-301-0719
Address	City, State, Zip	Phone #
	kfahey@insite-cederberg@insite-inc.com	
Fax #	Email address	

2. Business owner contact information:

Contact		
1s660 Midwest Rd., Suite 140	Oakbrook Terrace , IL	708-359-7638
Address	City, State, Zip	Phone #
	kfahey@insite-inc.com	
Fax #	Email address	

3. Building/Land owner contact information:

Tower Owner: US Cellular/Pyramid-Sam Polk

Contact		
6615 Towpath Rd.	East Syracuse, NY 13057	973-590-9553
Address	City, State, Zip	Phone #
	spolk@pyramidns.com	
Fax #	Email address	

4. Number of Employees/Shifts: N/A N/A
 Employees Shifts

5. Days of Operation:

Put an X in box that applies:
 Hours
 Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
24/7	24/7	24/7	24/7	24/7	24/7	24/7

6. Is this an extension of an existing operation? T-Mobile to co-locate on existing cell tower

7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. N/A

8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No
If yes, explain: _____
If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? N/A If yes, explain: _____

11. Dimension of area to be occupied 15' 0"x9' 6" : 14'x12' Total square footage 142.5': 168'

If applicable list square footage according to 1st floor N/A 2nd floor N/A

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking: N/A
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?
None

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Karol Fahey-Insite-Inc.authorized agent of T-Mobile

04-26-2023

Name

Date

Site Acq Specialist

Title or Position

I am aware and approve of the business to be operating in the building owned by US Cellular.

Karol Fahey-Insite-Inc.authorized agent of T-Mobile

4-26-2023

Name

Date

Site Acq Specialist

Title or Position



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Karol Fahey-Insite-Inc. as authorized agent of T-Mobile

1s660 Midwest Rd, Suite 140, Oakbrook Terrace, IL 60181

Business Name: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile

Name of Owner and Address of the Property involved in the Request (if different from above):

Same as above.

Tax Key No. of the Property involved in the Request: SU XV 023198007

Karol Fahey
Signature of Property Owner and /or Authorized Agent

04-26-2023

Date

Signature of Village Official Accepting Form

4-26-2023

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile

Address: N/A

Owner/Operator: N/A

Standard Industrial Classification #: N/A

How many people do you employ? N/A

What are your businesses hours of work? N/A

Who is responsible for water quality? (List job titles)
N/A

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?
N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
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Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile
Business Address: 1s660 Midwest Rd., Suite 140, Oakbrook Terrace, IL 60181
Business Phone #: 708-359-7638
Business Email: kfahey@insite-inc.com

Business Emergency Contacts

Name and Phone #: T-Mobile NOC # 1-877-611-5868 -ML89143A
Name and Phone #: Pyramid-Sam Polk
Name and Phone #: _____

Building Owner Name: US Cellular/Pyramid (Tower Owner)
Building Owner Email: Sam Polk (Pyramid:spolk@pyramidns.com)

Building Owner Emergency Contacts

Name and Phone #: See above.
Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☐ No ☒

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0417 B-2 Regional Business District

17.0417 B-2 REGIONAL BUSINESS DISTRICT

The B-2 Regional Business District is intended to provide for the orderly and appropriate development along the STH 164 Corridor, to provide services and retail for the community and surrounding region.

A. Permitted Uses

1. Accommodations and Food Service
 - (a) Hotels and motels
 - (b) Restaurants, snack stands. For a drive-through the Plan Commission must find that the vehicle stacking will not impact surrounding properties or any public roadway.
 - (c) Bars
 - (d) Food service contractors and caterers
2. Arts, Entertainment and Recreation Services
 - (a) Artists offices/studios
 - (b) Entertainment Facilities, such as arcades, bowling alleys, golf facilities, miniature golf facilities, pool and billiard halls, where the space of the use is under 30,000 square feet.
3. Educational, Health Services, and Social Services
 - (a) Fine arts and language schools and studios
 - (b) General medical services
 - (c) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
 - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
 - (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
 - (b) Financial investment, insurance offices, and similar financial products
 - (c) Real estate, appraisers, and developer offices
 - (d) Office equipment rental and leasing
 - (e) Rental Centers
5. General Services
 - (a) Barber, beauty, nail salons, spa treatment services
 - (b) Personal care and weight loss services
 - (c) Funeral home and funeral services
 - (d) Dry cleaning and laundry services (non-industrial)
 - (e) Travel and visitor services
6. Information Services
 - (a) Radio/TV/Cable network, stations, news syndicates excluding towers and dishes.
 - (b) Motion picture theaters excluding drive-in.
7. Retail Trade

- (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/packaged beverage and tobacco stores
 - (f) Pharmacy/drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing/shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Department stores, supercenters, warehouse clubs
 - (m) Vehicle parts sales, and vehicle maintenance if the use is less than 25% of the facility and is part of a larger retail operation.
 - 8. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
 - 9. Transportation and Warehousing
 - (a) Courier, delivery, postal service businesses
 - 10. Parking Lots
 - (a) Off street parking lots, excluding multi-level parking garages, are allowed without a primary structure if the Plan Commission finds that the parking lot is part of a larger commercial development where the master plan calls for a building to be placed on the site in the future, but the parking lot is necessary for the overall development and cross access and parking agreements are required by the Plan Commission.
 - 11. Housing
 - (a) Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.
- B. Permitted Accessory Uses
- 1. Storage sheds for storage of ground maintenance equipment.
 - 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
 - 3. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- C. Conditional Uses
- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
 - 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508
- D. Lot Area and Width

1. Lots shall be a minimum of 12,500 square feet in area and shall not be less than 80 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
3. The requirements of Section (D)(2) above may be met in the district by including area from outlots that serve stormwater or other directly related purposes for the subject parcel, are owned in part by the parcel, and are reasonably expected to remain in open space for perpetuity as determined by the Administrator. If multiple lots are served by one or more outlot(s) in no case shall the greenspace area of the outlot(s) be counted more than once. Each lot which by this subsection is entitled to satisfy the requirements of Section D(2), in part, by land located on an outlot is entitled to use no more than the percentage of the qualifying outlot land that is equal to the percentage of the subject lot compared to the total area of the lands served by the outlot.

E. Building Height and Area

1. No principal building or parts of a principal building shall exceed 45 feet in height.
2. Buildings larger than 100,000 square feet in area shall have a deed restriction placed against the lot in a form approved by the Village to ensure the building, if it becomes vacant for more than 5 years to be removed from the site and the site returned to a buildable state.

F. Setback and Yards

1. There shall be a minimum setback of 40 ft. from the road right-of-way.
2. There shall be a rear yard of not less than 25 ft.
3. There shall be a sideyard on each side of the buildings of not less than 25 ft., except as follows.
4. The Plan Commission may reduce setbacks with-in this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction.
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards of the Village.
5. No building or structure shall be located closer than 15 ft. to an F-1 Floodway District, F-2 Floodplain Conservancy District, or a LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Municipal Code of the Village.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be Submitted to Plan Commission

To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscapes plans.

1. Pedestrian and Vehicle Access.

(a) Property owners will provide cross access easements off-street where feasible.

(b) Where feasible and desirable, pedestrian cross access from adjacent building will be encouraged.

17.0506

CONDITIONAL USES

A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

11. Miscellaneous Items (Towers/Antenna and Outside Storage)

a) Commercial Use Outside Storage. Outside storage maybe permitted for commercial uses in the B-1, B-2, B-3, B-4, BP-1, and OP-1, districts. All outside storage areas shall be at least 100 feet from residential, park, and institutional districts located in the Village or adjacent community. In all cases, outside storage shall be screened from all sides. All screening plans are subject to Plan Commission review and approval. Screening shall be a permanent opaque wall matching the materials of the building and may include fencing as deemed appropriate by the Plan

Commission. The Plan Commission may allow vegetative screening in part or in whole, where it determines the vegetative screening shall provide sufficient and aesthetically pleasing screening and said screening is appropriate for the type of items being screened from view. The height of the wall necessary shall be sufficient to screen the product(s) in the outside storage area. The Plan Commission shall set the appropriate height of any fencing based upon the site conditions and the types of outdoor storage to be screened. Outside Storage shall not be construed to include the temporary or seasonal outdoor sales or services allowed as part of a Village approved outdoor sales and services permit.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

2023
VILLAGE OF SUSSEX ORDER
GRANTING A CONDITIONAL USE AND PRESCRIBING
CONDITIONS FOR T-MOBILE TO ALLOW OUTDOOR
STORAGE IN THE B-2 REGIONAL BUSINESS DISTRICT
IN THE VILLAGE OF SUSSEX

WHEREAS, an application has been filed by In-Site Inc, agent of T-Mobile, on the subject property (hereinafter collectively “Petitioners”); and

WHEREAS, the Petitioner is requesting a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for the property at SUXV0231989007, Freiheit Court, in the Village of Sussex, Wisconsin, all as described on **Exhibit A** attached hereto and incorporated herein (hereinafter “Subject Property”); and

WHEREAS, upon referral of the application by the Village Clerk, the Plan Commission for the Village of Sussex determined that the application met all requirements as set forth in Section 17.0502 and scheduled a public hearing thereon as soon as practical; and

WHEREAS, upon publication of the required “Notice of Public Hearing” and mailing of said “Notice of Public Hearing” to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on June 20, 2023 and August 15, 2023 as required by Section 17.0505 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Plan Commission has followed the review procedures of Section 17.0503 by reviewing the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation; and

WHEREAS, the Subject Property is zoned B-2 Regional Business District; and

WHEREAS, outdoor storage associated with the communication tower collocation is a conditional use in accordance with Section 17.0506A(11)(a) and the request for conditional uses authorized the subject property to include: outdoor storage of equipment associated with wireless communication facility; and

WHEREAS, the Plan Commission for the Village of Sussex finds that the petitioner’s proposed conditional use, if said use is carried out in strict compliance with the conditions described herein, is not adverse to the public health, safety, or welfare; it is not in conflict with the spirit or intent of the Village of Sussex Zoning Ordinance; and it is not otherwise detrimental to the community and particularly the surrounding neighborhood; and

WHEREAS, the Plan Commission for the Village of Sussex, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health,

safety or general welfare of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a conditional use permit for the Subject Property is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by the Petitioners for outdoor storage as set forth in Section 17.0506 Conditional Uses if approved as part of a Plan of Operation and site plan; and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use is granted for the Petitioner for the above for the above enumerated uses, incorporating the findings as set forth above and subject to the following conditions:
1. Presentation Compliance. The outdoor storage of equipment associated with the communication tower collocation is approved herein on the Subject Property, and the use thereof, shall be used in substantial conformity with the presentation at the Public Hearings before the Plan Commission held on June 20, 2023 and August 51, 2023.
 2. Subject Property. This conditional use permit issued to the Petitioners, shall be limited to the property described in **Exhibit A** attached hereto and incorporated herein and to the site plan presented at public hearing.
 3. Plans. The Petitioners are required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Village Clerk for the Village of Sussex in order for this CU to be in effect. The Petitioner shall be entitled to amend or change any plan contemplated herein subject to the specific language of the Conditional use and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial amendment or change in any plan contemplated herein as solely determined by the Plan Commission. If the Plan Commission for the Village of Sussex feels, in its sole discretion, that the amendment or change to any plan contemplated herein is substantial, the amendment or change will require a new permit and all Village procedures in place at the time must be followed.
 - A. Site Plan. The Petitioners shall maintain the existing site plan, which shall be attached hereto and incorporated herein as **Exhibit A-1**.
 - B. Plan of Operation. The Petitioners shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meetings. Once approved the plan of operation shall be attached hereto and incorporated herein as **Exhibit B**.

- C. Traffic, Access, Loading, and Parking Plans. The Petitioner shall comply with the existing traffic parking, loading, and egress plan for the subject property on file with the Village Clerk.
 - D. Lighting Plan. The Petitioner shall maintain the existing lighting plan for the Subject Property on file with the Village Clerk
 - E. Signage Plan. The Petitioner must submit a signage plan for the subject property on file with the Village Clerk.
 - F. Public Improvements. All public improvements shall be permitted through the Village of Sussex.
 - G. Sewer, Water, Stormwater and Erosion Control Plans. The Petitioner shall comply with the specific sewer, water, stormwater, and erosion control plans on file with the Village Clerk.
 - H. Fence, Landscaping, Berm, and Open Space Utilization Plan. The Petitioner shall comply with the specific Fence, Landscaping, Berm, and Open Space Utilization Plan for the Subject Property shall be attached hereto and incorporated herein as **Exhibit C**.
 - I. Architectural and Building Plan. The Petitioner shall comply with the specific Architectural and Building Plan for the Subject Property on file with the Village Clerk.
 - J. Outdoor Storage and Uses Plan. Only outdoor storage as depicted in **Exhibit A-1** is permitted on the subject property. If the Petitioner wishes to have additional outdoor storage they must seek approval from the Plan Commission without a new public hearing unless the Plan Commission determines a public hearing is necessary.
- 4. Adult-Oriented Materials. No adult-oriented materials or pornographic videotapes, magazines, or gift items will be sold or rented from the subject facility.
 - 5. Licenses. The Petitioner shall be required to obtain any and all required licenses and permits from the Village, County, State, and Federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.
 - 6. Laws. The Petitioner shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
 - 7. Building and Fire Inspection. The Petitioner is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.

8. Aesthetics. The Petitioner is required to properly maintain the Subject Property at all times and in full compliance with the Village Property Maintenance Code, Section 9.07 of the Village of Sussex Code all to the satisfaction of the Plan Commission for the Village of Sussex.
9. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property.
10. Temporary Use or Activity. No temporary use or special activity or event shall be permitted without prior approval of the Plan Commission of the Village of Sussex and the same must be in compliance with all ordinance, rules, and regulations of the Village of Sussex and all necessary permits must be obtained except for as allowed by Outdoor Establishment Permit under Chapter 4 or Auxiliary Use under Section 17.0710.
11. Fees and Expenses. The Petitioner, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the Petitioner with copies of all itemized invoices.
12. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the Petitioner.
13. Complaints. In the event the Petitioner receives any complaints with regard to the operation authorized by this conditional use, the Petitioner shall respond to such complaints in writing within a reasonable time not to exceed two weeks from the date of the complaint and shall provide a copy of the written response to the Sussex Village Administrator within the same period of time. If the complaint was made in writing, the copy provided to the Village Administrator shall include a copy of the complaint.
14. No Nuisance. The Village reserves the right to rescind its approval of this conditional use permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Petitioner is given an opportunity to be heard on the matter and, if so rescinded the Petitioner and Subject Property shall thereupon be immediately subject to the Village of Sussex Zoning Ordinances , as applicable, regarding the use of the Subject Property as though no conditional use permit was granted.
15. Subject to Acceptance. Subject to the Owner approving in writing the issuance of the same and Petitioner acknowledging in writing that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Petitioner will therefore need to re-commence the application process.

16. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate
- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.
- D. This conditional use hereby authorized shall be confined to the Subject Property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.
- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the Petitioner be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized herein, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Plan Commission, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed.
- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- I. This conditional use permit shall be effective for an initial term that ends five years from the date of January 1 of the year the conditional use is approved. During the final year of the 5

year term of the CU the Village Administrator or designee shall examine the record to determine if concerns about the operation have been raised in writing by the public, a governmental body or official, or anyone else, and shall also review the site and the adjoining area for compliance with the conditions of the CU. If based upon that review the use of the property is compatible with the surrounding areas and the Petitioner is in substantial compliance with all terms of this conditional use agreement, then, in that event, the Conditional Use can be automatically renewed for another 5 year term. If based upon that review the Village Administrator finds concerns about compliance with the conditions of the Conditional Use, the Petitioner shall be brought back before the Plan Commission for consideration of the renewal. The Petitioner shall have the responsibility to apply for the renewal by January 30th of the final year of the term of the CU. Failure of Petitioner to apply for the renewal as provided herein shall be deemed a violation of the conditions of the conditional use and may serve as a basis for termination of the conditional use permit. The Plan Commission for the Village of Sussex may add additional conditions at any time.

1. Where the changing character of the surrounding area causes the original conditional use or subsequent approved amendments thereto to no longer be compatible with the surrounding area, or for similar cause, based upon consideration for the public welfare, the conditional use order and any subsequent approved amendments or changes may be terminated by action of the Plan Commission of the Village of Sussex. Such use shall thereafter be classified as a legal nonconforming use as it was permitted to exist on the day it was terminated.
 2. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes, the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.
 3. This conditional use may be reviewed annually. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.
- J. Upon acceptance by Petitioner of this conditional use permit, all prior conditional use permits granted to the Subject Property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.
- L. If any paragraph or phrase of this conditional use order is declared by a Court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific paragraph or phrase thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of this order. The remainder of the order shall remain in full force and effect.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the Petitioner.

Approved this _____ day of _____, 2023 BY THE PLAN COMMISSION FOR THE
VILLAGE OF SUSSEX

Anthony LeDonne
Village President

Jennifer Moore
Village Clerk

PETITIONER ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.

Dated this _____ day of _____, 2023

Agent of In-Site, Inc / T-Mobile.

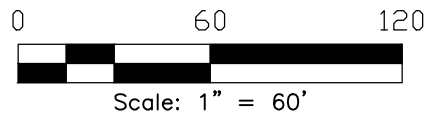
This conditional use was drafted by Jeremy Smith, Village Administrator off of a model by Attorney John P. Macy ARENZ, MOLTER, MACY & RIFFLE, S.C., Village Attorneys for the Village of Sussex.

Exhibit A

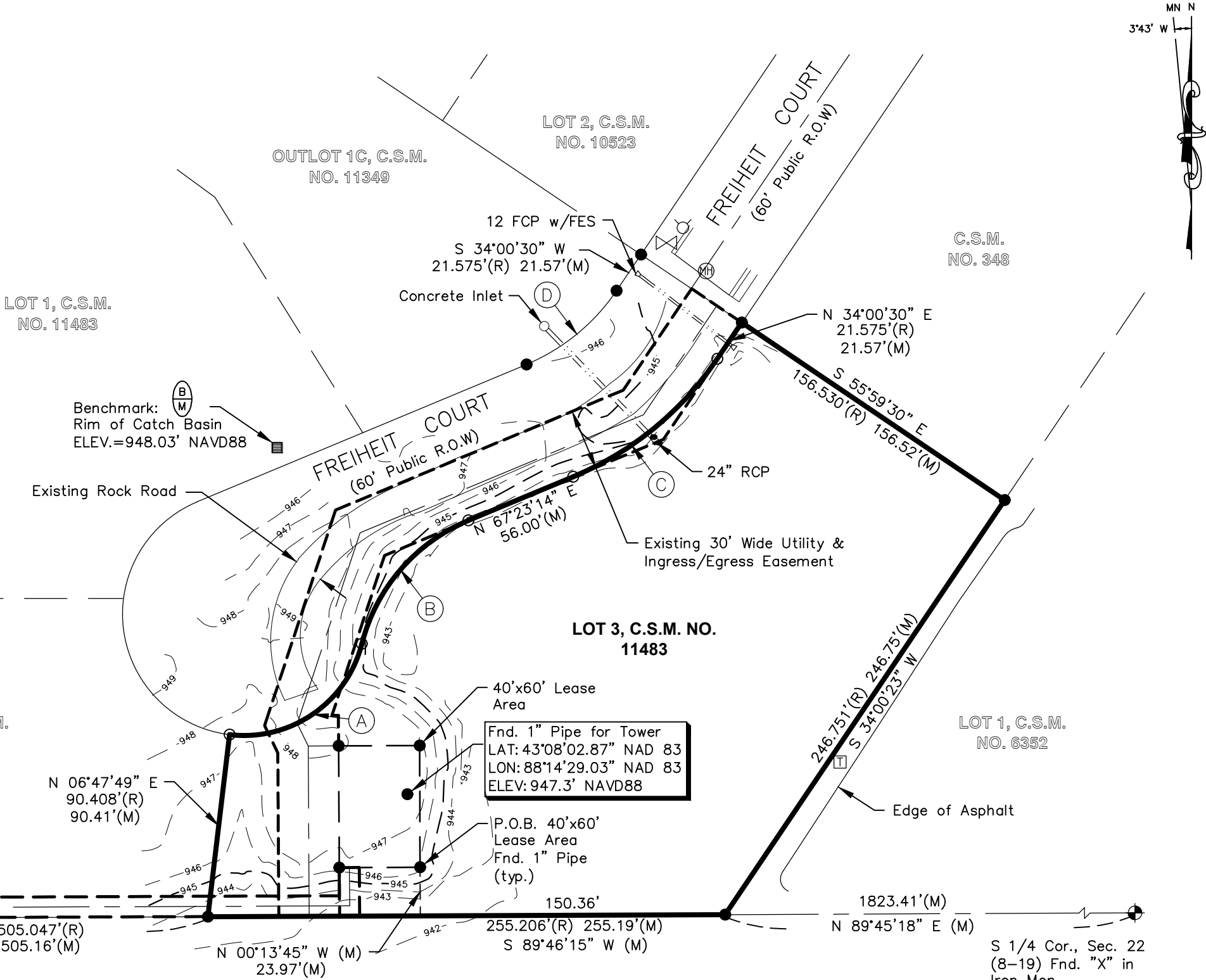
LEGEND

- = Cor. Fnd. 1" Pipe (Unless otherwise noted.)
- = Cor. Set #5 Rebar
- ⊕ = Section Corner
- Ⓚ = Benchmark
- (M) = Meas. Dist.
- (P) = Plat Dist.
- (D) = Deed Dist.
- (R) = Record Dist.
- P.O.B. = Point of Beginning
- P.O.R. = Point of Reference
- ⊙ = Power Pole
- = Guy Wire
- Ⓜ = Telephone Pedestal
- Ⓜ = Manhole
- ⊙ = Fire Hydrant
- ⊕ = Valve
- = Catch Basin

PROSPECT CIRCLE
(Public R.O.W. - width varies)
N 89°45'26" E 71.455'(R) 71.50'(M)
SW Cor., Sec. 22 (8-19)
Fnd. Brass Cap



CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
A	60.00'	86.44'	79.153'(R) 79.15'(M)	N 55°31'37" E	82°32'24"
B	90.00'	83.45'	80.498'(R) 80.50'(M)	N 40°49'17" E	53°07'42"
C	160.00'	93.21'	91.902'(R) 91.89'(M)	N 50°41'48" E	33°22'36"
D	100.00'	58.25'	57.439'(R) 57.43'(M)	S 50°41'48" W	33°22'36"



Prepared for:
U.S. Cellular

3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:
TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By: 6723
HUSKER SURVEYING
4535 Normal Blvd. Ste #101
Lincoln, NE 68506
(402) 423-5202
(402) 423-5211
www.huskersurveying.com

Site Information:
SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayne M. Malone

LEASE SITE & EASEMENT EXHIBIT 2 of 3

Date of Survey:	06.27.2021
Revision	Date
Preliminary	07.06.21 PD

CONSTRUCTION NOTES:

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING ARE GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING SHALL BE HAND DUG.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY NEW SERVICE HAS BEEN APPLIED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.
- DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.
- COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION
- ALL CLEAN SOIL MAY BE USED ON SITE UNLESS OTHERWISE NOTED IN THE REGULATORY COMMENTS OR BID DOCS.
- ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .
- ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
- PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
- ANY ACCIDENTS ON SITE MUST BE REPORTED TO THE T-MOBILE MANAGER IMMEDIATELY AFTER ATTENDING TO THE PERSON(S) NEEDS AND ADMINISTERING FIRST AIDE IF NEEDED.
- GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGEMENT TEAM.
- PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.
- ALL CONDUITS MUST BE PROPERLY INSTALLED AND SEALED TO PREVENT FREEZING AND DAMAGE
- GC SHALL USE 3/4" PLYWOOD AROUND AREAS OF EGRESS/INGRESSS TO CONSTRUCTION SITE IN ORDER TO PROTECT GRASSY AREAS FROM DAMAGE FROM EXCAVATIONS AND CONCRETE WORK.
- GC TO REPAIR GRASSY AREAS TO LIKE CONDITION USING SOD AND SHALL WATER TO SATURATION ONCE WEEKLY UNTIL NEW GRASS SOD IS ESTABLISHED. MINIMUM OF 4 WATERING.

NOTES:

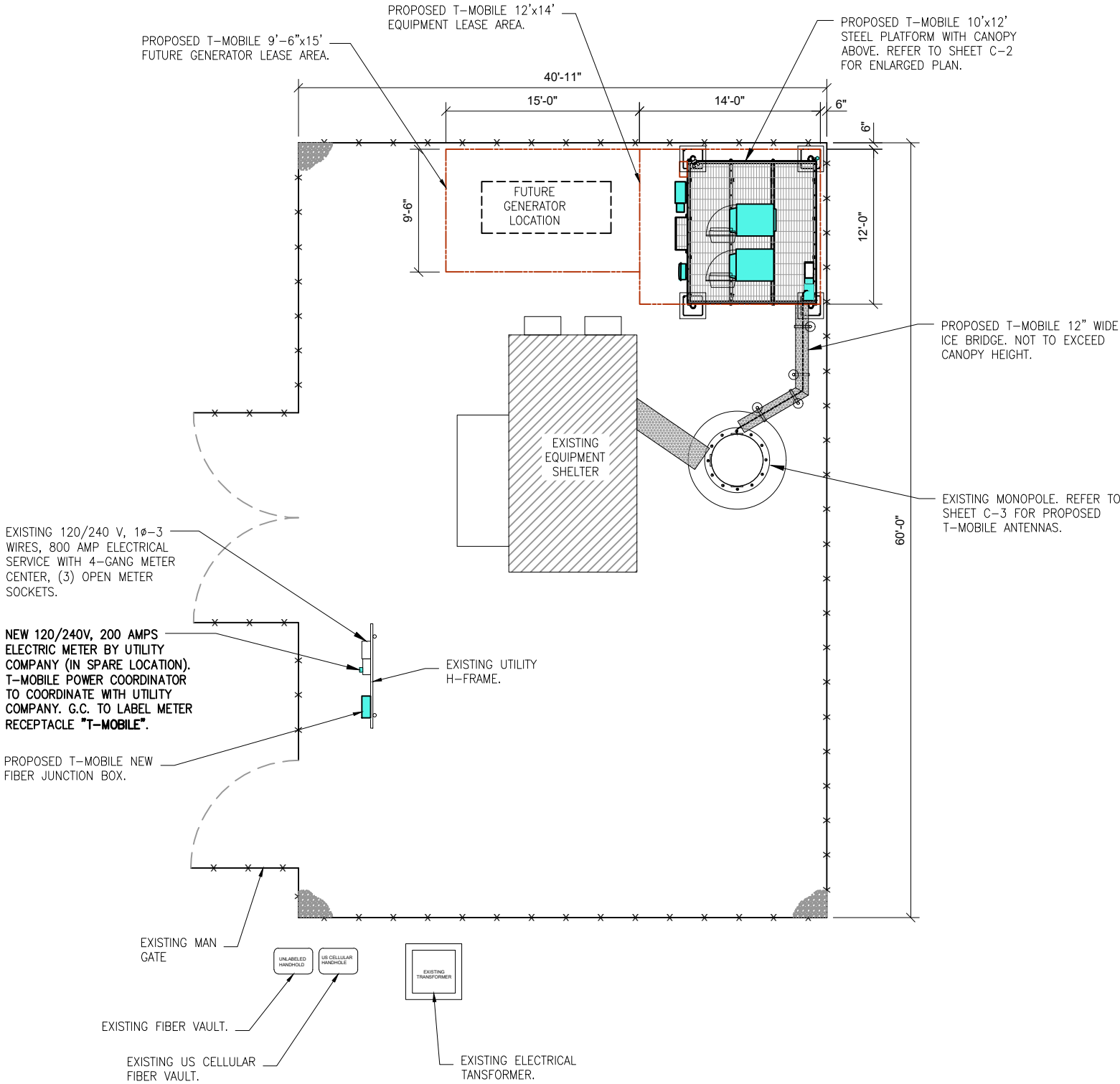
- G.C. MUST RETURN THE SITE TO PRE-CONSTRUCTION CONDITION AFTER CONSTRUCTION COMPLETE.
- HAND DIG IS REQUIRED WITHIN THE COMPOUND TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES.

NOTES:

- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING EQUIPMENT TO BE RELOCATED
- EXISTING EQUIPMENT TO BE REMOVED
- PROPOSED EQUIPMENT TO BE INSTALLED



1

OVERALL SITE PLAN

SCALE: N.T.S

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

C-1

Exhibit B



Project Name T-Mobile ML89143A-NSD

Tax Key # SUXV0231989007

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile, 708-359-7638; kfahey@insite-inc.com.

Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

Exhibit B

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. N/A
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking: N/A
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position

I am aware and approve of the business to be operating in the building
owned by _____.

Name

Date

Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Karol Fahey

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

Exhibit B



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Exhibit B

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

**Business
Email:** _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☒ No

Exhibit C

NOTES:

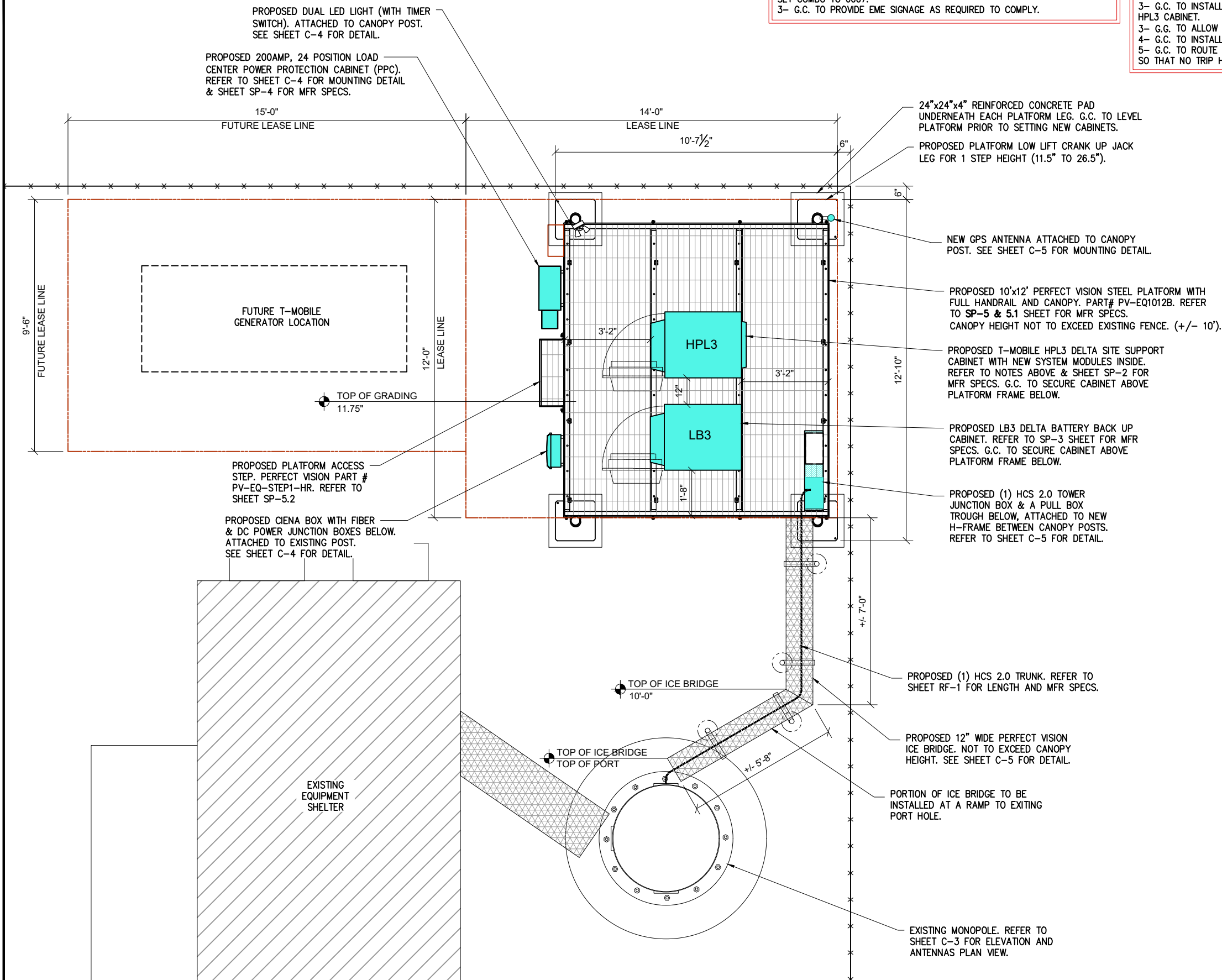
- 1- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED
- 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- 2- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- 3- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

HPL3 INSTALLATION NOTE:

- 1- G.C. TO REFER TO THE DELTA HPL3 CABINET INSTALL GUIDELINE TRAINING DOCUMENT FOR THE MILWAUKEE MARKET LATEST APPROVED REVISION.
- 2- G.C. TO ENSURE THERE IS NO OBSTRUCTION WITHIN 24" OF THE BACK OF THE HPL3 CABINET FOR EASE OF ACCESS.
- 3- G.C. TO INSTALL THE FSEE ON TOP OF THE FSMF MODULE INSIDE THE HPL3 CABINET.
- 3- G.G. TO ALLOW 12" CLR. BETWEEN HPL3 & BATTERY CABINETS.
- 4- G.C. TO INSTALL THE NEW OVPS ON UNISTRUT H-FRAME.
- 5- G.C. TO ROUTE ANY NEW CONDUITS BETWEEN OVPS AND HPL3 CABINET SO THAT NO TRIP HAZARDS OR OBSTRUCTIONS ARE CREATED.

NOTE:

G.G. TO INSTALL THE EQUIPMENT PLATFORM AS LOW AS POSSIBLE SO THE CANOPY NOT TO EXCEEDED THE EXISTING FENCE HEIGHT (+/- 10').



1 ENLARGED EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE

ENLARGED
EQUIPMENT PLAN

SHEET NUMBER

C-2

T-Mobile®

stick together®

T-Mobile®

1400 OPUS PLACE
Downers Grove, IL 60515

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THE PROPERTY OF T-MOBILE.
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WESTIN

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CONTACT: A&E@WESTINENGINEERING.COM

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BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

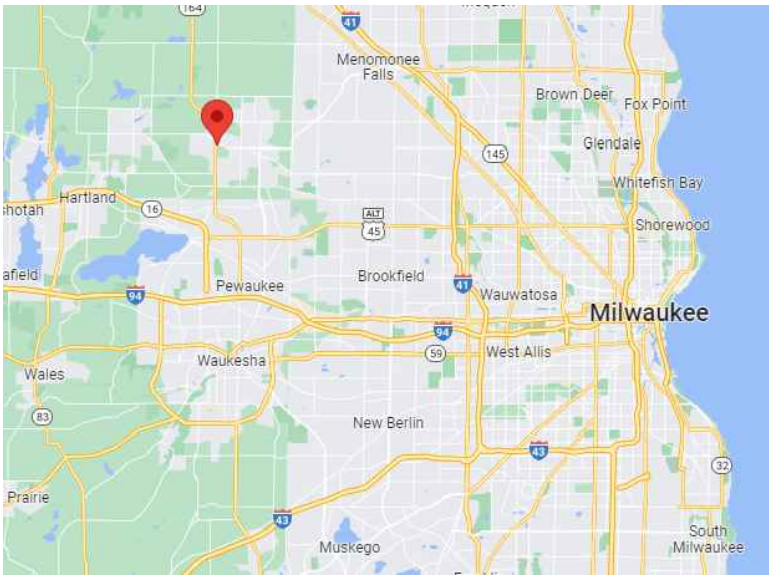
SHEET TITLE

TITLE SHEET

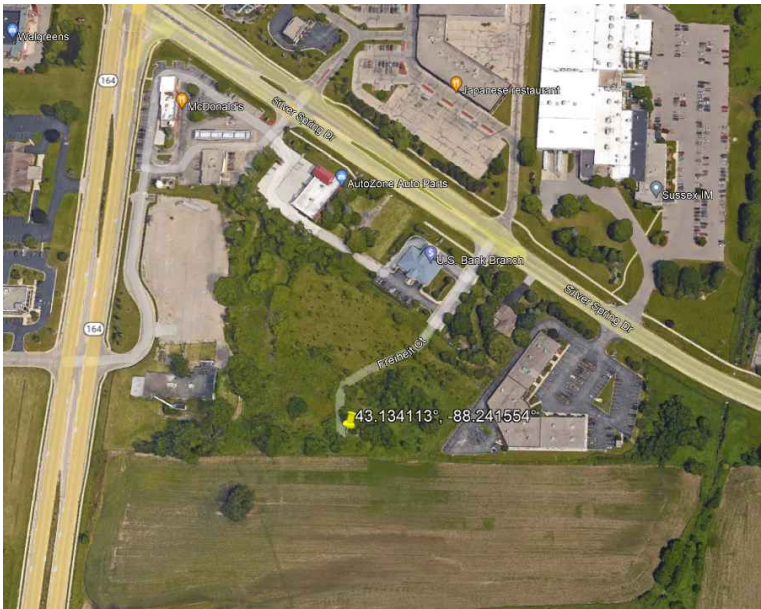
SHEET NUMBER

T-1

VICINITY MAP



LOCATION MAP



NOTES TO GENERAL CONTRACTOR:

GC SHALL VERIFY ALL EXISTING PLANS, DIMENSIONS & CONDITIONS ON JOB SITE.
GC SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY
DISCREPANCIES PRIOR TO CONSTRUCTION.
GC SHALL COMPLY WITH OSHA SAFETY REQUIREMENTS AT ALL TIME DURING SITE
CONSTRUCTION.
G.C SHALL HAVE THE SITE MANNED WITH A CREW AND SUPERVISOR DURING
CONSTRUCTION.
G.C. SHALL CONFIRM WITH T-MOBILE CONSTRUCTION MANAGER AND A&E FIRM FOR THE
MOST RECENT SET OF DRAWINGS AND STRUCTURAL ANALYSIS PRIOR TO BIDDING ON
SITE.

PROJECT INFORMATION

T-MOBILE SITE NUMBER: ML89143A
T-MOBILE SITE NAME: USCC - 784760
SITE TYPE: MONOPOLE
PROJECT TYPE: NSD - COVERAGE

SITE ADDRESS:

FREIHEIT CT.
Tax Key No: SUXV0231989007

JURISDICTION: VILLAGE OF SUSSEX
COUNTY: WAUKESHA

SITE COORDINATES:

LATITUDE NORTH: 43.134113°
LONGITUDE WEST: -88.241554°

SCOPE OF WORK

BASED ON RFDS DATED: 1/24/2023
THE SCOPE OF WORK CONSISTS OF:

ANTENNA LEVEL:

- (3) NEW ANTENNAS TO BE INSTALLED
- (3) NEW AHFIG RRU's TO BE INSTALLED
- (3) NEW AHLOA RRU's TO BE INSTALLED
- (1) NEW HCS 2.0 PENDANT TO BE INSTALLED
- (1) NEW ANTENNA PLATFORM WITH KICKER BRACE KIT

GROUND LEVEL:

- INSTALL A NEW 10'X10' STEEL PLATFORM WITH CANOPY ABOVE
- INSTALL A NEW ICE BRIDGE
- INSTALL A NEW DELTA SITE SUPPORT CABINET (HPL3)
- VERIFY WITH FINAL RFDS FOR NEW RAN EQUIPMENT
TO BE INSTALLED INSIDE HPL3 CABINET.
- INSTALL A NEW DELTA BATTERY BACKUP CABINET (LB3)
- INSTALL A NEW PPC CABINET
- INSTALL A NEW CIENA
- INSTALL (1) NEW HCS 2.0 TOWER JUNCTION BOX
- INSTALL (1) NEW HCS 2.0 TRUNK

GENERAL CONTRACTOR NOTES:

- OBTAIN CURRENT RFDS WITHIN 48 HRS. PRIOR TO CONSTRUCTION
- FOLLOW PORT MATRIX PER RF CONFIGURATION
- FOLLOW CURRENT T-MOBILE STANDARDS AND OPERATING
PROCEDURES
- RETURN ALL UNUSED NEW AND USED EQUIPMENT/MATERIALS TO
WAREHOUSE IN THE SAME CONDITIONS WHEN IT WAS REMOVED
- PROVIDE CLOSEOUT DOCUMENT WITHIN 72 HRS AFTER SITE
COMPLETION
- CLOSE OPEN PERMITS AFTER SITE COMPLETION

APPLICABLE CODES:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
AS AMENDED BY THE STATE OF WISCONSIN

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND
INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS
OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING
AUTHORITIES. NOTHING IN THESE PLANS IS TO BE
CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE
LATEST EDITIONS OF THE ADOPTED CODES:

APPLICANT:

T-Mobile®

T-MOBILE USA,
1400 OPUS PLACE
DOWNERS GROVE, IL 60515

CONTACT:
CONSTRUCTION MANAGER: CHRISTOPHER LYTL
PH: 815-641 5714
EMAIL: CHRIS.LYTLE@T-MOBILE.COM

A&E FIRM:

WESTIN
Engineering Consultants, Ltd.

650 CHASE AVE.
ELK GROVE VILLAGE, IL 60007
EMAIL: A&E@WESTINENGINEERING.COM
PHONE: 773-551 9814

SITE ACQUISITION:

Insite inc.
Real Estate Consulting Services

18660 MIDWEST ROAD, SUITE 140
OAKBROOK TERRACE, IL 60161
CONTACT : RAY SHINKLE
PH: 773-960 8781



Know what's below.
Call before you dig.
www.call811.com

ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
ADA ACCESS REQUIREMENTS ARE NOT REQUIRED.
THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND
WILL NOT PRODUCE ANY SEWAGE.

SHEET INDEX

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	△△
C-1	OVERALL SITE PLAN	△△
C-2	ENLARGED SITE PLAN	△△
C-3	TOWER ELEVATION & ANTENNA PLAN	△
C-4	UTILITY H-FRAME & UTILITY LIGHT DETAILS	
C-5	ICE BRIDGE & TOWER JUNCTION BOXES H-FRAME DETAILS	△
E-1	PROPOSED UTILITY SITE PLAN AND NOTES	△△
E-2	UTILITIES CONDUITS SCHEDULE & NOTES	
E-3	UTILITIES DIAGRAM & ELECTRICAL PANEL SCHEDULE	△
RF-1	ANTENNA AND CABLE SCHEDULE	△
RF-2	SYSTEM CONNECTION DIAGRAM	△
RF-3	TOWER J. BOX & PENDANT SPECS & WIRING DIAGRAM	
RF-4	POWER BOOSTER WIRING DIAGRAM	
SP-1	NEW ANTENNAS & RRUs MFR. SPECS	△
SP-2	NEW HPL3 DELTA CABINET MFR. SPECS	
SP-3	NEW LB3 DELTA BATTERY CABINET MFR. SPECS	
SP-4	NEW PPC CABINET MFR. SPECS	
SP-5	NEW EQUIPMENT PLATFORM MFR. SPECS	
SP-5.1 & 5.2	NEW EQUIPMENT PLATFORM ACCESSORIES MFR. SPECS	
SP-6 & 7	NEW ANTENNA PLATFORM & KICKER BRACE MFR. SPECS	△
GR-1,2,3	GROUNDING PLAN, RISER DIAGRAM, DETAILS AND NOTES	
GN-1 & 2	GENERAL NOTES AND SPECIFICATIONS	

APPROVALS

T-MOBILE OPS _____
R.F OPS _____
R.F ENGINEER _____
SITE ACQUISITION _____
CONSTRUCTION _____
LAND LORD _____

PARENT PARCEL DESCRIPTION:

Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin

LEASE AREA DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin containing 2,400 square feet (0.055 acres) of land and being described by:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet to the point of beginning; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence N89°-45'-23"E 40.00 feet; thence S00°-14'-37"E 60.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

30' WIDE UTILITY AND INGRESS/EGRESS EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 12,352 square feet (0.284 acres) of land and being Fifteen (15) feet each side of and parallel to the following described line:

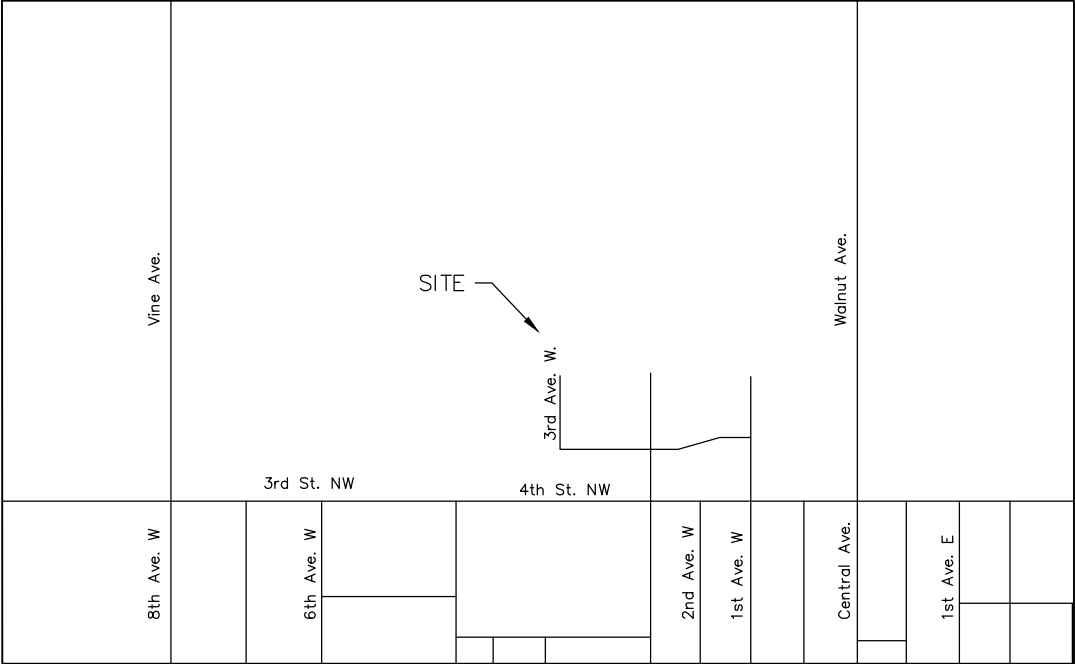
Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence S89°-45'-23"W 15.00 feet to the point of beginning; thence N25°-48'-57"W 12.32 feet; thence N18°-13'-25"E 99.03 feet; thence N67°-22'-26"E 151.41 feet; thence N33°-59'-38"E 65.05 feet to a point on the South line of Prospect Drive and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said South line of Prospect Drive. Also from said point of beginning; thence S00°-14'-37"E 83.91 feet to the point of termination.

10' WIDE UTILITY EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 5,934 square feet (0.136 acres) of land and being Five (5) feet each side of and parallel to the following described line:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 24; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 35.00 feet to the point of beginning; thence S00°-14'-37"E 18.89 feet; thence S89°-45'-23"W 574.48 feet to a point on the East line of Prospect Circle and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said East line of Prospect Circle.

VICINITY MAP

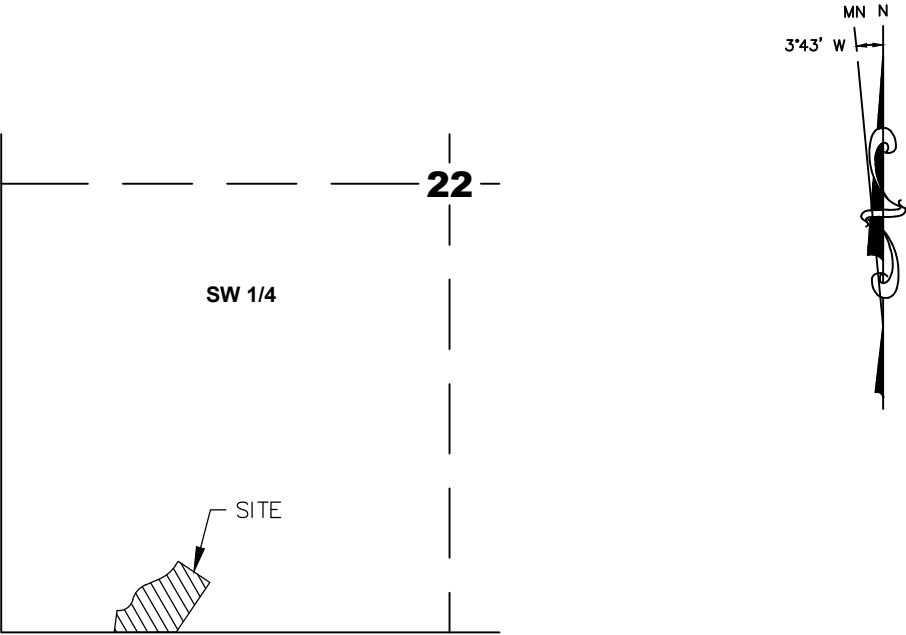


SURVEYORS NOTES

- 1.) Generally located in Wisconsin State Plane Coordinate System, South Zone (NAD-83).
- 2.) Not a survey of the parent parcel shown, but to be used only for the purposes shown hereon.
- 3.) The Utility locations shown hereon were determined by observed above ground evidence only. The surveyor was not provided with above ground markings to determine any subsurface locations, and makes no guarantee that the underground utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. This surveyor has not physically located the underground utilities.

Zoning Information: Commercial

Flood Information:
Property falls within a Zone "X" area determined to be inside a 0.2% chance of annual flood hazard, based upon FEMA Flood Rate Map No. 55133C0088G, with an effective date of November 5, 2014.



T. 8 N, R. 19 E
PARENT PARCEL DETAIL

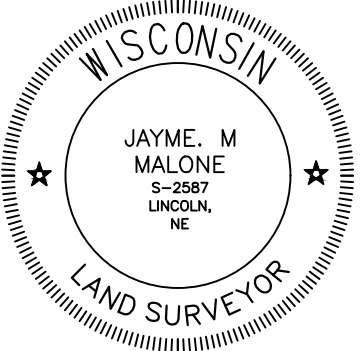
Surveyor's Certificate

To: Tower Engineering Professionals; and WFG National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as the land surveyor registered in the State of Wisconsin the Relative Positional Accuracy of this survey does not exceed that which is specified therein. The field work was completed on 06.27.2021.

Jayme M. Malone
Kansas LS 1113
Date of Plat or Map: 07.02.2021
Date of Last Revision: 07.02.2021

Survey Performed By:
Husker Surveying
4535 Normal Blvd., Suite 101
Lincoln, NE 68506



Prepared for:

U.S. Cellular

3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By: 6723

HUSKER SURVEYING

4535 Normal Blvd. Ste #101
Lincoln, Ne 68506
(402)423-5222
(402)423-5211
www.huskersurveying.com

Site Information:

SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

LEASE SITE & EASEMENT EXHIBIT 1 of 3

Date of Survey: 06.27.2021		
Revision	Date	
Preliminary	07.06.21	PD

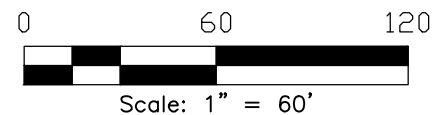
LEGEND

- = Cor. Fnd. 1" Pipe
(Unless otherwise noted.)
- = Cor. Set #5 Rebar
Rebar
- ⊕ = Section Corner
- Ⓚ = Benchmark
- (M) = Meas. Dist.
- (P) = Plat Dist.
- (D) = Deed Dist.
- (R) = Record Dist.
- P.O.B. = Point of Beginning
- P.O.R. = Point of Reference
- ⊙ = Power Pole
- = Guy Wire
- Ⓜ = Telephone Pedestal
- Ⓜ = Manhole
- ⊕ = Fire Hydrant
- ⊕ = Valve
- = Catch Basin

PROSPECT CIRCLE
(Public R.O.W. - width varies)

N 89°45'26" E
71.455'(R)
71.50'(M)

SW Cor.,
Sec. 22 (8-19)
Fnd. Brass Cap



LOT 2, C.S.M.
NO. 11483

LOT 1, C.S.M.
NO. 11483

OUTLOT 1C, C.S.M.
NO. 11349

LOT 2, C.S.M.
NO. 10523

C.S.M.
NO. 348

LOT 1, C.S.M.
NO. 6352

LOT 3, C.S.M. NO.
11483

Benchmark:
Rim of Catch Basin
ELEV.=948.03' NAVD88

Existing Rock Road

Existing 10' Wide
Utility Easement

12 FCP w/FES
S 34°00'30" W
21.575'(R) 21.57'(M)

Concrete Inlet

FREIHEIT COURT
(60' Public R.O.W.)

Existing 30' Wide Utility &
Ingress/Egress Easement

Fnd. 1" Pipe for Tower
LAT: 43°08'02.87" NAD 83
LON: 88°14'29.03" NAD 83
ELEV: 947.3' NAVD88

P.O.B. 40'x60'
Lease Area
Fnd. 1" Pipe
(typ.)

150.36'
255.206'(R) 255.19'(M)
S 89°46'15" W (M)

Edge of Asphalt

S 1/4 Cor., Sec. 22
(8-19) Fnd. "X" in
Iron Mon.

CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
A	60.00'	86.44'	79.153'(R) 79.15'(M)	N 55°31'37" E	82°32'24"
B	90.00'	83.45'	80.498'(R) 80.50'(M)	N 40°49'17" E	53°07'42"
C	160.00'	93.21'	91.902'(R) 91.89'(M)	N 50°41'48" E	33°22'36"
D	100.00'	58.25'	57.439'(R) 57.43'(M)	S 50°41'48" W	33°22'36"



Prepared for:
U.S. Cellular
3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:
TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

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(402) 423-5222
(402) 423-5211
www.huskersurveying.com

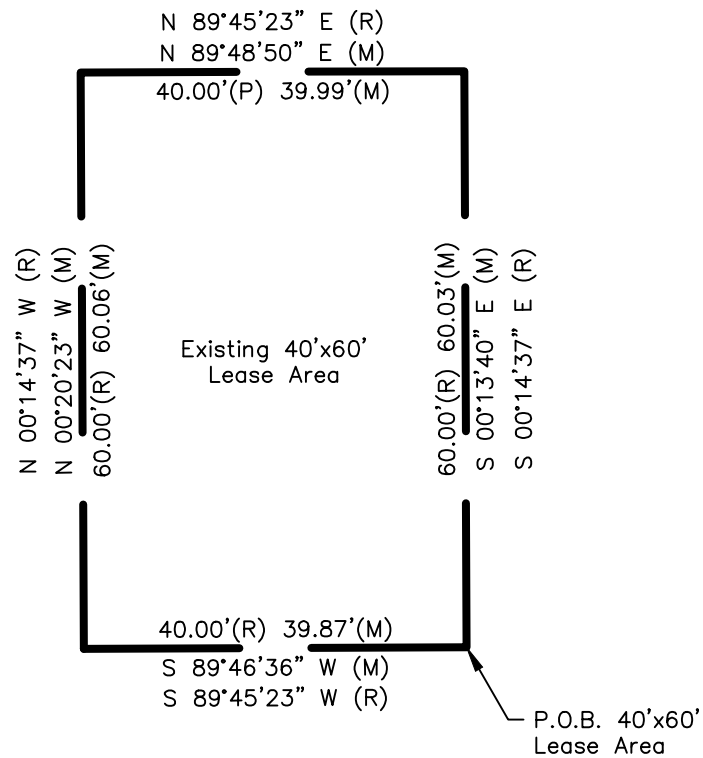
Site Information:
SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

**LEASE SITE &
EASEMENT EXHIBIT
2 of 3**

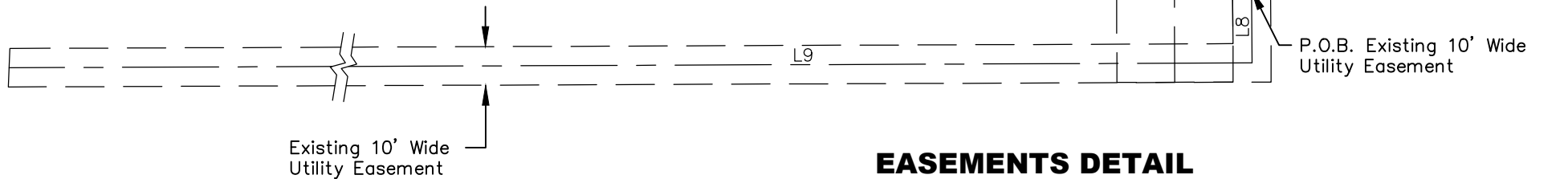
Date of Survey: 06.27.2021	
Revision	Date
Preliminary	07.06.21 PD



LEASE AREA DETAIL

Scale: 1"=20'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 89°45'23" W (R) S 89°48'50" W (M)	15.00'(R&M)
L2	N 25°48'57" W (R) N 25°45'08" W (M)	12.32'(R&M)
L3	N 18°13'25" E (R&M)	99.03''(R&M)
L4	N 67°22'26" E (R&M)	151.41'(R&M)
L5	N 33°59'38" E (R&M)	65.05'(R) 64.85'(M)
L6	S 00°14'37" E (R) S 00°20'23" E (M)	83.91'(R&M)
L7	S 89°45'23" W (R) S 89°46'36" W (M)	35.00'(R) 34.87'(M)
L8	S 00°14'37" E (R) S 00°20'23" E (M)	18.89'(R&M)
L9	S 89°45'23" W (R&M)	574.48'(R) 574.99'(M)




EASEMENTS DETAIL

Scale: 1"=40'



Prepared for:



U.S. Cellular

3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By:



HUSKER SURVEYING

4535 Normal Blvd. Ste #101
Lincoln, Ne 68506
(402)423-5202
(402)423-5211
www.huskersurveying.com

6723

Site Information:

SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

LEASE SITE &
EASEMENT EXHIBIT
3 of 3

Date of Survey: 06.27.2021		
Revision	Date	
Preliminary	07.06.21	PD

CONSTRUCTION NOTES:

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING ARE GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING SHALL BE HAND DUG.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY NEW SERVICE HAS BEEN APPLIED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.
- DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.
- COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION
- ALL CLEAN SOIL MAY BE USED ON SITE UNLESS OTHERWISE NOTED IN THE REGULATORY COMMENTS OR BID DOCS.
- ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .
- ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
- PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
- ANY ACCIDENTS ON SITE MUST BE REPORTED TO THE T-MOBILE MANAGER IMMEDIATELY AFTER ATTENDING TO THE PERSON(S) NEEDS AND ADMINISTERING FIRST AIDE IF NEEDED.
- GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGEMENT TEAM.
- PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.
- ALL CONDUITS MUST BE PROPERLY INSTALLED AND SEALED TO PREVENT FREEZING AND DAMAGE
- GC SHALL USE 3/4" PLYWOOD AROUND AREAS OF EGRESS/INGRESSS TO CONSTRUCTION SITE IN ORDER TO PROTECT GRASSY AREAS FROM DAMAGE FROM EXCAVATIONS AND CONCRETE WORK.
- GC TO REPAIR GRASSY AREAS TO LIKE CONDITION USING SOD AND SHALL WATER TO SATURATION ONCE WEEKLY UNTIL NEW GRASS SOD IS ESTABLISHED. MINIMUM OF 4 WATERING.

NOTES:

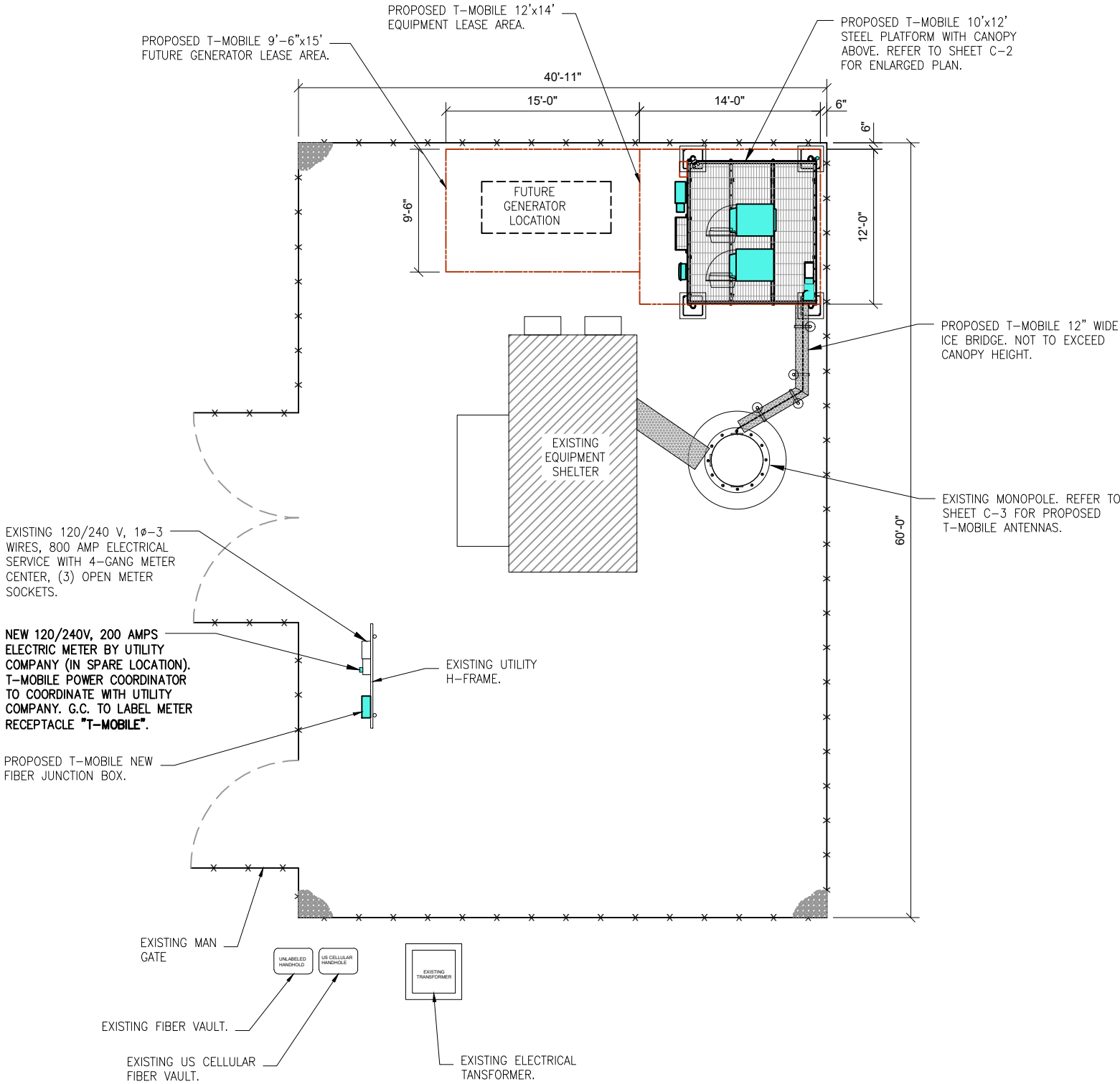
- G.C. MUST RETURN THE SITE TO PRE-CONSTRUCTION CONDITION AFTER CONSTRUCTION COMPLETE.
- HAND DIG IS REQUIRED WITHIN THE COMPOUND TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES.

NOTES:

- G.C. TO PROVIDE AAV FIBER -- (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER -- PR1 LC-LC/PR2 LC-SC.
- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING EQUIPMENT TO BE RELOCATED
- EXISTING EQUIPMENT TO BE REMOVED
- PROPOSED EQUIPMENT TO BE INSTALLED



1 OVERALL SITE PLAN
SCALE: N.T.S

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USCC - 784760

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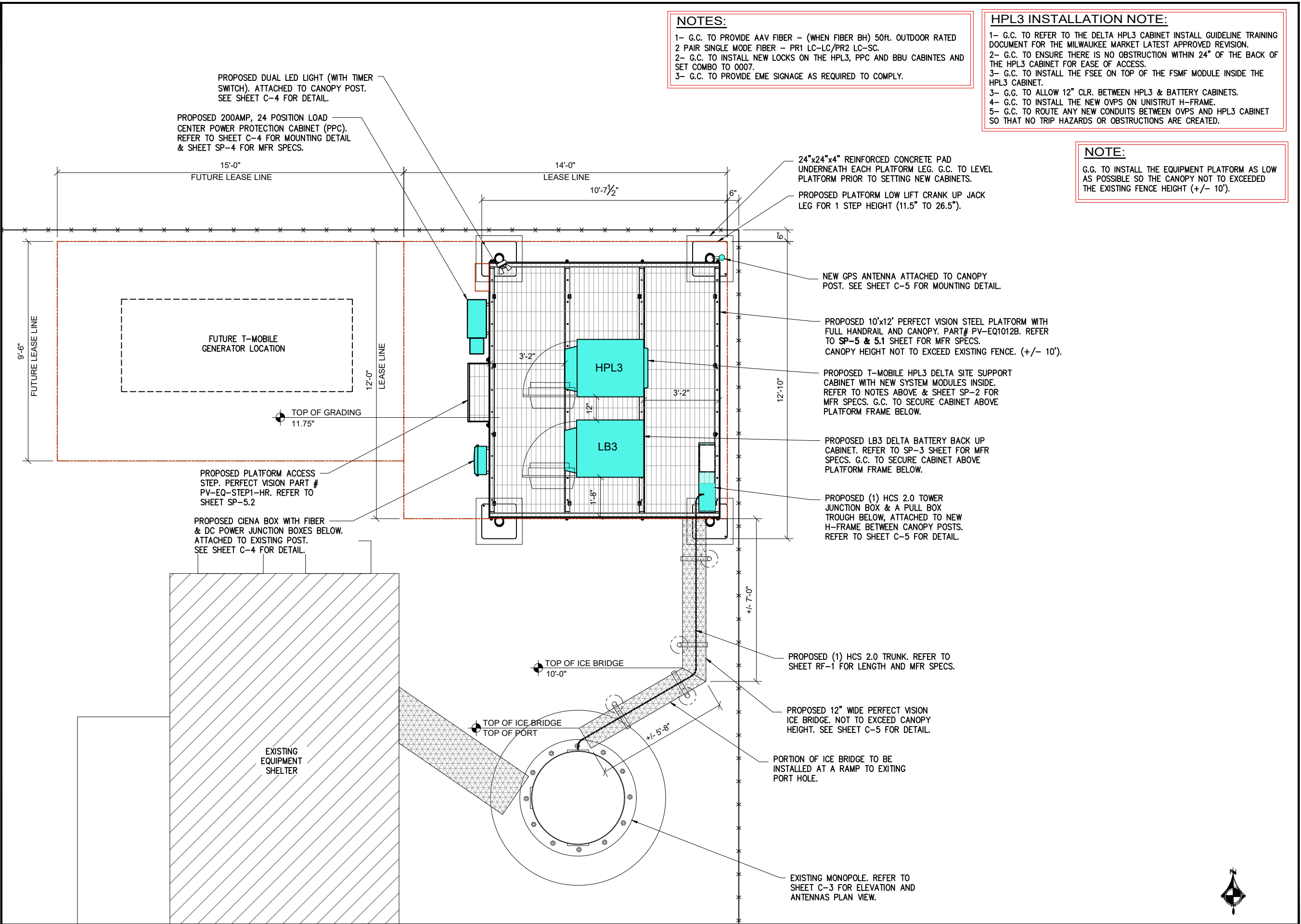
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WISCONSIN
RASHID AHMED
E-26737
ELGIN, ILLINOIS
PROFESSIONAL ENGINEER
EXP: 07/31/2024
DATE SIGNED: APRIL 05, 2023
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APPROVED BY: RA

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
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ENLARGED EQUIPMENT PLAN

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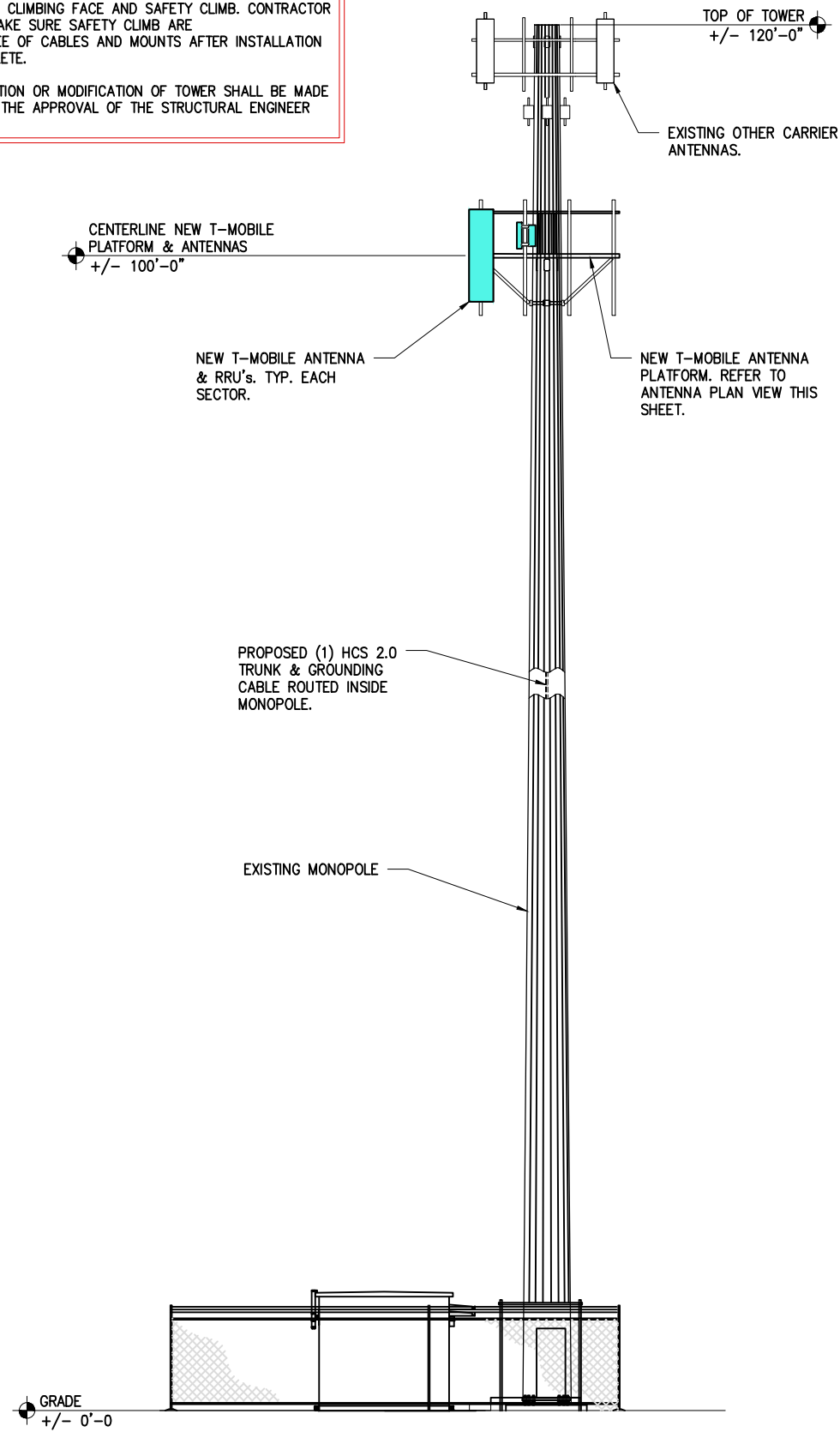
C-2

STRUCTURAL NOTE:

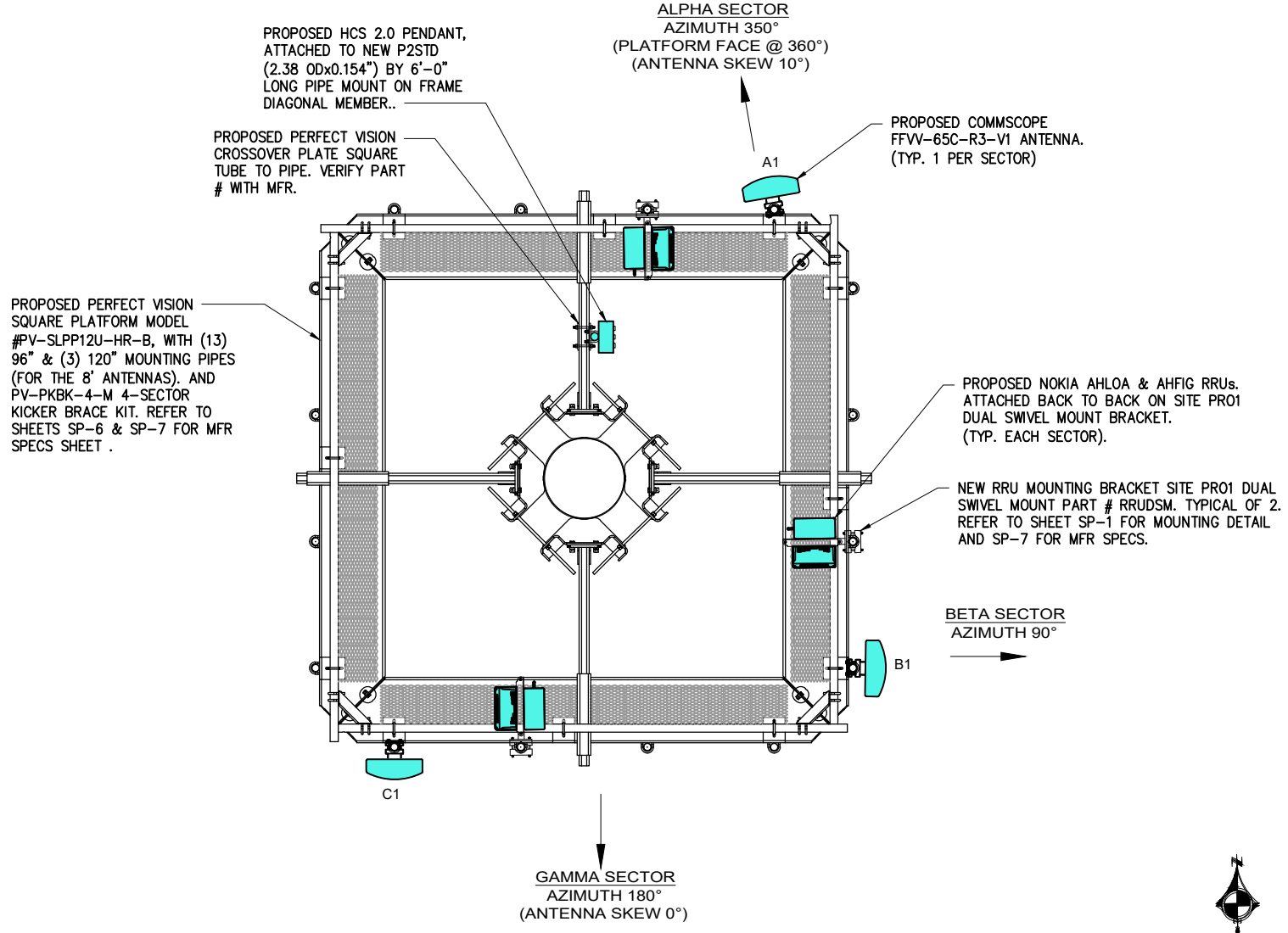
1- G.C. TO REFER TO LATEST TOWER STRUCTURAL ANALYSIS BY TOWER OWNER AND REVISED MOUNT ANALYSIS BY WESTIN ENGINEERING CONSULTANTS, LTD. DATED 04/05/2023 PRIOR TO CONSTRUCTION STARTS.

2- ALL NEW INSTALLED EQUIPMENT MUST NOT INTERFERE WITH THE CLIMBING FACE AND SAFETY CLIMB. CONTRACTOR SHALL MAKE SURE SAFETY CLIMB ARE 100% FREE OF CABLES AND MOUNTS AFTER INSTALLATION IS COMPLETE.

NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER

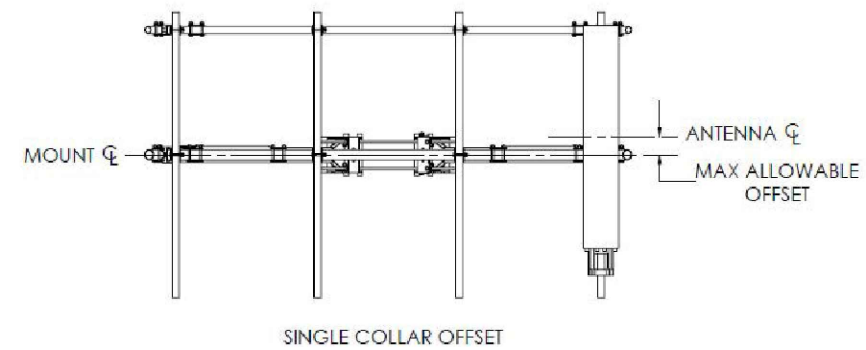


1 TOWER ELEVATION
SCALE: N.T.S.



2 ANTENNA PLAN VIEW
SCALE: N.T.S.

NOTE:
6" MAXIMUM ALLOWABLE OFFSET BTW. ANTENNA C.L. & MOUNT C.L.



3 ANTENNA CENTER LINE DETAIL
SCALE: N.T.S.

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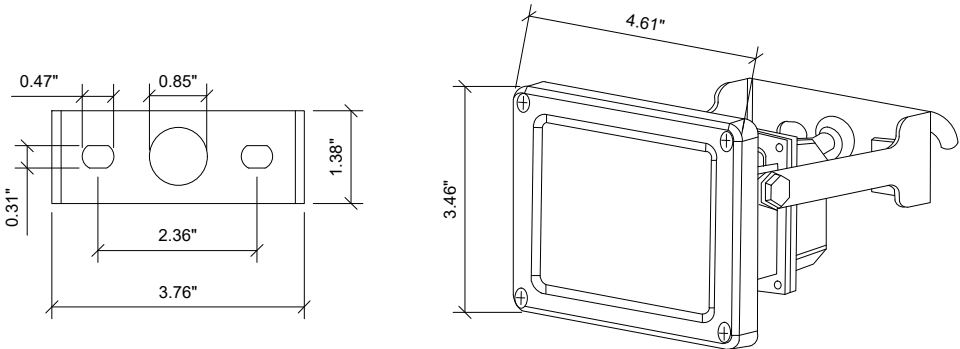
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SHEET TITLE
ELEVATION AND ANTENNAS PLAN VIEW

SHEET NUMBER
C-3

NOTES:

- (1) SIGMA TWO GANG CLEAR COVER, EXTRA DUTY WITH LOCKABLE ENCLOSURE.
- (1) INTERMATIC 60 MINUTE MECHANICAL TIMER, FF60MC.
- (1) CAST ALUMINUM, 2 GANG WEATHERPROOF FS BOX, NO LUGS, DEEP BOX. APPLETON FS-2-75A OR HUBBELL-KILLARK 2FS-1.
- USE BACK OF GANG BOX FOR ENTRY INTO PPC, SEAL FLUSH AGAINST PPC WITH GASKETING MATERIAL, AND/OR SEAL EXTERIOR PERIMETER WITH SILICONE BEAD TO PREVENT WATER INTRUSION.
- (1) GFCI 15 AMP LEVITON WEATHER RESISTANT GFWT1-HGT WITH SELF-TEST FEATURE (SEE [HTTP://WWW.LEVITON.COM/EN/PRODUCTS/GFCIS-AND-AFCIS/GFCI-RECEPTACLES/WEATHERRESISTANT-DUPLEX-FOR-ALTERNATES](http://www.leviton.com/en/products/gfcis-and-afcis/gfci-receptacles/weatherresistant-duplex-for-alternates)), 2-POLE, 3-WIRE, 15AMP, 125 VOLT, 5-15R NEMA, WALL BOX MOUNT, LIGHT ALMOND, HEAVY DUTY, COMMERCIAL GRADE. NOTE: NO RESIDENTIAL GRADE GFCI ALLOWED.
- (2) OUTDOOR FLOOD LIGHTS, RATED INITIAL LUMENS > 1,260 EACH FLOOD. [HTTP://WWW.MAXLITE.COM/PRODUCTS/SMALL-FLOOD-LIGHTS/FLS15U50B](http://www.maxlite.com/products/small-flood-lights/fls15u50b) OR EQUIVALENT MAXLITE MODEL FLS15U50B/N, @ 1,235 LUMENS.
- TYPICAL INSTALLATION, REGARDLESS OF PPC STYLE OR TYPE OR EXISTING OUTLETS.
- LIGHT TIMER ON 15A CIRCUIT, LIGHT CONTROLLED BY COUNTDOWN TIMER. GFCI ON SEPARATE 15A CIRCUIT.
- IF PPC HAS EXISTING INTERIOR MOUNTED GFCI, IT TOO SHALL BE WIRED FOR SERVICE.
- EQUIVALENT MEETING SERVICE REQUIREMENTS, OR BETTER, EQUIPMENT MAY BE SUBSTITUTED AND INSTALLED WITH PRIOR T-MOBILE PM OR CM APPROVAL.



SAMPLE INSTALATION

1 LIGHT DETAIL (MAXLITE PART# FLS15U50B)
SCALE: N.T.S.

NOTE:

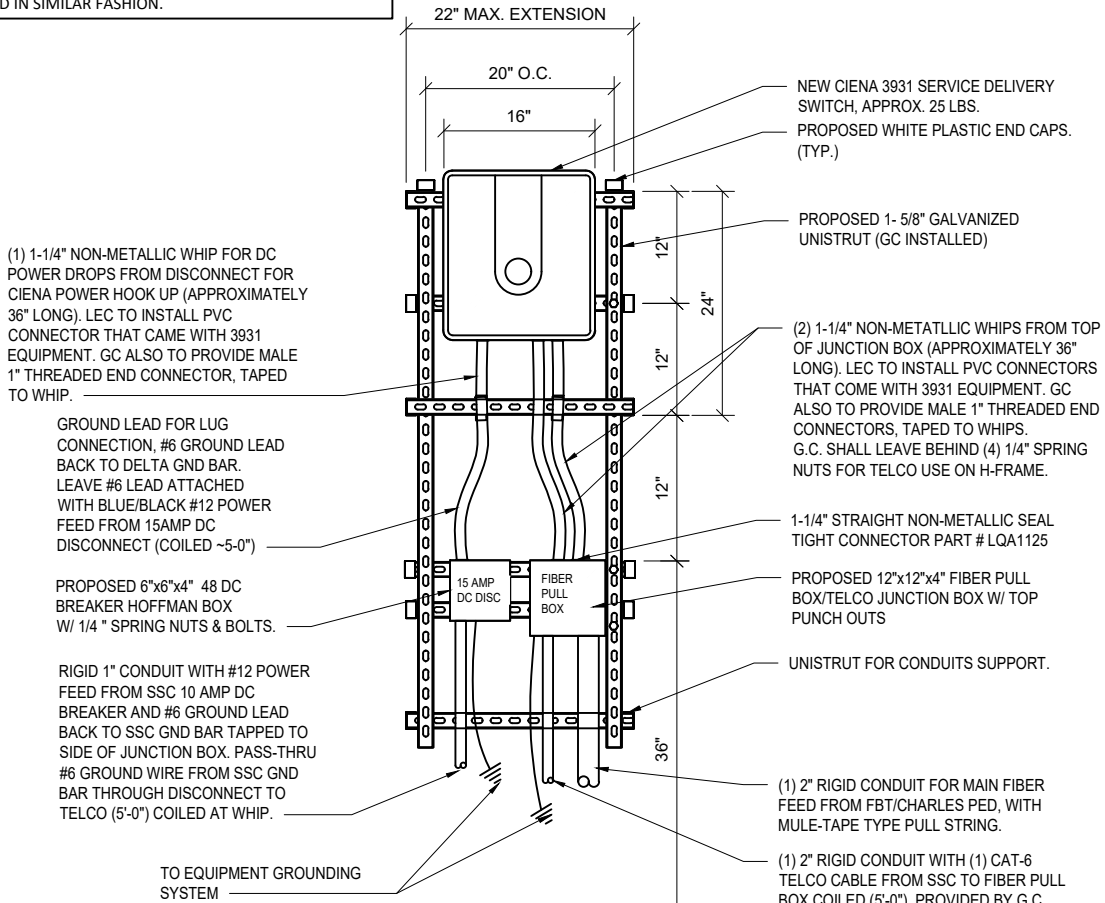
G.C. TO PROVIDE A SET OF 1/4" SPRING NUTS IN BAG FOR AT&T USE FOR CIENA. IF THIS IS A RAC24 G.C. TO BE PROVIDED CABINET AND SHALL MOUNT IN LIKE LOCATION AND IN SIMILAR FASHION.

ABBREVIATIONS:

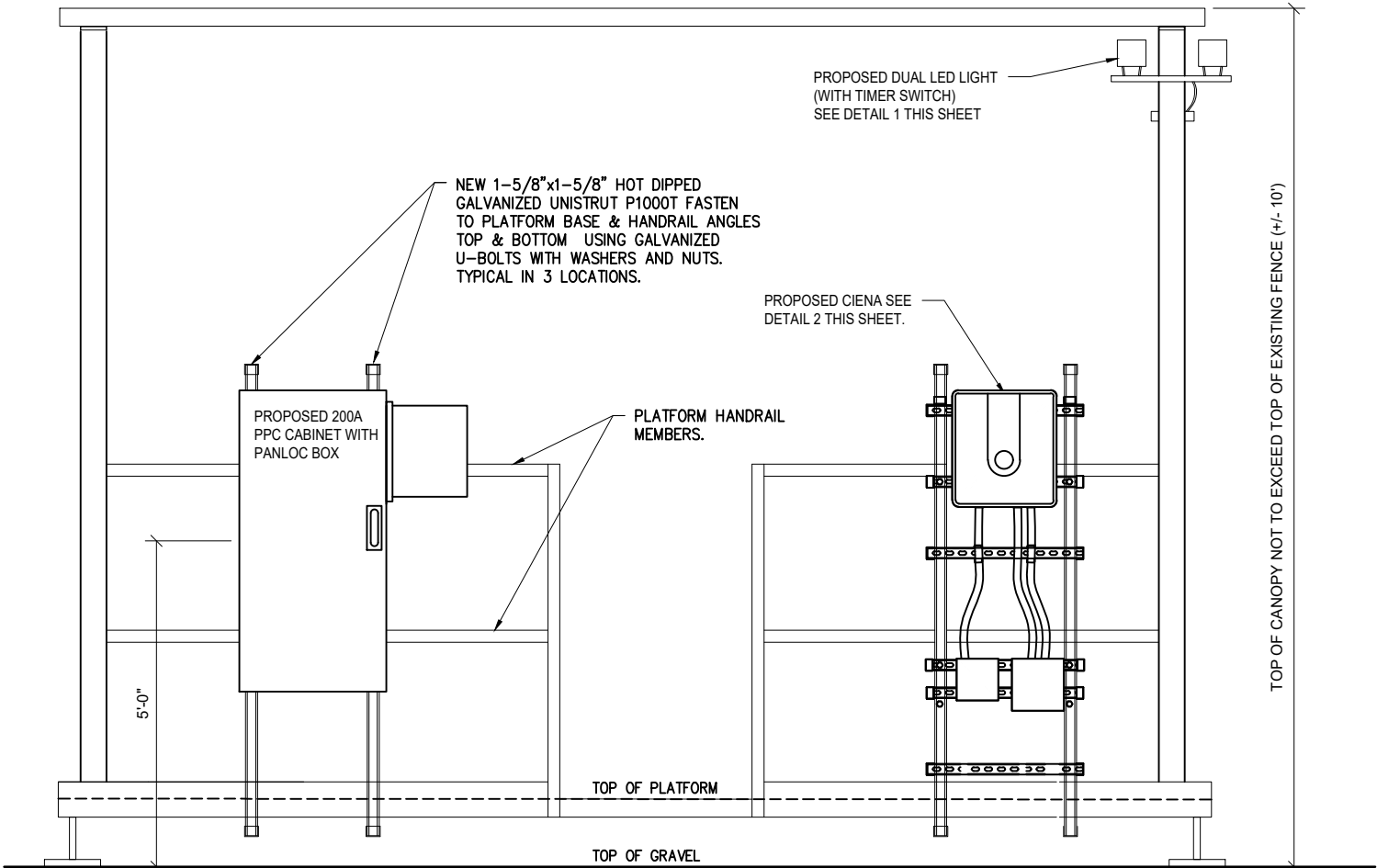
G.C. : GENERAL CONTRACTOR
LEC : LOCAL EXCHANGE CARRIER

NOTE:

ALL UNISTRUT, FASTENERS, HARDWARE, ETC, ARE TO BE EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL.
G.C. IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



2 CIENA DETAIL
SCALE: N.T.S.



3 UTILITY H-FRAME DETAIL
SCALE: N.T.S.

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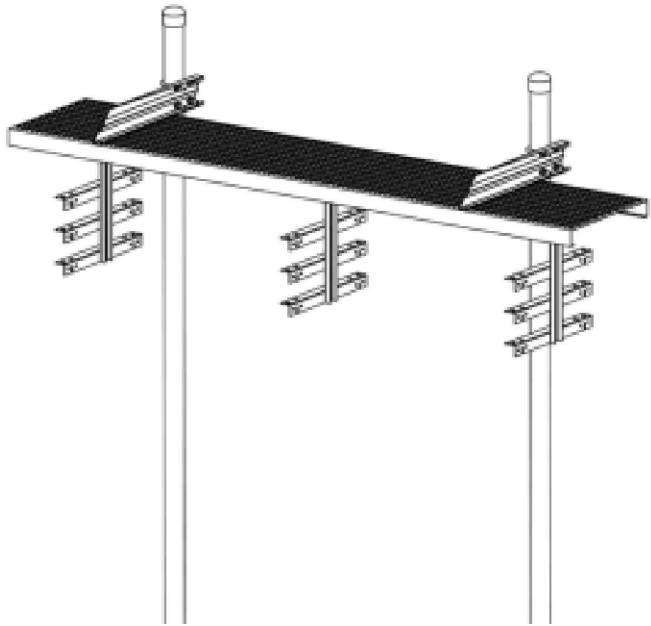
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SITE
DETAILS

SHEET NUMBER

C-4

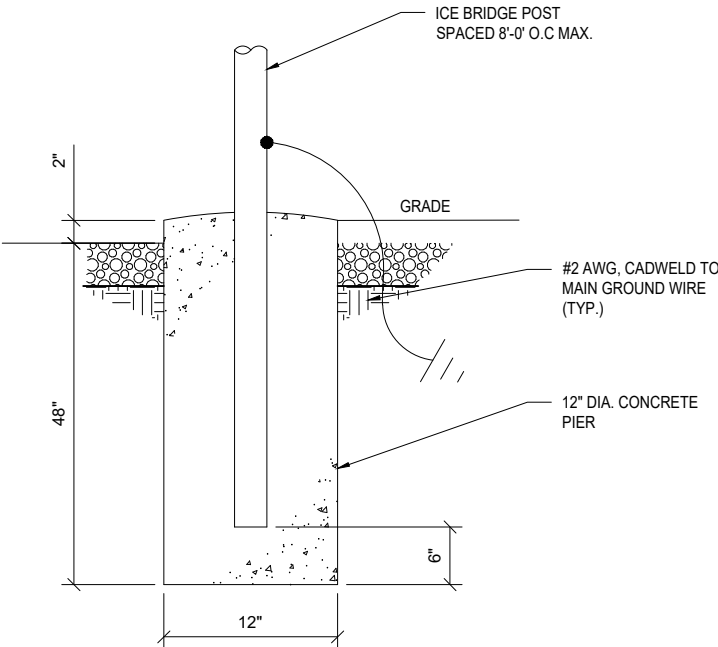


GENERAL SPECIFICATIONS

Product Type	Waveguide Bridge
Includes	Grip strut, support brackets, posts, trapeze kits, pipe caps
Material Type	Hot-dip galvanized, minimum A36 Steel, 14 gauge galvanized grip strut
Package Quantity	Kit of 1

MECHANICAL CHARACTERISTICS

Length	120 in
Width	12 in
Height	174 in
Weight	330 lb



1 ICE BRIDGE DETAIL
SCALE: N.T.S.

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO PLATFORM BASE & HANDRAIL ANGLES TOP & BOTTOM USING GALVANIZED U-BOLTS WITH WASHERS AND NUTS. TYPICAL IN 3 LOCATIONS. TYPICAL 2 PER TJB

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO VERTICAL UNISTRUT. G.C. TO PROVIDE AS NEEDED.

PLATFORM HANDRAIL MEMBERS.

HCS 2.0 TOWER J. BOX

10"x10"x36" NEMA 3R LARGE PULL BOX

TOP OF PLATFORM

TOP OF GRAVEL

TOP OF CANOPY NOT TO EXCEED TOP OF EXISTING FENCE (+/- 10')

(1) NEW 3" RIGID CONDUIT FOR FIBER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.

(1) NEW 3" RIGID CONDUIT FOR DC POWER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.

NOTE:

G.C. TO ROUTE GPS CABLE BACK TO OVPs TROUGH PULL BOX, ROUTE WITH FIBER JUMPERS THROUGH THE 3" RMC CONDUIT TO HPL3 CABINET AND TERMINATE INSIDE THE CABINET AT THE CSR IXR ROUTER.

NOTES:

1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIA. SCH 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE MINIMUM OF 18 INCHES IN LENGTH TO FUNCTION PROPERLY. THE CUT PIPE END SHALL BE DEBARRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.

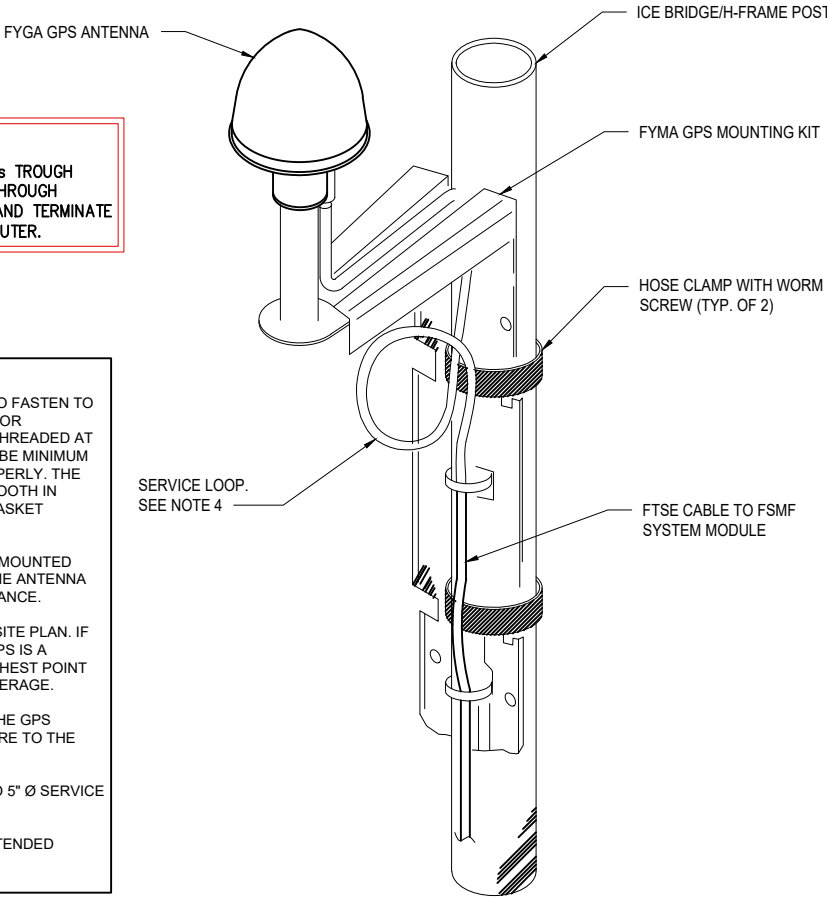
2. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" LEVEL FOR MAXIMUM PERFORMANCE.

3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE BRIDGE ENSURE THAT GPS IS A MINIMUM OF 10' ABOVE GRADE ON THE FURTHEST POINT FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.

4. GENERAL CONTRACTOR SHALL ENSURE THE GPS ANTENNA HAS THE REQUIRED FULL EXPOSURE TO THE SOUTHERN HEMISPHERE/HORIZON.

4. GENERAL CONTRACTOR TO PROVIDE 4" TO 5" Ø SERVICE LOOP.

5. GC TO ENSURE THAT GPS ANTENNA IS EXTENDED ABOVE CANOPY.



2 HCS 2.0 TOWER JUNCTION BOX H-FRAME DETAIL
SCALE: N.T.S.

3 FYGA GPS ANTENNA DETAIL
SCALE: N.T.S.

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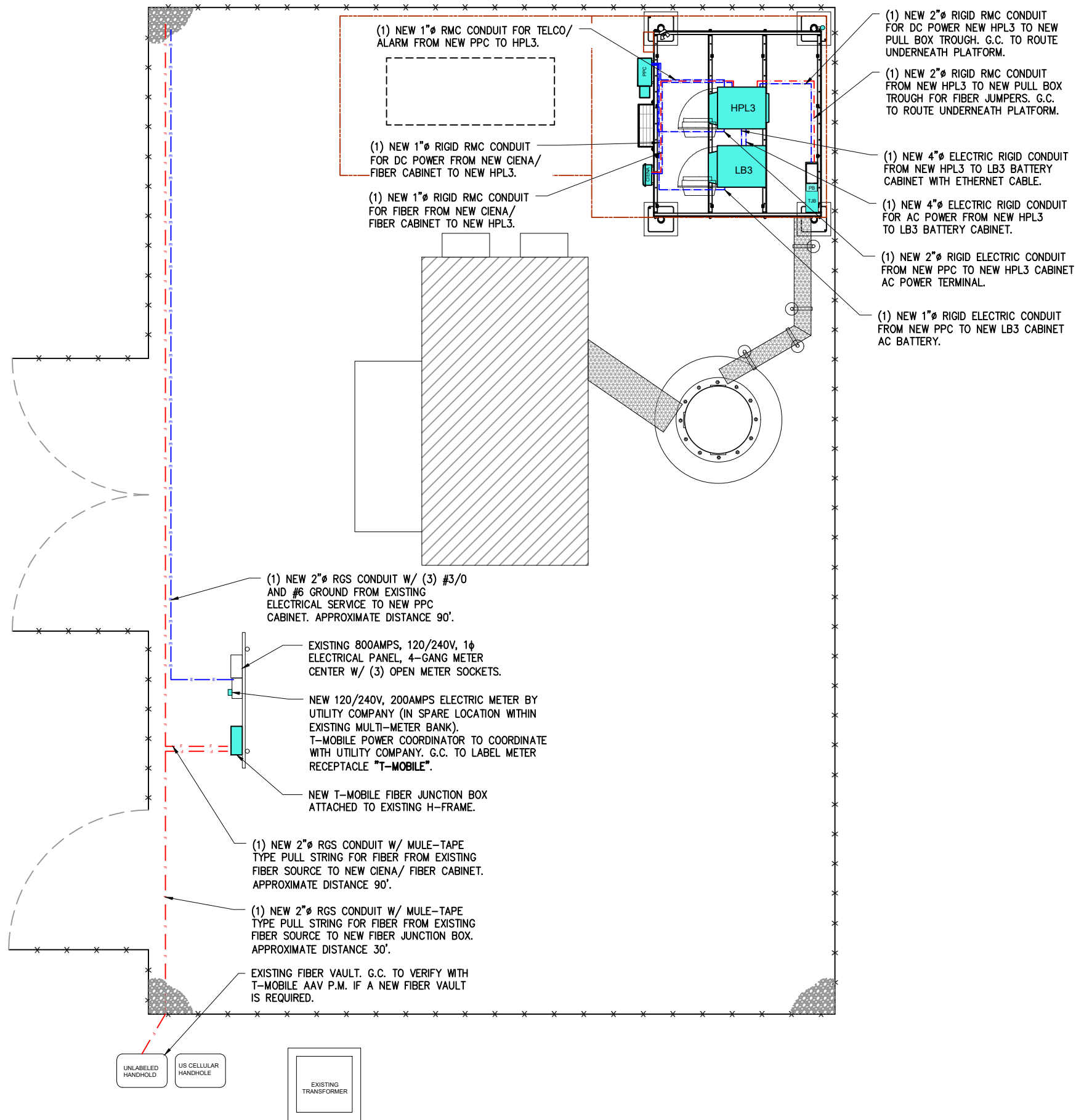
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SITE
DETAILS

SHEET NUMBER

C-5



NOTES:

1. CONTRACTOR SHALL COORDINATE METER SOCKET LOCATION AND TYPE WITH POWER COMPANY.
2. CONTRACTOR SHALL INSTALL CONDUIT AND WIRE TO THE BTS SITE. COIL WIRES, SEAL CONDUIT WIRE ENDS FROM MOISTURE INFILTRATION. LEAVE WIRE TO TERMINATE AT RADIO CABINET PANEL, (MINIMUM OF 10 FEET).
3. COPPER GROUND WIRE SHALL BE BONDED TO SITE GROUNDING SYSTEM.
4. UNDERGROUND CONDUITS SHALL TRANSITION FROM PVC TO RIGID THROUGH THE SWEEP AND REMAIN RIGID INTO PANELS.
5. CONTRACTOR MAY MODIFY KNOCKOUT HOLES IN EQUIPMENT CABINETS TO ACCOMMODATE THE REQUIRED CONDUIT SIZES.
6. COORDINATE WITH RADIO CABINET MFG REQUIREMENTS FOR SIZE & NUMBER OF CONDUITS.
7. THE MINI- PPC IS SHIPPED IN TWO SECTIONS TO BE BOLTED TOGETHER ON SITE. THE COMBINED WEIGHT IS APPROX. 300 LBS.
8. SURGE PROTECTION IN TELCO CHAMBER IS REQUIRED ON ALL SITES WITH EXTERNAL ALARM POINT MONITORING. NORTHERN TECHNOLOGIES INC DLP-43 DATA LINE PROTECTOR SHALL BE USED.
9. SERVICE POWER SHALL BE (120/240VAC, 200A, 1Ø, 3W) OR (120/208VAC, 200A, 3Ø, 4W)
10. 200A METER BASE SHALL BE INSTALLED WHERE IT IS ACCESSIBLE FOR READOUT. THE NUMBER OF JAWS IN THE METER SOCKET AND THEIR ARRANGEMENT DEPENDS ON THE VOLTAGE SERVICE. COORDINATE WITH POWER COMPANY
11. CABLE SIZES SHALL BE ADJUSTED TO COMPENSATE FOR VOLTAGE DROP IF LONGER THAN 180FT. VERIFY CONDUIT SIZE WHEN CHANGING CABLE SIZE.
12. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY PPC MANUFACTURER.
13. ADDRESS SHALL BE POSTED BELOW THE METER
14. ANY 120 VOLT OUTLET LOCATED ON THE PPC SHALL HAVE GFCI PROTECTION PER NEC SECTION 210-8.
15. CONTRACTOR TO SUPPLY AVAILABLE FAULT CURRENT CALCULATIONS AT THE SERVICE EQUIPMENT LINE TERMINATION POINT; AS WELL AS IMPEDANCE VALUE AND SIZE OF SERVICE CONDUCTORS. ALL SERVICE AND BRANCH PANELS SHALL BE RATED FOR THE AVAILABLE FAULT CURRENT. DISTANCE AND CONDUCTOR SIZES MUST BE FURNISHED TO INSPECTOR.
16. EMERGENCY AND BATTERY BACKED UP EXIT LIGHTING CIRCUITS SHALL BE MARKED SPECIFICALLY IN THE ELECTRICAL PANEL AS SUCH. (NEC 700.12.E). THE FIRE DEPARTMENT WILL BE TESTING THESE DEVICES EVERY SIX MONTH DURING BUSINESS HOURS BY SHUTTING THESE CIRCUITS (KEEP CRITICAL LOADS OFF THESE CIRCUITS). IF THE PRIMARY SOURCE OF ILLUMINATION IS HID, THE EMERGENCY LIGHTS SHALL BE REQUIRED TO OPERATE UNTIL NORMAL ILLUMINATION IS RESTORED. (NEC 700.16).
17. CONTRACTOR SHOULD ENSURE THAT ANY GENERATOR SUPPLYING THIS SITE SHOULD HAVE THE GROUND TO NEUTRAL STRAP REMOVED AS THIS IS A 2 POLE TRANSFER SWITCH WITH A SOLID NEUTRAL.

CONDUITS AND WIRING

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.

COORDINATION WITH UTILITY COMPANY

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANIES FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS

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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

PROPOSED UTILITY
SITE PLAN AND NOTES

SHEET NUMBER

E-1

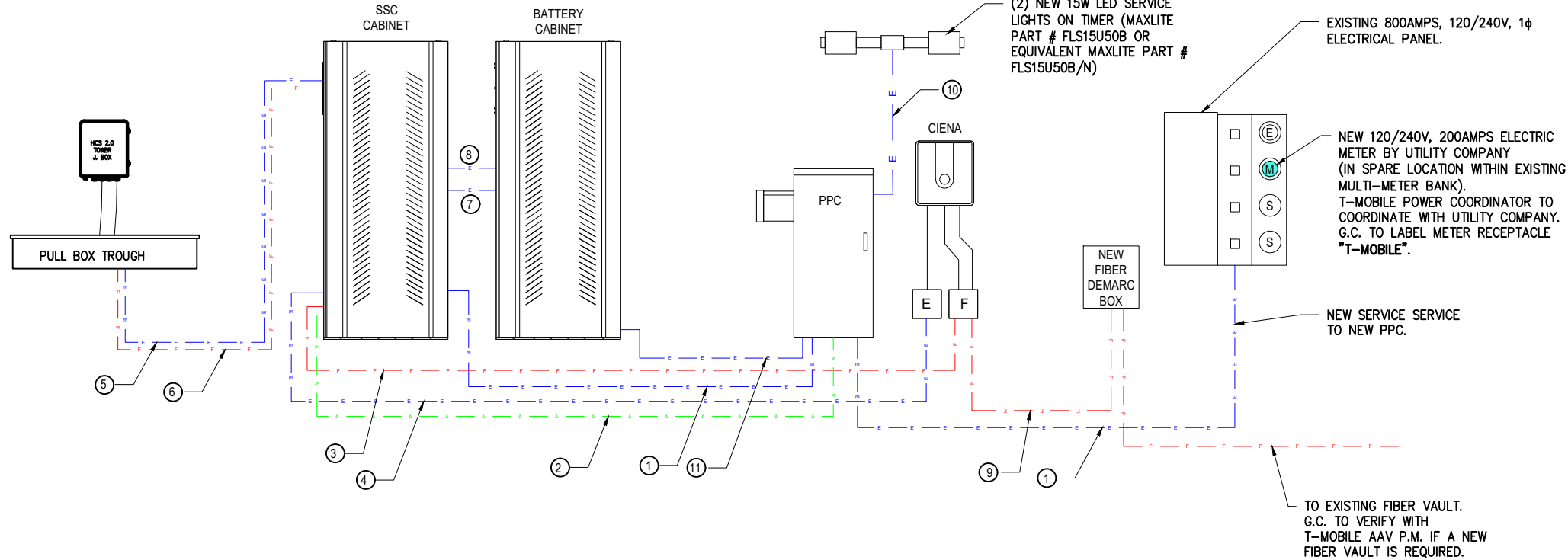
1

PROPOSED UTILITY EQUIPMENT PLAN VIEW

SCALE: 1/4" = 1'-0"

SYMBOL LEGEND:

- 2" RMC FOR AC POWER WITH (2) 3/0 & (1) #4 NEUTRAL AND (1) 3/0 GROUND
- 1" RMC FOR TELCO ALARM WITH (1) PAIR OF BELDEN 27916A #16 AWG
- 1" RMC FOR FIBER WITH 40' SM FIBER.
- 1" RMC FOR DC POWER WITH (2) #12 & (1) #6 GROUND
- 3" RMC FOR DC POWER WITH (3) PAIRS OF #2
- 3" RMC FOR FIBER WITH FIBER JUMPERS
- 4" RMC FOR BATTERY ALARM WITH (2) CAT-5 CABLES
- 4" RMC FOR DC POWER WITH (2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12
- 2" RMC FOR NEW FIBER SERVICE
- 3/4" RMC WITH #6 AWG WIRES FOR LIGHT
- 1"Ø RMC FROM PPC TO LB3 CABINET AC BATTERY



FIBER CONNECTION SOURCE TO BE CONFIRMED WITH T-MOBILE PRIOR TO CONSTRUCTION START

1 UTILITIES DIAGRAM
SCALE: N.T.S

T-MOBILE SITE NUMBER: VOLTAGE: MAIN BREAKER: MOUNT: ENCLOSURE TYPE: PANEL STATUS:				240V/120 200AMP H-FRAME NEMA 3R NEW				MODEL: PHASE: BUSS RATING: NEUTRAL BAR: N TO GROUND BOND: INTERNAL TVSS:				POWER TRANSFER CABINET OR APPROVED EQUAL 1 WIRE: 3 200AMPS AIC: 22,000 YES GROUND BAR: YES YES			
CKT	LOAD DESCRIPTION	BREAKER AMPS	BREAKER POLES	BREAKER STATUS	SERVICE LOAD VA	USAGE FACTOR	PHASE A VA	PHASE B VA	USAGE FACTOR	SERVICE LOAD VA	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION	CKT
1	SURGE APPROX	30	2	ON	400	1.25	1000		1.25	4200	ON	4	200	HP SITE SUPPORT CABINET	2
3				ON		1.25		10500							4
5	SERVICE LIGHT	20	1	ON	500	1	500								6
7				ON		0	0	10500							8
9				N/A	0	0	0		0	0	N/A				10
11				N/A	0	0	0	0	0	0	N/A				12
13				N/A	0	0	0		0	0	N/A				14
15				N/A	0	0	0		0	0	N/A				16
17				N/A	0	0		0	0	0	N/A				18
19				N/A	0	0	0		0	0	N/A				20
21				N/A	0	0	0	0	0	0	N/A				22
23				N/A	0	0	0		0	0	N/A				24
							1500	21000	VA			TOTAL KVA	22500		
												AMPS	93.75		

CONTRACTOR NOTES - PPC:

- FURNISH & INSTALL ALL CIRCUIT BREAKERS PER PANEL SCHEDULE
- LABEL CIRCUIT BREAKER W/ PERMANENT PLASTIC LABELS NOTING FUNCTION OF BREAKER
- REPLACE MISSING COMPARTMENT ACCESS SCREWS LOST DURING INSTALLATION
- VERIFY ENCLOSURE IS RODENT-PROOF AFTER INSTALLATION OF CABINET AND CONDUITS
- FACTORY INSTALLED NEUTRAL-GROUNDING BOND JUMPER INSIDE THE PPC SHALL BE REMOVED

2 ELECTRICAL PANEL SCHEDULE
SCALE: N.T.S

T-MOBILE ELECTRICAL SCOPE OF WORK:

1. CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS. ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS

2. ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)

3. ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.

4. ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.

5. 3/4" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO NSN SYSTEM MODULES FOR POWER DELIVERY.

6. 1" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR POWER DELIVERY.

7. 2" CONDUIT IS TO BE RUN FROM 12X12X4 HOFFMAN BOX TO COVP FOR POWER DELIVERY.

8. 1" CONDUIT IS TO BE RUN FROM THE 6X6X4 HOFFMAN TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR ETHERNET DELIVERY.

9. 3/4" CONDUIT IS TO BE UTILIZED TO DELIVER ETHERNET FROM CSR TO NSN SYSTEM MODULES.

10. SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT

11. 2" CONDUIT IS TO BE USED TO DELIVER POWER FROM PPC TO SSC.

12. 2" CONDUIT IS TO BE RUN TO BRING POWER FROM OUR SOURCE TO T-MOBILE METER.

13. 2" CONDUIT IS TO BE RUN FROM OUR METER TO OUR PPC (UNLESS LARGER THAN 3 AWG I.E. 300 OR 500 MCM IS REQUIRED DUE TO VOLTAGE DROP WITH A LONG RUN)

14. 2" CONDUIT IS TO BE RUN FROM FBT, CIENA, OR OTHER TELCO SOURCE TO T-MOBILE TELCO H-FRAME

15. ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".

16. IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS

17. EMT IS ONLY ALLOWED INDOOR.

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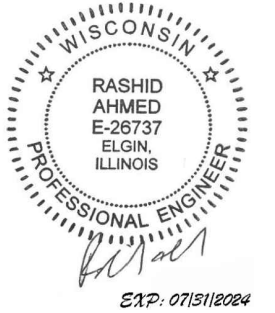
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PREPARED BY: AE

CHECKED BY: AB

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SHEET TITLE

UTILITIES DIAGRAM &
ELECTRICAL PANEL
SCHEDULE

SHEET NUMBER

E-3

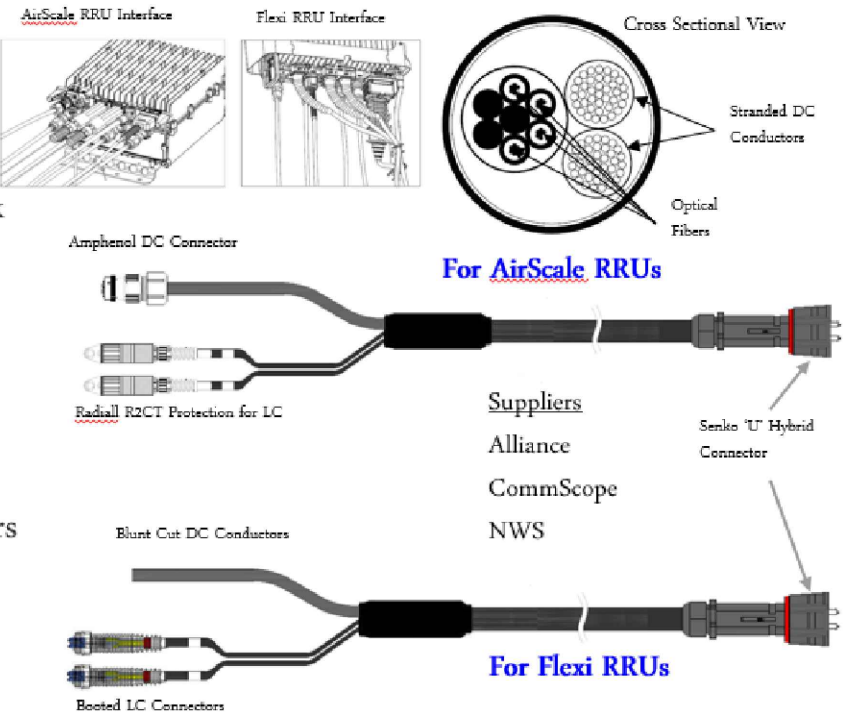
CUSTOM CONFIGURATION – TOWER TOP EQUIPMENT SCHEDULE													
ANTENNA SECTOR	ANTENNA MARK	ANTENNA MODEL #	TECHNOLOGY	ELECTRICAL TILT	MECHANICAL TILT	RAD CENTER	AZIMUTH	RRU MODEL	DIPLEXER MODEL	TOWER TOP COVP MODEL	RF JUMPERS	HYBRID JUMPERS	ESTIMATED MFR. HCS 2.0 TRUNK LENGTH (TO BE VERIFIED IN FIELD)
ALPHA	A1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	90°	AHLOA (P) AHFIG (P)	-	HCS 2.0 PENDANT A (P)	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	(1) 150' HCS 2.0 TRUNK A (P) (EXACT LENGTH TO BE FIELD VERIFY)
	A2	-	-	-	-			-	-	-	-	-	-
BETA	B1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	180°	AHLOA (P) AHFIG (P)	-	SHARED PENDANT A	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	SHARED HCS 2.0 TRUNK A
	B2	-	-	-	-			-	-	-	-	-	-
GAMMA	C1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	350°	AHLOA (P) AHFIG (P)	-	SHARED PENDANT A	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	SHARED HCS 2.0 TRUNK A
	C2	-	-	-	-			-	-	-	-	-	-

NOTE: ANTENNAS PLACEMENT, ELCT. & MECH. TILT, AND RRU's TO BE VERIFIED WITH T-MOBILE C.M. PRIOR TO CONSTRUCTION STARTS

NOTE:
G.C. SHALL FIELD MEASURE AND DETERMINE THE EXACT REQUIRED NEW HCS 2.0 TRUNK LENGTH TO EACH SECTOR AND PROVIDE CABLES LENGTHS TO T-MOBILE CONSTRUCTION MANAGER TO ENSURE THE CORRECT LENTHS ARE CAPTURES ON THE FINAL RFDS AND T-MOBILE BILL OF MATERIAL (B.O.M).

1 ANTENNA SCHEDULE
SCALE: N.T.S.

- Outer diameter: 0.72"
- Weight: 0.34 lb/ft
- Operating Temp: -40 °C to +75 °C
- Connectorized for mating with tower top trunk cable breakout or roof top box
- DC and fiber interfaces versions for Nokia AirScale and Flexi RRUs
- Short (tower top 15') & long (roof top 20' - 250') AirScale versions available
- Also available with legacy booted LC connectors and blunt cut DC conductors for Flexi RRU applications



2 HYBRID JUMPER CABLE GENERAL SPECIFICATIONS
SCALE: N.T.S.

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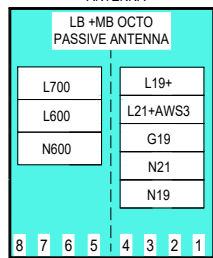
ANTENNA AND CABLE
SCHEDULE

SHEET NUMBER

RF-1

ALPHA SECTOR

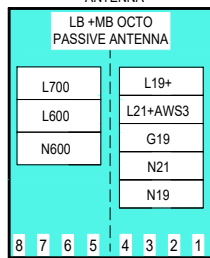
POSITION # A1

COOMSCOPE
FFVW-65C-R3-V1
ANTENNARF JUMPER,
TYP.HCS 2.0 HYBRID
JUMPER. TYP.PROPOSED
PENDANT A

A

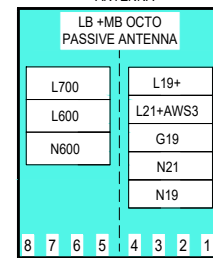
BETA SECTOR

POSITION # B1

COOMSCOPE
FFVW-65C-R3-V1
ANTENNARF JUMPER,
TYP.

GAMMA SECTOR

POSITION # C1

COOMSCOPE
FFVW-65C-R3-V1
ANTENNARF JUMPER,
TYP.HCS 2.0 HYBRID
JUMPER. TYP.AT ANTENNA LEVEL
AT EQUIPMENT PLATFORM LEVEL

NOTE:

G.C. TO REFER TO FINAL RFDS AND PORT MATRIX TO ENSURE
ACCURATE EQUIPMENT CALLOUTS AND PLUMBING DIAGRAM.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
PROPOSED EQUIPMENT TO BE INSTALLED

LEGEND

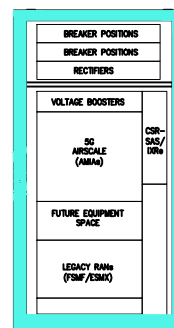
- RF CABLING ALPHA
RF CABLING BETA
RF CABLING GAMMA
HCS 2.0 TRUNK
HCS 1.0 HYBRID CABLE (E)
HCS 2.0 HYBRID JUMPER ALPHA
HCS 2.0 HYBRID JUMPER BETA
HCS 2.0 HYBRID JUMPER GAMMA

PROPOSED HCS 2.0
TRUNK.

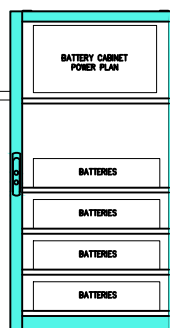
PULL BOX TROUGH

(1) NEW 3"Ø RIGID RMC CONDUIT
FOR DC POWER FROM OVP's
PULL BOX TO HPL3 CABINET.(6) NEW BOTTOM FIBER JUMPERS ROUTED
INSIDE (1) NEW 3"Ø RIGID RMC CONDUIT
FROM OVP's PULL BOX TO HPL3 CABINET.

HPL3



LB3

PROPOSED
FYGA ANTENNA

1

PROPOSED RF PLUMBING DIAGRAM

SCALE: N.T.S.

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SYSTEM CONNECTION
DIAGRAM

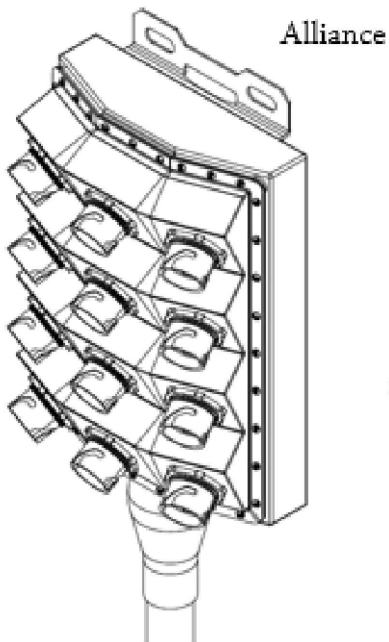
SHEET NUMBER

RF-2

NOTE:

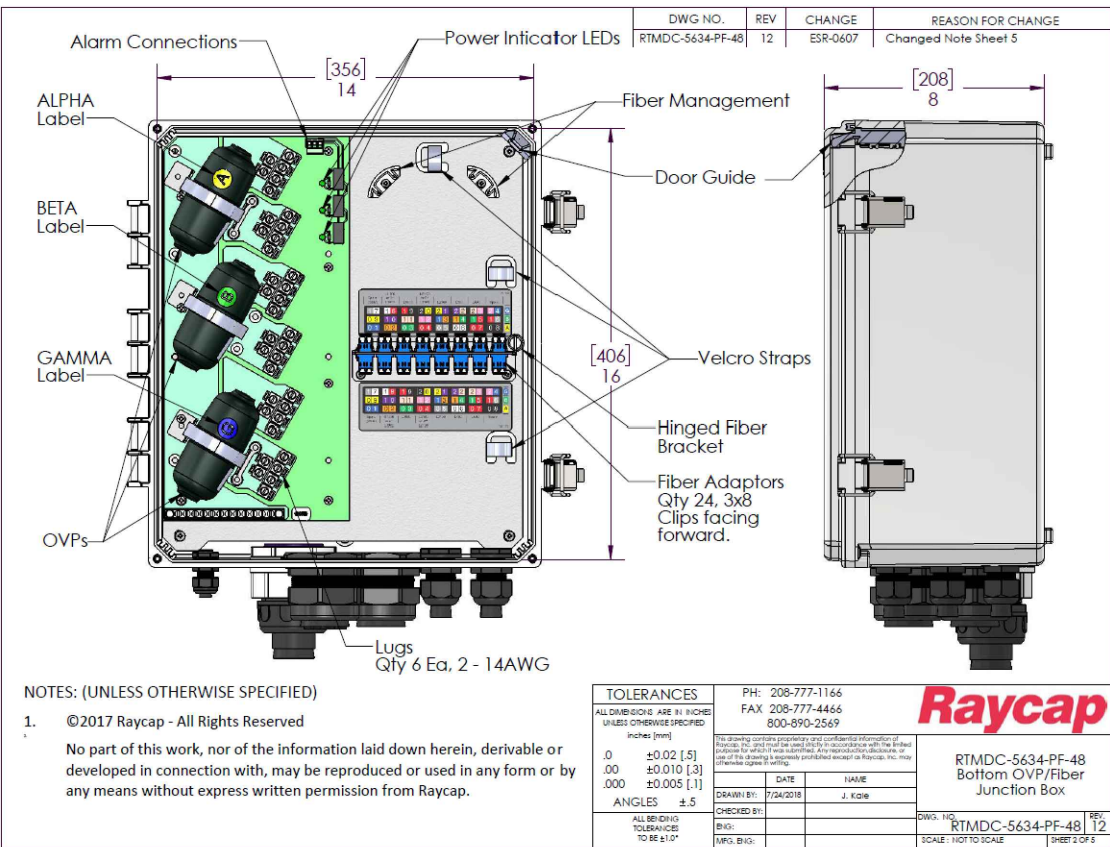
THE BREAKOUT BOX (PENDANT) IS PERMANENTLY ATTACHED TO THE TRUNK CABLE, IT IS NOT FIELD REMOVABLE/REPLACEABLE WITHOUT REPLACING THE ENTIRE TRUNK CABLE.

Dimensions, in.	9.3x14.9x5.8
in.	8
Weight	1.61 lb/ft
Port Interface	Senko U
Interface	
Hybrid Ports	12
Conductor	None
Termination	
Single Mode Fibers	48
Fibers	
Fiber Termination	LC pair
Termination	
Max RRU	12



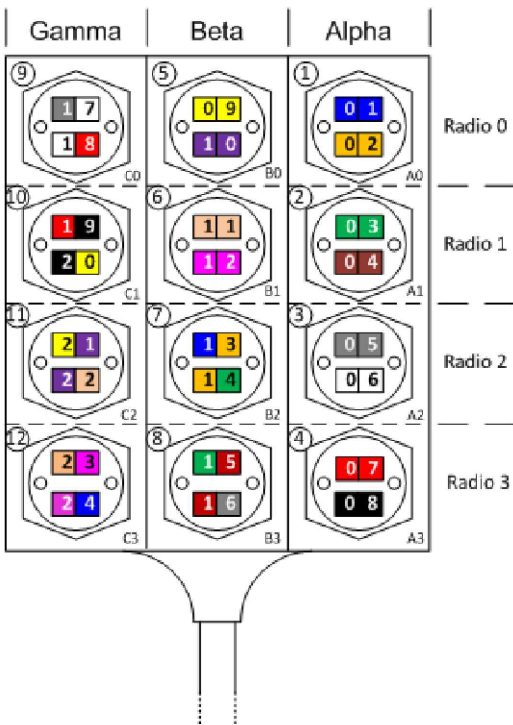
BREAKOUT BOX (PENDANT) WEIGHT: 3.59lbs

1 HCS 2.0 BREAKOUT BOX (PENDANT) SPECS
SCALE: N.T.S.



2 RAYCAP BOTTOM OVP SPECS
SCALE: N.T.S.

Breakout Feature



Bottom Junction Box Fiber
Patch Panel

Radio 0		Radio 1		Radio 2		Radio 3	
Optical 1	Optical 2	Optical 1	Optical 2	Optical 1	Optical 2	Optical 1	Optical 2
1 7	1 8	1 9	2 0	2 1	2 2	2 3	2 4
0 9	1 0	1 1	1 2	1 3	1 4	1 5	1 6
0 1	0 2	0 3	0 4	0 5	0 6	0 7	0 8



3 TOWER JUNCTION BOX HYBRID PORTS COLOR CODE
SCALE: N.T.S.

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SHEET TITLE

NEW EQUIPMENT MFR.
SPECS & CONNECTION
DIAGRAM

SHEET NUMBER

RF-3

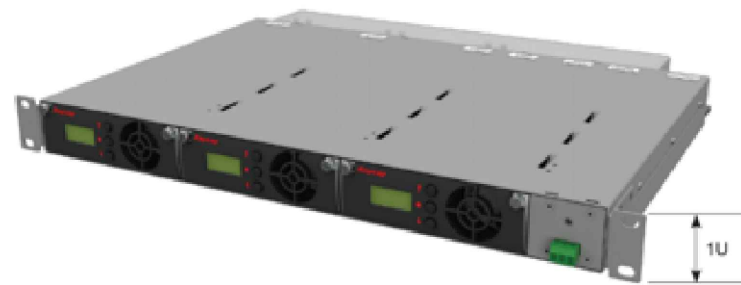


Figure 1 Raycap PowerPlus Voltage Booster (front view)

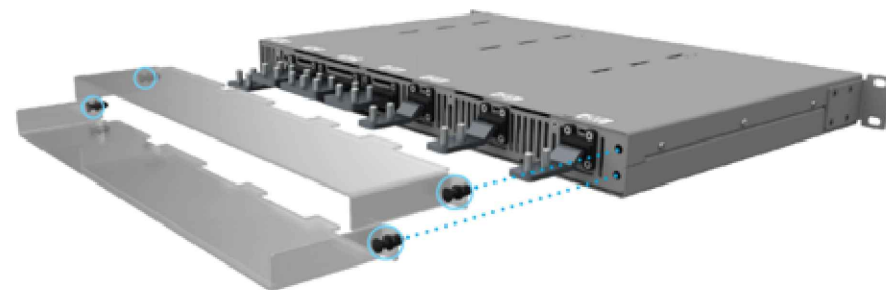
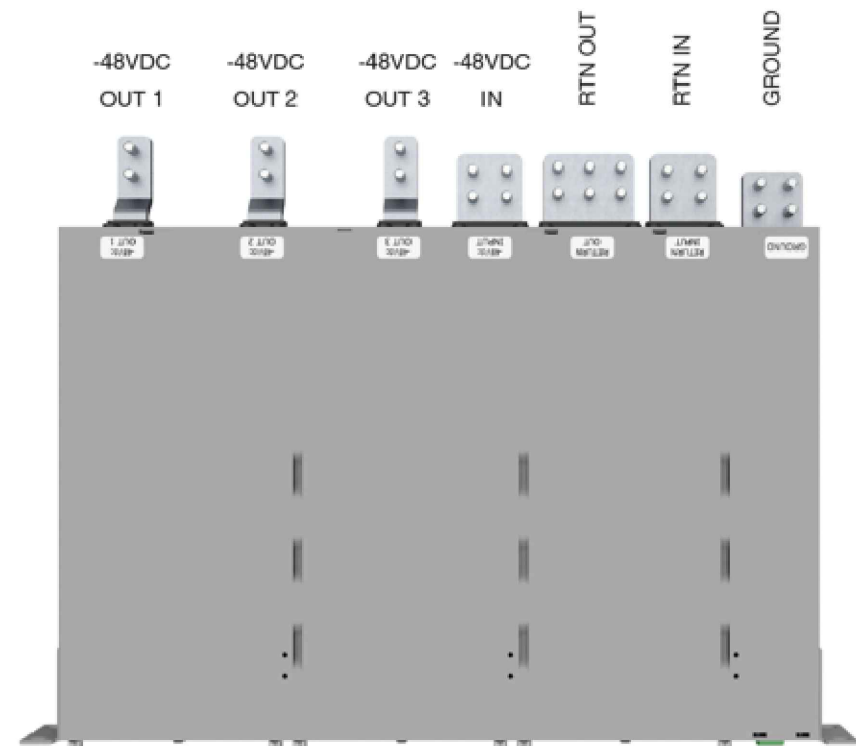


Figure 2 Raycap PowerPlus Voltage Booster (rear view; with touch guard)



3.2.2 Single Mode

For applications where the radios are fed power on a sector basis, i.e. HCS 2.0 tower and roof top, the PowerPlus shall be configured for Single Mode operation. Each output terminal pair feeds a sector in HCS 2.0.

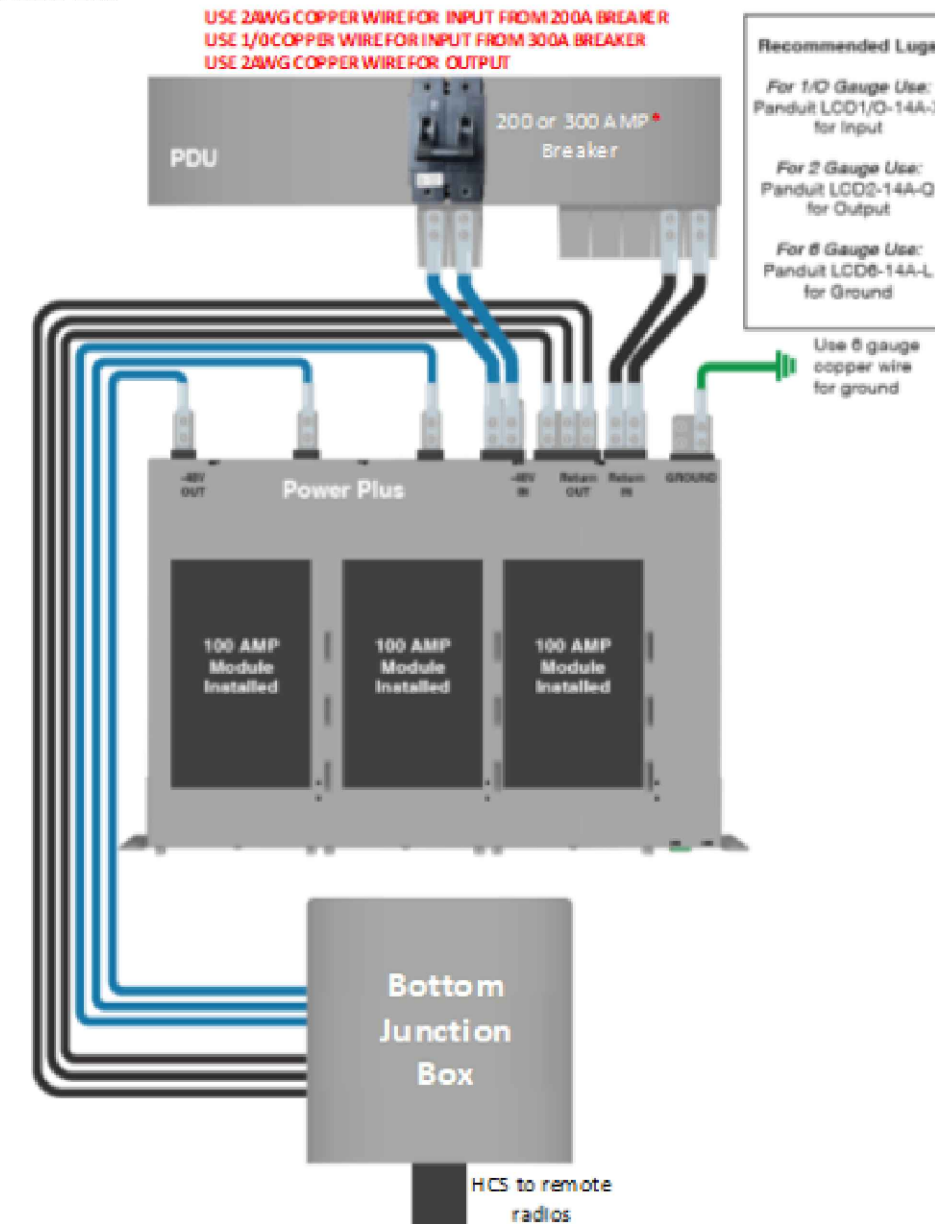


Figure 6 Single Mode Wiring (*300A solution under development for exceptional cases)

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SITE ADDRESS

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TAX KEY NO: SUXV0231989007

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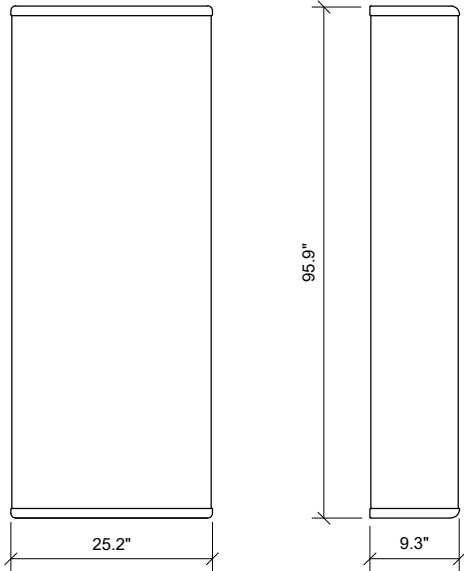
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RAYCAP POWERPLUS
VOLTAGE BOOSTER
MFR SPECS.

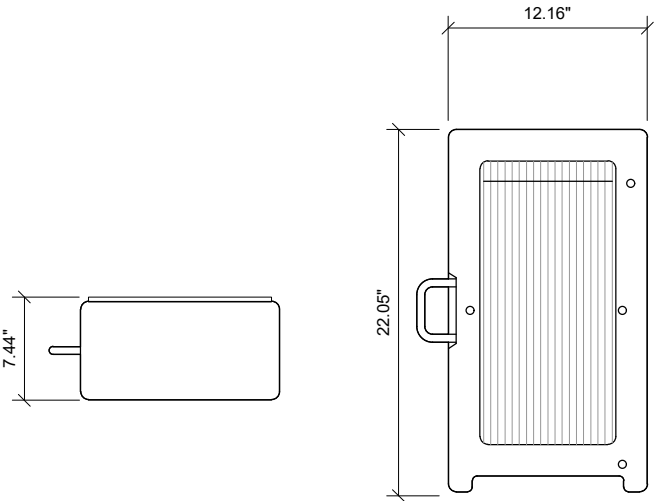
SHEET NUMBER

RF-4

MODEL #	COMMSCOPE/ FFV-65C-R3-V1
DIMENSIONS (HxWxD)	95.9" x 25.2" x 9.3"
NET WEIGHT	124.6 lbs



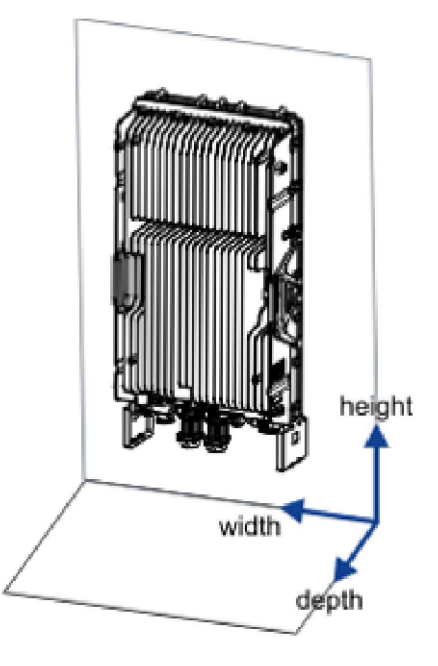
1 FFV-65C-R3-V1 ANTENNA DETAIL
SCALE: N.T.S.



MODEL #	NOKIA AHLOA RRH
DIMENSIONS (HxWxD)	22.05" x 12.16" x 7.44"
NET WEIGHT	83.78lbs

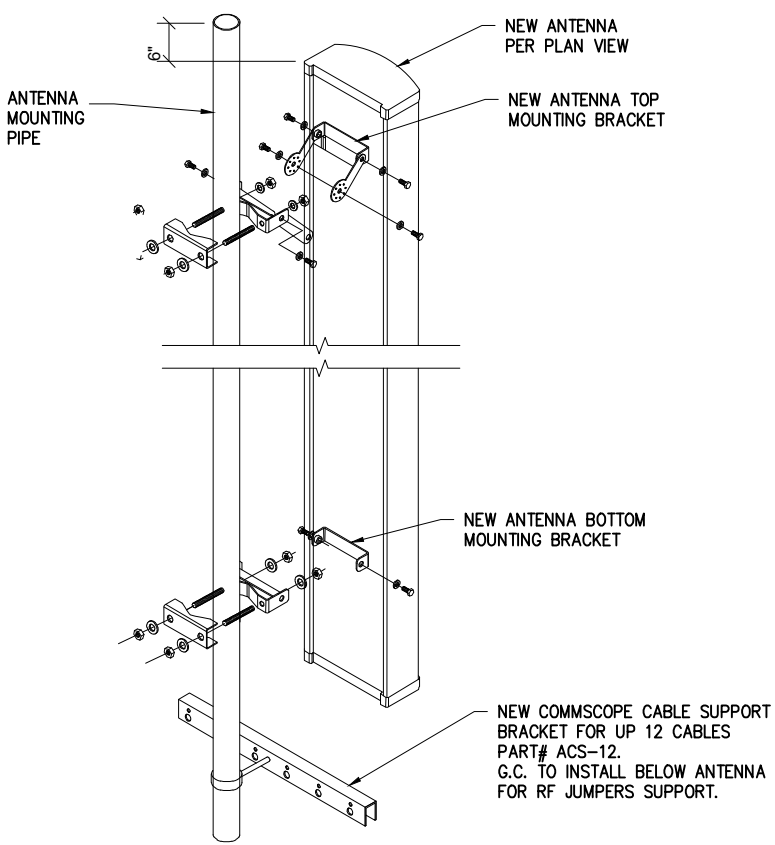
4 AHLOA RRH DETAIL
SCALE: N.T.S.

2 NOT USED
SCALE: N.T.S.

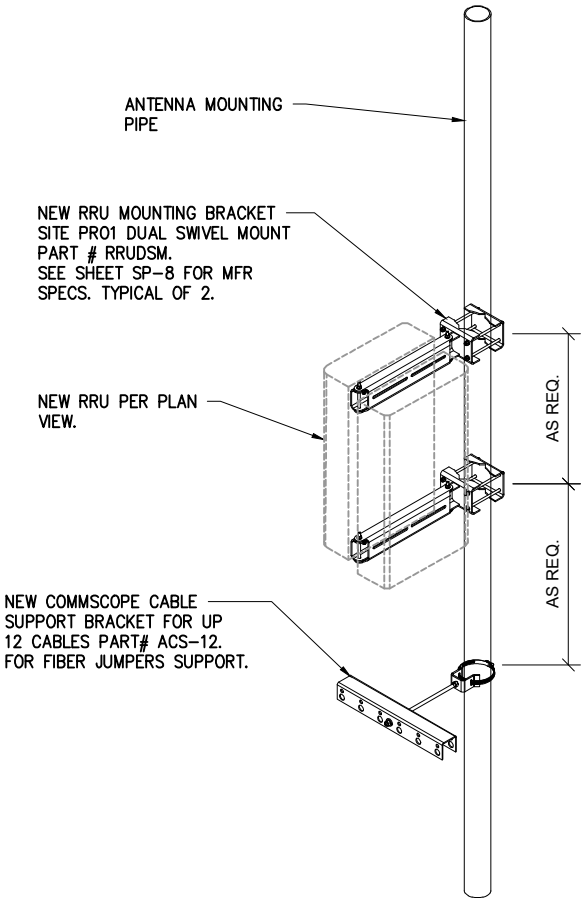


MODEL #	NOKIA AHFIG RRH
DIMENSIONS (HxWxD)	27.4" x 12.1" x 5.2"
NET WEIGHT (WITHOUT COVER)	70.5lbs

5 AHFIG RRH DETAIL
SCALE: N.T.S.



3 ANTENNA MOUNTING DETAIL.
SCALE: N.T.S.



6 RRU MOUNTING DETAIL
SCALE: N.T.S.

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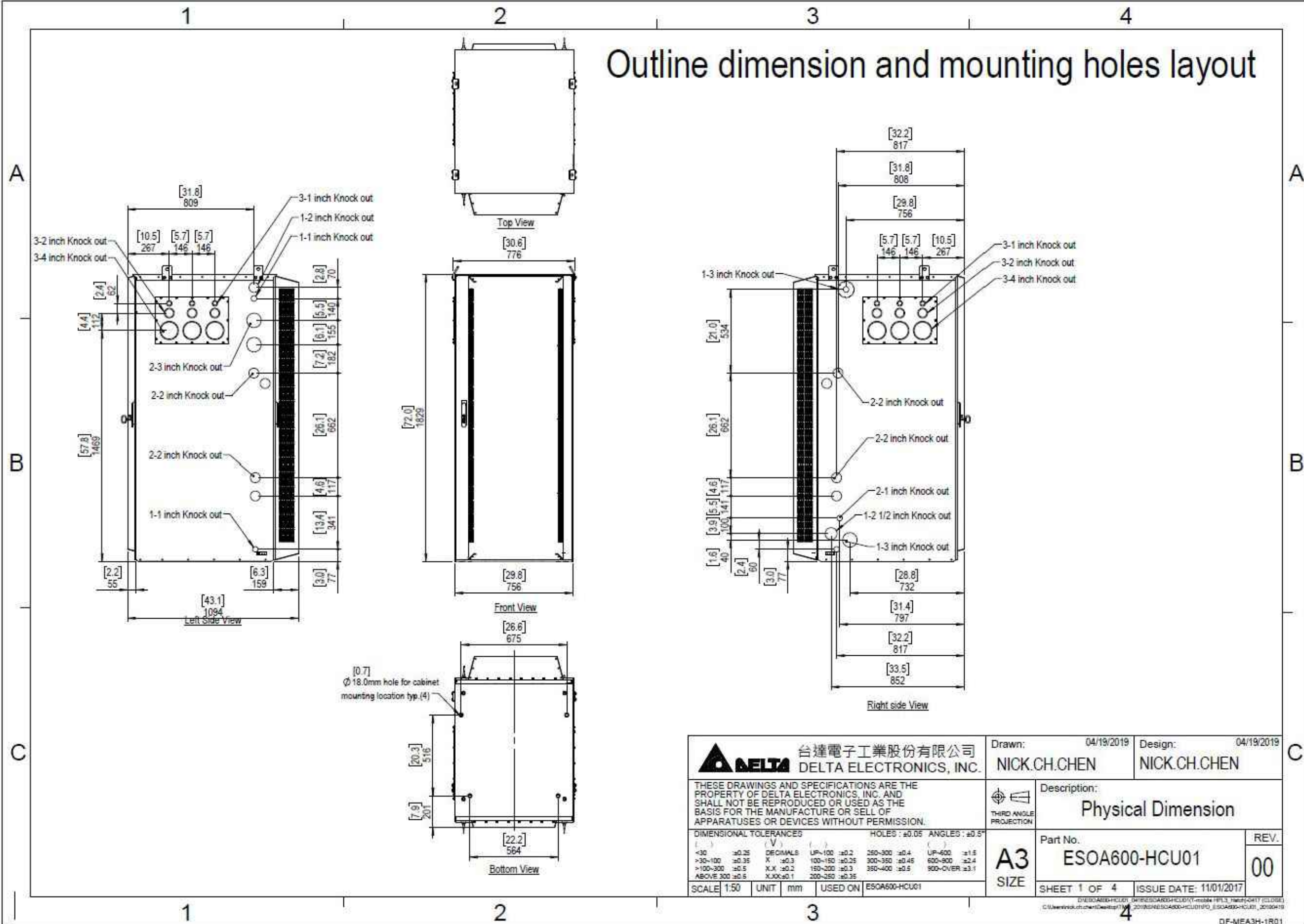
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EXISTING & NEW EQUIPMENT
SPECIFICATIONS

SHEET NUMBER

SP-1

Outline dimension and mounting holes layout



 台達電子工業股份有限公司 DELTA ELECTRONICS, INC.		Drawn: 04/19/2019 NICK.CH.CHEN	Design: 04/19/2019 NICK.CH.CHEN
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DIMENSIONAL TOLERANCES () DECIMALS () FRACTIONS <30 ±0.25 X ±0.3 >30-100 ±0.35 X.X ±0.2 >100-300 ±0.5 X.XX ±0.1 ABOVE 300 ±0.5 X.XXX ±0.1		Part No. ESOA600-HCU01	REV. 00
Holes: ±0.05° ANGLES: ±0.5°		SHEET 1 OF 4	
SCALE: 1:50 UNIT: mm USED ON: ESOA600-HCU01		ISSUE DATE: 11/01/2017	

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SHEET TITLE

HPL 3 DELTA POWER
CABINET MFR. SPECS

SHEET NUMBER

SP-2

SITE NUMBER

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SITE NAME

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SITE ADDRESS

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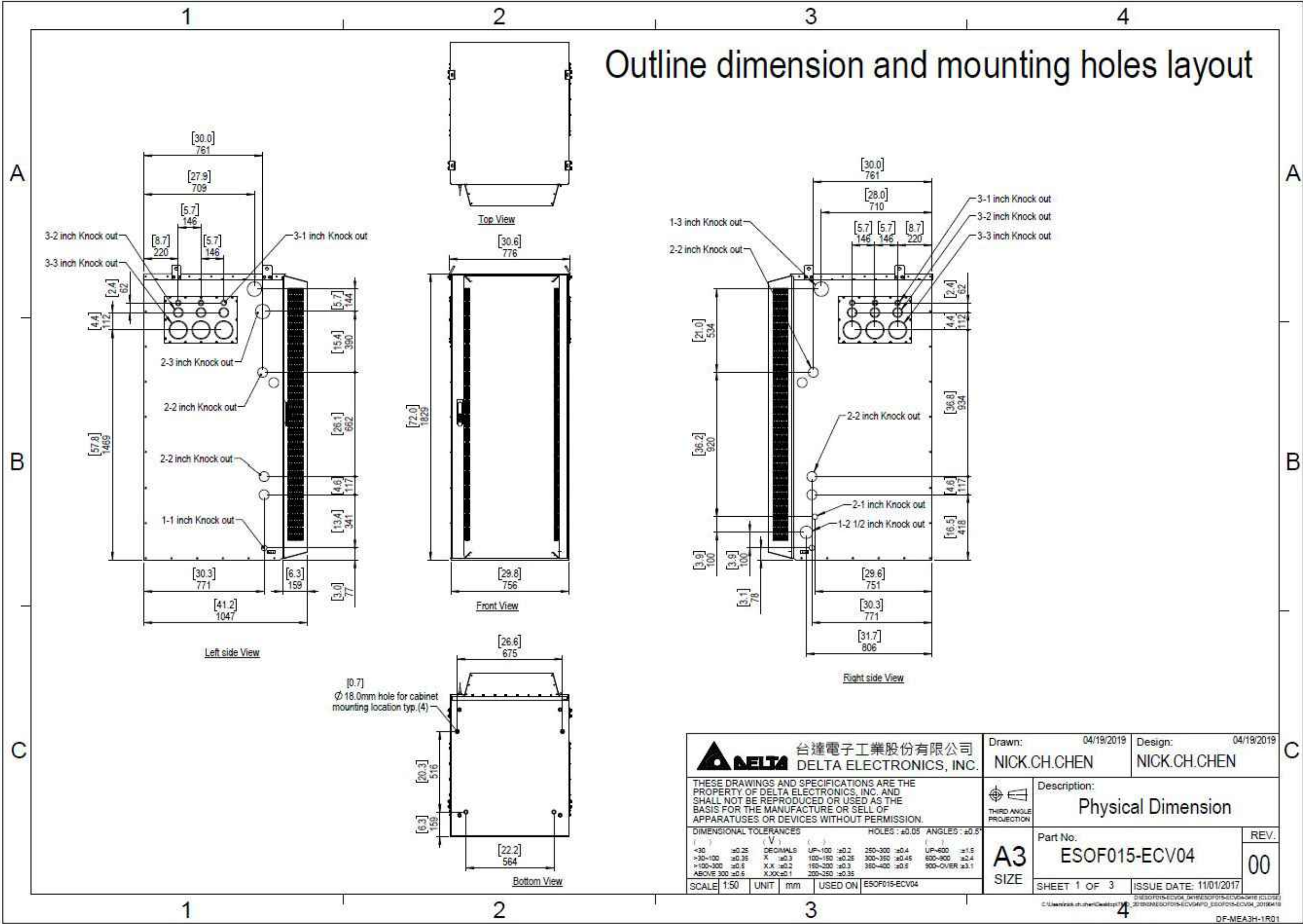
SHEET TITLE

LB3 BATTERY 3 BACK-UP
CABINET MFR. SPECS

SHEET NUMBER

SP-3

Outline dimension and mounting holes layout





Power Protection Cabinet (PPC) 200A

Product Features

- Single wall Aluminum enclosure
- Powder coated finish
- Pad lockable 3-point door latch
- Type 3R & IP55 rated
- Metal oxide varistor surge protection
- Camlok generator connection

www.deltaww.com

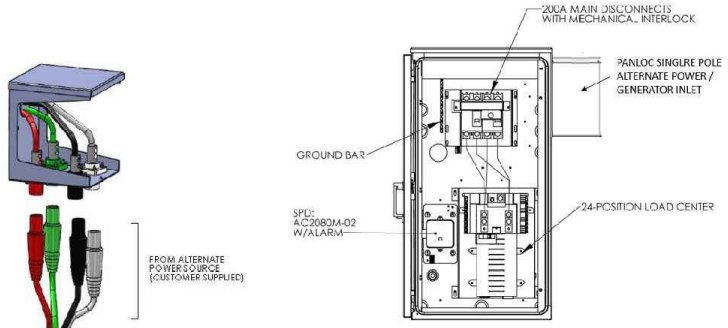


Smarter. Greener. Together.



Specifications

Model / Part Number	5811130508
1. General	
Construction	Single layer Aluminum enclosure, Type 3R
Dimensions (W x H x D)	20 x 39 x 10 inch excludes generator connections
Weight	71 lbs (without packaging)
Finish	Polyester Powder Paint
Door Latch	3-Point latching, pad lockable
	UL50 (Cabinet)
Safety	UL891 Dead Front Switchboard Listed Suitable for Use as Service Equipment (N-G Bonding kit included)
2. Environment	
Operating temperature	-40°C to +46°C (-40°F to 115°F)
Humidity (relative)	95%, non-condensing (Max.)
Protection class	Type 3R
3. AC Section	
Voltage	240/120 Single Phase (3 wire + Ground)
Current	200A
AIC Rating	Utility 65,000 Amps
	Generator Interface: Camlok Connections (Right Mount) Service Disconnect: Square D 200 Amp (65kAIC) Mechanical Slide Bar Interlock Load Center: Square D 200 Amp, QO Series, 24 Position Surge Protection Device (SPD) - 1 ea. AC2080M-02 Square D 30 Amp, 2-Pole Breaker for SPD Ground Bar Silkscreen Dead-Front Lift Off Style Captive Dead-Front Fasteners
Other features	
5. Ordering information	
PPC	5811130508 Power Pedestal Cabinet - 200A



GENERATOR INPUT

*Male Receptacle Twist Lock Panel Mount connectors (not included)

*All specifications are subject to change without prior notice.



EN_z20n8P21/ SY

Delta Group Website:
www.deltaww.com

Product Website:
www.deltapowersolutions.com

United States of America & Canada:
Delta Electronics (USA) Inc.
2925 E. Plano Parkway
Plano, TX (Texas) 75074

Sales and Orders:
DEUSTPS.Sales@deltaww.com
DEUSTPS.Orders@deltaww.com

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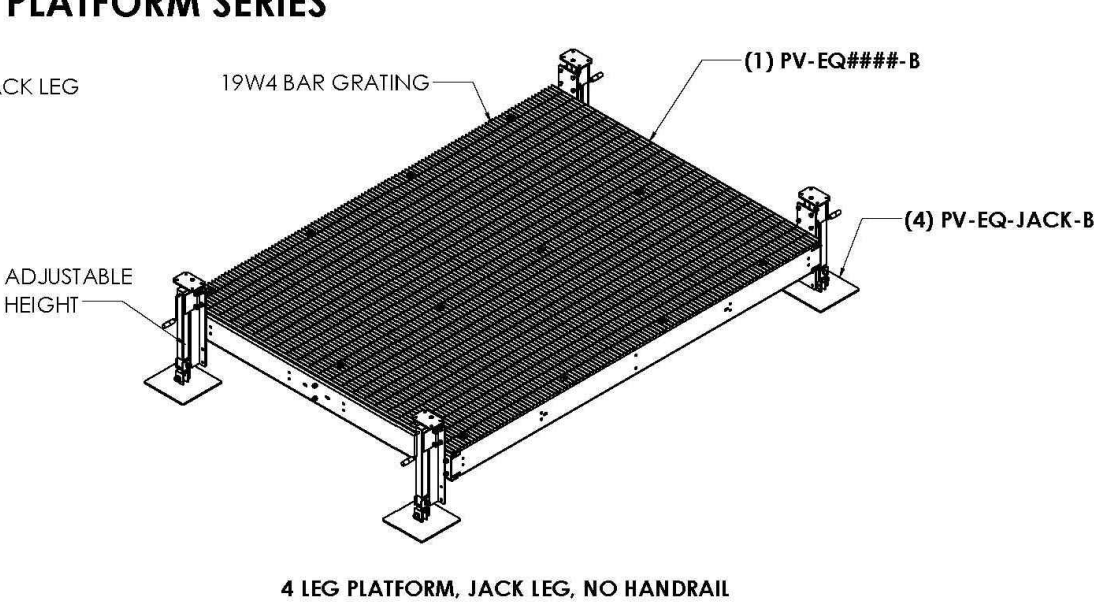
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SHEETS

SHEET NUMBER

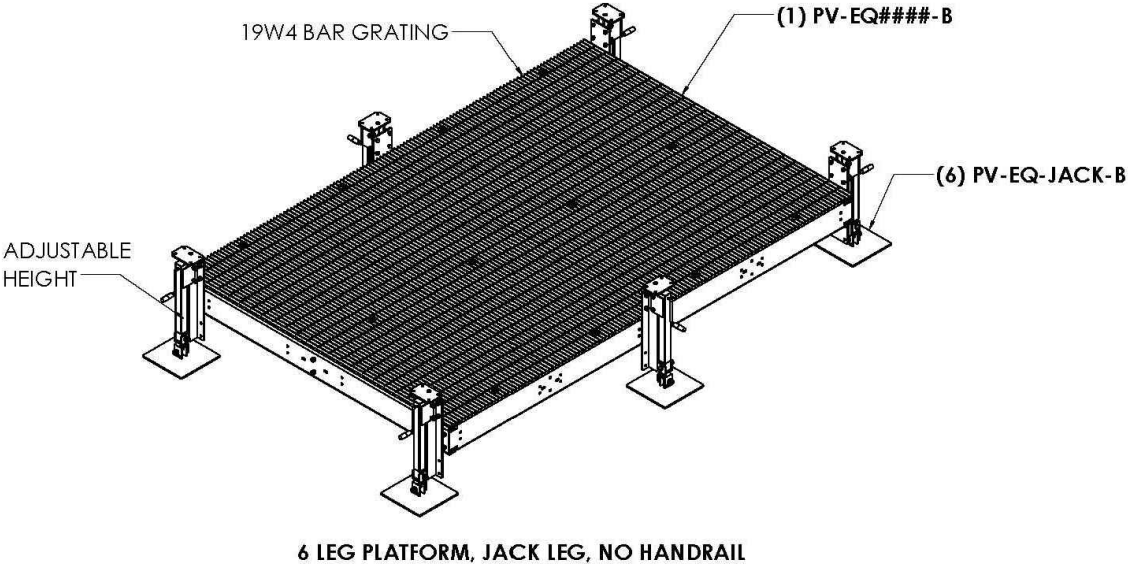
SP-4

EQUIPMENT PLATFORM SERIES

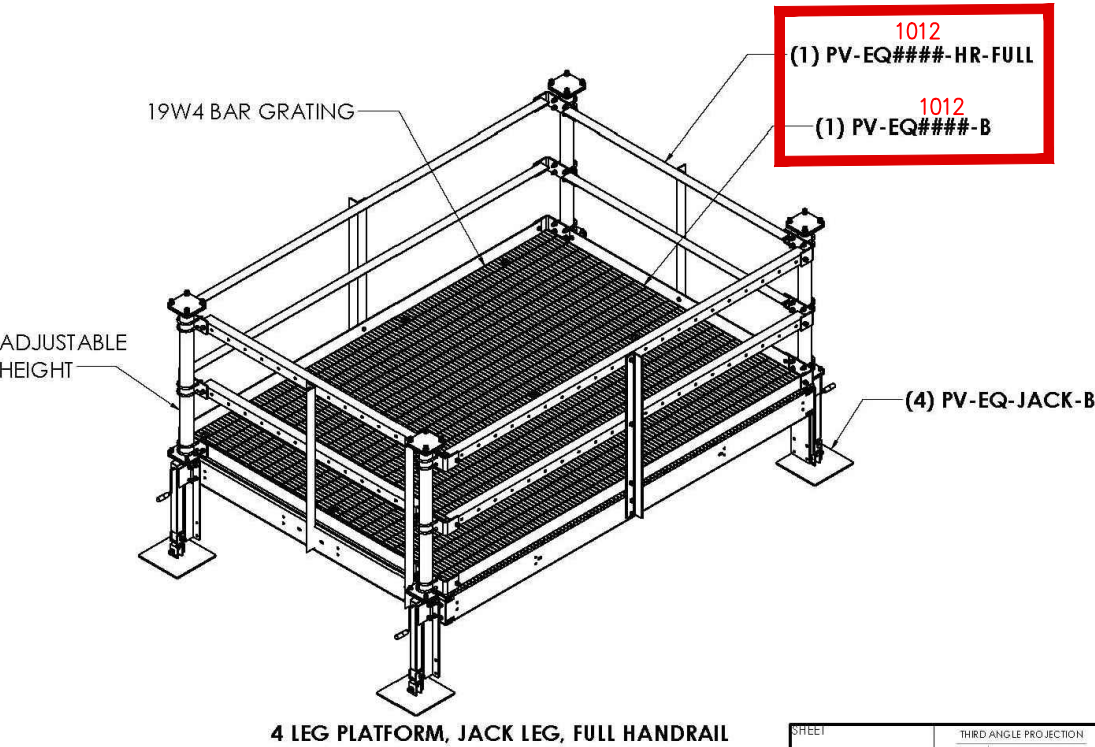
SERIES OVERVIEW: JACK LEG



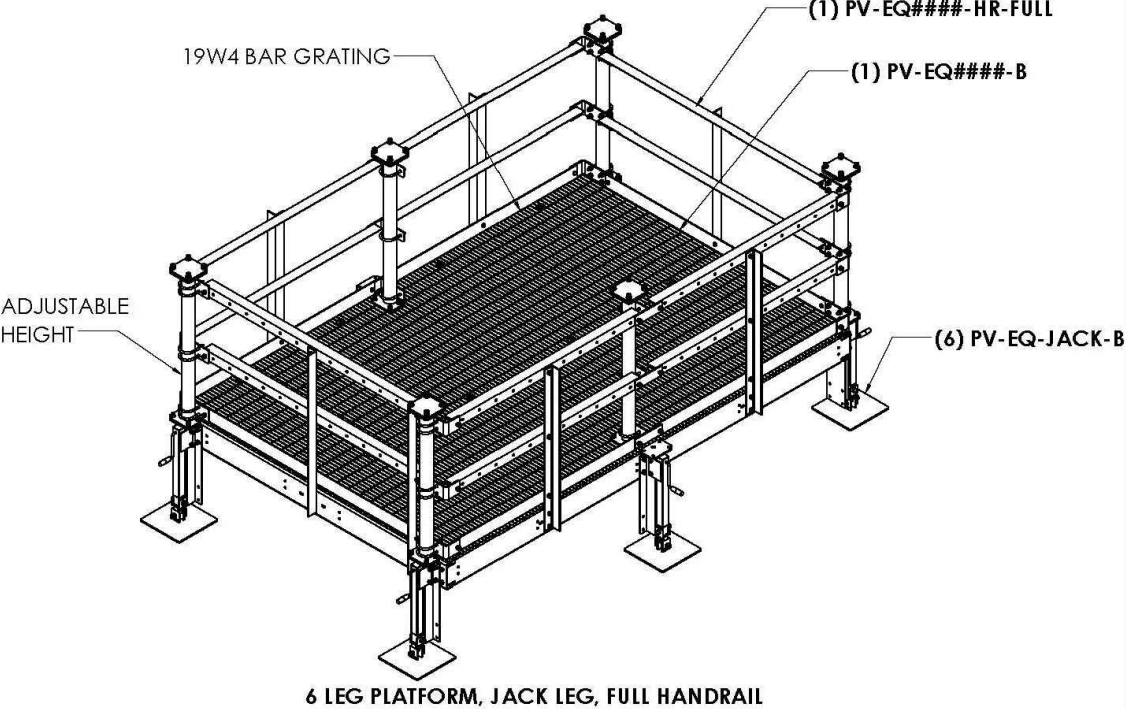
4 LEG PLATFORM, JACK LEG, NO HANDRAIL



6 LEG PLATFORM, JACK LEG, NO HANDRAIL



4 LEG PLATFORM, JACK LEG, FULL HANDRAIL



6 LEG PLATFORM, JACK LEG, FULL HANDRAIL

NOTE: SEE PAGE 8 FOR ADJUSTMENT RANGES

SHEET		THIRD ANGLE PROJECTION	CATEGORY		REV	DATE	PERFECT VISION	
4 OF 12	5/5/2021	SCALE 1:40	07_Equipment Platforms & Canopies	01_Equipment Platforms & Canopies	6	11/18/19	EQUIPMENT PLATFORM AND CANOPY	
			TYPE PV-WC / PV-EQ Series	BY DJN	5	2/15/18		
			CHECKED SJS	STATUS APPROVED	4	2/02/17	DOCUMENT NUMBER WCEQ-ENG-01-R6	
					3	1/25/17		
					2	9/19/16	REV 6	
					REV	DESCRIPTION		

C:\PV\Westin\Cardlog\SW Working Files\Engineering Details\

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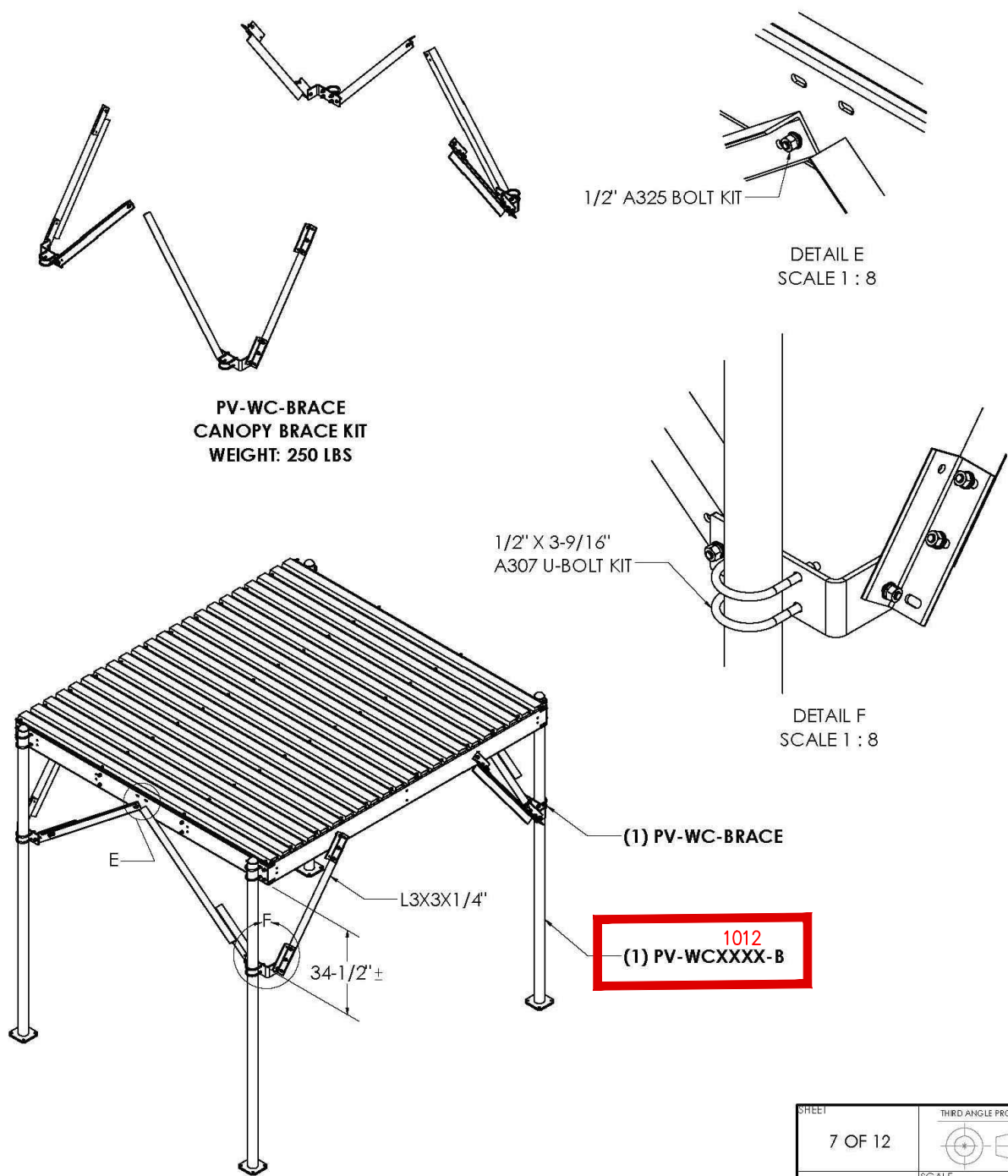
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SHEET TITLE
EQUIPMENT PLATFORM
MFR. SPECS.

SHEET NUMBER

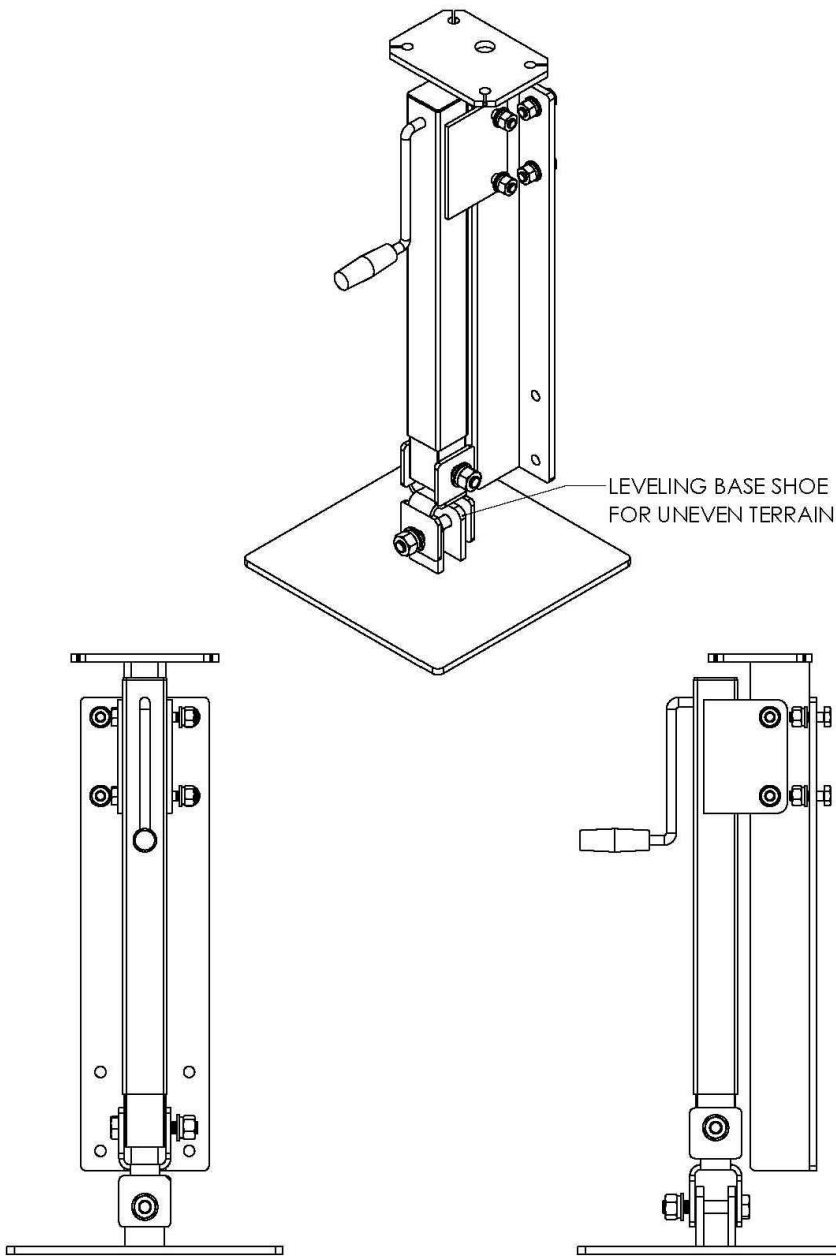
SP-5



CANOPY CORNER BRACE



CANOPY WITH CORNER BRACING

CRANK UP JACK



7 OF 12				CATEGORY 07_Equipment Platforms & Canopies		6	ADDED DECK HEIGHT RANGE TABLE INFO	11/18/19				
				SERIES 01_Equipment Platforms & Canopies		5	UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEG	2/15/18				
5/5/2021		SCALE 1:45		TYPE PV-WC / PV-EQ Series		4	EQ USABLE AREA TABLE	2/02/17				
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"				BY DJN		3	ADDED PV-EQ-STEP	1/25/17	EQUIPMENT PLATFORM AND CANOPY			
				CHECKED SJS		2	UPDATED PV-WC-8RACE	9/19/16	DOCUMENT NUMBER			REV
				STATUS APPROVED		REV	DESCRIPTION	DATE	WCEQ-ENG-01-R6			6

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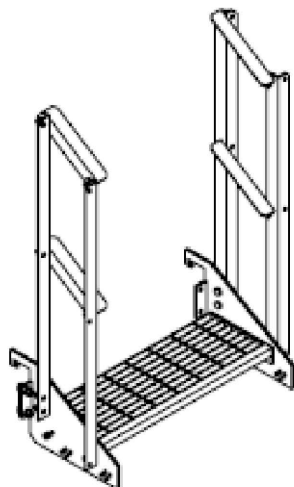
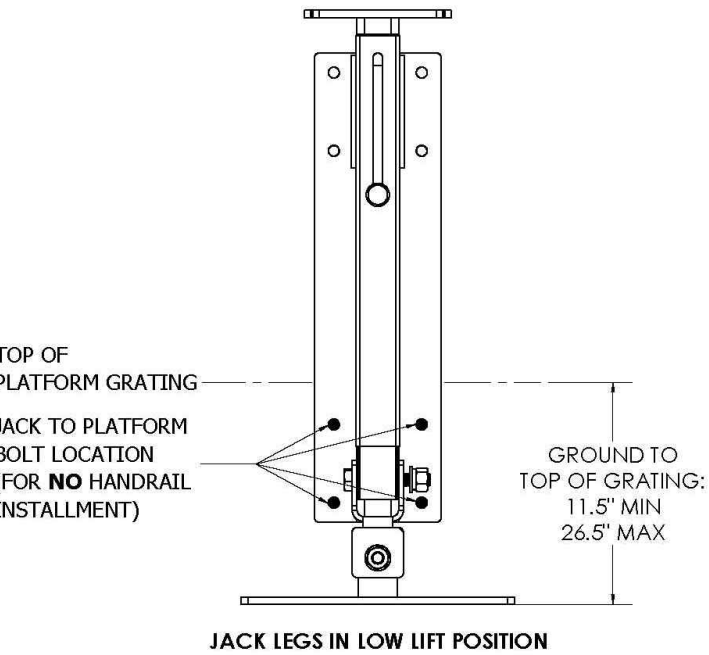
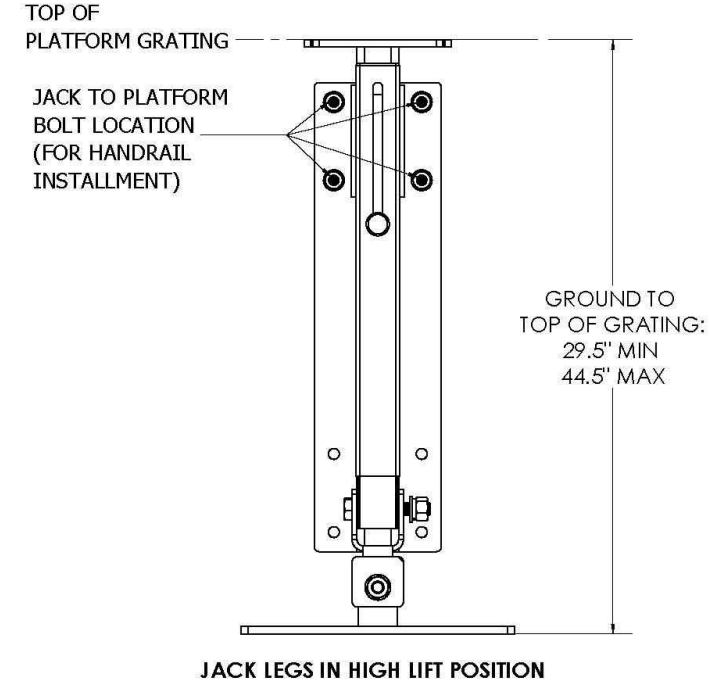
CANOPY MFR. SPECS.

SHEET NUMBER

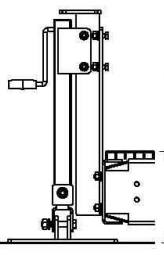
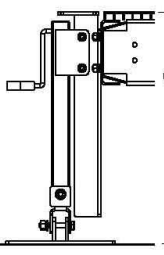
SP-5.1

1 CANOPY MFR. SPECS.
SCALE: N.T.S

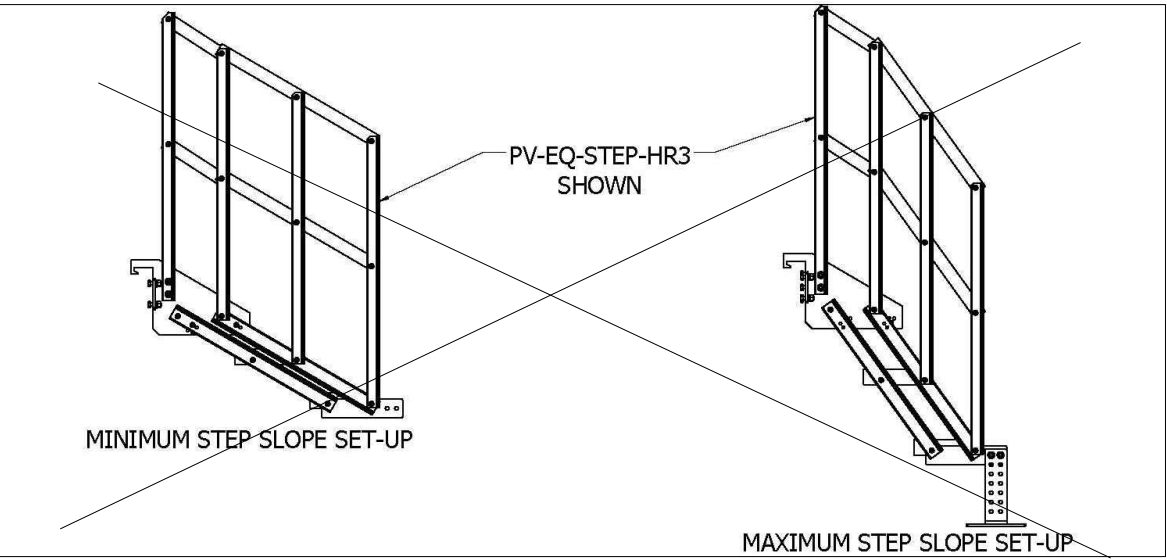
CRANK UP JACK CONT.




PV-EQ-STEP1-HR
WEIGHT: 120 LBS

TABLE 1: RECOMMENDED PLATFORM DECK HEIGHT IN ACCORDANCE WITH STEP KITS			
DECK HEIGHT RANGE (FROM GROUND TO TOP OF GRATING)	EQUIPMENT PLATFORM STEP KIT	JACK - LOW LIFT	JACK - HIGH LIFT
		 GROUND TO TOP OF GRATING: 11.5" MIN 26.5" MAX	 GROUND TO TOP OF GRATING: 29.5" MIN 44.5" MAX
	PV-EQ-STEP-HR4 4 Step (with handrails)	-	29.75" TO 44.5"
	PV-EQ-STEP-HR3 3 Step (with handrails)	22.5" TO 26.5"	29.75" TO 43.5"
	PV-EQ-STEP-HR2 2 Step (with handrails)	15.25" TO 20.75"	-
	PV-EQ-STEP2 2 Step (no handrails)	-	-
	PV-EQ-STEP-HR1 1 Step (with handrails)	11.75"	-
	PV-EQ-STEP1 1 Step (no handrails)	-	-

ALL DECK HEIGHT RANGES LISTED IN TABLE 1 ABOVE ACCOUNT FOR STEP ADJUSTABILITY. SEE PAGE 9 FOR MORE INFORMATION ON STEP KITS & STEP ANGLE ADJUSTMENT



8 OF 12		THIRD ANGLE PROJECTION		CATEGORY 07 Equipment Platforms & Canopies		6	ADDED DECK HEIGHT RANGE TABLE INFO	11/18/19		
5/5/2021		SCALE 1:45		SERIES 01 Equipment Platforms & Canopies		5	UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEGS	2/15/18		
				TYPE PV-WC / PV-EQ Series		4	EQ USABLE AREA TABLE	2/02/17	EQUIPMENT PLATFORM AND CANOPY	
				BY DJN		3	ADDED PV-EQ-STEP	1/25/17		
				CHECKED SJS		2	UPDATED PV-WC-BRACE	9/19/16	DOCUMENT NUMBER	
				STATUS APPROVED		REV	DESCRIPTION	DATE	WCEQ-ENG-01-R6	
									6	

DIMENSIONS ARE IN INCHES
TOLERANCES U.N.O.
HOLES: +1/16", -1/32"
ANGULAR: PROFILE ±1/4", BEND ±2°
ALL OTHERS: ±1/16"

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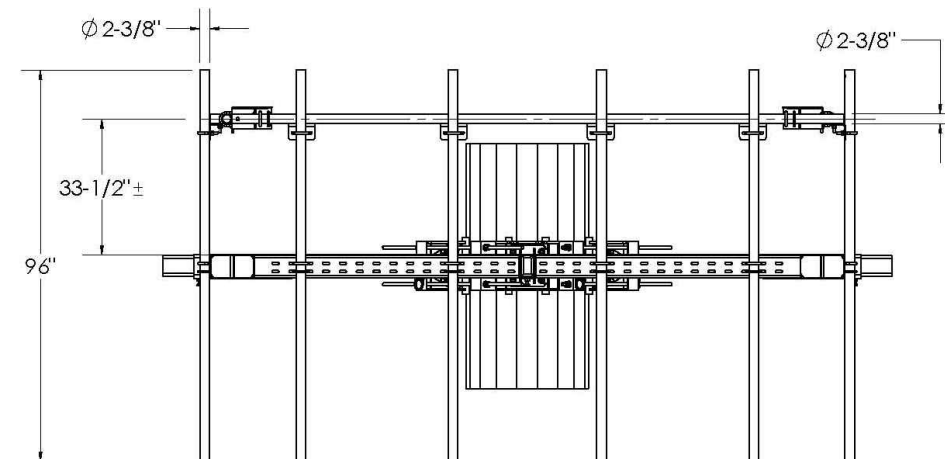
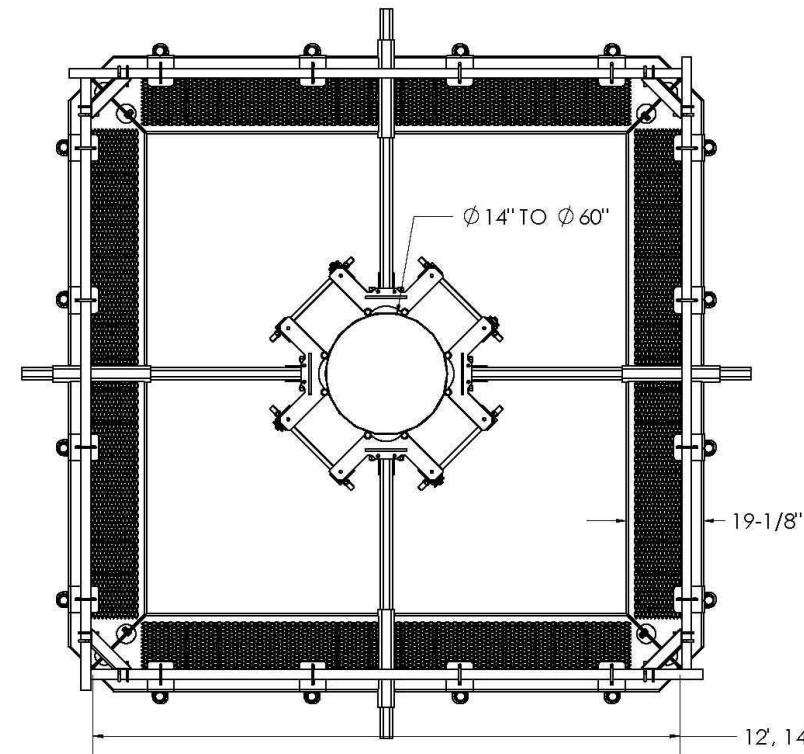
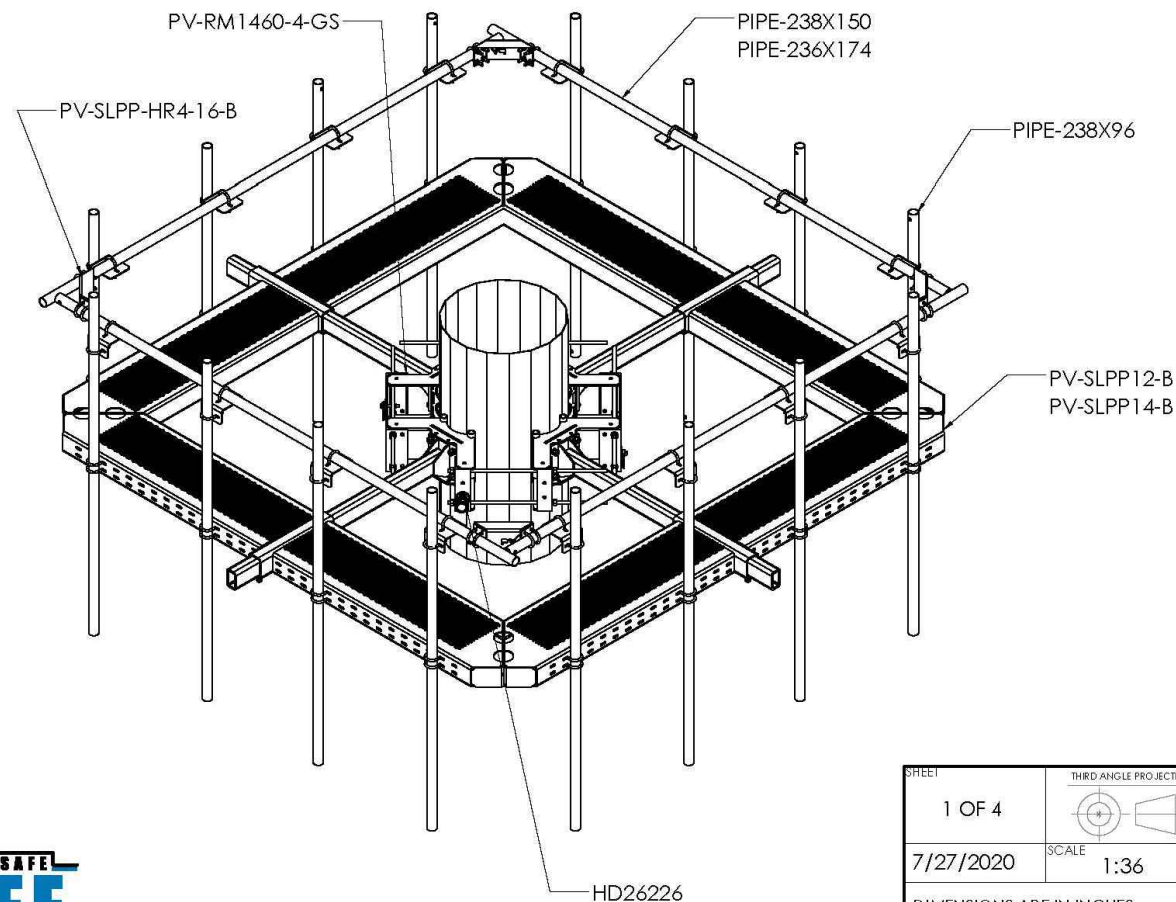
SHEET TITLE
CANOPY MFR. SPECS.

SHEET NUMBER
SP-5.2


L.I.F.E. MOUNT™ MONOPOLE SQUARE PLATFORM

Table 1: Platform Configurations

Part Number	Description	Weight (lbs)	Included Parts						
			PV-RM1460-4-GS	PV-SLPP12-B	PV-SLPP14-B	PV-SLPP-HR4-16-B	PIPE-238X96	PIPE-238X150	PIPE-238X174
PV-SLPP12U-B	L.I.F.E. Mount™ 4 Sector Platform, 12' Face, 14"-60" Pole	2511	1	1	-	-	-	-	4
PV-SLPP12U-HR-B	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole	3188	1	1	-	1	-	4	4
PV-SLPP12U-HR-12-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (12) Antenna Pipe	3539	1	1	-	1	12	4	4
PV-SLPP12U-HR-16-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (16) Antenna Pipe	3656	1	1	-	1	16	4	4
PV-SLPP14U-B	L.I.F.E. Mount™ 4 Sector Platform, 14' Face, 14"-60" Pole	2863	1	-	1	-	-	-	4
PV-SLPP14U-HR-B	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole	3217	1	-	1	1	-	-	4
PV-SLPP14U-HR-12-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole, (12) Antenna Pipe	3569	1	-	1	1	12	-	4



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SHEET 1 OF 4 7/27/2020 DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"	THIRD ANGLE PROJECTION 	CATEGORY 02_Monopole	5	KIT UPDATED WITH RM1460-GS COLLARS	6/09/20		
	SCALE 1:36	SERIES 02_Square	4	UPDATE TO NEW TEMPLATE	4/30/20		
		TYPE PV-SLPP_Square Monopole Platform	3	UPDATE TO KIT	8/03/19		
		BY DJN	2	UPDATED TO 4 PIPES PER SECTOR	10/26/18		
		CHECKED SJS	1	ADDED CLASSIFICATIONS	2/13/18		
STATUS APPROVED		REV	DESCRIPTION		DATE	SLPP-ENG-01-R5	REV 5

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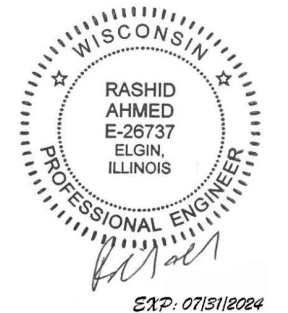
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SITE ADDRESS

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TAX KEY NO: SUXV0231989007

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CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE

ANTENNA PLATFORM
MFR. SPECS.

SHEET NUMBER

SP-6

1 ANTENNA PLATFORM MFR. SPECS.
SCALE: N.T.S.

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3	REVISED CD	AE	4/05/23



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SHEET TITLE
ANTENNA PLATFORM
KICKER BRACE
MFR. SPECS.

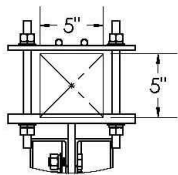
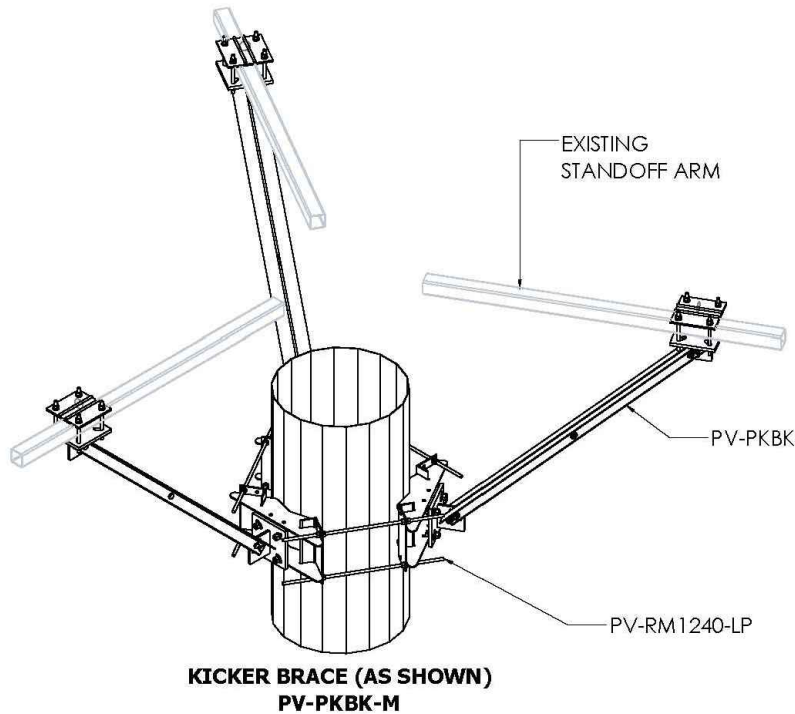
SHEET NUMBER

SP-7

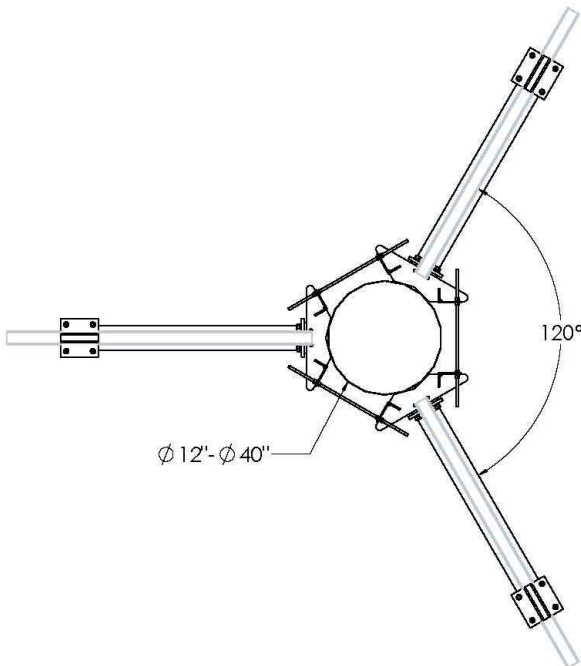
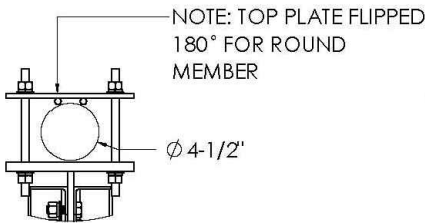
PKBK-ENG-01-R1
MONOPOLE KICKER BRACE KIT

Table 1: Monopole Kicker Brace Kit

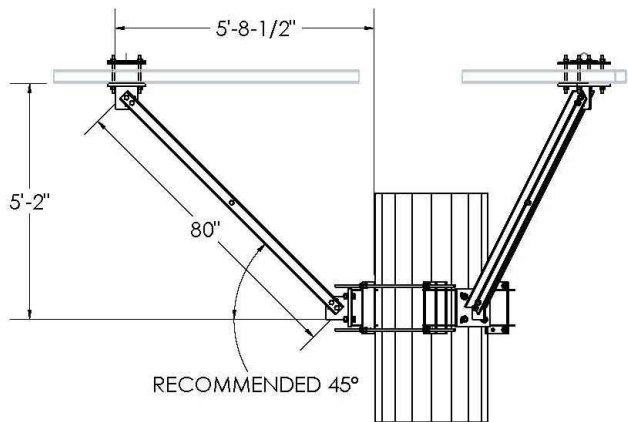
Part Number	Description	Weight (lbs)	Included Parts				
			PV-RM1240-LP	PV-RM3060	PV-RM1060-4	PV-PKBK	PV-PKBK-4
PV-PKBK-M	Brace Kit fits round Pipe OD up to 12"-40", 3 Sector	510	1	-	-	1	-
PV-PKBK-ML	Brace Kit fits round Pipe OD up to 30"-60", 3 Sector	695	-	1	-	1	-
PV-PKBK-4-M	Brace Kit fits round Pipe OD up to 10"-60", 4 Sector	903	-	-	1	-	1




ARM ATTACHMENT
CLAMPS TO RECT HSS UP TO 5"X5" & ROUND PIPE UP TO 4-1/2" OD



PV-PKBK-M
3-SECTOR KICKER BRACE

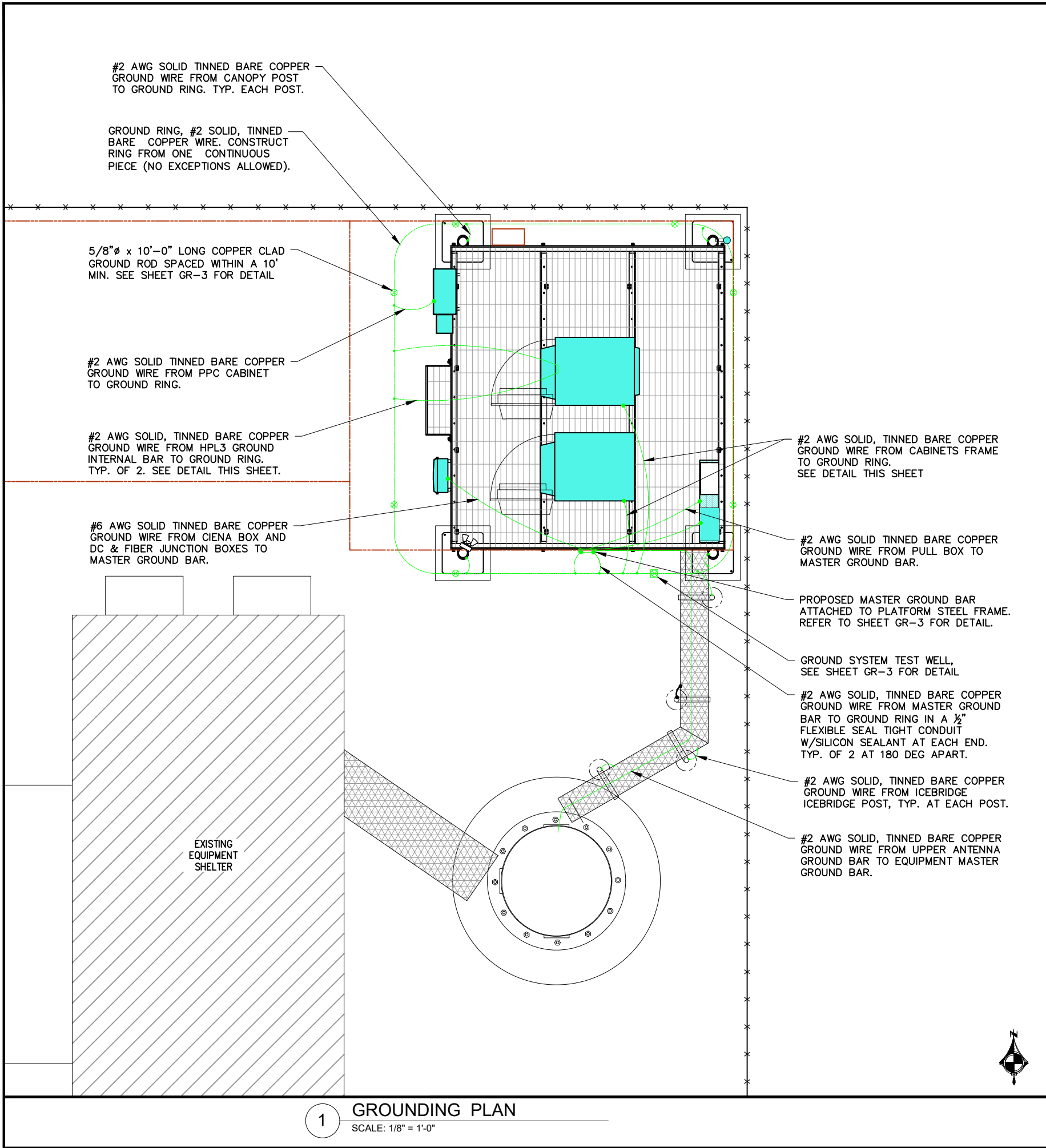


PV-PKBK-4-M
4-SECTOR KICKER BRACE

SHEET 1 OF 1		<div>MONOPOLE PROJECTION</div> 		CATEGORY 02_Monopole		4				<div>PERFECT VISION[®]</div> <div>MANUFACTURING</div>					
				SERIES 04_Platform Reinforcement		3									
5/17/2018		SCALE 1:48		TYPE PV-PKBK_Monopole Platform Kicker		2									
<div>DIMENSIONS ARE IN INCHES</div> <div>TOLERANCES U.N.O.</div> <div>HOLES: +1/16", -1/32"</div> <div>ANGULAR: PROFILE ±1/4°, BEND ±2°</div> <div>ALL OTHERS: ±1/16"</div>				BY INT		1		5/15/18		MONOPOLE KICKER BRACE KIT					
				CHECKED DJN		0		INITIAL RELEASE		DOCUMENT NUMBER		REV			
				STATUS APPROVED		REV		DESCRIPTION		DATE		PKBK-ENG-01-R1		1	

C:\P\MSI\Steel\P\MSI Sales Catalog\SW Working Files\Engineering Details\

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GROUNDING NOTES:

1. GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
2. GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE #2 AWG SOLID, TINNED BARE COPPER WIRE.
4. ALL BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELDS.
5. UNLESS PROVIDED W/ A FACTORY APPLIED LEAD, ALL CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYGROUND COMPRESSION LUGS OR EQUAL.
6. STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
8. ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
9. ALL MECHANICAL CONNECTIONS SHALL HAVE NOAX OR APPROVED EQUAL APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.

GROUNDING ELECTRODE SYSTEM

1. CONNECTIONS
ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE "CADWELD" PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEC. ALL CABLE TO GROUND RODS, GROUND OEDS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL CADWELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTIOXIDANT COMPOUND APPLIED TO CONNECTION.
4. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY T-MOBILE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.

Ground connections are to both external ground lug on the of the left and right sides of the cabinet.

LEFT RIGHT

Two hole lug with 1/4-20UNC

A ground conductor of 2AWG minimum cross section terminated with a double lug shall be used..

Double Lug Grounds are mandatory on AMIA's & Booster connections in cab or equipment rack. Single Lug Connections allowed for all other andillary equipment in cab or equipment rack.

2 GROUNDING NOTES
SCALE: N.T.S.

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WISCONSIN

RASHID AHMED
E-26737
ELGIN, ILLINOIS

PROFESSIONAL ENGINEER

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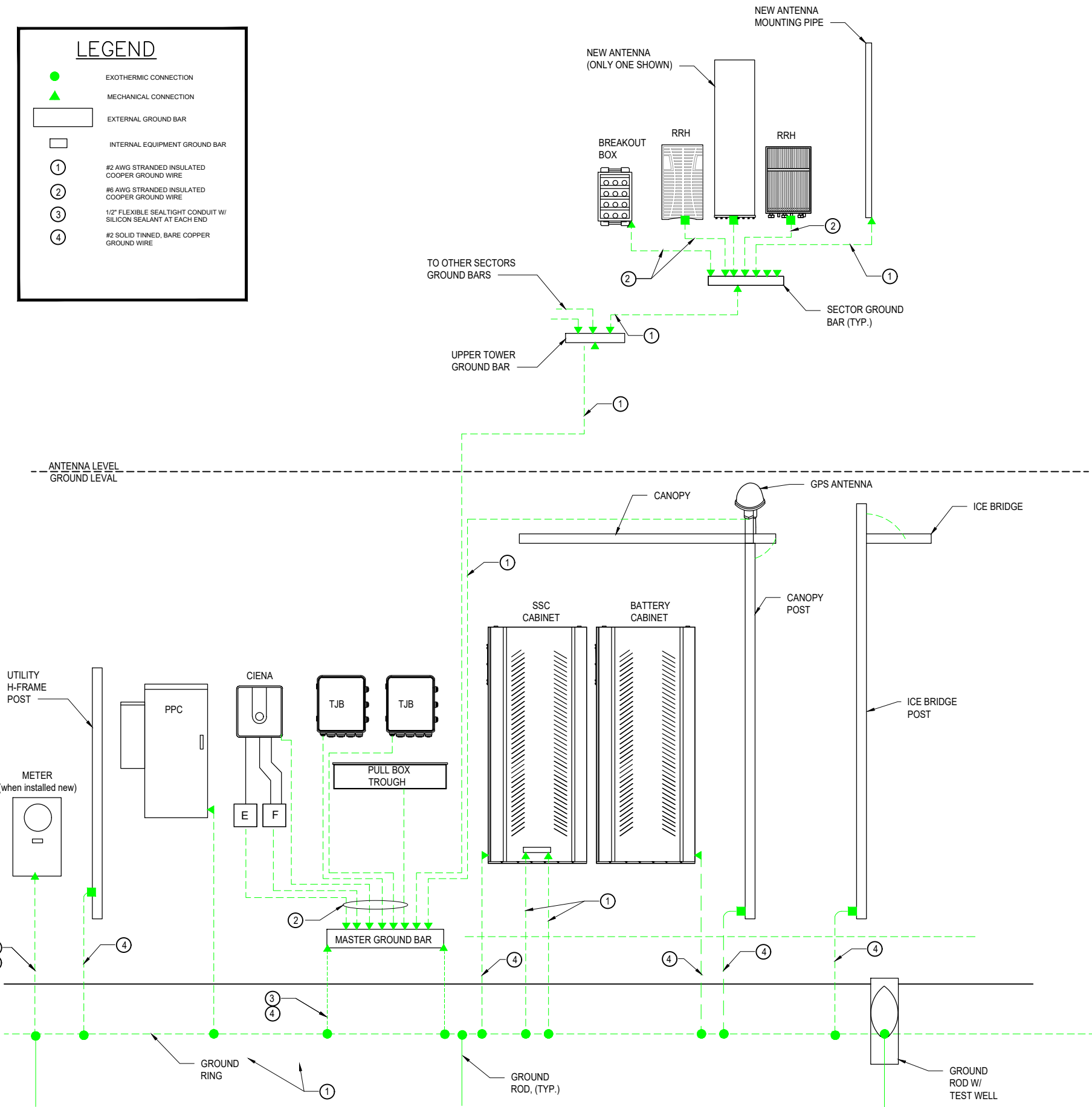
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PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
GR-1



1 TYPICAL GROUNDING RISER DIAGRAM
SCALE: N.T.S

GENERAL NOTES:

1. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB.
2. IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE NOTE, SPECIFICATION OR CODE SHALL PREVAIL.
3. ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS & AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.
4. ELECTRICAL WORK SHALL INCLUDE, BUT NOT LIMITED TO, ALL LABOR MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUITS, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS OR AS REQUIRED BY CODE.
5. ALL WORK SHALL COMPLY WITH THE N.E.C. (NATIONAL ELECTRICAL CODE) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.
6. ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS & LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
7. ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO ORIGINAL OR BETTER CONDITION.
8. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, & FALL OF POTENTIAL GROUND TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO P. M. CLEAN SITE OF ALL DEBRIS RESULTING FROM WORK AND LEAVE IN A COMPLETE AND UNDAMAGED CONDITION.
9. LL BROCHURES, MANUALS, CATALOGS, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.

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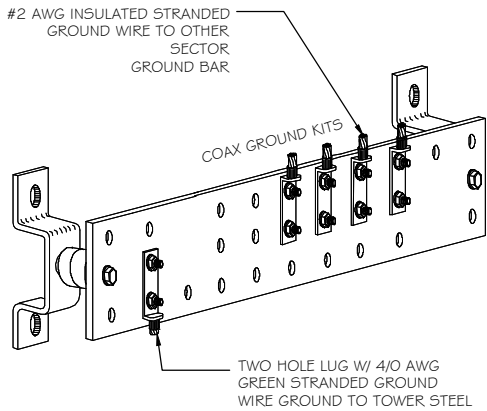
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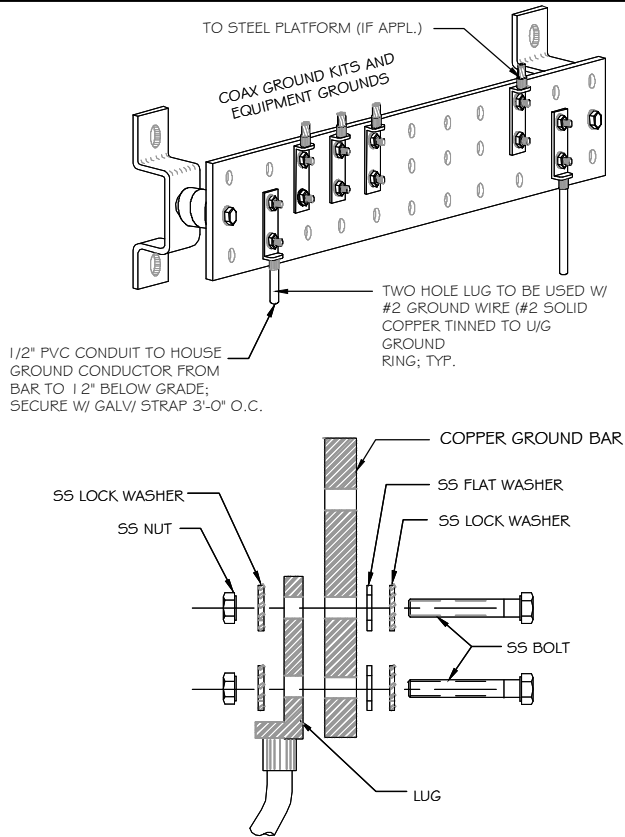
GROUNDING RISER
AND NOTES

SHEET NUMBER

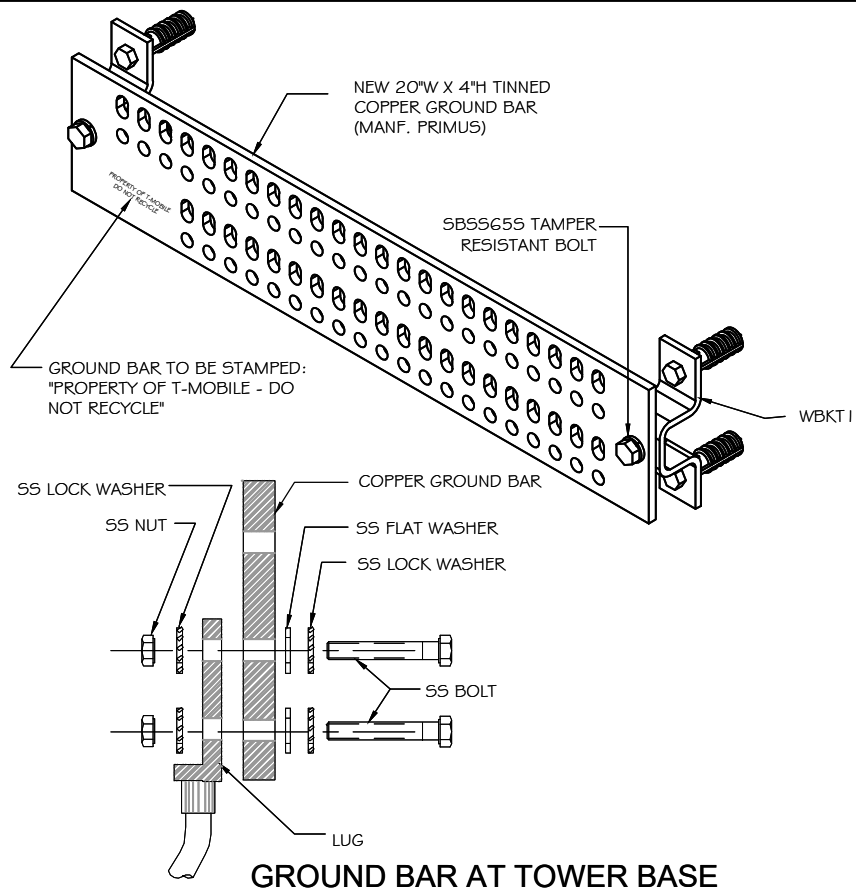
GR-2



GROUND COLLECTOR BAR



MASTER GROUND BAR

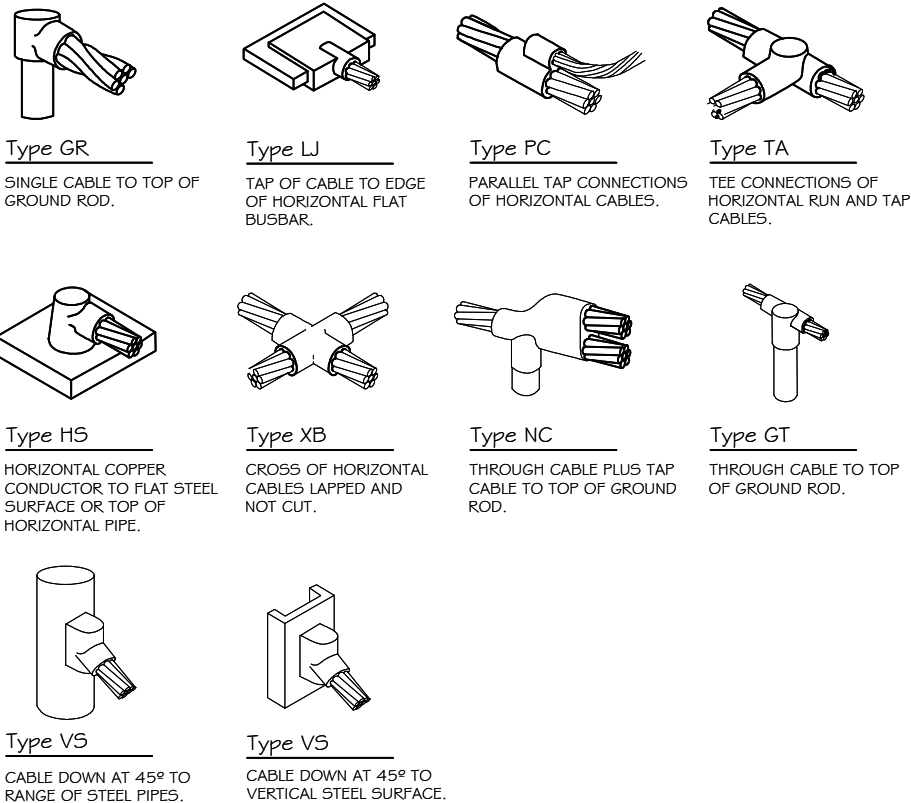


GROUND BAR AT TOWER BASE

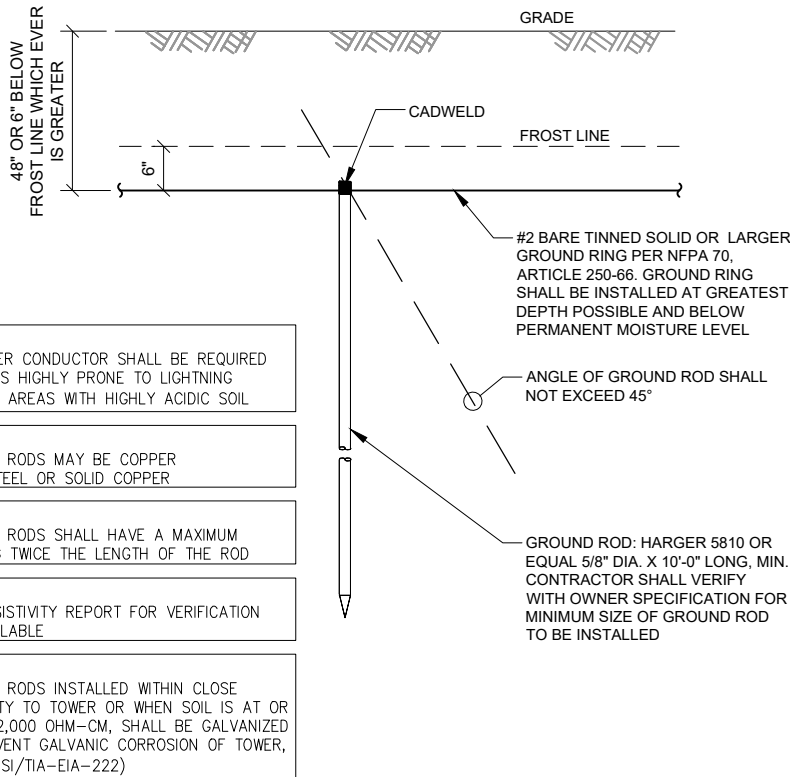
NOTES:

1. TINNED COPPER GROUND BAR, 1/4" X 4" X 20" NEWTON INSTRUMENTS CO. CAT. NO. B-6142 OR APPROVED EQUAL; HOLE CENTERS TO MATCH NEMS DOUBLE LUG CONFIGURATION
2. INSULATORS TO BE NEWTON CAT. NO. 3015-8 OR APPROVED EQUAL
3. 5/8" LOCK WASHERS; NEWTON CAT. NO. A-6056 OR APPROVED EQUAL
4. 5/8" - 11 X 1" M.M.C.S. BOLTS; NEWTON CAT. NO. 3012-1 OR APPROVED EQUAL
5. COAT ALL SURFACES WITH 'KOPER SHIELD' BEFORE MATING
6. ALL HARDWARE TO BE STAINLESS STEEL UNLESS OTHERWISE NOTED
7. NUTS TO FACE OUT

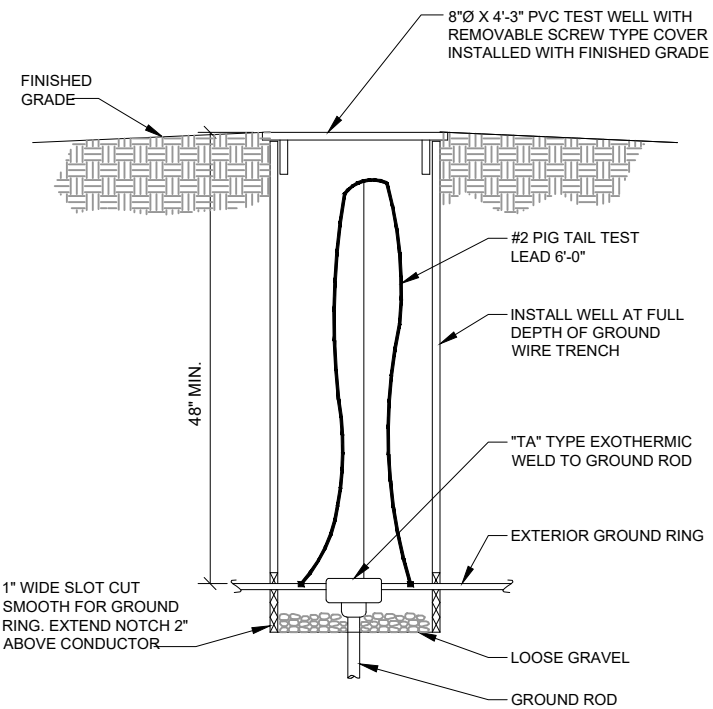
1 GROUND BAR DETAILS
SCALE: NTS



2 EXOTHERMIC WELD SCHEDULE
SCALE: NTS



3 GROUND ROD DETAIL
SCALE: NTS



4 TEST WELL DETAIL
SCALE: NTS

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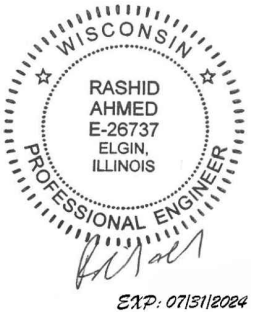
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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GROUNDING TYPICAL
DETAILS

SHEET NUMBER

GR-3

PART 1 GENERAL

1.00 GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.

ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS. THE CONTRACTOR SHALL PROVIDE THE MATERIALS APPROVED BY THE FIRE MARSHALL FOR FILLING OR SEALING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM THE START OF THE PROJECT TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO ASSESS CONDITIONS THAT MAY ADVERSELY AFFECT THE WORK OR THE COST OF THE WORK. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION OF NEW PORTION OF THE WORK AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE A&E.

NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE A & E. ANY REFERENCE TO THE WORDS APPROVED OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES/SPECIFICATIONS:

- LATEST LOCAL JURISDICTIONAL BUILDING CODES.
- ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS
- AMERICAN CONCRETE INSTITUTE (ACI)
- AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
- ANSI/TIA – 222 – H
- UNIFORM BUILDING CODE (UBC)
- NATIONAL ELECTRICAL CODE (NEC) WITH ALL AMENDMENTS
- AMERICAN INSTITUTE FOR STEEL CONSTRUCTION OR SPECIFICATIONS (AISC)
- UFE SAFETY CODE NIFFA – 101
- FEDERAL AVIATION REGULATIONS

1.01 CARRIER REPRESENTATIVE

A. THE SITE DEVELOPMENT MANAGER (SDM) OR HIS DESIGNEE (INCLUDING BUT NOT LIMITED TO THE ARCHITECT/ ENGINEER, OR CONSTRUCTION MANAGER) SHALL SERVE AS THE SINGLE POINT OF CONTACT

B. BETWEEN THE CONTRACTOR AND OWNER, NOT WITHSTANDING THE REQUIREMENTS SPECIFIED HEREIN, THE SDM OR DESIGNATED REPRESENTATIVE IS EMPOWERED TO DIRECT THE CONTRACTOR TO VARY OR CHANGE FROM THE PLANS AND SPECIFICATIONS AS CIRCUMSTANCES OR CONDITIONS ARISE.

C. CONTRACTOR SHALL VERIFY ALL CHANGES ARE ACCEPTED BY THE ENGINEER OF RECORD.

1.02 INTENT

A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND COMPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.

B. THESE SPECIFICATIONS AND DESIGN DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS TO BE FURNISHED FOR THE CONSTRUCTION OF THE PROJECT.

C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS.D. THE PURPOSE OF THE SPECIFICATIONS IS

TO SUPPLEMENT THE INTENT OF THE DRAWINGS AND TO DESIGNATE A PROCEDURE, TYPE, OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. HOWEVER, NO CHANGES THAT ALTER THE CHARACTER INTENT OF THE DESIGN WILL BE MADE OR PERMITTED WITHOUT A CHANGE ORDER FROM THE OWNER.

1.03 CONFLICTS

A. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSION AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE SDM OR DESIGNATED REPRESENTATIVES FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH WORK IN THE AFFECTED AREAS.

B. THE CONTRACTOR SHALL NOTIFY A & E OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS AND NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AFTER THE START OF CONSTRUCTION THAT HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE A & E AND SHALL INCUR ANY7 EXPENSES REQUIRED TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE A & E.

C. THE CONTRACTOR, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING WHICH THE CONTRACTOR MIGHT NOT HAVE FULLY INFORMED HIMSELF PRIOR TO BIDDING.

D. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED WILL BE ACCEPTED AS A REASON FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL THE REQUIREMENTS OF THE CONTACT DOCUMENTS.

1.04 BIDDING PROCESS --- INSTRUCTIONS TO BIDDERS

A. CARRIER REQUESTS A FIRM LUMP SUM BID FOR ALL WORK DESCRIBED IN THE CONTRACT, AS INDICATED IN THESE CONSTRUCTION DRAWINGS/SPECIFICATIONS, APPARENT WITH FIELD VISIT, AND ACCORDING TO ANY OTHER AGREEMENTS AND DIRECTION.

B. BIDDER WILL GUARANTEE BIDS FOR 60 DAYS FROM BID DUE DATE. BIDS SHALL INCLUDE ALL APPLICABLE STATE AND FEDERAL TAXES.

C. PROPOSAL: (AS OUTLINED IN BID DOCUMENTS) IT IS UNDERSTOOD BY OWNER, THAT THE BIDDER IN SUBMITTING HIS BID, WARRANTS THAT HE HAS CAREFULLY EXAMINED THE SITE OF THE PROJECT TO ACQUAINT HIMSELF WITH:

1. SURROUNDING PROPERTIES.
2. MEANS OF APPROACH TO THE SITE.
3. CONDITIONS OF THE ACTUAL JOB SITE.
4. FACILITIES FOR DELIVERING, STORING, PLACING, HANDLING AND REMOVAL OF MATERIALS AND EQUIPMENT.
5. ANY AND ALL DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE EXECUTION OF ALL WORK IN ACCORD WITH THE CONTRACT DOCUMENTS.

1.05 CONTRACTS AND WARRANTIES

A. ABBREVIATED FORM OF AGREEMENT BETWEEN CARRIER REPRESENTATIVE AND CONTRACTOR MAY BE USED AND WILL BE EMPLOYED FOR CONTRACT PURPOSES.

B. UNLESS ARRANGED OTHERWISE, EACH CONTRACTOR IS RESPONSIBLE FOR FILING THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR OF RECORD, AND PROVIDE JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION.

C. A COPY OF THE APPROVED DRAWINGS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED DRAWINGS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF DRAWINGS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT DRAWINGS TO THE A & E AT THE CONCLUSION OF THE PROJECT, OR TO TMO, AS DIRECTED.

D. THE CONTRACTOR SHALL BE REIMBURSED, AT FACE VALUE, FOR THE AMOUNT OF ANY FEE PAID AS FOLLOWS:

1. PLAN REVIEW FEE.
 2. BUILDING PERMIT FEE.
 3. CONNECTIONS AND INSPECTION FEES.
- EACH CONTRACTOR IS RESPONSIBLE FOR APPLICATION &

1.06 STORAGE

A. DO NOT USE THE CARRIER EQUIPMENT SPACE FOR STORAGE OF TOOLS OR MATERIALS WITHOUT WRITTEN SDM APPROVAL.

B. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER THAT WILL NOT OBSTRUCT THE FLOW OF OTHER WORK. ANY EQUIPMENT OR MATERIAL STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE MANUFACTURER.

C. WHEN STORING MATERIALS ENSURE EVEN DISTRIBUTION OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OF SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.

1.07 PROTECTION

A. PROTECT FINISHED SURFACES, INCLUDING JAMBS AND WALLS USED AS PASSAGEWAYS THROUGH WHICH EQUIPMENT AND MATERIALS WILL PASS.

B. PROVIDE PROTECTION FOR EQUIPMENT ROOM SURFACES PRIOR TO ALLOWING EQUIPMENT OR MATERIAL TO BE MOVED OVER SUCH SURFACES.

C. MAINTAIN FINISHED SURFACES CLEAN, UNMARRED AND SUITABLY PROTECTED UNTIL JOB SITE IS ACCEPTED BY THE SDM.

D. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.

1.08 REPAIRS AND REPLACEMENTS

A. IN EVENT OF DAMAGES, THE CONTRACTOR SHALL NOTIFY OWNER SDM, THEN PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO OWNER.

B. ADDITIONAL TIME THAT IS REQUIRED TO SECURE REPLACEMENTS AND TO MAKE REPAIRS WILL NOT BE CONSIDERED BY OWNER TO JUSTIFY EXTENSION IN THE CONTRACT TIME FOR COMPLETION.

1.09 TEMPORARY FACILITIES

A. WATER: WATER IS NOT AVAILABLE TO THE CONTRACTORS ON SITE.

B. LIGHT, TELEPHONE AND POWER: LIGHT AND POWER ARE AVAILABLE ON SITE. IF NOT, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER (FOR THE OPERATION OF TOOLS, EQUIPMENT AND LIGHTING NECESSARY FOR FACILITY CONSTRUCTION), WATER AND TOILET FACILITIES. TELEPHONE: EACH CONTRACTOR TO PROVIDE HIS OWN TELEPHONE ACCESS IF REQUIRED. CONTRACTORS ARE NOT TO USE OWNER PHONES.

C. IF PERMANENT POWER IS COMPLETED, ALL CONTRACTORS MAY USE THE SERVICE CONNECTION FOR PRODUCTION WORK ONLY, PROVIDED THAT ELECTRICAL CORDS AND CONNECTIONS ARE FINISHED BY CONTRACTORS AND ARE DISCONNECTED AND PROPERLY STORED DURING NON-WORKING HOURS.

1.10 CLEAN UP

A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK, AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING, INCLUDING ALL TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK AREA CLEAN AND READY FOR USE EACH DAY.

B. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, DUST, SMUDGES, AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, SMUDGES AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

D. CONTRACTOR SHALL WASH AND WAX FLOOR PRIOR TO FINAL ACCEPTANCE FROM SDM. WAX SHALL BE THE ANTI-STATIC TYPE.

PAYMENT OF CONTRACTOR LICENSES & BONDS.1.11CHANGE ORDER PROCEDURE

A. CHANGE ORDER MAY BE INITIATED BY THE SDM, AND OR THE CONTRACTOR. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE SDM, SHALL PREPARE WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT IT TO THE SDM FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPES OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE SDM SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR

1.12 RELATED DOCUMENTS AND COORDINATION

A. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK EACH CONTRACTOR JUST REFERS ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

B. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES, AND FOR SUPERVISING, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.

1.13 SHOP DRAWINGS

A. CONTRACTOR TO SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS AND THROUGH THE GENERAL CONTRACT TO THE SDM FOR APPROVAL.

B. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD UNLESS SPECIFICALLY NOTED OTHERWISE; CONTRACTOR SHALL NOT FABRICATE STEEL UNTIL DRAWINGS HAVE BEEN ACCEPTED IN WRITING

C. ALL SHOP DRAWINGS TO BE REVISED, CHECKED AND CORRECTED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE SDM

1.14 PRODUCTS AND SUBSTITUTIONS

A. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBMISSION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED INPSECTIONS AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

B. ALL NECESSARY PRODUCT DATA AND CUT SHEETS SHOULD PROPERLY INDICATES AND DESCRIBE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE SDM, SUBMIT ACTUAL SAMPLES TO THE SDM FOR APPROVAL IN LIEU OF CUT SHEETS.

1.15 COMPLIACE

A. ALL MATERIALS, DESIGN AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES (SOME ARE LISTED HEREIN) ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. UPON THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE CARRIER WITH THE CERTIFICATES OF OCCUPANCY (IF REQUIRED), JOB SITE PERMITTED PLANS AND INSPECTION CARD WITH ALL FINAL INSPECTION SIGNATURES AND OTHER LEGAL DOCUMENTS TO VERIFY SUCH COMPLIANCES. WHERE NO CODES EXIST, THE WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE AND/OR THE SPECIFICATIONS HEREIN, WHICHEVER IS MORE STRINGENT AND A DOCUMENT STATEMENT SHALL BE FURNISHED TO THIS EFFECT.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH THE GOVERNING CODES AND TO NOTIFY THE SDM OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

C. REFERENCES TO ANY STANDARD OR CODE OF PRACTICES IN THIS SPECIFICATION SHALL BE DEEMED TO MEAN THE EDITION CURRENT AT THE TIME OF AWARD OF THE CONTRACT.

D. THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN IN THESE DRAWINGS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT TO MOBILITY, SIGHT OR HEARING, THEREFORE, PER THE APPLICABLE CODES; THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

E. THE CONTRACTOR SHALL COMPLY WITH ALL ZONING AND SITE ACQUISITION SPECIAL STIPULATIONS AS OUTLINED IN THE JOB SPECIFICATIONS, OR AS DIRECTED BY THE SDM.

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Downers Grove, IL 60515

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Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER

GN-1

1.16 ADMINISTRATION

A. THE CONTRACTOR SHALL FURNISH TO THE SDM WITH THE NAME AND CONTACT TELEPHONE NUMBERS OF THE CARRIER APPROVED ON-SITE SUPERVISOR. ANY CHANGES IN SUPERVISION MUST BE REPORTED TO THE SDM IMMEDIATELY AND ARE SUBJECT TO CARRIER APPROVAL.

1.17 PERMIT AND LICENSES

A. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, STATE, AND/OR COUNTY CONSTRUCTION PERMITS AND LICENSES. COPIES OF ALL PERMITS SHALL BE SENT TO SDM. APPROVALS FROM RELEVANT PLANNING BOARD, ENVIRONMENTAL BOARDS, AND/OR OTHER COMMITTEE WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE APPLICATION FOR CONSTRUCTION PREMISES.

B. FAA APPROVAL WILL BE SUPPLIED BY OTHERS BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE ERECTING OF TOWER (IF APPLICABLE).

C. FOR CONSTRUCTION SCHEDULING REFER TO THE INSTRUCTIONS PROVIDED BY THE SDM ITEMS TO BE INCLUDED (WHEN APPLICABLE):

1. CLEARING AND GRUBBING
2. BUILDING PERMIT
3. SHELTER DELIVERY AND PLACEMENT
4. BUILDING FOUNDATION EXCAVATION
5. ACCESS ROAD
6. COMMERCIAL AC POWER
7. BUILDING FOUNDATION FORMING
8. INSPECTIONS
9. LANDSCAPING
10. GROUNDING SYSTEM
11. ANTENNA INSTALLATION

D. PRIOR TO COMMENCING THE WORK THE GENERAL CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES TO THE PROCESS. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE DESIGNATED REPRESENTATIVES OF EACH SUB-CONTRACTOR

E. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY & VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR QUESTIONS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION & INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED & CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO THE SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSES. CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE UNDERGROUND UTILITIES LOCATED & MARKED.

F. THE CONTRACTOR SHALL BE EQUIPPED WITH A MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A CELLULAR PHONE, AND BE AVAILABLE IN A REASONABLE AMOUNT OF TIME DURING CONSTRUCTION.

G. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY INCLUDING BUT NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE SITE CONSTRUCTION PERIOD. HE SHALL TAKE ALL REASONABLE PRECAUTIONS TO PLACE AND MAINTAIN BARRICADES, LAMPS, SIGN, AND ALL OTHER REQUIRED SAFETY MEANS.

CONSTRUCTION NOTES

1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
2. ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECTS KNOWLEDGE AS GATHER BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
3. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
4. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING WITHIN WATER TANK SITES OR ADJACENT TO EXISTING UNDERGROUND UTILITIES SHALL BE HAND DUG.
5. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

6. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.

7. DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.

8. EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.

9. COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWNGS LABELED "ISSUED FOR CONSTRUCTION

10. NO DUMPING SOILS ON SITE OR LEASE AREA, MUST BE HAULED OFF SITE.

11. ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .

12. ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.

13. PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.

14. ANY ACCIDENTS ON SITE MUST BE REPORTED TO CONTRACT OWNER WITHIN 2 HOURS OF EVENT.

15. GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGER AND TOWER OWNER.

16. PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.

GENERAL GRADING NOTES: (WHEN APPLICABLE)

1. CONTOURS AND SPOT ELEVATIONS SHOWN ARE ONLY CONTROLS AND THE PROFILES THEY FORM SHALL BE SMOOTH AND CONTINUOUS.
2. THE CONTRACTOR SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
3. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
4. DURING GRADING OPERATIONS AND PRIOR TO COMPLETION OF CONSTRUCTION, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND IMPROPER DRAINAGE.5. PRIOR TO THE START OF GRADING ALL EXISTING VEGETATION AND DEBRIS, INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE.
6. THE EXPOSED SOILS SHALL THEN BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES, BROUGHT TO PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY THE CURRENT UNIFORM BUILDING CODE.
7. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEP FOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
8. THE MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1.

9. CONTRACTOR SHALL MAKE SURE ALL SURVEY STAKING IS PRESERVED AND PROTECTED BY MEANS OF OFFSETS OR WORKING AROUND STAKES. CONTRACTOR SHALL BE RESPONSIBLE FOR REESTABLISHING STAKES IF THEY ARE DISTURBED BY HIRING THE ORIGINAL SURVEYOR10. TOP SOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGATATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIIVE ELEMENTS.

10. TEMPORARY SILT FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS AS SHOWN ON THESE DRAWINGS OR REQUIRED BY LOCAL CODES.

11. MINIMUM BUILDING PAD DRAINAGE SHALL BE 2%. DRAINAGE SHALL BE A MINIMUM OF 0.3' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES. THE MINIMUM SLOPE OF SWALES SHALL BE 0.50%.

12. IF ANY UNFORESEEN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING FURTHER.

13. ALL DEPRESSIONS WHERE WATER MAY POND WILL BE FILLED IN MADE EQUAL TO ADJACENT GRADES, CREATING A LARGER DRAINAGE SCHEME FOR THE SITE.

UTILITY SERVICE NOTES:

A. ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY; VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS WITH OWNER; PLACEMENT AND ROUTING OF ALL COMPONENTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

B. SERVICE EQUIPMENT SHALL HAVE A FAULT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. INSTALLATION SHALL BE FREE FROM ALL FAULTS AND GROUNDS.

C. ALL ELECTRICAL EQUIPMENT, CONDUITS, AND SUPPORT SHALL BE ABLE TO WITHSTAND 90 M.P.H. WIND SPEED; EXPOSURE C.

D. ALL ELECTRICAL EQUIPMENT SHALL HAVE A PERMANENTLY AFFIXED NEOPRENE PLASTIC LABEL - BLACK ON WHITE; LETTER HEIGHT SHALL BE ¼"; ALL NAMEPLATES TO BE FASTENED WITH (2) STAINLESS STEEL SCREWS, NOT ADHESIVE.

E. ALL WRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600V, COLOR CODED, #12 AWG MINIMUM UNLESS NOTED OTHERWISE.

CONDUIT NOTES:

F. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS, OR EXPOSED ON BUILDING EXTERIOR.

G. ELECTRICAL METALLIC TUBING SHALL BE U.L. LABEL; FITTING SHALL BE GLAND RING COMPRESSION TYPE.

H. CORING THROUGH FLOORS AND WALLS SHALL NOT BE DONE WITHOUT FINAL APPROVAL OF BUILDING OWNER OR OWNER REPRESENTATIVE.

I. CORING SHALL NOT BE PERFORMED DURING WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER.

J. CONCRETE CORING OR DRILLING SHALL BE PERFORMED FOLLOWING THE REVISED & UPDATED OSHA 29 CFR 1926.1153 COMPLIANCE FOR HAZARDOUS DUST, SILICA DUST, USING HEPA VDCS DRILLING TECHNIQUES.

GENERAL NOTES:

J. SUBMITTAL OF BID INDICATES CONTRACTOR IS FAMILIAR WITH ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED AS DETAILED AND OUTLINED IN THESE DRAWINGS

K. THE ELECTRICAL PORTION OF THESE DRAWINGS IS ONLY A PART OF THE OVERALL DESIGN. IT IS NECESSARY FOR THE ELECTRICIAN TO CONSIDER ALL ASPECTS OF THIS PROJECT WHEN BIDDING AND PLANNING THE WORK

L. IN THE EVENT OF A CONFLICTING DESIGN OR NOTATION, THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OR RESTRICTIVE METHOD UNTIL A CLARIFICATION IS MADE

M. ALL THINGS, WHICH IN THE OPINION OF THE CONTRACTOR ARE DEFICIENCIES, OMISSIONS, CONTRADICTIONS, OR AMBIGUITIES, IN THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE WORK PROCEEDS; ALL CLARIFICATIONS MUST BE RECEIVED IN WRITING IN ORDER FOE THE MATTER TO BE CONSIDERED RESOLVED

N. ELECTRICAL WORK SHALL INCLUDE BUT NOT LIMITED TO ALL MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL SYSTEMS INCLUDING LIGHTING, LOW VOLTAGE SYSTEMS, PANELS, POWER AND TELEPHONE DATA SERVICE, CONTROL WIRING, AND GROUNDING.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER

GN-2



Project Name T-Mobile ML89143A-NSD

Tax Key # SUXV0231989007

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile, 708-359-7638; kfahey@insite-inc.com.

Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # SUXV0231989007

Zoning: _____

Address of Tenant Space: Freiheit Court

1. Name of Business:

1s660 Midwest Rd, Suite 140, Oakbrook Terrace, IL 60181

Business		
N/A	Oakbrook Terrace, IL 60181	224-301-0719
Address	City, State, Zip	Phone #
	kfahey@insite-cederberg@insite-inc.com	
Fax #	Email address	

2. Business owner contact information:

Contact		
1s660 Midwest Rd., Suite 140	Oakbrook Terrace , IL	708-359-7638
Address	City, State, Zip	Phone #
	kfahey@insite-inc.com	
Fax #	Email address	

3. Building/Land owner contact information:

Tower Owner: US Cellular/Pyramid-Sam Polk

Contact		
6615 Towpath Rd.	East Syracuse, NY 13057	973-590-9553
Address	City, State, Zip	Phone #
	spolk@pyramidns.com	
Fax #	Email address	

4. Number of Employees/Shifts: N/A N/A
Employees Shifts

5. Days of Operation:

Put an X in box that applies:
Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
24/7	24/7	24/7	24/7	24/7	24/7	24/7

6. Is this an extension of an existing operation? T-Mobile to co-locate on existing cell tower

7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. N/A

8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No

If yes, explain: _____
If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? N/A If yes, explain: _____

11. Dimension of area to be occupied 15' 0"x9' 6" : 14'x12' Total square footage 142.5': 168'

If applicable list square footage according to 1st floor N/A 2nd floor N/A

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking: N/A
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

None

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Karol Fahey-Insite-Inc.authorized agent of T-Mobile

04-26-2023

Name

Date

Site Acq Specialist

Title or Position

I am aware and approve of the business to be operating in the building owned by US Cellular.

Karol Fahey-Insite-Inc.authorized agent of T-Mobile

4-26-2023

Name

Date

Site Acq Specialist

Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Karol Fahey-Insite-Inc. as authorized agent of T-Mobile

1s660 Midwest Rd, Suite 140, Oakbrook Terrace, IL 60181

Business Name: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile

Name of Owner and Address of the Property involved in the Request (if different from above):

Same as above.

Tax Key No. of the Property involved in the Request: SU XV 023198007

Karol Fahey
Signature of Property Owner and /or Authorized Agent

04-26-2023

Date

Signature of Village Official Accepting Form

4-26-2023

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile

Address: N/A

Owner/Operator: N/A

Standard Industrial Classification #: N/A

How many people do you employ? N/A

What are your businesses hours of work? N/A

Who is responsible for water quality? (List job titles)
N/A

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?
N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile
Business Address: 1s660 Midwest Rd., Suite 140, Oakbrook Terrace, IL 60181
Business Phone #: 708-359-7638
Business Email: kfahey@insite-inc.com

Business Emergency Contacts

Name and Phone #: T-Mobile NOC # 1-877-611-5868 -ML89143A
Name and Phone #: Pyramid-Sam Polk
Name and Phone #: _____

Building Owner Name: US Cellular/Pyramid (Tower Owner)
Building Owner Email: Sam Polk (Pyramid:spolk@pyramidns.com)

Building Owner Emergency Contacts

Name and Phone #: See above.
Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☒ No

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0417 B-2 Regional Business District

17.0417 B-2 REGIONAL BUSINESS DISTRICT

The B-2 Regional Business District is intended to provide for the orderly and appropriate development along the STH 164 Corridor, to provide services and retail for the community and surrounding region.

A. Permitted Uses

1. Accommodations and Food Service
 - (a) Hotels and motels
 - (b) Restaurants, snack stands. For a drive-through the Plan Commission must find that the vehicle stacking will not impact surrounding properties or any public roadway.
 - (c) Bars
 - (d) Food service contractors and caterers
2. Arts, Entertainment and Recreation Services
 - (a) Artists offices/studios
 - (b) Entertainment Facilities, such as arcades, bowling alleys, golf facilities, miniature golf facilities, pool and billiard halls, where the space of the use is under 30,000 square feet.
3. Educational, Health Services, and Social Services
 - (a) Fine arts and language schools and studios
 - (b) General medical services
 - (c) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
 - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
 - (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
 - (b) Financial investment, insurance offices, and similar financial products
 - (c) Real estate, appraisers, and developer offices
 - (d) Office equipment rental and leasing
 - (e) Rental Centers
5. General Services
 - (a) Barber, beauty, nail salons, spa treatment services
 - (b) Personal care and weight loss services
 - (c) Funeral home and funeral services
 - (d) Dry cleaning and laundry services (non-industrial)
 - (e) Travel and visitor services
6. Information Services
 - (a) Radio/TV/Cable network, stations, news syndicates excluding towers and dishes.
 - (b) Motion picture theaters excluding drive-in.
7. Retail Trade

- (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/packaged beverage and tobacco stores
 - (f) Pharmacy/drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing/shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Department stores, supercenters, warehouse clubs
 - (m) Vehicle parts sales, and vehicle maintenance if the use is less than 25% of the facility and is part of a larger retail operation.
 - 8. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
 - 9. Transportation and Warehousing
 - (a) Courier, delivery, postal service businesses
 - 10. Parking Lots
 - (a) Off street parking lots, excluding multi-level parking garages, are allowed without a primary structure if the Plan Commission finds that the parking lot is part of a larger commercial development where the master plan calls for a building to be placed on the site in the future, but the parking lot is necessary for the overall development and cross access and parking agreements are required by the Plan Commission.
 - 11. Housing
 - (a) Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.
- B. Permitted Accessory Uses
- 1. Storage sheds for storage of ground maintenance equipment.
 - 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
 - 3. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- C. Conditional Uses
- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
 - 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508
- D. Lot Area and Width

1. Lots shall be a minimum of 12,500 square feet in area and shall not be less than 80 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
3. The requirements of Section (D)(2) above may be met in the district by including area from outlots that serve stormwater or other directly related purposes for the subject parcel, are owned in part by the parcel, and are reasonably expected to remain in open space for perpetuity as determined by the Administrator. If multiple lots are served by one or more outlot(s) in no case shall the greenspace area of the outlot(s) be counted more than once. Each lot which by this subsection is entitled to satisfy the requirements of Section D(2), in part, by land located on an outlot is entitled to use no more than the percentage of the qualifying outlot land that is equal to the percentage of the subject lot compared to the total area of the lands served by the outlot.

E. Building Height and Area

1. No principal building or parts of a principal building shall exceed 45 feet in height.
2. Buildings larger than 100,000 square feet in area shall have a deed restriction placed against the lot in a form approved by the Village to ensure the building, if it becomes vacant for more than 5 years to be removed from the site and the site returned to a buildable state.

F. Setback and Yards

1. There shall be a minimum setback of 40 ft. from the road right-of-way.
2. There shall be a rear yard of not less than 25 ft.
3. There shall be a sideyard on each side of the buildings of not less than 25 ft., except as follows.
4. The Plan Commission may reduce setbacks with-in this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction.
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards of the Village.
5. No building or structure shall be located closer than 15 ft. to an F-1 Floodway District, F-2 Floodplain Conservancy District, or a LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Municipal Code of the Village.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be Submitted to Plan Commission

To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscapes plans.

1. Pedestrian and Vehicle Access.

(a) Property owners will provide cross access easements off-street where feasible.

(b) Where feasible and desirable, pedestrian cross access from adjacent building will be encouraged.

17.0506

CONDITIONAL USES

A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

11. Miscellaneous Items (Towers/Antenna and Outside Storage)

a) Commercial Use Outside Storage. Outside storage maybe permitted for commercial uses in the B-1, B-2, B-3, B-4, BP-1, and OP-1, districts. All outside storage areas shall be at least 100 feet from residential, park, and institutional districts located in the Village or adjacent community. In all cases, outside storage shall be screened from all sides. All screening plans are subject to Plan Commission review and approval. Screening shall be a permanent opaque wall matching the materials of the building and may include fencing as deemed appropriate by the Plan

Commission. The Plan Commission may allow vegetative screening in part or in whole, where it determines the vegetative screening shall provide sufficient and aesthetically pleasing screening and said screening is appropriate for the type of items being screened from view. The height of the wall necessary shall be sufficient to screen the product(s) in the outside storage area. The Plan Commission shall set the appropriate height of any fencing based upon the site conditions and the types of outdoor storage to be screened. Outside Storage shall not be construed to include the temporary or seasonal outdoor sales or services allowed as part of a Village approved outdoor sales and services permit.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

2023
VILLAGE OF SUSSEX ORDER
GRANTING A CONDITIONAL USE AND PRESCRIBING
CONDITIONS FOR T-MOBILE TO ALLOW OUTDOOR
STORAGE IN THE B-2 REGIONAL BUSINESS DISTRICT
IN THE VILLAGE OF SUSSEX

WHEREAS, an application has been filed by In-Site Inc, agent of T-Mobile, on the subject property (hereinafter collectively “Petitioners”); and

WHEREAS, the Petitioner is requesting a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for the property at SUXV0231989007, Freiheit Court, in the Village of Sussex, Wisconsin, all as described on **Exhibit A** attached hereto and incorporated herein (hereinafter “Subject Property”); and

WHEREAS, upon referral of the application by the Village Clerk, the Plan Commission for the Village of Sussex determined that the application met all requirements as set forth in Section 17.0502 and scheduled a public hearing thereon as soon as practical; and

WHEREAS, upon publication of the required “Notice of Public Hearing” and mailing of said “Notice of Public Hearing” to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on June 20, 2023 and August 15, 2023 as required by Section 17.0505 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Plan Commission has followed the review procedures of Section 17.0503 by reviewing the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation; and

WHEREAS, the Subject Property is zoned B-2 Regional Business District; and

WHEREAS, outdoor storage associated with the communication tower collocation is a conditional use in accordance with Section 17.0506A(11)(a) and the request for conditional uses authorized the subject property to include: outdoor storage of equipment associated with wireless communication facility; and

WHEREAS, the Plan Commission for the Village of Sussex finds that the petitioner’s proposed conditional use, if said use is carried out in strict compliance with the conditions described herein, is not adverse to the public health, safety, or welfare; it is not in conflict with the spirit or intent of the Village of Sussex Zoning Ordinance; and it is not otherwise detrimental to the community and particularly the surrounding neighborhood; and

WHEREAS, the Plan Commission for the Village of Sussex, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health,

safety or general welfare of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a conditional use permit for the Subject Property is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by the Petitioners for outdoor storage as set forth in Section 17.0506 Conditional Uses if approved as part of a Plan of Operation and site plan; and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use is granted for the Petitioner for the above for the above enumerated uses, incorporating the findings as set forth above and subject to the following conditions:
1. Presentation Compliance. The outdoor storage of equipment associated with the communication tower collocation is approved herein on the Subject Property, and the use thereof, shall be used in substantial conformity with the presentation at the Public Hearings before the Plan Commission held on June 20, 2023 and August 51, 2023.
 2. Subject Property. This conditional use permit issued to the Petitioners, shall be limited to the property described in **Exhibit A** attached hereto and incorporated herein and to the site plan presented at public hearing.
 3. Plans. The Petitioners are required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Village Clerk for the Village of Sussex in order for this CU to be in effect. The Petitioner shall be entitled to amend or change any plan contemplated herein subject to the specific language of the Conditional use and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial amendment or change in any plan contemplated herein as solely determined by the Plan Commission. If the Plan Commission for the Village of Sussex feels, in its sole discretion, that the amendment or change to any plan contemplated herein is substantial, the amendment or change will require a new permit and all Village procedures in place at the time must be followed.
 - A. Site Plan. The Petitioners shall maintain the existing site plan, which shall be attached hereto and incorporated herein as **Exhibit A-1**.
 - B. Plan of Operation. The Petitioners shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meetings. Once approved the plan of operation shall be attached hereto and incorporated herein as **Exhibit B**.

- C. Traffic, Access, Loading, and Parking Plans. The Petitioner shall comply with the existing traffic parking, loading, and egress plan for the subject property on file with the Village Clerk.
 - D. Lighting Plan. The Petitioner shall maintain the existing lighting plan for the Subject Property on file with the Village Clerk
 - E. Signage Plan. The Petitioner must submit a signage plan for the subject property on file with the Village Clerk.
 - F. Public Improvements. All public improvements shall be permitted through the Village of Sussex.
 - G. Sewer, Water, Stormwater and Erosion Control Plans. The Petitioner shall comply with the specific sewer, water, stormwater, and erosion control plans on file with the Village Clerk.
 - H. Fence, Landscaping, Berm, and Open Space Utilization Plan. The Petitioner shall comply with the specific Fence, Landscaping, Berm, and Open Space Utilization Plan for the Subject Property shall be attached hereto and incorporated herein as **Exhibit C**.
 - I. Architectural and Building Plan. The Petitioner shall comply with the specific Architectural and Building Plan for the Subject Property on file with the Village Clerk.
 - J. Outdoor Storage and Uses Plan. Only outdoor storage as depicted in **Exhibit A-1** is permitted on the subject property. If the Petitioner wishes to have additional outdoor storage they must seek approval from the Plan Commission without a new public hearing unless the Plan Commission determines a public hearing is necessary.
- 4. Adult-Oriented Materials. No adult-oriented materials or pornographic videotapes, magazines, or gift items will be sold or rented from the subject facility.
 - 5. Licenses. The Petitioner shall be required to obtain any and all required licenses and permits from the Village, County, State, and Federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.
 - 6. Laws. The Petitioner shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
 - 7. Building and Fire Inspection. The Petitioner is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.

8. Aesthetics. The Petitioner is required to properly maintain the Subject Property at all times and in full compliance with the Village Property Maintenance Code, Section 9.07 of the Village of Sussex Code all to the satisfaction of the Plan Commission for the Village of Sussex.
9. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property.
10. Temporary Use or Activity. No temporary use or special activity or event shall be permitted without prior approval of the Plan Commission of the Village of Sussex and the same must be in compliance with all ordinance, rules, and regulations of the Village of Sussex and all necessary permits must be obtained except for as allowed by Outdoor Establishment Permit under Chapter 4 or Auxiliary Use under Section 17.0710.
11. Fees and Expenses. The Petitioner, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the Petitioner with copies of all itemized invoices.
12. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the Petitioner.
13. Complaints. In the event the Petitioner receives any complaints with regard to the operation authorized by this conditional use, the Petitioner shall respond to such complaints in writing within a reasonable time not to exceed two weeks from the date of the complaint and shall provide a copy of the written response to the Sussex Village Administrator within the same period of time. If the complaint was made in writing, the copy provided to the Village Administrator shall include a copy of the complaint.
14. No Nuisance. The Village reserves the right to rescind its approval of this conditional use permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Petitioner is given an opportunity to be heard on the matter and, if so rescinded the Petitioner and Subject Property shall thereupon be immediately subject to the Village of Sussex Zoning Ordinances , as applicable, regarding the use of the Subject Property as though no conditional use permit was granted.
15. Subject to Acceptance. Subject to the Owner approving in writing the issuance of the same and Petitioner acknowledging in writing that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Petitioner will therefore need to re-commence the application process.

16. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate
- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.
- D. This conditional use hereby authorized shall be confined to the Subject Property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.
- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the Petitioner be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized herein, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Plan Commission, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed.
- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- I. This conditional use permit shall be effective for an initial term that ends five years from the date of January 1 of the year the conditional use is approved. During the final year of the 5

year term of the CU the Village Administrator or designee shall examine the record to determine if concerns about the operation have been raised in writing by the public, a governmental body or official, or anyone else, and shall also review the site and the adjoining area for compliance with the conditions of the CU. If based upon that review the use of the property is compatible with the surrounding areas and the Petitioner is in substantial compliance with all terms of this conditional use agreement, then, in that event, the Conditional Use can be automatically renewed for another 5 year term. If based upon that review the Village Administrator finds concerns about compliance with the conditions of the Conditional Use, the Petitioner shall be brought back before the Plan Commission for consideration of the renewal. The Petitioner shall have the responsibility to apply for the renewal by January 30th of the final year of the term of the CU. Failure of Petitioner to apply for the renewal as provided herein shall be deemed a violation of the conditions of the conditional use and may serve as a basis for termination of the conditional use permit. The Plan Commission for the Village of Sussex may add additional conditions at any time.

1. Where the changing character of the surrounding area causes the original conditional use or subsequent approved amendments thereto to no longer be compatible with the surrounding area, or for similar cause, based upon consideration for the public welfare, the conditional use order and any subsequent approved amendments or changes may be terminated by action of the Plan Commission of the Village of Sussex. Such use shall thereafter be classified as a legal nonconforming use as it was permitted to exist on the day it was terminated.
 2. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes, the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.
 3. This conditional use may be reviewed annually. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.
- J. Upon acceptance by Petitioner of this conditional use permit, all prior conditional use permits granted to the Subject Property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.
- L. If any paragraph or phrase of this conditional use order is declared by a Court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific paragraph or phrase thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of this order. The remainder of the order shall remain in full force and effect.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the Petitioner.

Approved this _____ day of _____, 2023 BY THE PLAN COMMISSION FOR THE
VILLAGE OF SUSSEX

Anthony LeDonne
Village President

Jennifer Moore
Village Clerk

PETITIONER ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.

Dated this _____ day of _____, 2023

Agent of In-Site, Inc / T-Mobile.

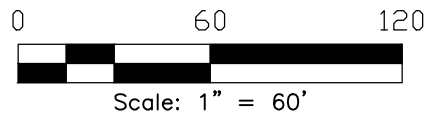
This conditional use was drafted by Jeremy Smith, Village Administrator off of a model by Attorney John P. Macy ARENZ, MOLTER, MACY & RIFFLE, S.C., Village Attorneys for the Village of Sussex.

Exhibit A

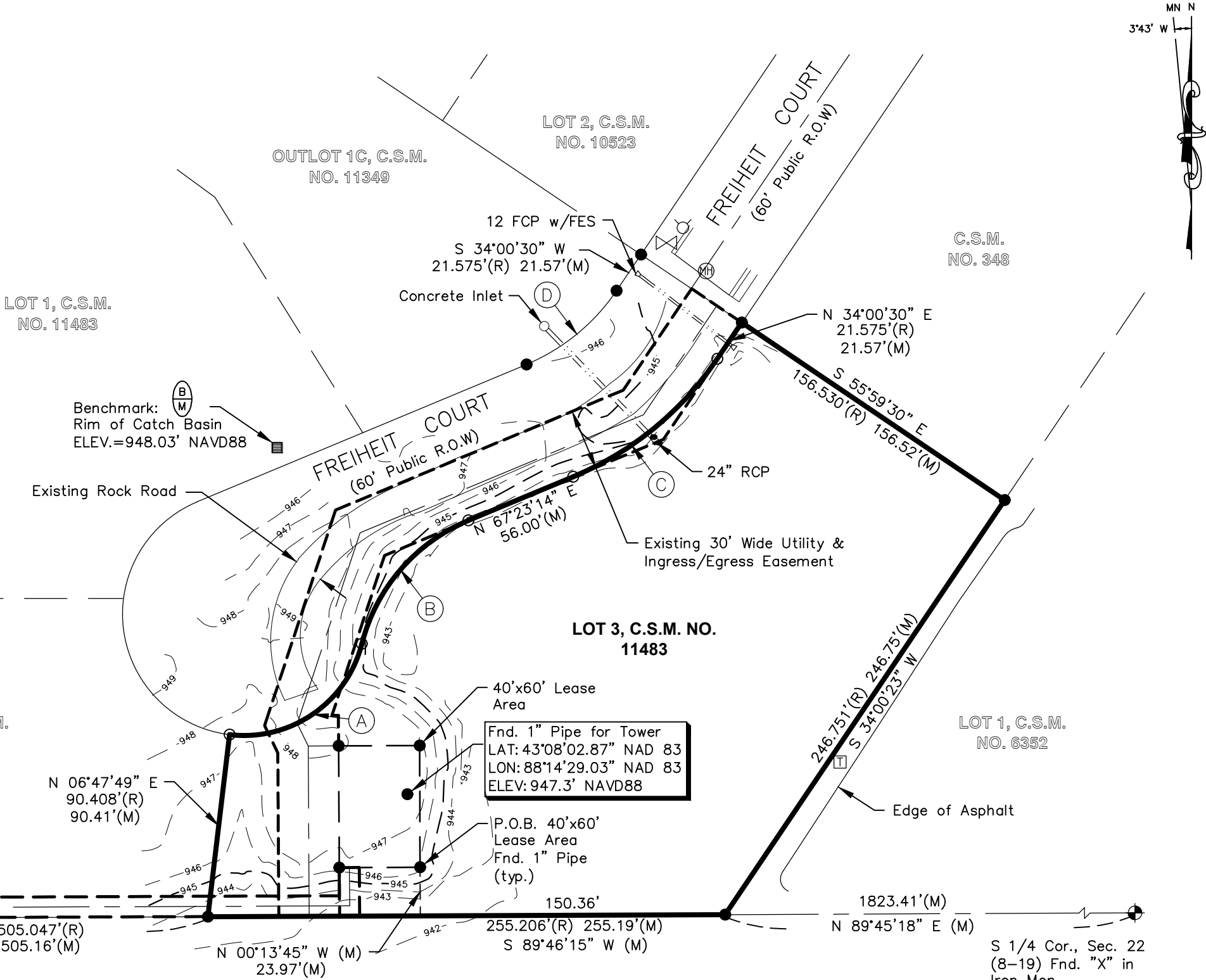
LEGEND

- = Cor. Fnd. 1" Pipe (Unless otherwise noted.)
- = Cor. Set #5 Rebar Rebar
- ⊕ = Section Corner
- Ⓚ = Benchmark
- (M) = Meas. Dist.
- (P) = Plat Dist.
- (D) = Deed Dist.
- (R) = Record Dist.
- P.O.B. = Point of Beginning
- P.O.R. = Point of Reference
- ⊙ = Power Pole
- = Guy Wire
- Ⓜ = Telephone Pedestal
- Ⓜ = Manhole
- ⊕ = Fire Hydrant
- ⊕ = Valve
- = Catch Basin

PROSPECT CIRCLE
(Public R.O.W. - width varies)
N 89°45'26" E 71.455'(R) 71.50'(M)
SW Cor., Sec. 22 (8-19) Fnd. Brass Cap



CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
A	60.00'	86.44'	79.153'(R) 79.15'(M)	N 55°31'37" E	82°32'24"
B	90.00'	83.45'	80.498'(R) 80.50'(M)	N 40°49'17" E	53°07'42"
C	160.00'	93.21'	91.902'(R) 91.89'(M)	N 50°41'48" E	33°22'36"
D	100.00'	58.25'	57.439'(R) 57.43'(M)	S 50°41'48" W	33°22'36"



Prepared for:
U.S. Cellular
3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:
TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By: 6723
HUSKER SURVEYING
4535 Normal Blvd. Ste #101
Lincoln, NE 68506
(402) 423-5202
(402) 423-5211
www.huskersurveying.com

Site Information:
SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

LEASE SITE & EASEMENT EXHIBIT 2 of 3

Date of Survey:	06.27.2021
Revision	Date
Preliminary	07.06.21 PD

CONSTRUCTION NOTES:

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING ARE GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING SHALL BE HAND DUG.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY NEW SERVICE HAS BEEN APPLIED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.
- DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.
- COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION
- ALL CLEAN SOIL MAY BE USED ON SITE UNLESS OTHERWISE NOTED IN THE REGULATORY COMMENTS OR BID DOCS.
- ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .
- ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
- PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
- ANY ACCIDENTS ON SITE MUST BE REPORTED TO THE T-MOBILE MANAGER IMMEDIATELY AFTER ATTENDING TO THE PERSON(S) NEEDS AND ADMINISTERING FIRST AIDE IF NEEDED.
- GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGEMENT TEAM.
- PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.
- ALL CONDUITS MUST BE PROPERLY INSTALLED AND SEALED TO PREVENT FREEZING AND DAMAGE
- GC SHALL USE 3/4" PLYWOOD AROUND AREAS OF EGRESS/INGRESSS TO CONSTRUCTION SITE IN ORDER TO PROTECT GRASSY AREAS FROM DAMAGE FROM EXCAVATIONS AND CONCRETE WORK.
- GC TO REPAIR GRASSY AREAS TO LIKE CONDITION USING SOD AND SHALL WATER TO SATURATION ONCE WEEKLY UNTIL NEW GRASS SOD IS ESTABLISHED. MINIMUM OF 4 WATERING.

NOTES:

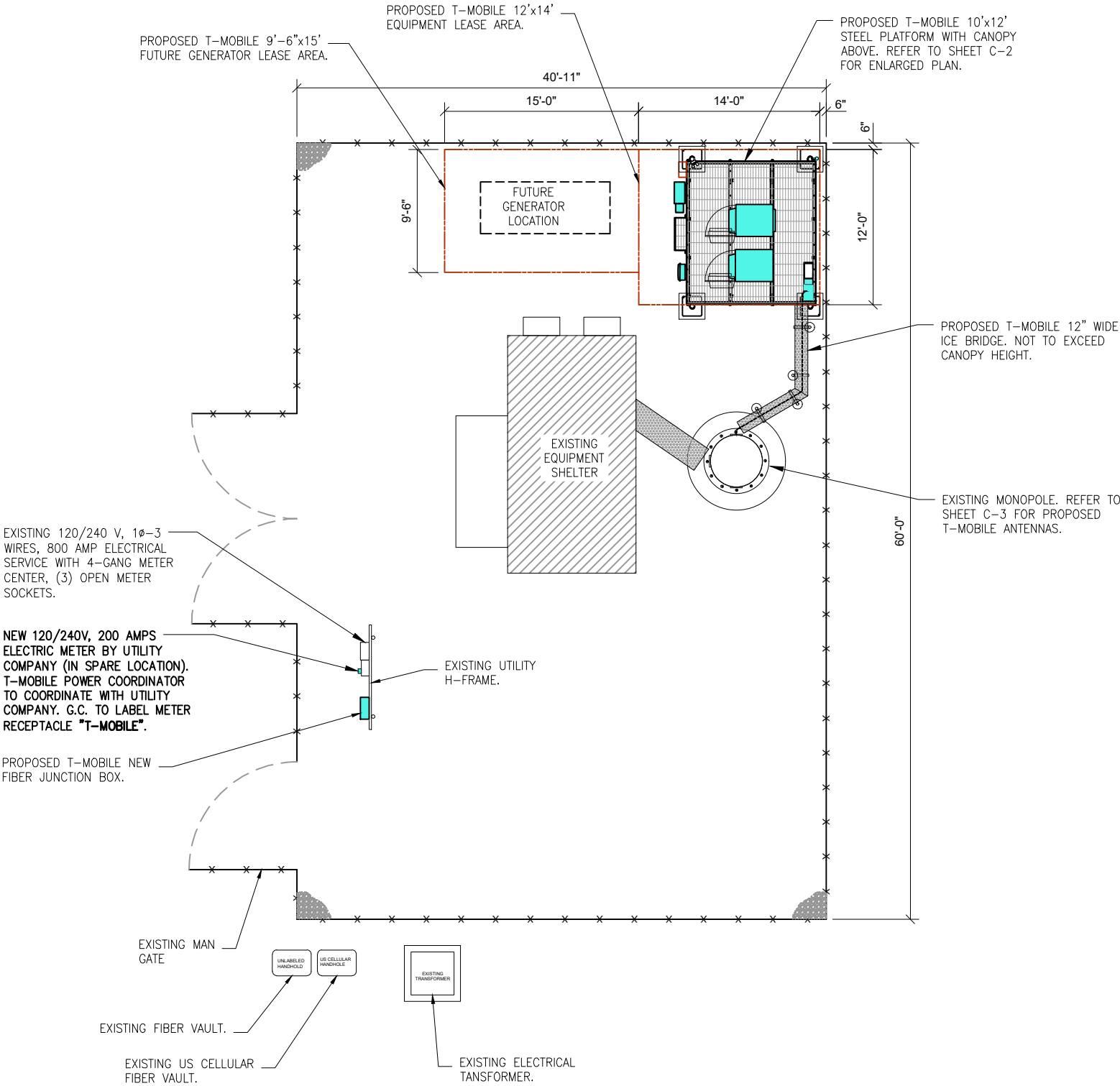
- G.C. MUST RETURN THE SITE TO PRE-CONSTRUCTION CONDITION AFTER CONSTRUCTION COMPLETE.
- HAND DIG IS REQUIRED WITHIN THE COMPOUND TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES.

NOTES:

- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING EQUIPMENT TO BE RELOCATED
- EXISTING EQUIPMENT TO BE REMOVED
- PROPOSED EQUIPMENT TO BE INSTALLED



1

OVERALL SITE PLAN

SCALE: N.T.S

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

C-1

Exhibit B



Project Name T-Mobile ML89143A-NSD

Tax Key # SUXV0231989007

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile, 708-359-7638; kfahey@insite-inc.com.

Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

Exhibit B

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. N/A
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking: N/A
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position

I am aware and approve of the business to be operating in the building
owned by _____.

Name

Date

Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Karol Fahey

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

Exhibit B



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Exhibit B

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

**Business
Email:** _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☒ No

Exhibit C

NOTES:

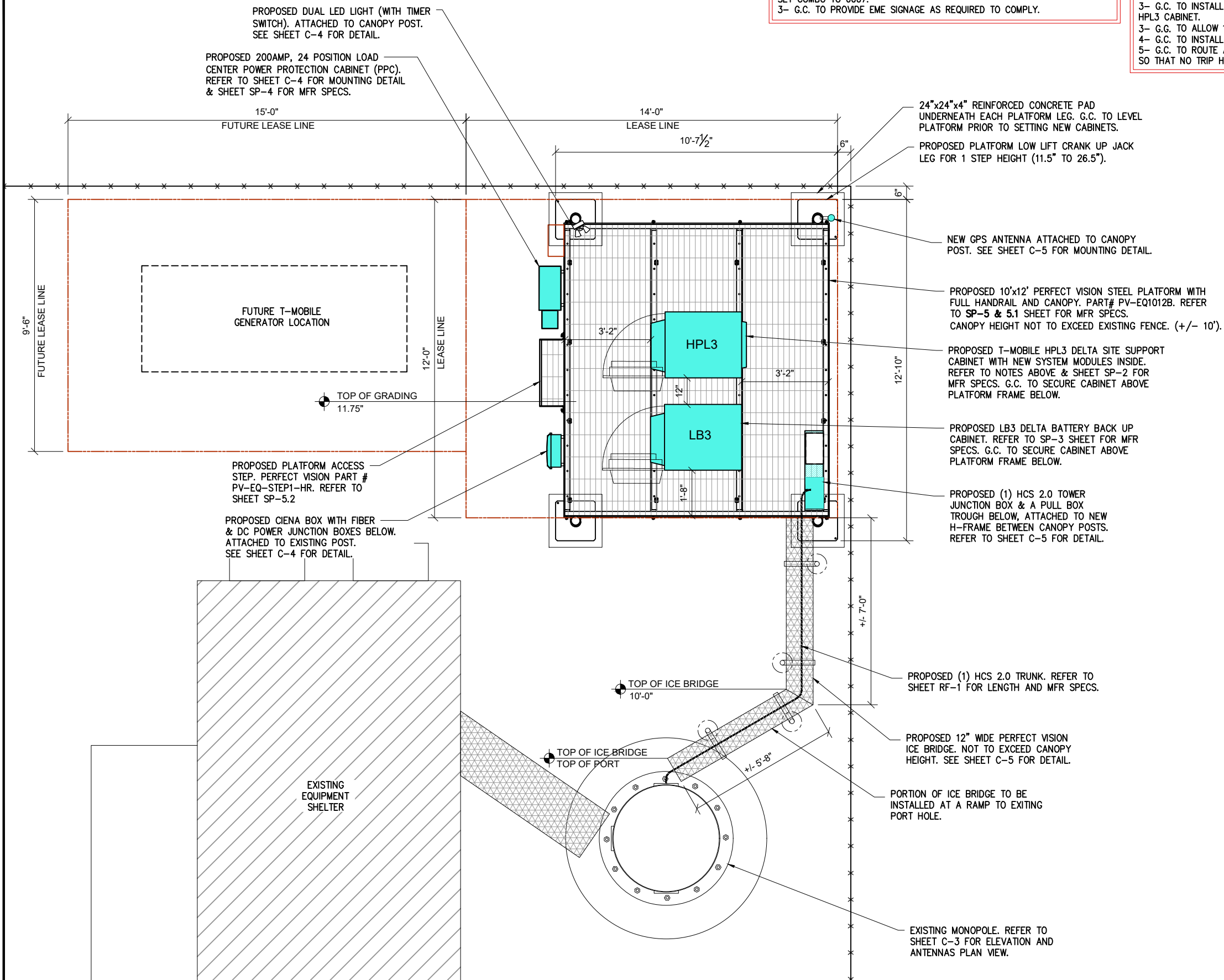
- 1- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED
- 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- 2- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- 3- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

HPL3 INSTALLATION NOTE:

- 1- G.C. TO REFER TO THE DELTA HPL3 CABINET INSTALL GUIDELINE TRAINING DOCUMENT FOR THE MILWAUKEE MARKET LATEST APPROVED REVISION.
- 2- G.C. TO ENSURE THERE IS NO OBSTRUCTION WITHIN 24" OF THE BACK OF THE HPL3 CABINET FOR EASE OF ACCESS.
- 3- G.C. TO INSTALL THE FSEE ON TOP OF THE FSMF MODULE INSIDE THE HPL3 CABINET.
- 3- G.G. TO ALLOW 12" CLR. BETWEEN HPL3 & BATTERY CABINETS.
- 4- G.C. TO INSTALL THE NEW OVPS ON UNISTRUT H-FRAME.
- 5- G.C. TO ROUTE ANY NEW CONDUITS BETWEEN OVPS AND HPL3 CABINET SO THAT NO TRIP HAZARDS OR OBSTRUCTIONS ARE CREATED.

NOTE:

G.G. TO INSTALL THE EQUIPMENT PLATFORM AS LOW AS POSSIBLE SO THE CANOPY NOT TO EXCEEDED THE EXISTING FENCE HEIGHT (+/- 10').



1 ENLARGED EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE

ENLARGED
EQUIPMENT PLAN

SHEET NUMBER

C-2

T-Mobile®

stick together®

T-Mobile®

1400 OPUS PLACE
Downers Grove, IL 60515

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THE PROPERTY OF T-MOBILE.
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BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

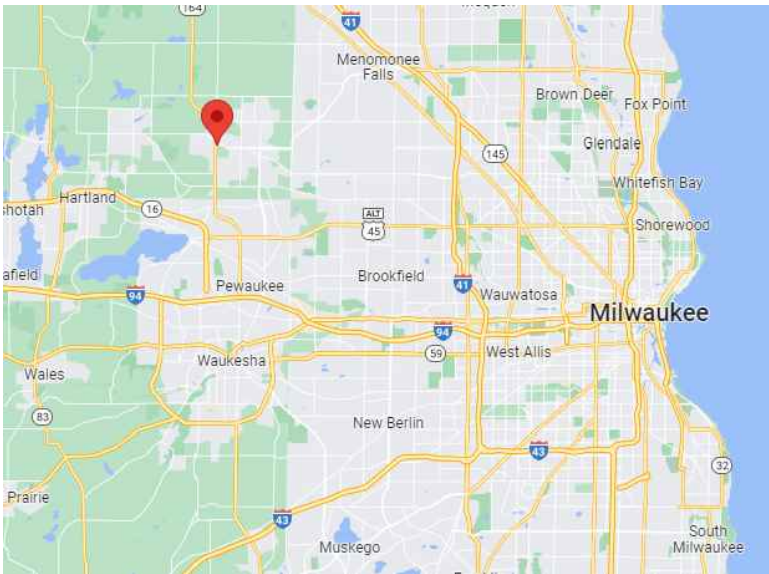
SHEET TITLE

TITLE SHEET

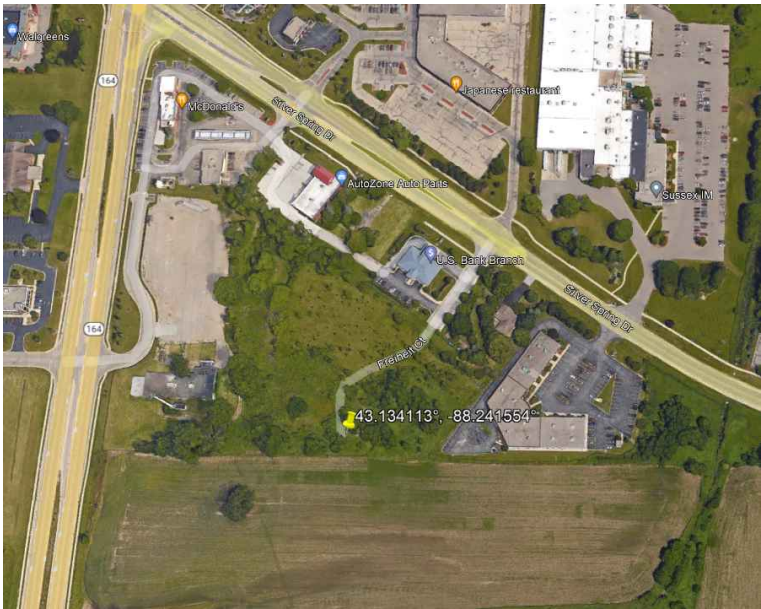
SHEET NUMBER

T-1

VICINITY MAP



LOCATION MAP



NOTES TO GENERAL CONTRACTOR:

GC SHALL VERIFY ALL EXISTING PLANS, DIMENSIONS & CONDITIONS ON JOB SITE.
GC SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY
DISCREPANCIES PRIOR TO CONSTRUCTION.
GC SHALL COMPLY WITH OSHA SAFETY REQUIREMENTS AT ALL TIME DURING SITE
CONSTRUCTION.
G.C SHALL HAVE THE SITE MANNED WITH A CREW AND SUPERVISOR DURING
CONSTRUCTION.
G.C. SHALL CONFIRM WITH T-MOBILE CONSTRUCTION MANAGER AND A&E FIRM FOR THE
MOST RECENT SET OF DRAWINGS AND STRUCTURAL ANALYSIS PRIOR TO BIDDING ON
SITE.

PROJECT INFORMATION

T-MOBILE SITE NUMBER: ML89143A
T-MOBILE SITE NAME: USCC - 784760
SITE TYPE: MONOPOLE
PROJECT TYPE: NSD - COVERAGE

SITE ADDRESS:

FREIHEIT CT.
Tax Key No: SUXV0231989007

JURISDICTION: VILLAGE OF SUSSEX
COUNTY: WAUKESHA

SITE COORDINATES:

LATITUDE NORTH: 43.134113°
LONGITUDE WEST: -88.241554°

SCOPE OF WORK

BASED ON RFDS DATED: 1/24/2023
THE SCOPE OF WORK CONSISTS OF:

ANTENNA LEVEL:

- (3) NEW ANTENNAS TO BE INSTALLED
- (3) NEW AHFIG RRU's TO BE INSTALLED
- (3) NEW AHLOA RRU's TO BE INSTALLED
- (1) NEW HCS 2.0 PENDANT TO BE INSTALLED
- (1) NEW ANTENNA PLATFORM WITH KICKER BRACE KIT

GROUND LEVEL:

- INSTALL A NEW 10'X10' STEEL PLATFORM WITH CANOPY ABOVE
- INSTALL A NEW ICE BRIDGE
- INSTALL A NEW DELTA SITE SUPPORT CABINET (HPL3)
- VERIFY WITH FINAL RFDS FOR NEW RAN EQUIPMENT
TO BE INSTALLED INSIDE HPL3 CABINET.
- INSTALL A NEW DELTA BATTERY BACKUP CABINET (LB3)
- INSTALL A NEW PPC CABINET
- INSTALL A NEW CIENA
- INSTALL (1) NEW HCS 2.0 TOWER JUNCTION BOX
- INSTALL (1) NEW HCS 2.0 TRUNK

GENERAL CONTRACTOR NOTES:

- OBTAIN CURRENT RFDS WITHIN 48 HRS. PRIOR TO CONSTRUCTION
- FOLLOW PORT MATRIX PER RF CONFIGURATION
- FOLLOW CURRENT T-MOBILE STANDARDS AND OPERATING
PROCEDURES
- RETURN ALL UNUSED NEW AND USED EQUIPMENT/MATERIALS TO
WAREHOUSE IN THE SAME CONDITIONS WHEN IT WAS REMOVED
- PROVIDE CLOSEOUT DOCUMENT WITHIN 72 HRS AFTER SITE
COMPLETION
- CLOSE OPEN PERMITS AFTER SITE COMPLETION

APPLICANT:

T-Mobile®

T-MOBILE USA,
1400 OPUS PLACE
DOWNERS GROVE, IL 60515

CONTACT:
CONSTRUCTION MANAGER: CHRISTOPHER LYTL
PH: 815-641 5714
EMAIL: CHRIS.LYTLE@T-MOBILE.COM

A&E FIRM:

WESTIN
Engineering Consultants, Ltd.

650 CHASE AVE.
ELK GROVE VILLAGE, IL 60007
EMAIL: A&E@WESTINENGINEERING.COM
PHONE: 773-551 9814

SITE ACQUISITION:

Insite inc.
Real Estate Consulting Services

18660 MIDWEST ROAD, SUITE 140
OAKBROOK TERRACE, IL 60161
CONTACT : RAY SHINKLE
PH: 773-960 8781



Know what's below.
Call before you dig.
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ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
ADA ACCESS REQUIREMENTS ARE NOT REQUIRED.
THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND
WILL NOT PRODUCE ANY SEWAGE.

APPLICABLE CODES:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
AS AMENDED BY THE STATE OF WISCONSIN

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND
INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS
OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING
AUTHORITIES. NOTHING IN THESE PLANS IS TO BE
CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE
LATEST EDITIONS OF THE ADOPTED CODES:

APPROVALS

T-MOBILE OPS _____

R.F OPS _____

R.F ENGINEER _____

SITE ACQUISITION _____

CONSTRUCTION _____

LAND LORD _____

PARENT PARCEL DESCRIPTION:

Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin

LEASE AREA DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin containing 2,400 square feet (0.055 acres) of land and being described by:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet to the point of beginning; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence N89°-45'-23"E 40.00 feet; thence S00°-14'-37"E 60.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

30' WIDE UTILITY AND INGRESS/EGRESS EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 12,352 square feet (0.284 acres) of land and being Fifteen (15) feet each side of and parallel to the following described line:

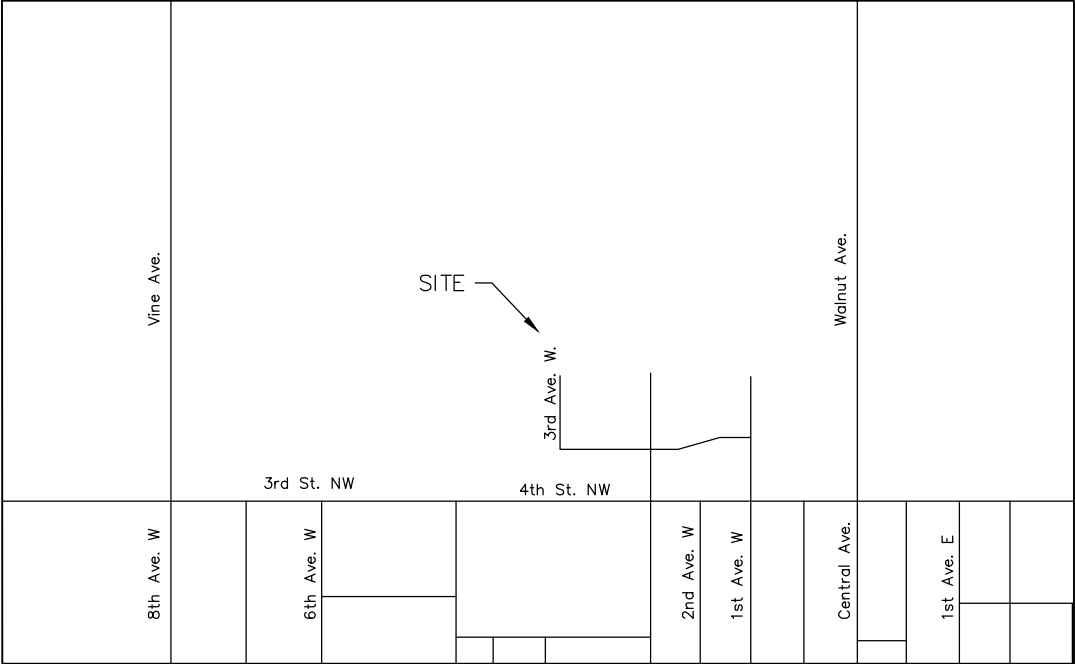
Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence S89°-45'-23"W 15.00 feet to the point of beginning; thence N25°-48'-57"W 12.32 feet; thence N18°-13'-25"E 99.03 feet; thence N67°-22'-26"E 151.41 feet; thence N33°-59'-38"E 65.05 feet to a point on the South line of Prospect Drive and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said South line of Prospect Drive. Also from said point of beginning; thence S00°-14'-37"E 83.91 feet to the point of termination.

10' WIDE UTILITY EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 5,934 square feet (0.136 acres) of land and being Five (5) feet each side of and parallel to the following described line:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 24; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 35.00 feet to the point of beginning; thence S00°-14'-37"E 18.89 feet; thence S89°-45'-23"W 574.48 feet to a point on the East line of Prospect Circle and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said East line of Prospect Circle.

VICINITY MAP

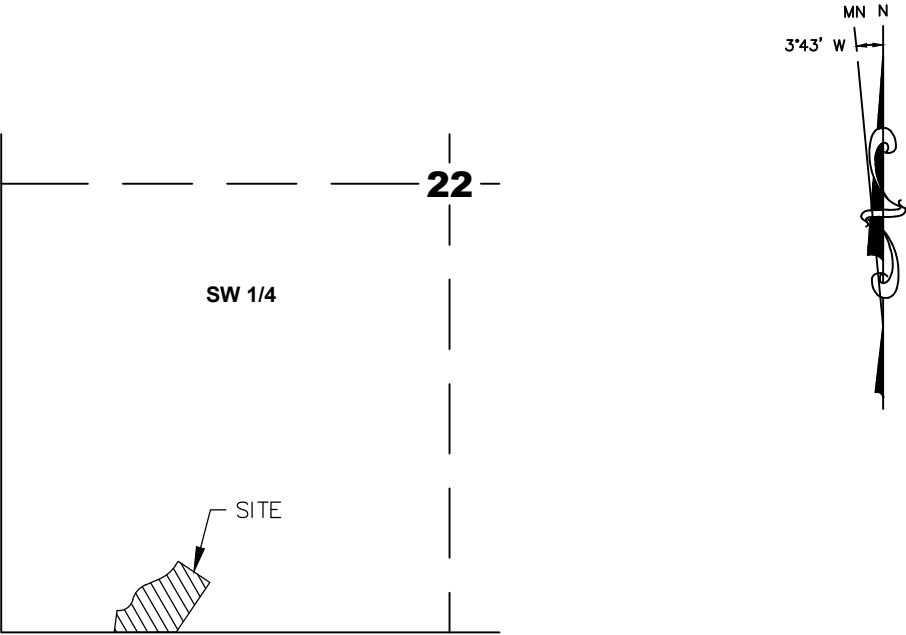


SURVEYORS NOTES

- 1.) Generally located in Wisconsin State Plane Coordinate System, South Zone (NAD-83).
- 2.) Not a survey of the parent parcel shown, but to be used only for the purposes shown hereon.
- 3.) The Utility locations shown hereon were determined by observed above ground evidence only. The surveyor was not provided with above ground markings to determine any subsurface locations, and makes no guarantee that the underground utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. This surveyor has not physically located the underground utilities.

Zoning Information: Commercial

Flood Information:
Property falls within a Zone "X" area determined to be inside a 0.2% chance of annual flood hazard, based upon FEMA Flood Rate Map No. 55133C0088G, with an effective date of November 5, 2014.



T. 8 N, R. 19 E
PARENT PARCEL DETAIL

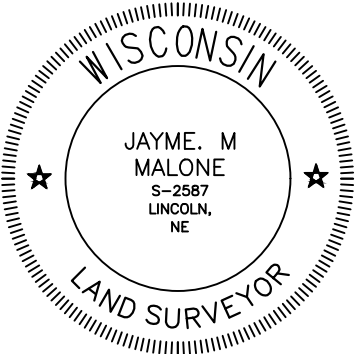
Surveyor's Certificate

To: Tower Engineering Professionals; and WFG National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as the land surveyor registered in the State of Wisconsin the Relative Positional Accuracy of this survey does not exceed that which is specified therein. The field work was completed on 06.27.2021.

Jayme M. Malone
Kansas LS 1113
Date of Plat or Map: 07.02.2021
Date of Last Revision: 07.02.2021

Survey Performed By:
Husker Surveying
4535 Normal Blvd., Suite 101
Lincoln, NE 68506



Prepared for:

U.S. Cellular

3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By: 6723

HUSKER SURVEYING

4535 Normal Blvd. Ste #101
Lincoln, Ne 68506
(402)423-5222
(402)423-5211
www.huskersurveying.com

Site Information:

SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

LEASE SITE & EASEMENT EXHIBIT 1 of 3

Date of Survey: 06.27.2021		
Revision	Date	
Preliminary	07.06.21	PD

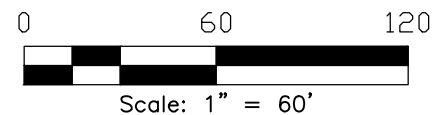
LEGEND

- = Cor. Fnd. 1" Pipe
(Unless otherwise noted.)
- = Cor. Set #5 Rebar
Rebar
- ⊕ = Section Corner
- Ⓚ = Benchmark
- (M) = Meas. Dist.
- (P) = Plat Dist.
- (D) = Deed Dist.
- (R) = Record Dist.
- P.O.B. = Point of Beginning
- P.O.R. = Point of Reference
- ⊙ = Power Pole
- = Guy Wire
- Ⓜ = Telephone Pedestal
- Ⓜ = Manhole
- ⊙ = Fire Hydrant
- ⊕ = Valve
- = Catch Basin

PROSPECT CIRCLE
(Public R.O.W. - width varies)

N 89°45'26" E
71.455'(R)
71.50'(M)

SW Cor.,
Sec. 22 (8-19)
Fnd. Brass Cap



LOT 2, C.S.M.
NO. 11483

LOT 1, C.S.M.
NO. 11483

OUTLOT 1C, C.S.M.
NO. 11349

LOT 2, C.S.M.
NO. 10523

C.S.M.
NO. 348

LOT 1, C.S.M.
NO. 6352

LOT 3, C.S.M. NO.
11483

Benchmark:
Rim of Catch Basin
ELEV.=948.03' NAVD88

Existing Rock Road

Existing 10' Wide
Utility Easement

12 FCP w/FES
S 34°00'30" W
21.575'(R) 21.57'(M)

Concrete Inlet

FREIHEIT COURT
(60' Public R.O.W.)

Existing 30' Wide Utility &
Ingress/Egress Easement

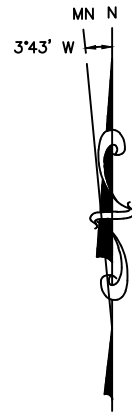
Fnd. 1" Pipe for Tower
LAT: 43°08'02.87" NAD 83
LON: 88°14'29.03" NAD 83
ELEV: 947.3' NAVD88

P.O.B. 40'x60'
Lease Area
Fnd. 1" Pipe
(typ.)

40'x60' Lease
Area

Edge of Asphalt

CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
A	60.00'	86.44'	79.153'(R) 79.15'(M)	N 55°31'37" E	82°32'24"
B	90.00'	83.45'	80.498'(R) 80.50'(M)	N 40°49'17" E	53°07'42"
C	160.00'	93.21'	91.902'(R) 91.89'(M)	N 50°41'48" E	33°22'36"
D	100.00'	58.25'	57.439'(R) 57.43'(M)	S 50°41'48" W	33°22'36"



Prepared for:

U.S. Cellular

3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By:

6723



4535 Normal Blvd. Ste #101
Lincoln, NE 68506
(402) 423-5202
(402) 423-5211
www.huskersurveying.com

Site Information:

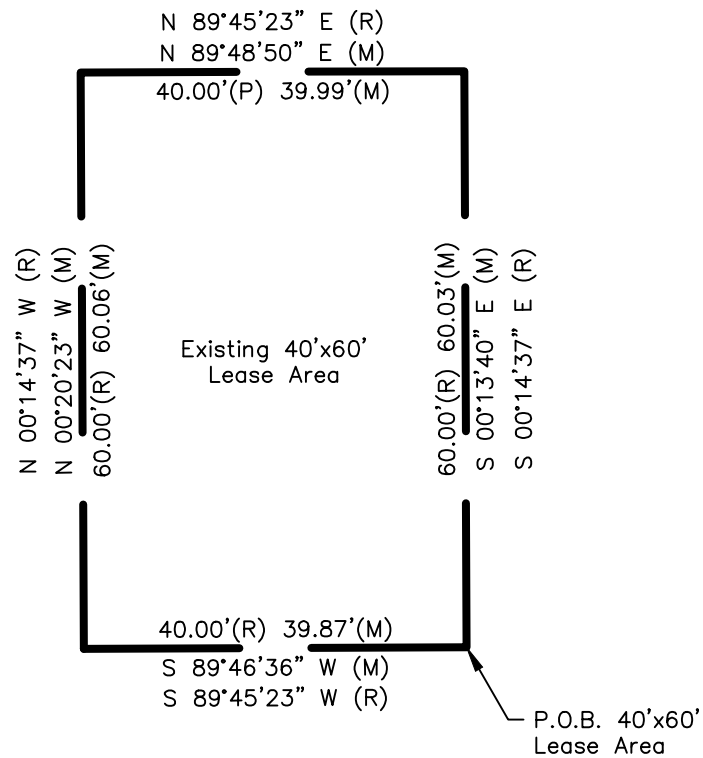
SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

**LEASE SITE &
EASEMENT EXHIBIT
2 of 3**

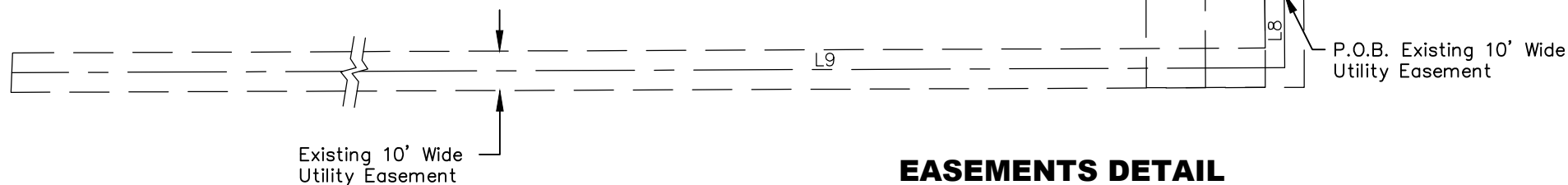
Date of Survey:	06.27.2021
Revision	Date
Preliminary	07.06.21 PD



LEASE AREA DETAIL

Scale: 1"=20'


LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 89°45'23" W (R) S 89°48'50" W (M)	15.00'(R&M)
L2	N 25°48'57" W (R) N 25°45'08" W (M)	12.32'(R&M)
L3	N 18°13'25" E (R&M)	99.03''(R&M)
L4	N 67°22'26" E (R&M)	151.41'(R&M)
L5	N 33°59'38" E (R&M)	65.05'(R) 64.85'(M)
L6	S 00°14'37" E (R) S 00°20'23" E (M)	83.91'(R&M)
L7	S 89°45'23" W (R) S 89°46'36" W (M)	35.00'(R) 34.87'(M)
L8	S 00°14'37" E (R) S 00°20'23" E (M)	18.89'(R&M)
L9	S 89°45'23" W (R&M)	574.48'(R) 574.99'(M)



EASEMENTS DETAIL

Scale: 1"=40'



Prepared for:

 3806 THIRLANE ROAD NW
 ROANOKE, VA 24019

Prepared for:
TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603
 (919) 661-6351

Surveyed By: 6723

HUSKER SURVEYING
 4535 Normal Blvd. Ste #101
 Lincoln, Ne 68506
 (402) 423-5202
 (402) 423-5211
 www.huskersurveying.com

Site Information:
SITE NAME:
 SUSSEX II

PEWAUKEE, WI
 (WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
 Jayme M. Malone

LEASE SITE & EASEMENT EXHIBIT
3 of 3

Date of Survey: 06.27.2021		
Revision	Date	
Preliminary	07.06.21	PD

CONSTRUCTION NOTES:

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING ARE GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING SHALL BE HAND DUG.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY NEW SERVICE HAS BEEN APPLIED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.
- DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.
- COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION
- ALL CLEAN SOIL MAY BE USED ON SITE UNLESS OTHERWISE NOTED IN THE REGULATORY COMMENTS OR BID DOCS.
- ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .
- ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
- PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
- ANY ACCIDENTS ON SITE MUST BE REPORTED TO THE T-MOBILE MANAGER IMMEDIATELY AFTER ATTENDING TO THE PERSON(S) NEEDS AND ADMINISTERING FIRST AIDE IF NEEDED.
- GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGEMENT TEAM.
- PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.
- ALL CONDUITS MUST BE PROPERLY INSTALLED AND SEALED TO PREVENT FREEZING AND DAMAGE
- GC SHALL USE 3/4" PLYWOOD AROUND AREAS OF EGRESS/INGRESSS TO CONSTRUCTION SITE IN ORDER TO PROTECT GRASSY AREAS FROM DAMAGE FROM EXCAVATIONS AND CONCRETE WORK.
- GC TO REPAIR GRASSY AREAS TO LIKE CONDITION USING SOD AND SHALL WATER TO SATURATION ONCE WEEKLY UNTIL NEW GRASS SOD IS ESTABLISHED. MINIMUM OF 4 WATERING.

NOTES:

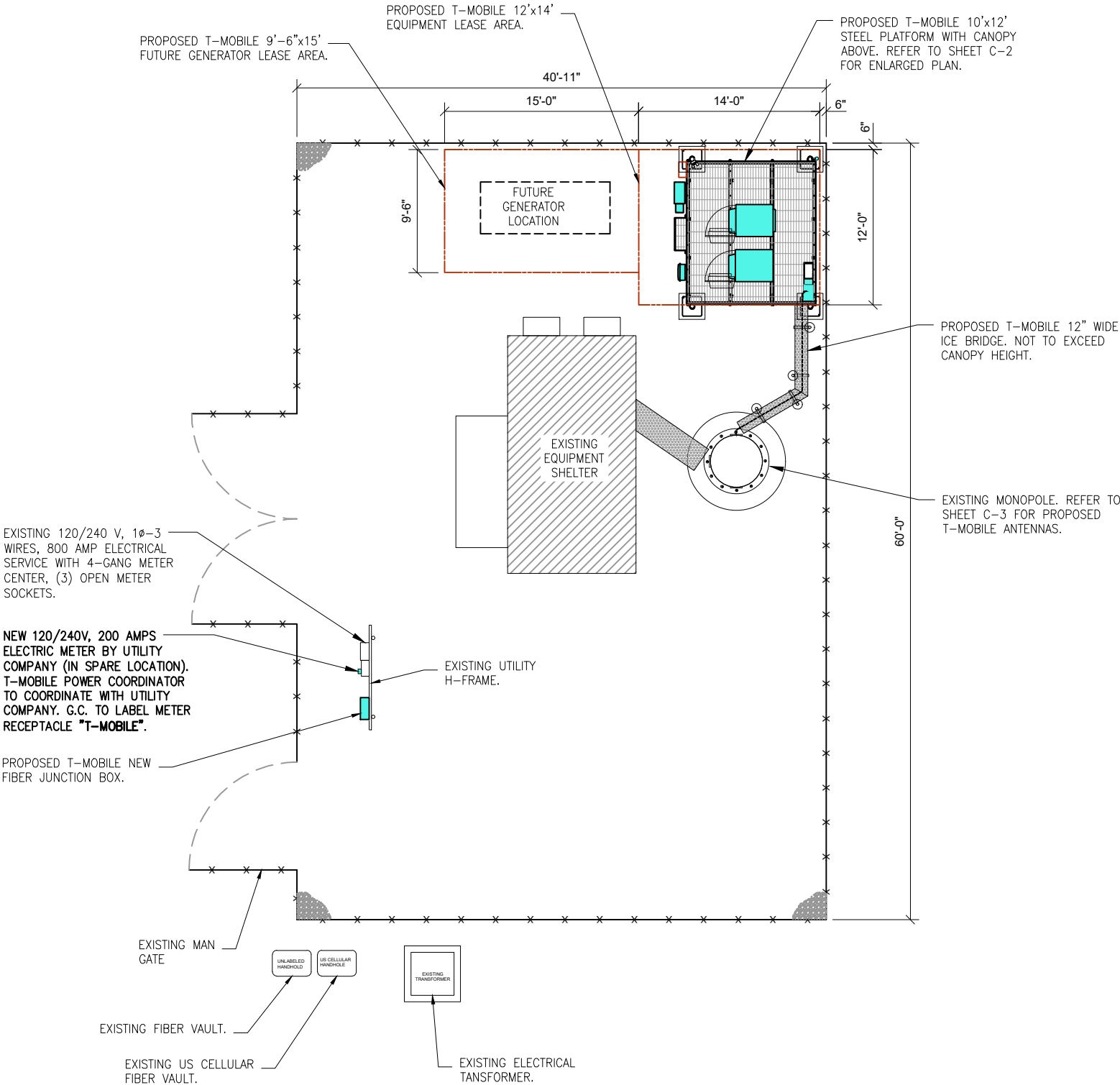
- G.C. MUST RETURN THE SITE TO PRE-CONSTRUCTION CONDITION AFTER CONSTRUCTION COMPLETE.
- HAND DIG IS REQUIRED WITHIN THE COMPOUND TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES.

NOTES:

- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING EQUIPMENT TO BE RELOCATED
- EXISTING EQUIPMENT TO BE REMOVED
- PROPOSED EQUIPMENT TO BE INSTALLED



1

OVERALL SITE PLAN

SCALE: N.T.S

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CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
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EXP: 07/31/2024

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CHECKED BY: AB

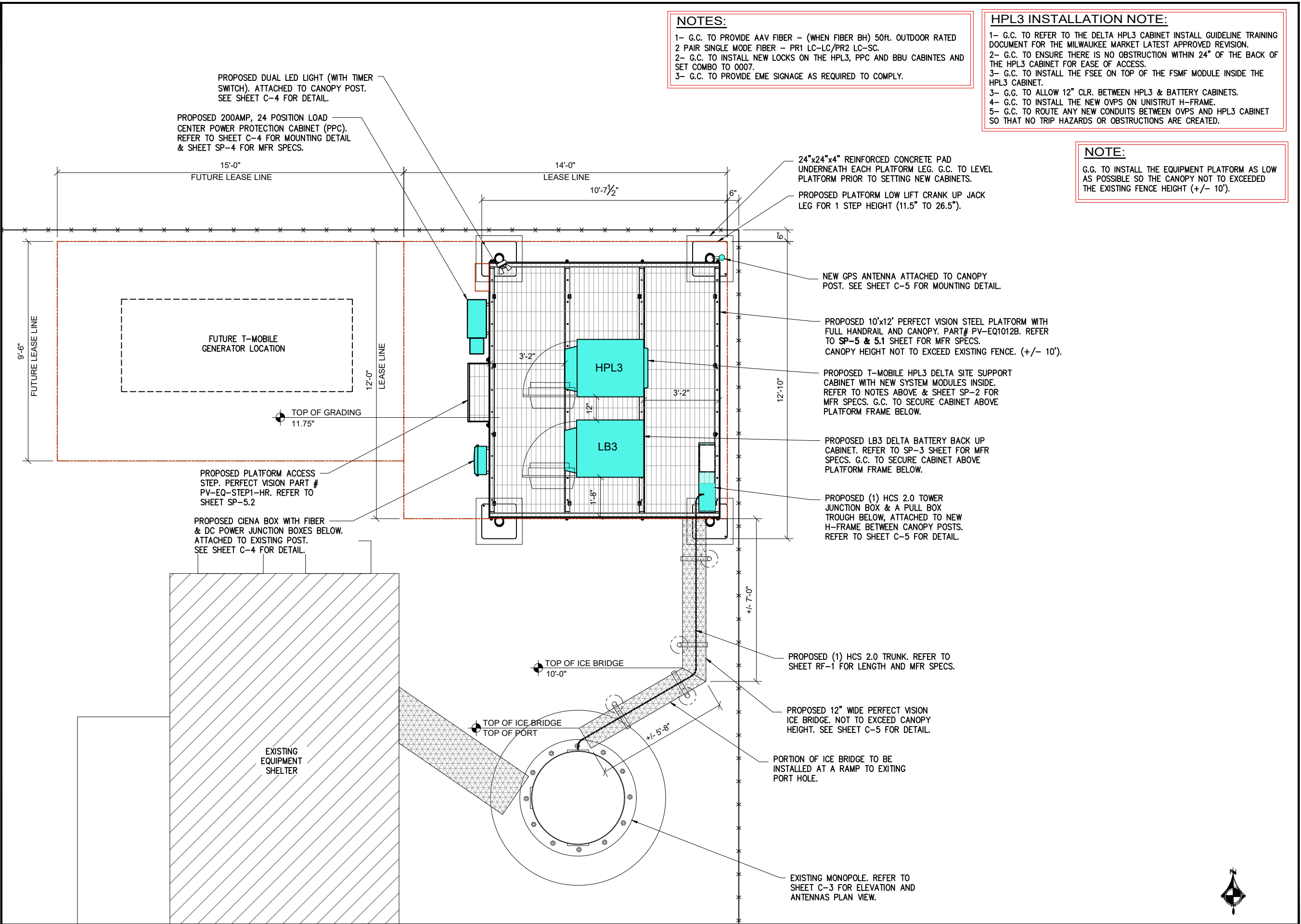
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SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

C-1



1 ENLARGED EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

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RASHID AHMED
E-26737
ELGIN, ILLINOIS
PROFESSIONAL ENGINEER
EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

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SHEET TITLE
ENLARGED EQUIPMENT PLAN

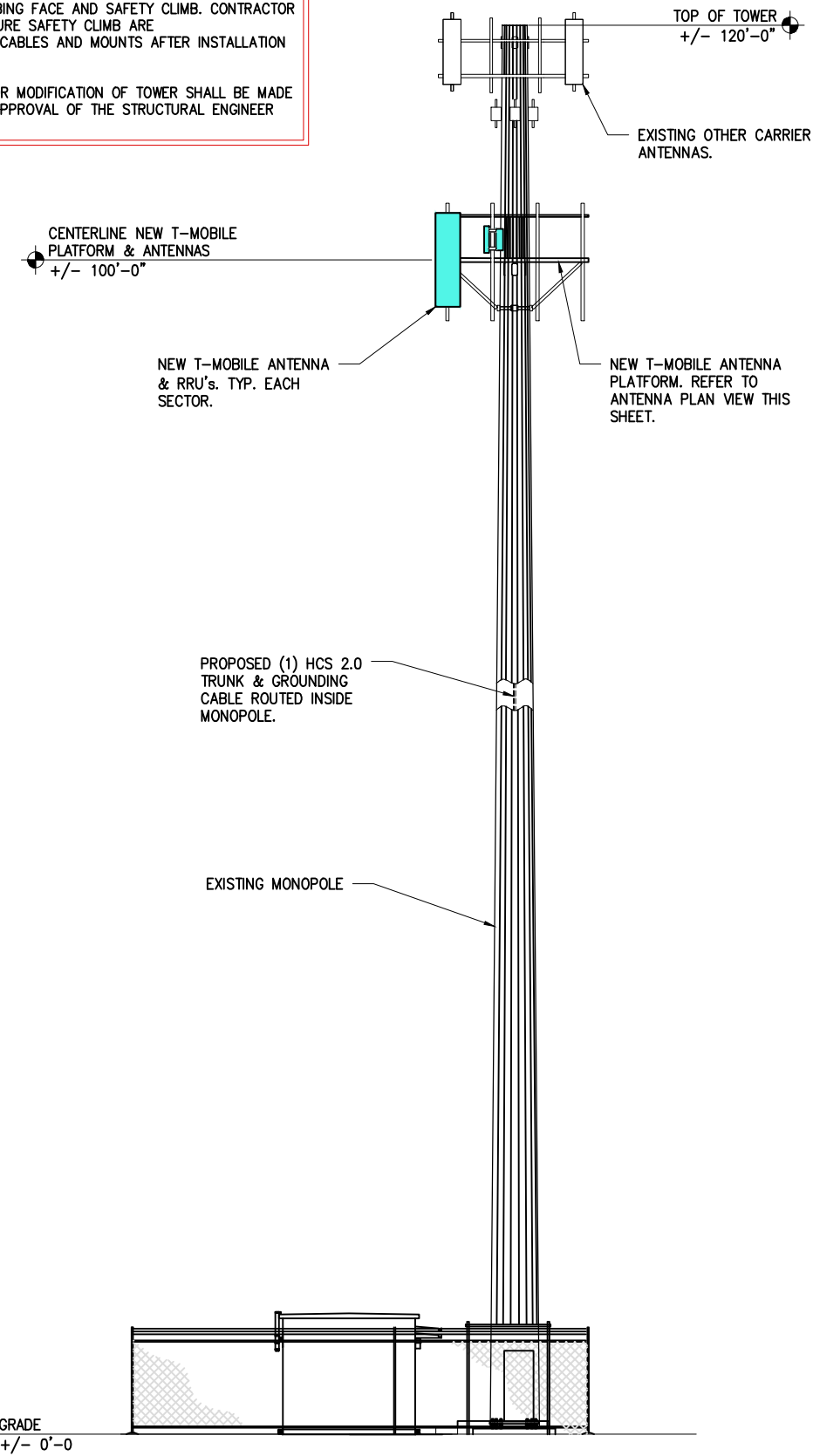
SHEET NUMBER
C-2

STRUCTURAL NOTE:

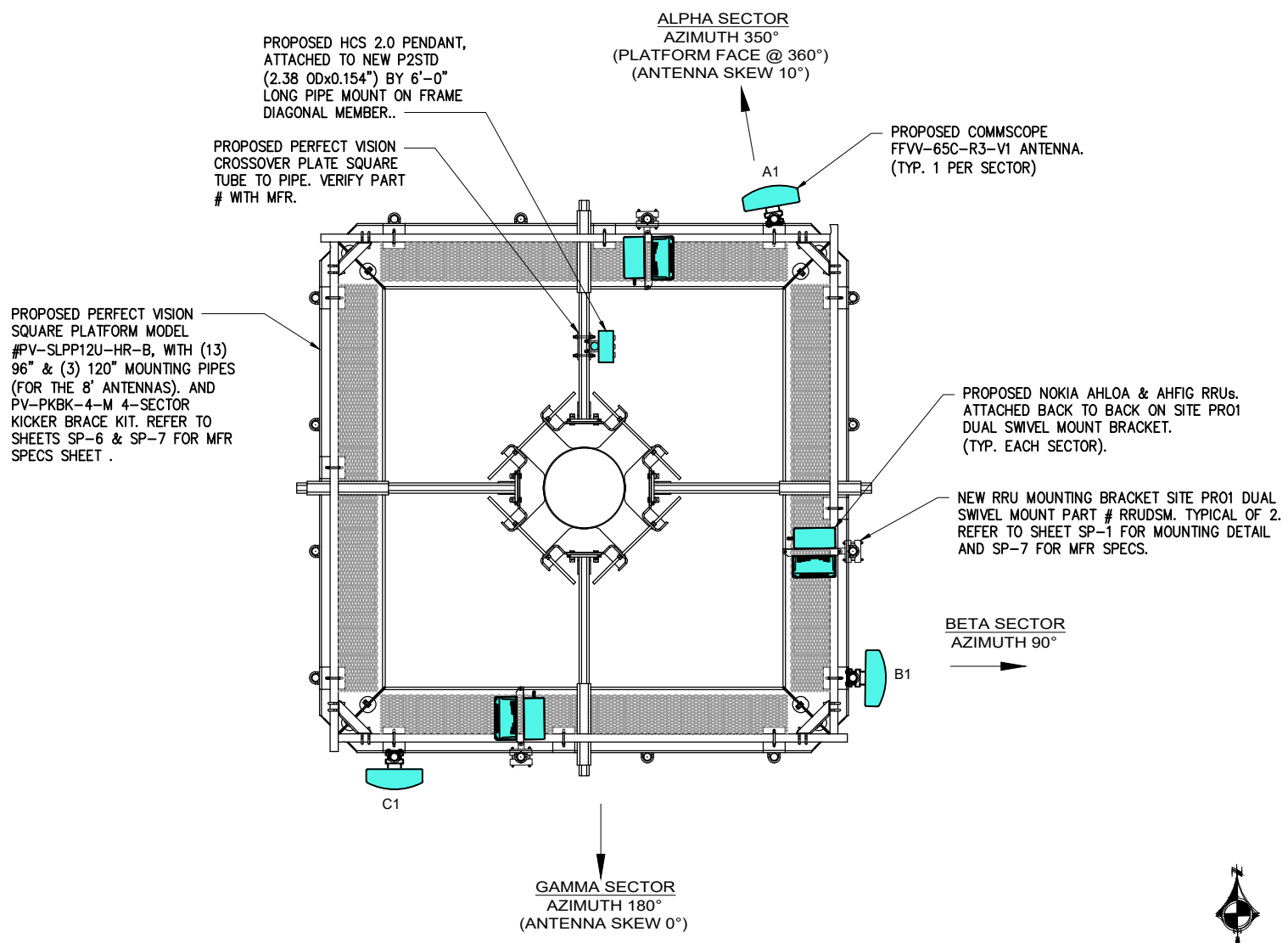
1- G.C. TO REFER TO LATEST TOWER STRUCTURAL ANALYSIS BY TOWER OWNER AND REVISED MOUNT ANALYSIS BY WESTIN ENGINEERING CONSULTANTS, LTD. DATED 04/05/2023 PRIOR TO CONSTRUCTION STARTS.

2- ALL NEW INSTALLED EQUIPMENT MUST NOT INTERFERE WITH THE CLIMBING FACE AND SAFETY CLIMB. CONTRACTOR SHALL MAKE SURE SAFETY CLIMB ARE 100% FREE OF CABLES AND MOUNTS AFTER INSTALLATION IS COMPLETE.

NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER

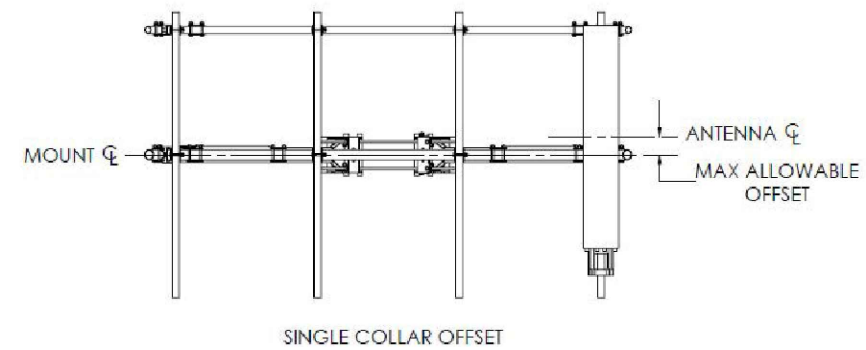


1 TOWER ELEVATION
SCALE: N.T.S.



2 ANTENNA PLAN VIEW
SCALE: N.T.S.

NOTE:
6" MAXIMUM ALLOWABLE OFFSET BTW. ANTENNA C.L. & MOUNT C.L.



3 ANTENNA CENTER LINE DETAIL
SCALE: N.T.S.

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WISCONSIN

RASHID AHMED
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ELGIN, ILLINOIS

PROFESSIONAL ENGINEER

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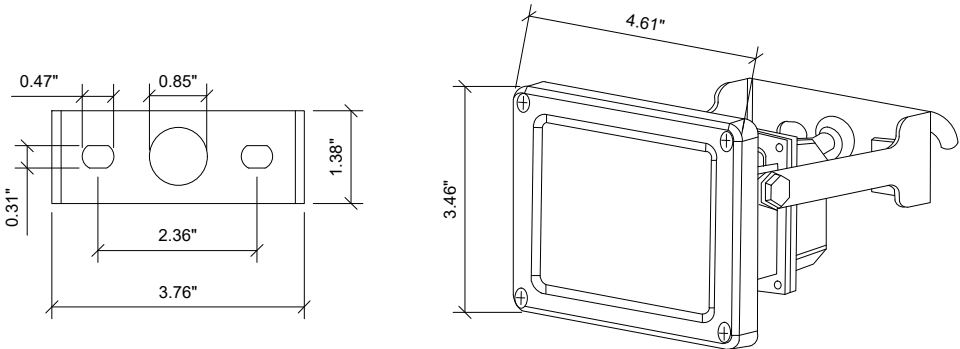
ELEVATION AND ANTENNAS PLAN VIEW

SHEET NUMBER

C-3

NOTES:

- (1) SIGMA TWO GANG CLEAR COVER, EXTRA DUTY WITH LOCKABLE ENCLOSURE.
- (1) INTERMATIC 60 MINUTE MECHANICAL TIMER, FF60MC.
- (1) CAST ALUMINUM, 2 GANG WEATHERPROOF FS BOX, NO LUGS, DEEP BOX. APPLETON FS-2-75A OR HUBBELL-KILLARK 2FS-1.
- USE BACK OF GANG BOX FOR ENTRY INTO PPC, SEAL FLUSH AGAINST PPC WITH GASKETING MATERIAL, AND/OR SEAL EXTERIOR PERIMETER WITH SILICONE BEAD TO PREVENT WATER INTRUSION.
- (1) GFCI 15 AMP LEVITON WEATHER RESISTANT GFWT1-HGT WITH SELF-TEST FEATURE (SEE [HTTP://WWW.LEVITON.COM/EN/PRODUCTS/GFCIS-AND-AFCIS/GFCI-RECEPTACLES/WEATHERRESISTANT-DUPLEX-FOR-ALTERNATES](http://www.leviton.com/en/products/gfcis-and-afcis/gfci-receptacles/weatherresistant-duplex-for-alternates)), 2-POLE, 3-WIRE, 15AMP, 125 VOLT, 5-15R NEMA, WALL BOX MOUNT, LIGHT ALMOND, HEAVY DUTY, COMMERCIAL GRADE. NOTE: NO RESIDENTIAL GRADE GFCI ALLOWED.
- (2) OUTDOOR FLOOD LIGHTS, RATED INITIAL LUMENS > 1,260 EACH FLOOD. [HTTP://WWW.MAXLITE.COM/PRODUCTS/SMALL-FLOOD-LIGHTS/FLS15U50B](http://www.maxlite.com/products/small-flood-lights/fls15u50b) OR EQUIVALENT MAXLITE MODEL FLS15U50B/N, @ 1,235 LUMENS.
- TYPICAL INSTALLATION, REGARDLESS OF PPC STYLE OR TYPE OR EXISTING OUTLETS.
- LIGHT TIMER ON 15A CIRCUIT, LIGHT CONTROLLED BY COUNTDOWN TIMER. GFCI ON SEPARATE 15A CIRCUIT.
- IF PPC HAS EXISTING INTERIOR MOUNTED GFCI, IT TOO SHALL BE WIRED FOR SERVICE.
- EQUIVALENT MEETING SERVICE REQUIREMENTS, OR BETTER, EQUIPMENT MAY BE SUBSTITUTED AND INSTALLED WITH PRIOR T-MOBILE PM OR CM APPROVAL.



SAMPLE INSTALATION

1 LIGHT DETAIL (MAXLITE PART# FLS15U50B)
SCALE: N.T.S.

NOTE:

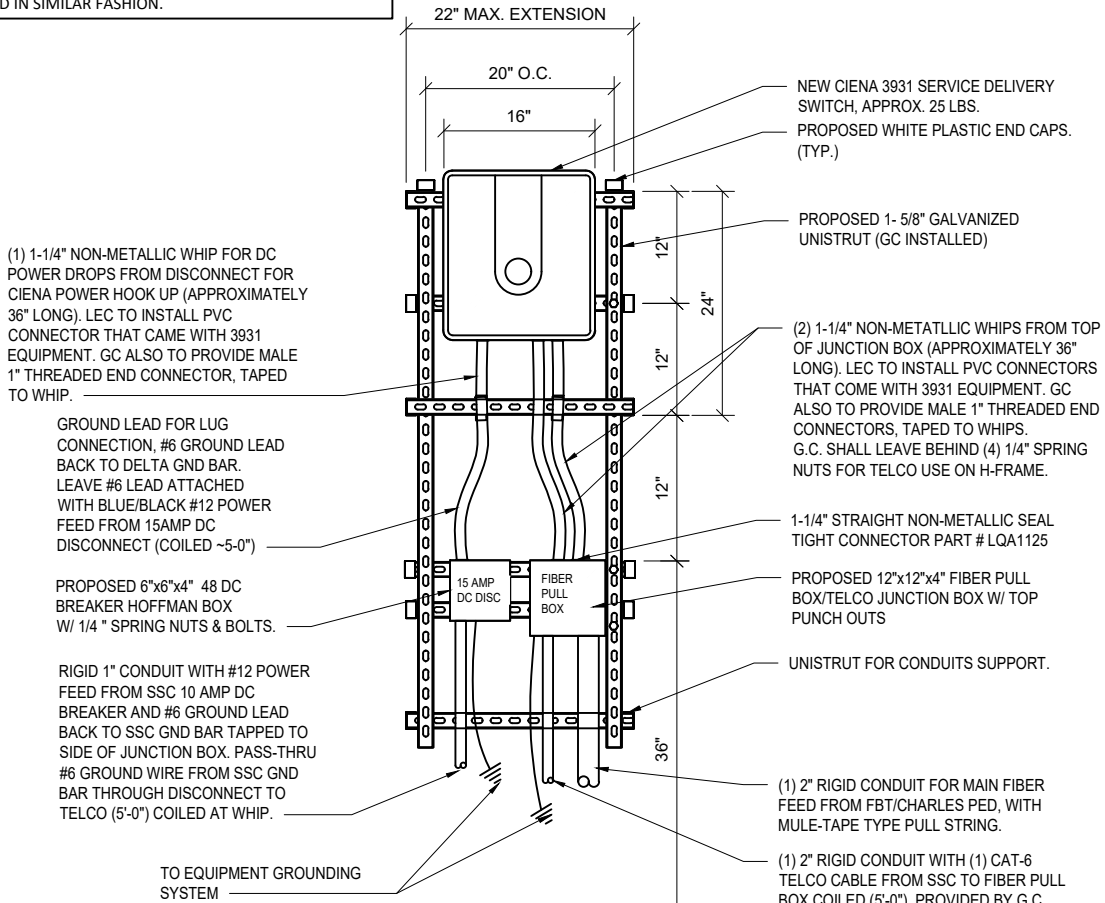
G.C. TO PROVIDE A SET OF 1/4" SPRING NUTS IN BAG FOR AT&T USE FOR CIENA. IF THIS IS A RAC24 G.C. TO BE PROVIDED CABINET AND SHALL MOUNT IN LIKE LOCATION AND IN SIMILAR FASHION.

ABBREVIATIONS:

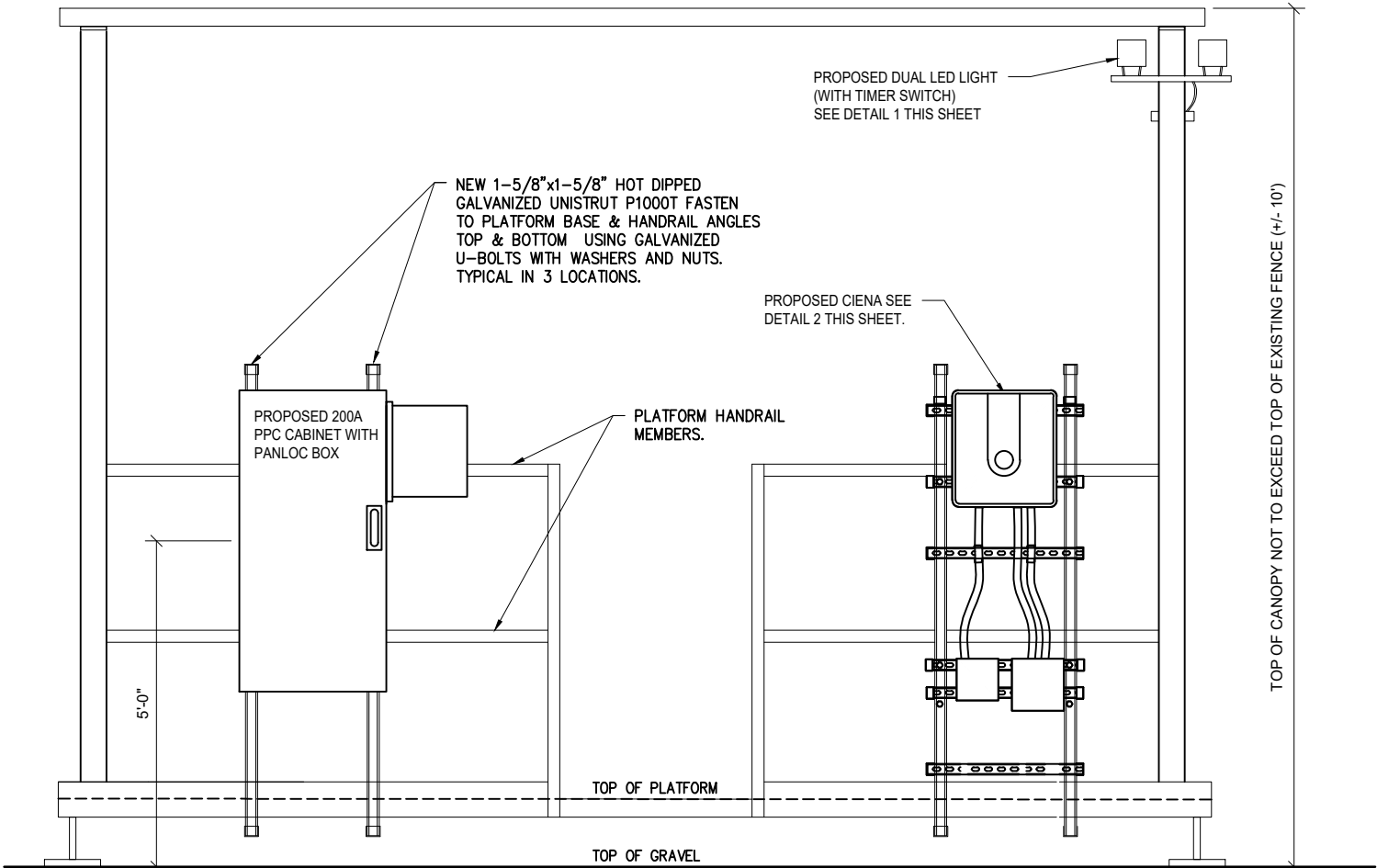
G.C. : GENERAL CONTRACTOR
LEC : LOCAL EXCHANGE CARRIER

NOTE:

ALL UNISTRUT, FASTENERS, HARDWARE, ETC, ARE TO BE EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL.
G.C. IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



2 CIENA DETAIL
SCALE: N.T.S.



3 UTILITY H-FRAME DETAIL
SCALE: N.T.S.

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CHECKED BY: AB

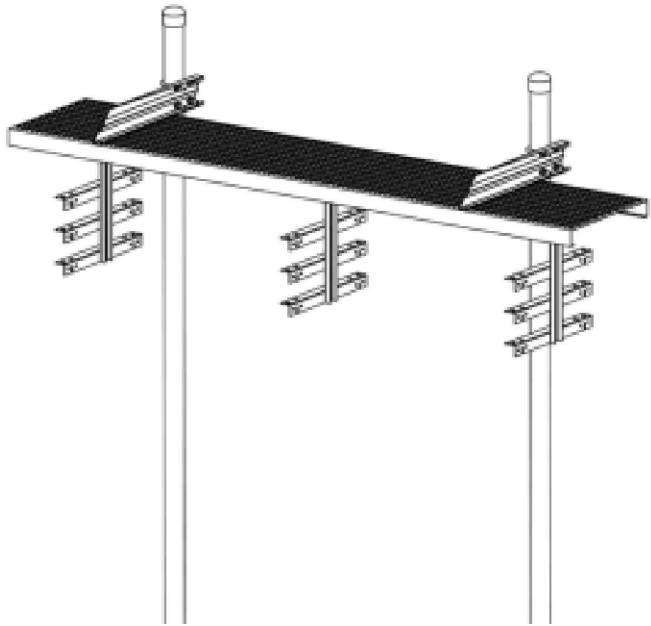
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SHEET TITLE

SITE
DETAILS

SHEET NUMBER

C-4

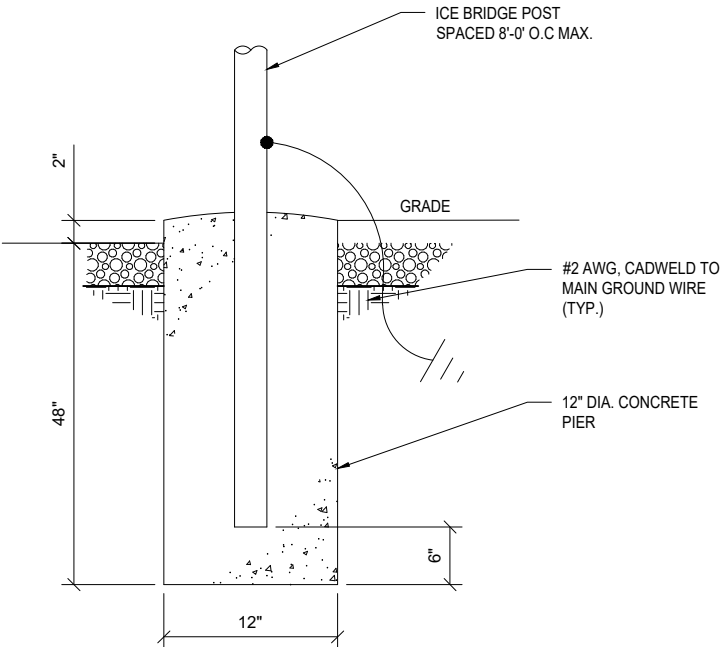


GENERAL SPECIFICATIONS

Product Type	Waveguide Bridge
Includes	Grip strut, support brackets, posts, trapeze kits, pipe caps
Material Type	Hot-dip galvanized, minimum A36 Steel, 14 gauge galvanized grip strut
Package Quantity	Kit of 1

MECHANICAL CHARACTERISTICS

Length	120 in
Width	12 in
Height	174 in
Weight	330 lb

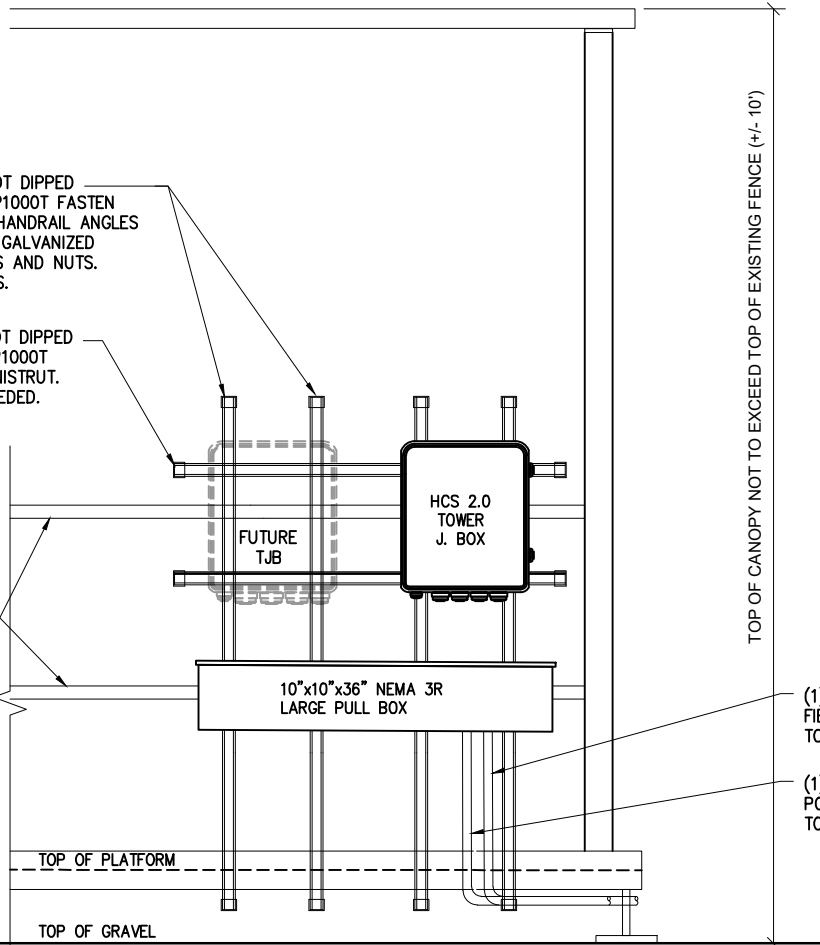


1 ICE BRIDGE DETAIL
SCALE: N.T.S.

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO PLATFORM BASE & HANDRAIL ANGLES TOP & BOTTOM USING GALVANIZED U-BOLTS WITH WASHERS AND NUTS. TYPICAL IN 3 LOCATIONS. TYPICAL 2 PER TJB

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO VERTICAL UNISTRUT. G.C. TO PROVIDE AS NEEDED.

PLATFORM HANDRAIL MEMBERS.



(1) NEW 3" RIGID CONDUIT FOR FIBER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.

(1) NEW 3" RIGID CONDUIT FOR DC POWER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.

2 HCS 2.0 TOWER JUNCTION BOX H-FRAME DETAIL
SCALE: N.T.S.

NOTE:

G.C. TO ROUTE GPS CABLE BACK TO OVPs TROUGH PULL BOX, ROUTE WITH FIBER JUMPERS THROUGH THE 3" RMC CONDUIT TO HPL3 CABINET AND TERMINATE INSIDE THE CABINET AT THE CSR IXR_e ROUTER.

NOTES:

1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIA. SCH 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE MINIMUM OF 18 INCHES IN LENGTH TO FUNCTION PROPERLY. THE CUT PIPE END SHALL BE DEBARRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.

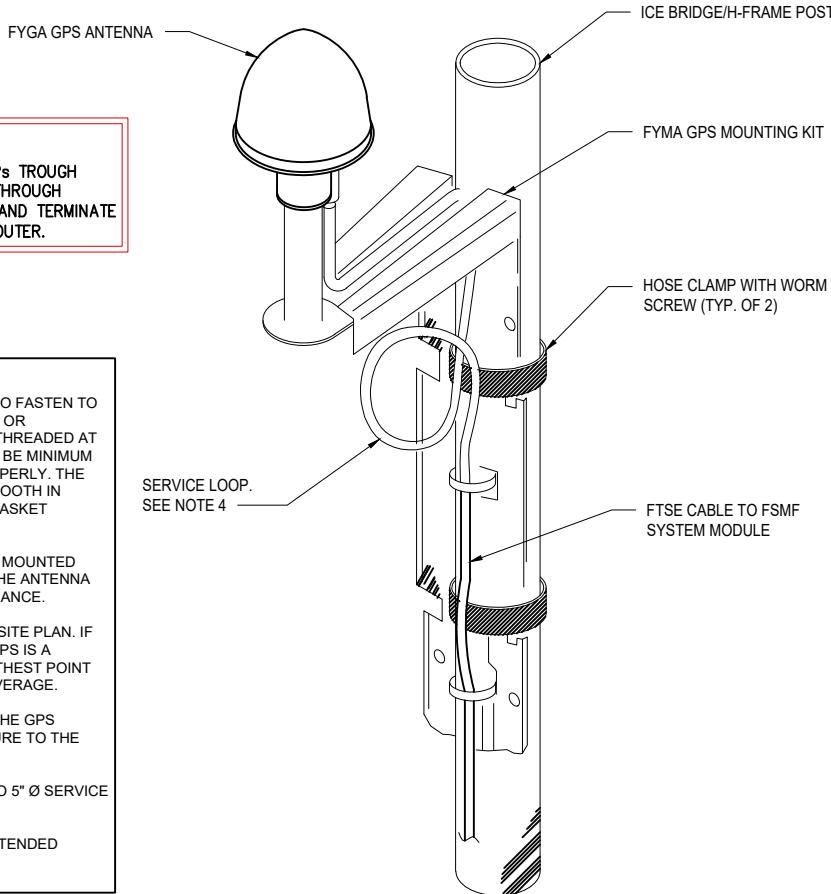
2. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" LEVEL FOR MAXIMUM PERFORMANCE.

3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE BRIDGE ENSURE THAT GPS IS A MINIMUM OF 10' ABOVE GRADE ON THE FURTHEST POINT FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.

4. GENERAL CONTRACTOR SHALL ENSURE THE GPS ANTENNA HAS THE REQUIRED FULL EXPOSURE TO THE SOUTHERN HEMISPHERE/HORIZON.

4. GENERAL CONTRACTOR TO PROVIDE 4" TO 5" Ø SERVICE LOOP.

5. GC TO ENSURE THAT GPS ANTENNA IS EXTENDED ABOVE CANOPY.



3 FYGA GPS ANTENNA DETAIL
SCALE: N.T.S.

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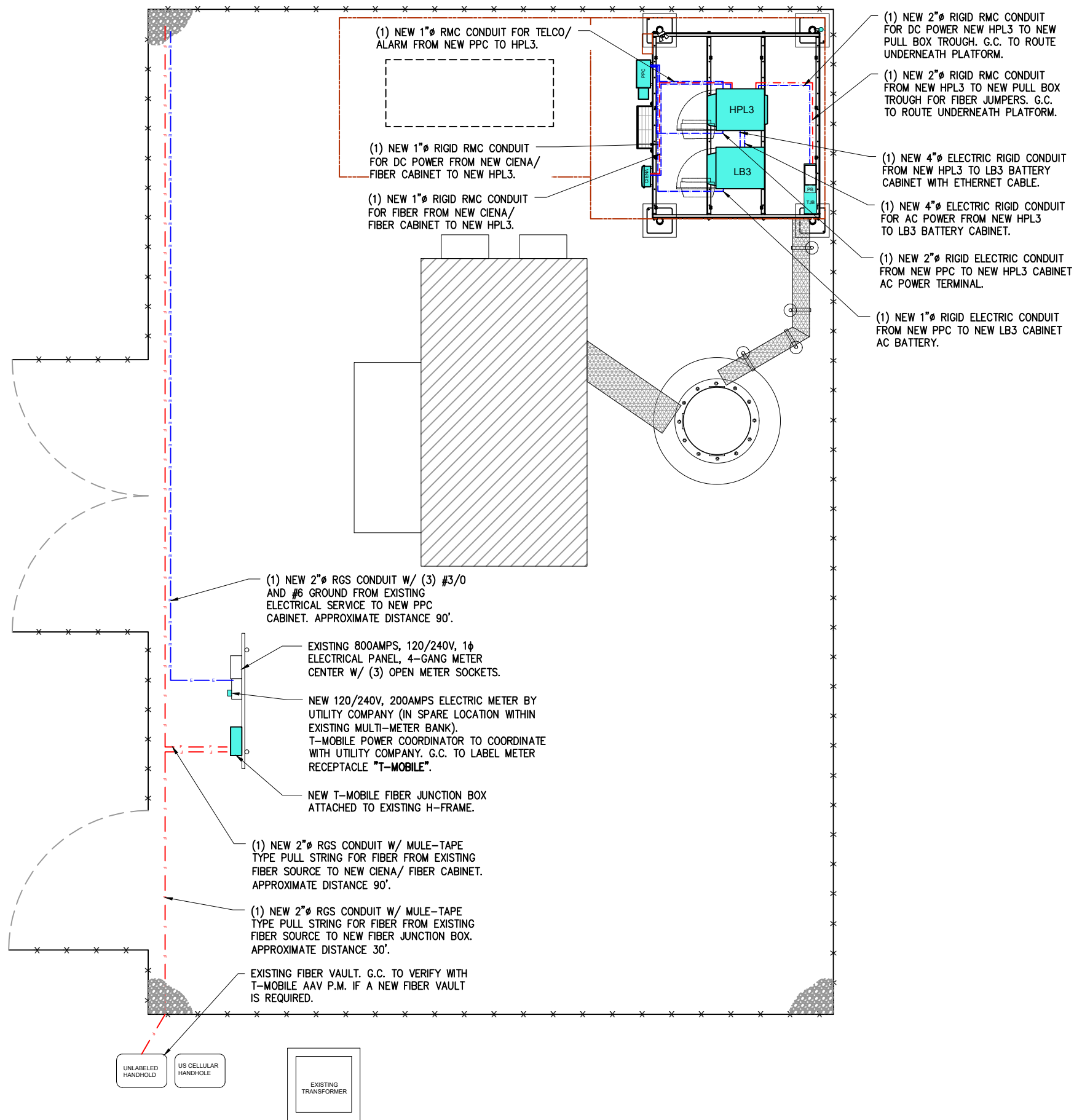
APPROVED BY: RA

SHEET TITLE

SITE
DETAILS

SHEET NUMBER

C-5



NOTES:

1. CONTRACTOR SHALL COORDINATE METER SOCKET LOCATION AND TYPE WITH POWER COMPANY.
2. CONTRACTOR SHALL INSTALL CONDUIT AND WIRE TO THE BTS SITE. COIL WIRES, SEAL CONDUIT WIRE ENDS FROM MOISTURE INFILTRATION. LEAVE WIRE TO TERMINATE AT RADIO CABINET PANEL, (MINIMUM OF 10 FEET).
3. COPPER GROUND WIRE SHALL BE BONDED TO SITE GROUNDING SYSTEM.
4. UNDERGROUND CONDUITS SHALL TRANSITION FROM PVC TO RIGID THROUGH THE SWEEP AND REMAIN RIGID INTO PANELS.
5. CONTRACTOR MAY MODIFY KNOCKOUT HOLES IN EQUIPMENT CABINETS TO ACCOMMODATE THE REQUIRED CONDUIT SIZES.
6. COORDINATE WITH RADIO CABINET MFG REQUIREMENTS FOR SIZE & NUMBER OF CONDUITS.
7. THE MINI- PPC IS SHIPPED IN TWO SECTIONS TO BE BOLTED TOGETHER ON SITE. THE COMBINED WEIGHT IS APPROX. 300 LBS.
8. SURGE PROTECTION IN TELCO CHAMBER IS REQUIRED ON ALL SITES WITH EXTERNAL. ALARM POINT MONITORING. NORTHERN TECHNOLOGIES INC DLP-43 DATA LINE PROTECTOR SHALL BE USED.
9. SERVICE POWER SHALL BE (120/240VAC, 200A, 1Ø, 3W) OR (120/208VAC, 200A, 3Ø, 4W)
10. 200A METER BASE SHALL BE INSTALLED WHERE IT IS ACCESSIBLE FOR READOUT. THE NUMBER OF JAWS IN THE METER SOCKET AND THEIR ARRANGEMENT DEPENDS ON THE VOLTAGE SERVICE. COORDINATE WITH POWER COMPANY
11. CABLE SIZES SHALL BE ADJUSTED TO COMPENSATE FOR VOLTAGE DROP IF LONGER THAN 180FT. VERIFY CONDUIT SIZE WHEN CHANGING CABLE SIZE.
12. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY PPC MANUFACTURER.
13. ADDRESS SHALL BE POSTED BELOW THE METER
14. ANY 120 VOLT OUTLET LOCATED ON THE PPC SHALL HAVE GFCI PROTECTION PER NEC SECTION 210-8.
15. CONTRACTOR TO SUPPLY AVAILABLE FAULT CURRENT CALCULATIONS AT THE SERVICE EQUIPMENT LINE TERMINATION POINT; AS WELL AS IMPEDANCE VALUE AND SIZE OF SERVICE CONDUCTORS. ALL SERVICE AND BRANCH PANELS SHALL BE RATED FOR THE AVAILABLE FAULT CURRENT. DISTANCE AND CONDUCTOR SIZES MUST BE FURNISHED TO INSPECTOR.
16. EMERGENCY AND BATTERY BACKED UP EXIT LIGHTING CIRCUITS SHALL BE MARKED SPECIFICALLY IN THE ELECTRICAL PANEL AS SUCH. (NEC 700.12.E). THE FIRE DEPARTMENT WILL BE TESTING THESE DEVICES EVERY SIX MONTH DURING BUSINESS HOURS BY SHUTTING THESE CIRCUITS (KEEP CRITICAL LOADS OFF THESE CIRCUITS). IF THE PRIMARY SOURCE OF ILLUMINATION IS HID, THE EMERGENCY LIGHTS SHALL BE REQUIRED TO OPERATE UNTIL NORMAL ILLUMINATION IS RESTORED. (NEC 700.16).
17. CONTRACTOR SHOULD ENSURE THAT ANY GENERATOR SUPPLYING THIS SITE SHOULD HAVE THE GROUND TO NEUTRAL STRAP REMOVED AS THIS IS A 2 POLE TRANSFER SWITCH WITH A SOLID NEUTRAL.

CONDUITS AND WIRING

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.

COORDINATION WITH UTILITY COMPANY

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANIES FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS

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CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
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BELIEF COMPLY WITH REQUIREMENTS OF THE
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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

PROPOSED UTILITY
SITE PLAN AND NOTES

SHEET NUMBER

E-1

1

PROPOSED UTILITY EQUIPMENT PLAN VIEW

SCALE: 1/4" = 1'-0"

NO.	FROM	TO	WIRES	GROUND	CONDUIT SIZE	FUNCTION
①	PPC CABINET	HPL3 SITE SUPPORT CABINET	(2) 3/0 & (1) #4 NEUTRAL	(1) 3/0	2" RCM	AC POWER FEEDER
②	PPC CABINET	HPL3 SITE SUPPORT CABINET	(1) PAIR OF BELDEN 27916A #16 AWG	N/A	1" RCM	ALARM
③	CIENA DELIVERY SWITCH	HPL3 SITE SUPPORT CABINET	40' SM FIBER	N/A	1" RCM	FIBER TO SSC
④	HPL3 SITE SUPPORT CABINET	CIENA POWER J. BOX	(2) #12	(1) #6	1" RCM	DC POWER
⑤	HPL3 SITE SUPPORT CABINET	OVP/ FIBER J. BOX	(3) PAIRS OF #2	N/A	2" RCM	DC POWER
⑥	HPL3 SITE SUPPORT CABINET	OVP/ FIBER J. BOX	30' FIBER JUMPERS	N/A	2" RCM	FIBER TO SSC
⑦	HPL3 SITE SUPPORT CABINET	LB3 BATTERY CABINET	(2) CAT-5 CABLES	N/A	4" RCM	BATTERY ALARM
⑧	HPL3 SITE SUPPORT CABINET	LB3 BATTERY CABINET	(2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12	N/A	4" RCM	DC POWER

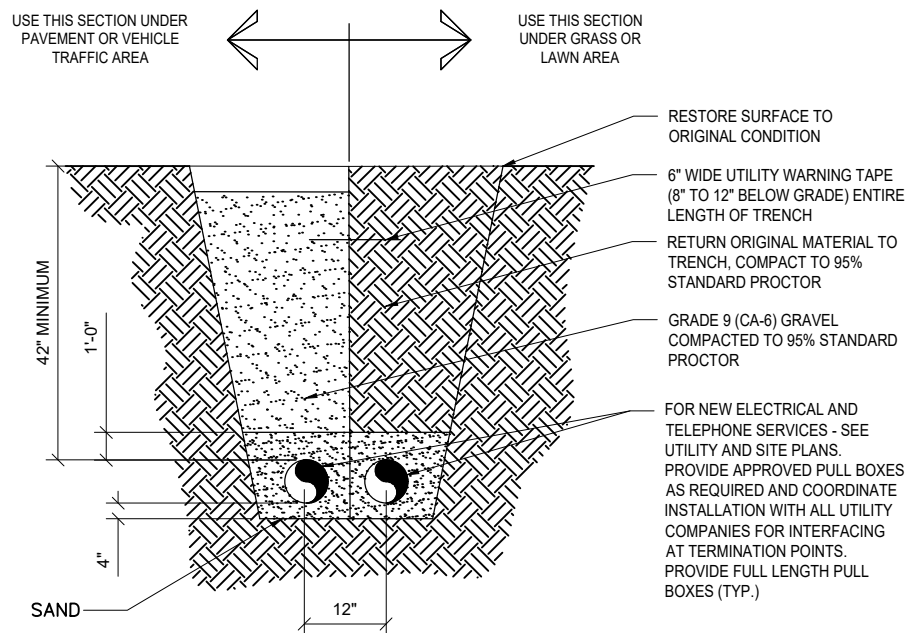
CONDUITS USE CASES			
CONDUIT TYPE	USE CASE	LOCATION	USE CASE EXAMPLE
RIGID	AC POWER	ABOVE GROUND	ABOVE GROUND PPC TO SSC
PVC	AC POWER	UNDER GROUND	UNDERGROUND PPC TO SSC OR BACK HAUL TRANSPORT HUB TO SSC
LFMC	AC, DC, COMM	MAX 6' PER RUN, ABOVE GROUND ONLY	TIGHT LOCATION BTW HUB AND CONDUIT, BUT NOT TO BE USED WHERE IT CAN BE STEPPED ON
EMTT	INDOOR AC, DC, COMM	INDOORS NOT EXPOSED TO THE OUTDOOR ENVIRONMENT (MUST BE DRY)	PPC TO JUNCTION BOX
LFNC	GROUND WIRE	CONCEALING AND PROTECTING BTCW RISERS ONLY	GROUNDING TO MGB OR SSC

1. CONTRACTOR TO PRIVATELY LOCATE ALL EXISTING UNDERGROUND CONDUITS AND GROUND RING WITHIN CONSTRUCTION AREA PRIOR TO ANY EXCAVATION AND HAND DIG WHEN CRITICAL AREAS.
2. CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS.
ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS
3. ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)
4. ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.
5. ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.
6. SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT
7. ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".
8. IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS
9. EMT IS ONLY ALLOWED INDOOR.
10. CONTRACTOR TO PROPERLY SEALED AND WEATHERPROOF ALL CONDUITS AND TANK PENETRATIONS THAT ARE NO LONGER BEING USED.

A- ALL FIBER AND COMMUNICATION CABLES MUST BE IN THEIR OWN CONDUIT UNLESS SPECIFICALLY STATED TO DO OTHERWISE.
B- ALL CONDUIT MUST BE PROPERLY SECURED, AND WEATHER PROOFED TO PREVENT CABINET/CABLE DAMAGE/WATER INGRESS.
C- NO LB CONDUIT BODIES ARE TO BE USED BETWEEN THE HPL3 AND BATTERY CABINETS.
D- ALL EXPOSED CONDUIT THREADS OR CUT EDGES ARE TO BE COATED WITH COLD GALVANIZING SPRAY.
E- FLEXIBLE CONDUIT IS MAX 6' LENGTH, ONLY IN TIGHT LOCATIONS. NOT TO BE USED AS A RIGID CONDUIT REPLACEMENT.
F. ALL CONDUITS (OTHER THAN COVP POWER / FIBER) ARE TO BE BURIED WHEN APPLICABLE.
ALL DARK CONDUITS ARE TO BE FULLY REMOVED AND PORT HOLES PROPERLY CAPPED AS NEEDED.
G. ANY TIME A DUCT BACK OR PORT IS ALTERED, IT NEEDS TO BE PROPERLY SEALED WITH A PORT BOOT. EXPANDING FOAM IS NOT ALLOWED.

1- G.C. SHALL MAKE SURE TO PROPERLY INSTALL & WIRE THE OVP's PER MANUFACTURER SPECIFICATION.
 - HCS 1.0 SHALL EQUIPPED WITH (4) SETS OF 2#6 AWG WIRES (BLUE & BLACK INSULATED), PROTECTED BY A 200A DC BREAKER INSIDE THE HPL3 POWER SYSTEM.
 - HCS 2.0 SHALL EQUIPPED WITH (3) SETS OF 2#2 AWG WIRES (BLUE & BLACK INSULATED), EACH PROTECTED BY A 100A DC BREAKER (TOTAL OF 3 100A BREAKERS) INSIDE THE HPL3 POWER SYSTEM.
 - IF TOWER J. BOX REQUIRES VOLTAGE BOOSTER, THE CIRCUITS SHALL BE FED FROM VOLTAGE BOOSTER OUTPUT TERMINAL REFER TO SHEET RF-4 FOR BOOSTER WIRING DIAGRAM.

2- G.G. TO KEEP FUTURE GROWTH AREA CLEAR FROM CONDUITS AND OR EQUIPMENT.

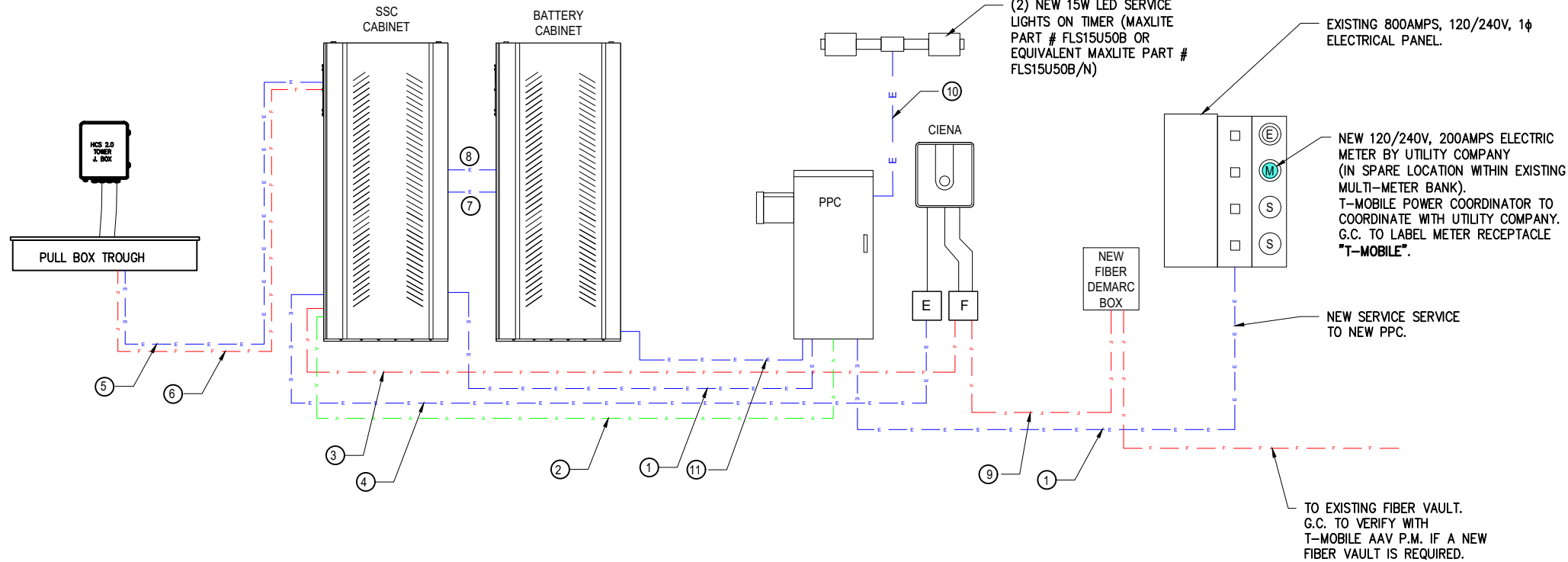


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SYMBOL LEGEND:

- 2" RMC FOR AC POWER WITH (2) 3/0 & (1) #4 NEUTRAL AND (1) 3/0 GROUND
- 1" RMC FOR TELCO ALARM WITH (1) PAIR OF BELDEN 27916A #16 AWG
- 1" RMC FOR FIBER WITH 40' SM FIBER.
- 1" RMC FOR DC POWER WITH (2) #12 & (1) #6 GROUND
- 3" RMC FOR DC POWER WITH (3) PAIRS OF #2
- 3" RMC FOR FIBER WITH FIBER JUMPERS
- 4" RMC FOR BATTERY ALARM WITH (2) CAT-5 CABLES
- 4" RMC FOR DC POWER WITH (2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12
- 2" RMC FOR NEW FIBER SERVICE
- 3/4" RMC WITH #6 AWG WIRES FOR LIGHT
- 1"Ø RMC FROM PPC TO LB3 CABINET AC BATTERY



FIBER CONNECTION SOURCE TO BE CONFIRMED WITH T-MOBILE PRIOR TO CONSTRUCTION START

1 UTILITIES DIAGRAM
SCALE: N.T.S

T-MOBILE SITE NUMBER: VOLTAGE: MAIN BREAKER: MOUNT: ENCLOSURE TYPE: PANEL STATUS:				240V/120 200AMP H-FRAME NEMA 3R NEW				MODEL: PHASE: BUSS RATING: NEUTRAL BAR: N TO GROUND BOND: INTERNAL TVSS:				POWER TRANSFER CABINET OR APPROVED EQUAL 1 WIRE: 3 200AMPS AIC: 22,000 YES GROUND BAR: YES YES			
CKT	LOAD DESCRIPTION	BREAKER AMPS	BREAKER POLES	BREAKER STATUS	SERVICE LOAD VA	USAGE FACTOR	PHASE A VA	PHASE B VA	USAGE FACTOR	SERVICE LOAD VA	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION	CKT
1	SURGE APPROX	30	2	ON	400	1.25	1000		1.25	4200	ON	4	200	HP SITE SUPPORT CABINET	2
3				ON		1.25		10500							4
5	SERVICE LIGHT	20	1	ON	500	1	500								6
7				ON		0	0	10500							8
9				N/A	0	0	0		0	0	N/A				10
11				N/A	0	0	0	0	0	0	N/A				12
13				N/A	0	0	0		0	0	N/A				14
15				N/A	0	0	0		0	0	N/A				16
17				N/A	0	0		0	0	0	N/A				18
19				N/A	0	0	0		0	0	N/A				20
21				N/A	0	0	0	0	0	0	N/A				22
23				N/A	0	0	0		0	0	N/A				24
							1500	21000	VA			TOTAL KVA	22500		
												AMPS	93.75		

CONTRACTOR NOTES - PPC:

- FURNISH & INSTALL ALL CIRCUIT BREAKERS PER PANEL SCHEDULE
- LABEL CIRCUIT BREAKER W/ PERMANENT PLASTIC LABELS NOTING FUNCTION OF BREAKER
- REPLACE MISSING COMPARTMENT ACCESS SCREWS LOST DURING INSTALLATION
- VERIFY ENCLOSURE IS RODENT-PROOF AFTER INSTALLATION OF CABINET AND CONDUITS
- FACTORY INSTALLED NEUTRAL-GROUNDING BOND JUMPER INSIDE THE PPC SHALL BE REMOVED

2 ELECTRICAL PANEL SCHEDULE
SCALE: N.T.S

T-MOBILE ELECTRICAL SCOPE OF WORK:

1. CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS. ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS

2. ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)

3. ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.

4. ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.

5. 3/4" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO NSN SYSTEM MODULES FOR POWER DELIVERY.

6. 1" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR POWER DELIVERY.

7. 2" CONDUIT IS TO BE RUN FROM 12X12X4 HOFFMAN BOX TO COVP FOR POWER DELIVERY.

8. 1" CONDUIT IS TO BE RUN FROM THE 6X6X4 HOFFMAN TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR ETHERNET DELIVERY.

9. 3/4" CONDUIT IS TO BE UTILIZED TO DELIVER ETHERNET FROM CSR TO NSN SYSTEM MODULES.

10. SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT

11. 2" CONDUIT IS TO BE USED TO DELIVER POWER FROM PPC TO SSC.

12. 2" CONDUIT IS TO BE RUN TO BRING POWER FROM OUR SOURCE TO T-MOBILE METER.

13. 2" CONDUIT IS TO BE RUN FROM OUR METER TO OUR PPC (UNLESS LARGER THAN 3 AWG I.E. 300 OR 500 MCM IS REQUIRED DUE TO VOLTAGE DROP WITH A LONG RUN)

14. 2" CONDUIT IS TO BE RUN FROM FBT, CIENA, OR OTHER TELCO SOURCE TO T-MOBILE TELCO H-FRAME

15. ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".

16. IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS

17. EMT IS ONLY ALLOWED INDOOR.

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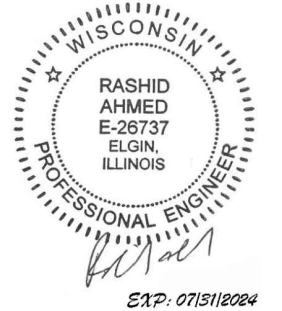
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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE
UTILITIES DIAGRAM &
ELECTRICAL PANEL
SCHEDULE

SHEET NUMBER

E-3

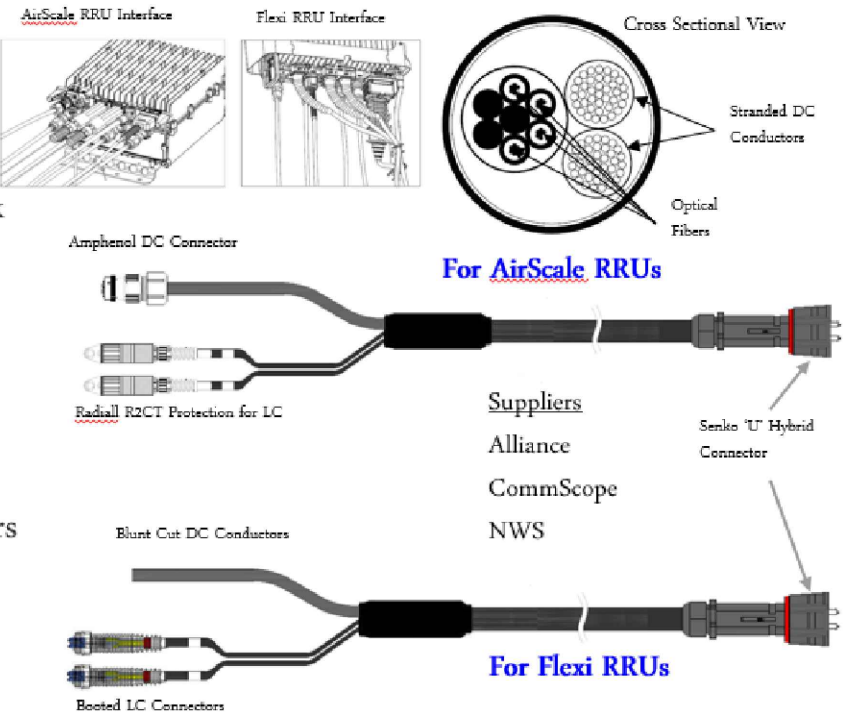
CUSTOM CONFIGURATION – TOWER TOP EQUIPMENT SCHEDULE													
ANTENNA SECTOR	ANTENNA MARK	ANTENNA MODEL #	TECHNOLOGY	ELECTRICAL TILT	MECHANICAL TILT	RAD CENTER	AZIMUTH	RRU MODEL	DIPLEXER MODEL	TOWER TOP COVP MODEL	RF JUMPERS	HYBRID JUMPERS	ESTIMATED MFR. HCS 2.0 TRUNK LENGTH (TO BE VERIFIED IN FIELD)
ALPHA	A1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	90°	AHLOA (P) AHFIG (P)	-	HCS 2.0 PENDANT A (P)	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	(1) 150' HCS 2.0 TRUNK A (P) (EXACT LENGTH TO BE FIELD VERIFY)
	A2	-	-	-	-			-	-	-	-	-	-
BETA	B1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	180°	AHLOA (P) AHFIG (P)	-	SHARED PENDANT A	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	SHARED HCS 2.0 TRUNK A
	B2	-	-	-	-			-	-	-	-	-	-
GAMMA	C1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	350°	AHLOA (P) AHFIG (P)	-	SHARED PENDANT A	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	SHARED HCS 2.0 TRUNK A
	C2	-	-	-	-			-	-	-	-	-	-

NOTE: ANTENNAS PLACEMENT, ELCT. & MECH. TILT, AND RRU's TO BE VERIFIED WITH T-MOBILE C.M. PRIOR TO CONSTRUCTION STARTS

NOTE:
G.C. SHALL FIELD MEASURE AND DETERMINE THE EXACT REQUIRED NEW HCS 2.0 TRUNK LENGTH TO EACH SECTOR AND PROVIDE CABLES LENGTHS TO T-MOBILE CONSTRUCTION MANAGER TO ENSURE THE CORRECT LENTHS ARE CAPTURES ON THE FINAL RFDS AND T-MOBILE BILL OF MATERIAL (B.O.M).

1 ANTENNA SCHEDULE
SCALE: N.T.S.

- Outer diameter: 0.72"
- Weight: 0.34 lb/ft
- Operating Temp: -40 °C to +75 °C
- Connectorized for mating with tower top trunk cable breakout or roof top box
- DC and fiber interfaces versions for Nokia Airscale and Flexi RRUs
- Short (tower top 15') & long (roof top 20' - 250') Airscale versions available
- Also available with legacy booted LC connectors and blunt cut DC conductors for Flexi RRU applications



2 HYBRID JUMPER CABLE GENERAL SPECIFICATIONS
SCALE: N.T.S.

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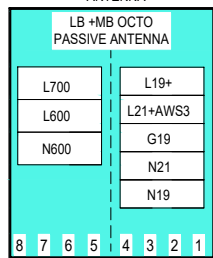
ANTENNA AND CABLE
SCHEDULE

SHEET NUMBER

RF-1

ALPHA SECTOR

POSITION # A1
COOMSCOPE
FFVW-65C-R3-V1
ANTENNA



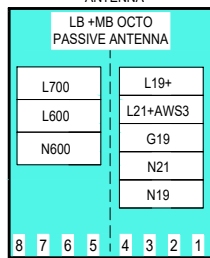
RF JUMPER,
TYP.

PROPOSED
PENDANT A
A

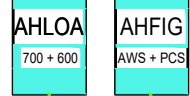
HCS 2.0 HYBRID
JUMPER. TYP.

BETA SECTOR

POSITION # B1
COOMSCOPE
FFVW-65C-R3-V1
ANTENNA

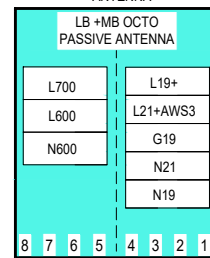


RF JUMPER,
TYP.

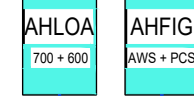


GAMMA SECTOR

POSITION # C1
COOMSCOPE
FFVW-65C-R3-V1
ANTENNA



RF JUMPER,
TYP.



HCS 2.0 HYBRID
JUMPER. TYP.

AT ANTENNA LEVEL
AT EQUIPMENT PLATFORM LEVEL

NOTE:

G.C. TO REFER TO FINAL RFDS AND PORT MATRIX TO ENSURE
ACCURATE EQUIPMENT CALLOUTS AND PLUMBING DIAGRAM.

LEGEND

EXISTING EQUIPMENT TO REMAIN
PROPOSED EQUIPMENT TO BE INSTALLED

LEGEND

RF CABLING ALPHA
RF CABLING BETA
RF CABLING GAMMA
HCS 2.0 TRUNK
HCS 1.0 HYBRID CABLE (E)
HCS 2.0 HYBRID JUMPER ALPHA
HCS 2.0 HYBRID JUMPER BETA
HCS 2.0 HYBRID JUMPER GAMMA

PROPOSED HCS 2.0
TRUNK.

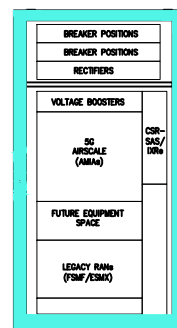


PULL BOX TROUGH

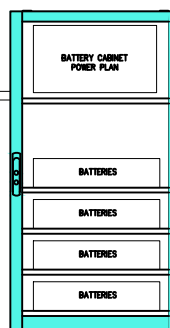
(1) NEW 3"Ø RIGID RMC CONDUIT
FOR DC POWER FROM OVP's
PULL BOX TO HPL3 CABINET.

(6) NEW BOTTOM FIBER JUMPERS ROUTED
INSIDE (1) NEW 3"Ø RIGID RMC CONDUIT
FROM OVP's PULL BOX TO HPL3 CABINET.

HPL3



LB3



PROPOSED
FYGA ANTENNA



1

PROPOSED RF PLUMBING DIAGRAM

SCALE: N.T.S.

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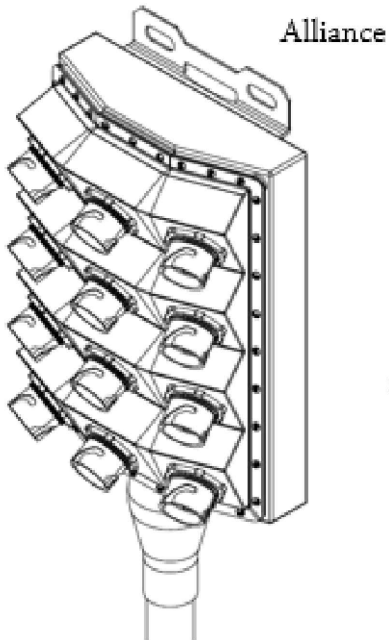
SYSTEM CONNECTION
DIAGRAM

SHEET NUMBER

RF-2

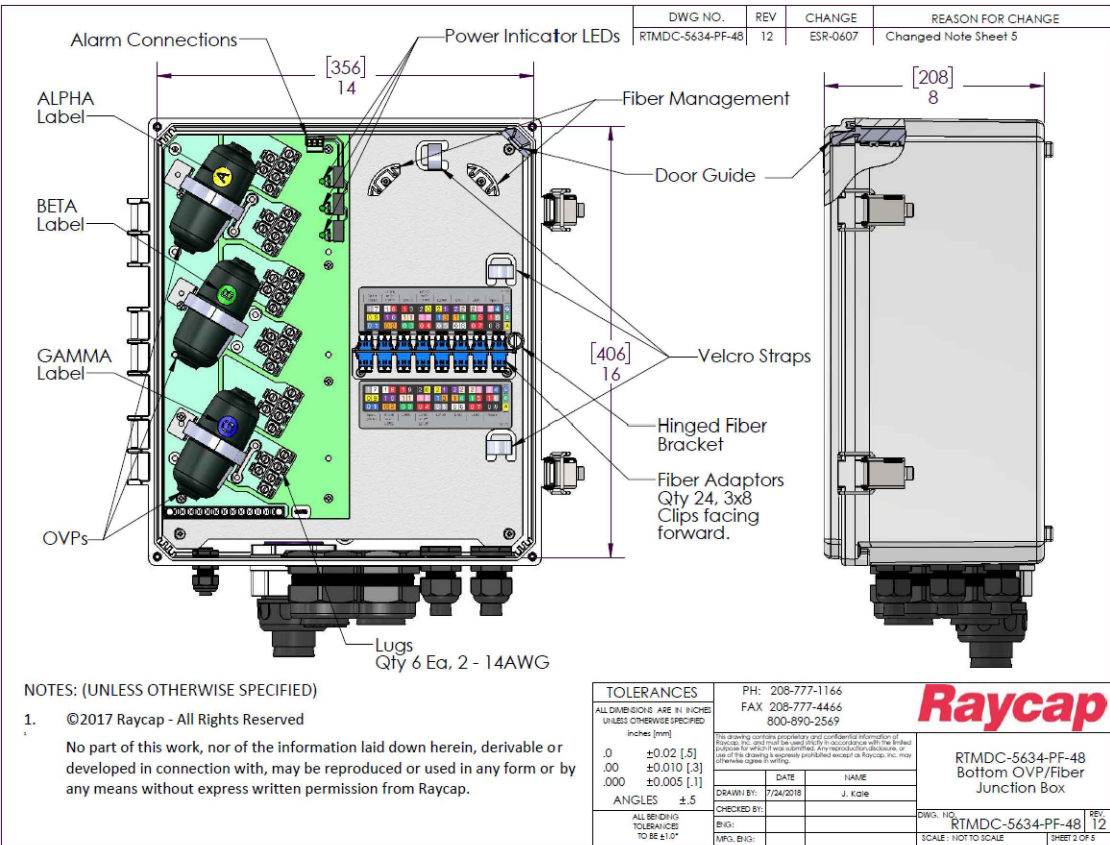
NOTE:
THE BREAKOUT BOX (PENDANT) IS PERMANENTLY ATTACHED TO THE TRUNK CABLE, IT IS NOT FIELD REMOVABLE/REPLACEABLE WITHOUT REPLACING THE ENTIRE TRUNK CABLE.

Dimensions, in.	9.3x14.9x5.8
in.	8
Weight	1.61 lb/ft
Port Interface	Senko U
Interface	
Hybrid Ports	12
Conductor	None
Termination	
Single Mode Fibers	48
Fibers	
Fiber Termination	LC pair
Termination	
Max RRU	12



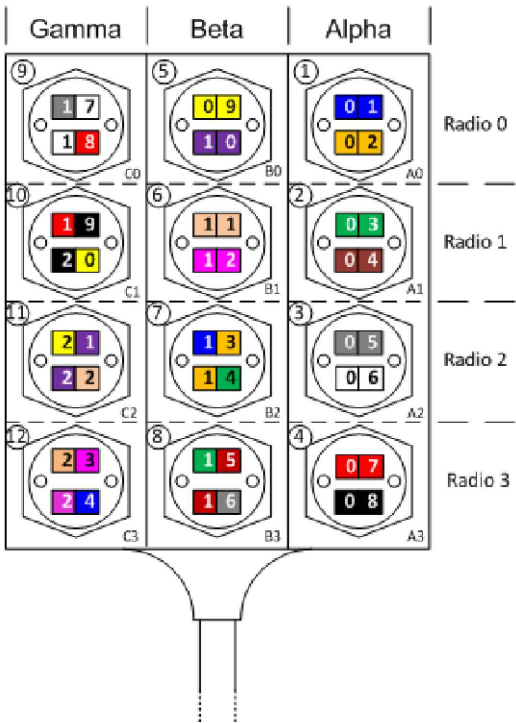
BREAKOUT BOX (PENDANT) WEIGHT: 3.59lbs

1 HCS 2.0 BREAKOUT BOX (PENDANT) SPECS
SCALE: N.T.S.



2 RAYCAP BOTTOM OVP SPECS
SCALE: N.T.S.

Breakout Feature



Radio 0		Radio 1		Radio 2		Radio 3	
Optical 1	Optical 2	Optical 1	Optical 2	Optical 1	Optical 2	Optical 1	Optical 2
1 7	1 8	1 9	2 0	2 1	2 2	2 3	2 4
0 9	1 0	1 1	1 2	1 3	1 4	1 5	1 6
0 1	0 2	0 3	0 4	0 5	0 6	0 7	0 8

← Gamma

← Beta

← Alpha



3 TOWER JUNCTION BOX HYBRID PORTS COLOR CODE
SCALE: N.T.S.

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CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE
NEW EQUIPMENT MFR.
SPECS & CONNECTION
DIAGRAM

SHEET NUMBER

RF-3

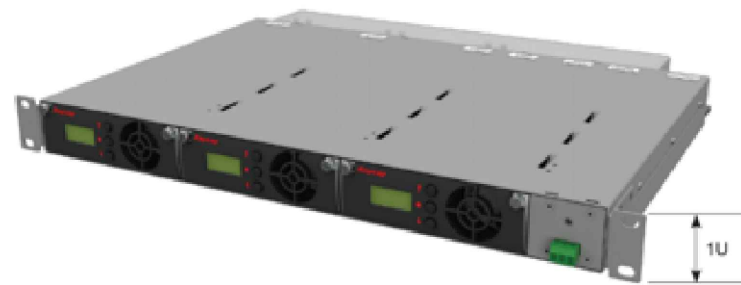


Figure 1 Raycap PowerPlus Voltage Booster (front view)

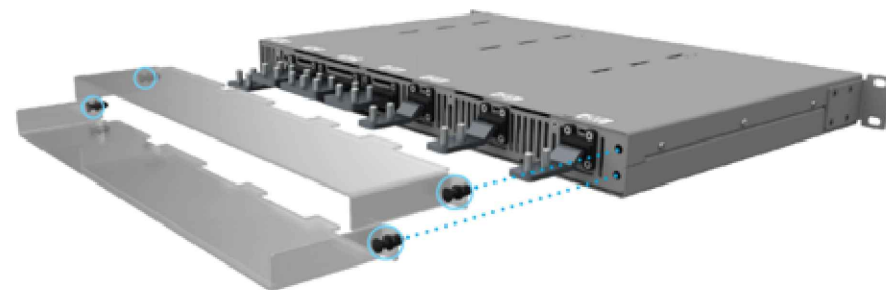
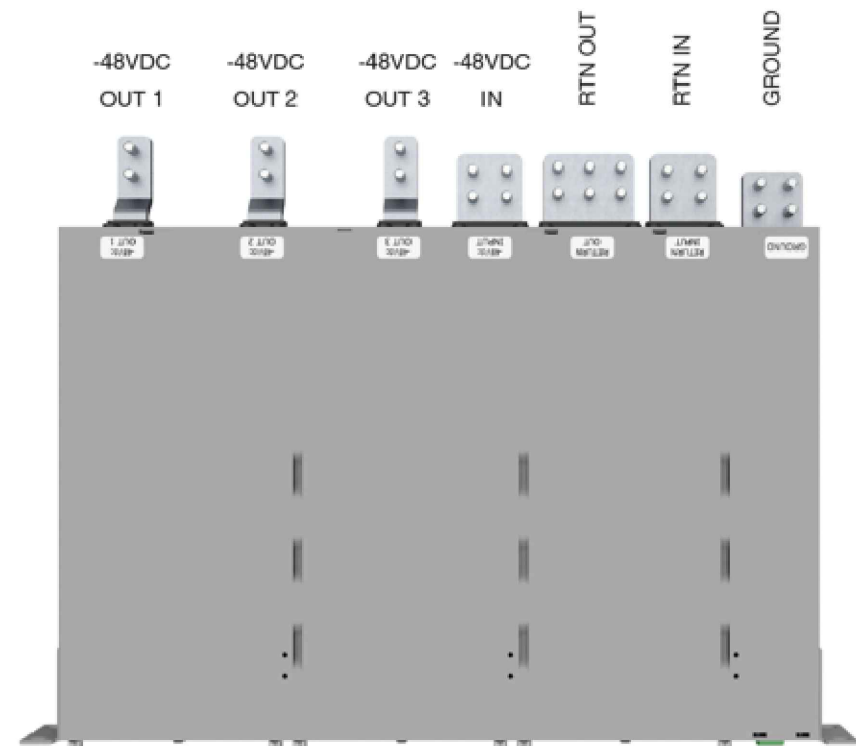


Figure 2 Raycap PowerPlus Voltage Booster (rear view; with touch guard)



3.2.2 Single Mode

For applications where the radios are fed power on a sector basis, i.e. HCS 2.0 tower and roof top, the PowerPlus shall be configured for Single Mode operation. Each output terminal pair feeds a sector in HCS 2.0.

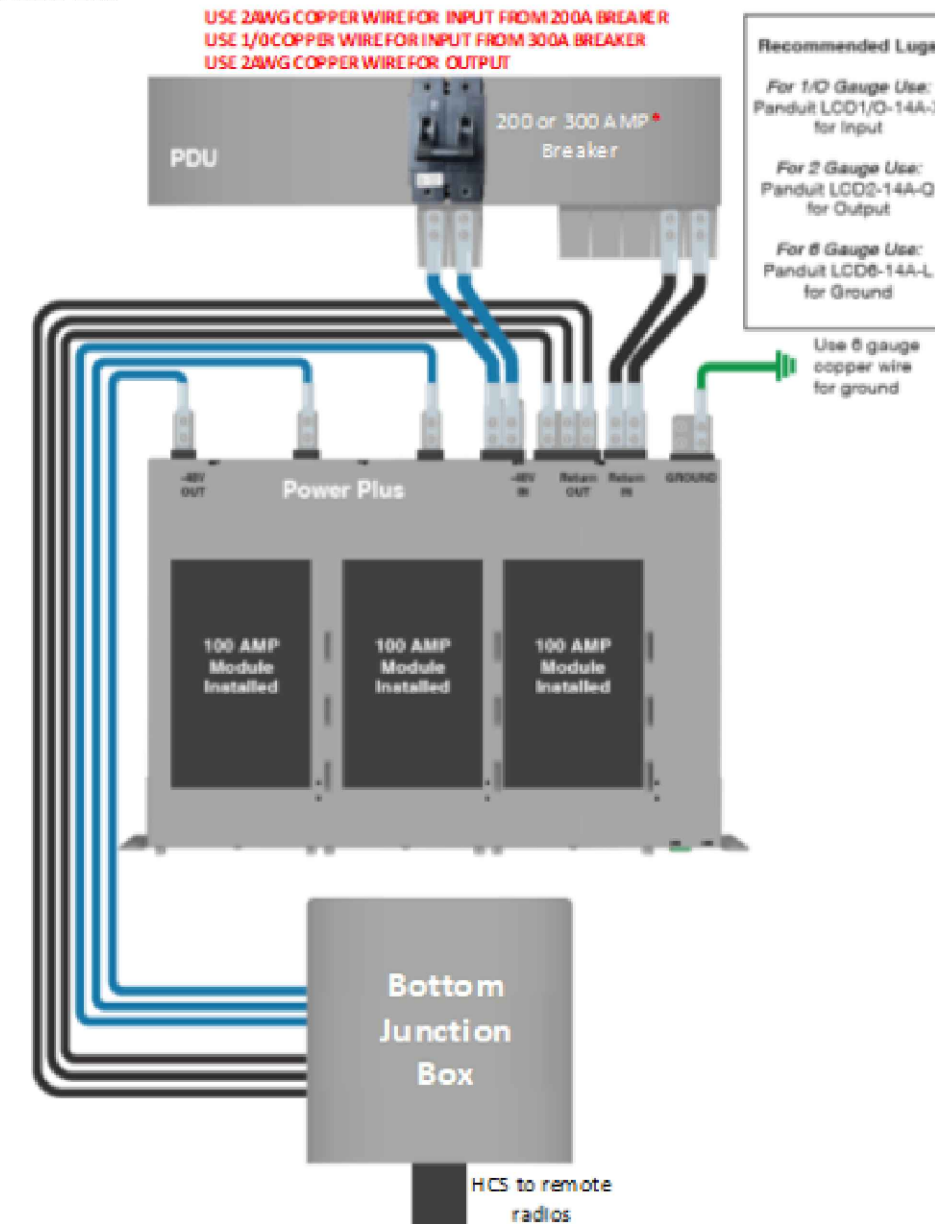


Figure 6 Single Mode Wiring (*300A solution under development for exceptional cases)

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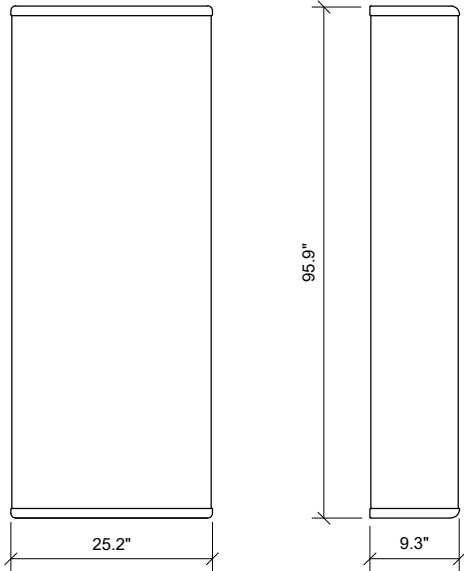
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RAYCAP POWERPLUS
VOLTAGE BOOSTER
MFR SPECS.

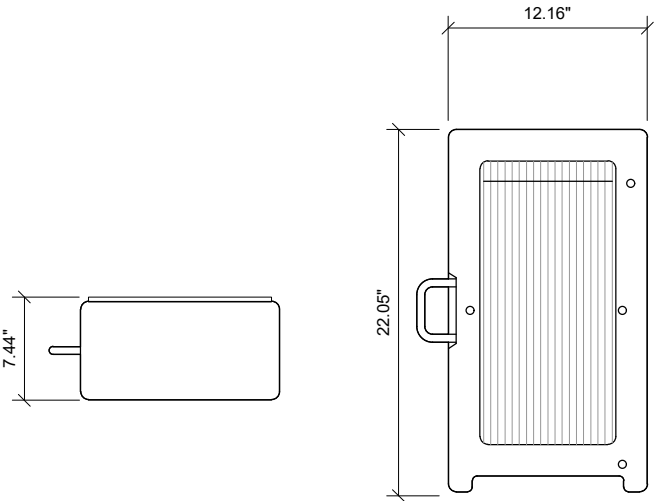
SHEET NUMBER

RF-4

MODEL #	COMMSCOPE/ FFV-65C-R3-V1
DIMENSIONS (HxWxD)	95.9" x 25.2" x 9.3"
NET WEIGHT	124.6 lbs



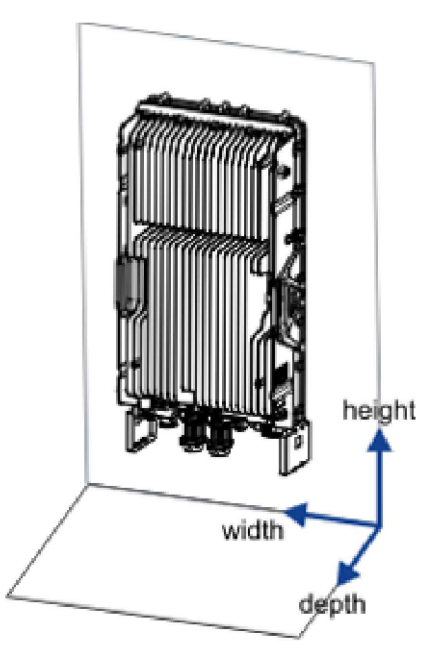
1 FFV-65C-R3-V1 ANTENNA DETAIL
SCALE: N.T.S.



MODEL #	NOKIA AHLOA RRH
DIMENSIONS (HxWxD)	22.05" x 12.16" x 7.44"
NET WEIGHT	83.78lbs

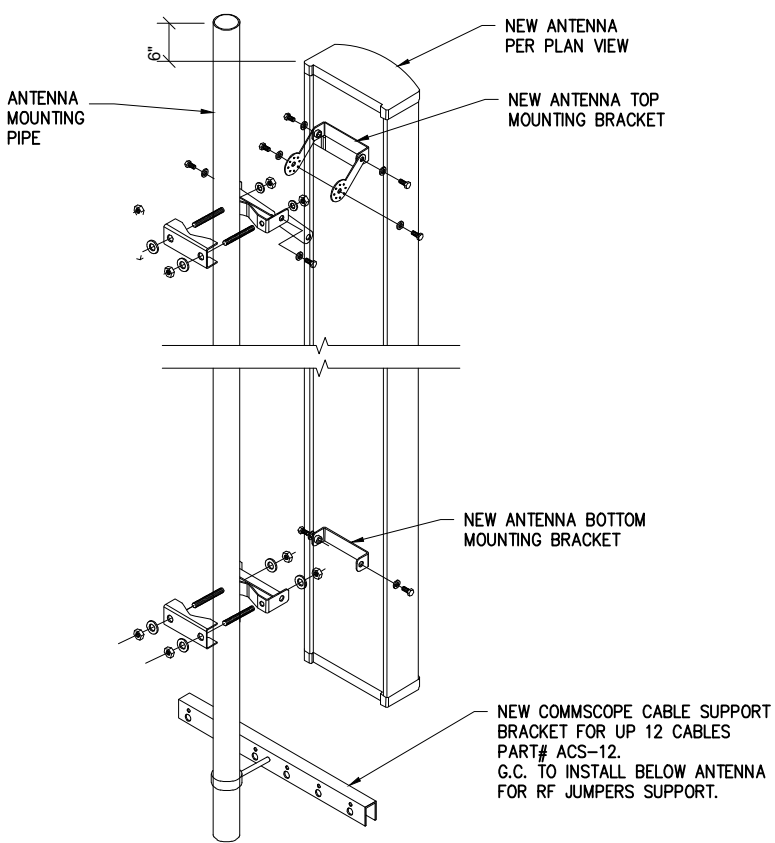
4 AHLOA RRH DETAIL
SCALE: N.T.S.

2 NOT USED
SCALE: N.T.S.

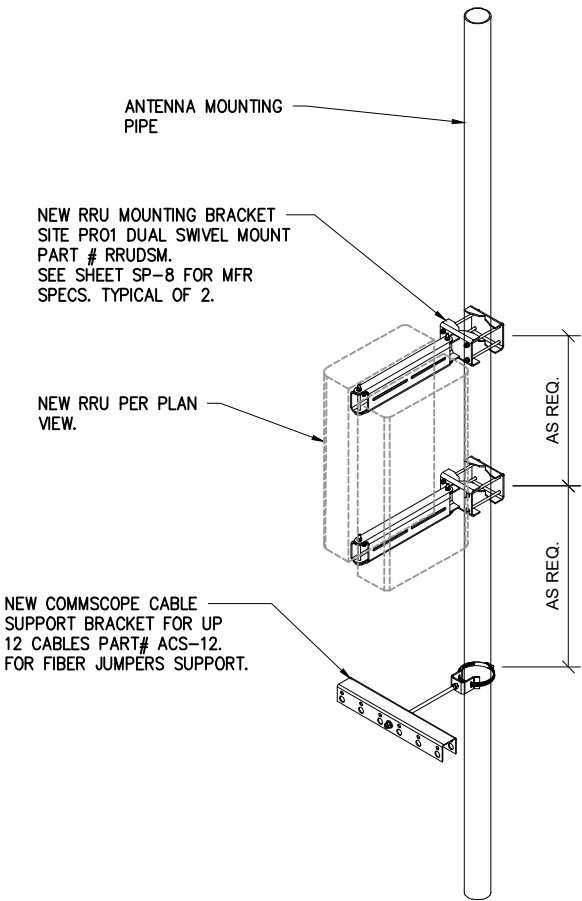


MODEL #	NOKIA AHFIG RRH
DIMENSIONS (HxWxD)	27.4" x 12.1" x 5.2"
NET WEIGHT (WITHOUT COVER)	70.5lbs

5 AHFIG RRH DETAIL
SCALE: N.T.S.



3 ANTENNA MOUNTING DETAIL.
SCALE: N.T.S.



6 RRU MOUNTING DETAIL
SCALE: N.T.S.

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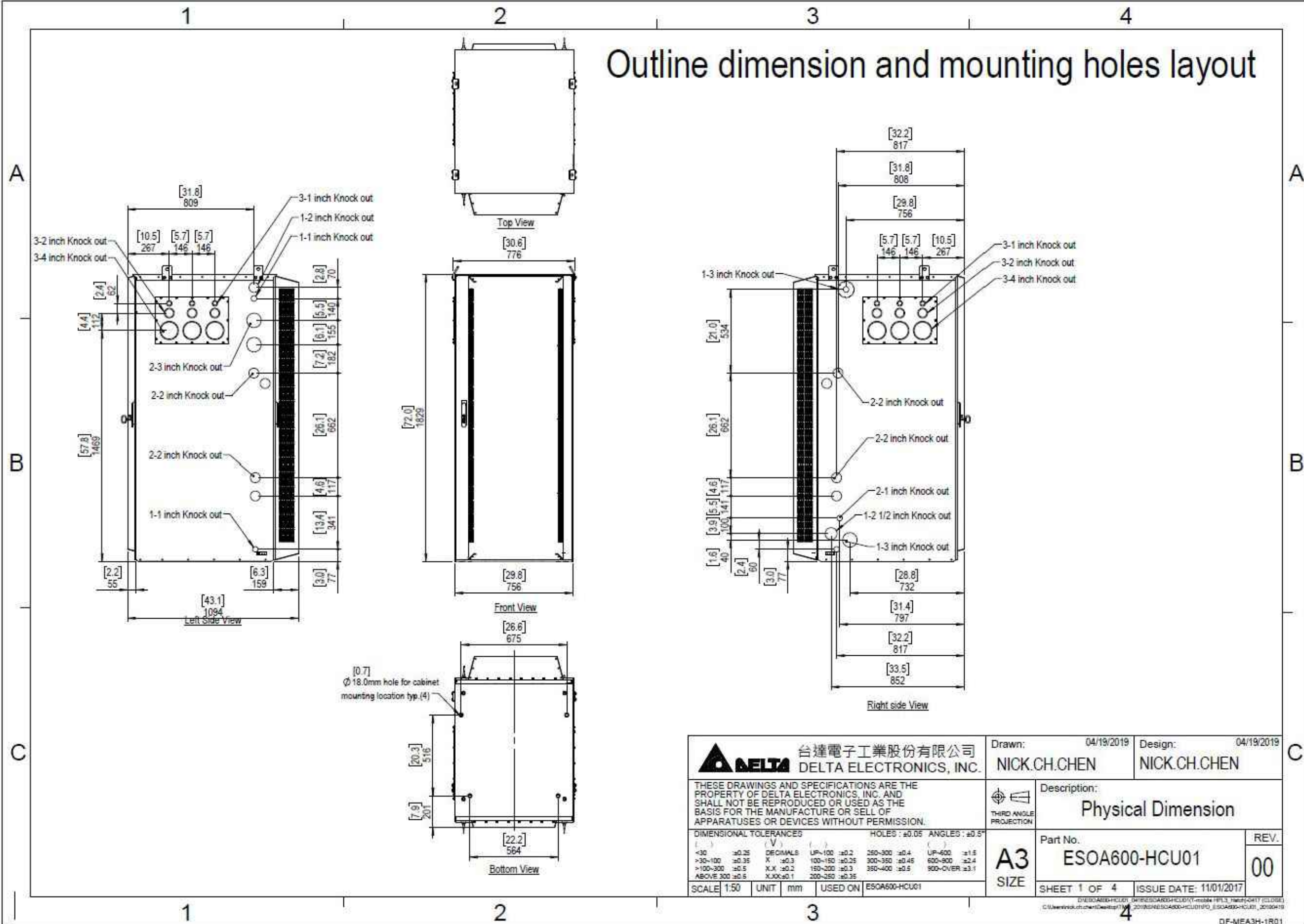
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EXISTING & NEW EQUIPMENT
SPECIFICATIONS

SHEET NUMBER

SP-1

Outline dimension and mounting holes layout




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DIMENSIONAL TOLERANCES () DECIMALS () FRACTIONS <30 ±0.25 X ±0.3 100-150 ±0.25 300-350 ±0.45 600-900 ±2.4 >30-100 ±0.35 X.X ±0.2 150-200 ±0.3 350-400 ±0.5 900-OVER ±3.1 ABOVE 300 ±0.5 X.XX ±0.1 200-250 ±0.35		Part No. ESOA600-HCU01	REV. 00
SCALE: 1:50 UNIT: mm USED ON: ESOA600-HCU01		SHEET 1 OF 4 ISSUE DATE: 11/01/2017	

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RASHID AHMED
E-26737
ELGIN, ILLINOIS
PROFESSIONAL ENGINEER
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SHEET TITLE
HPL 3 DELTA POWER
CABINET MFR. SPECS

SHEET NUMBER
SP-2

SITE NUMBER

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SITE NAME

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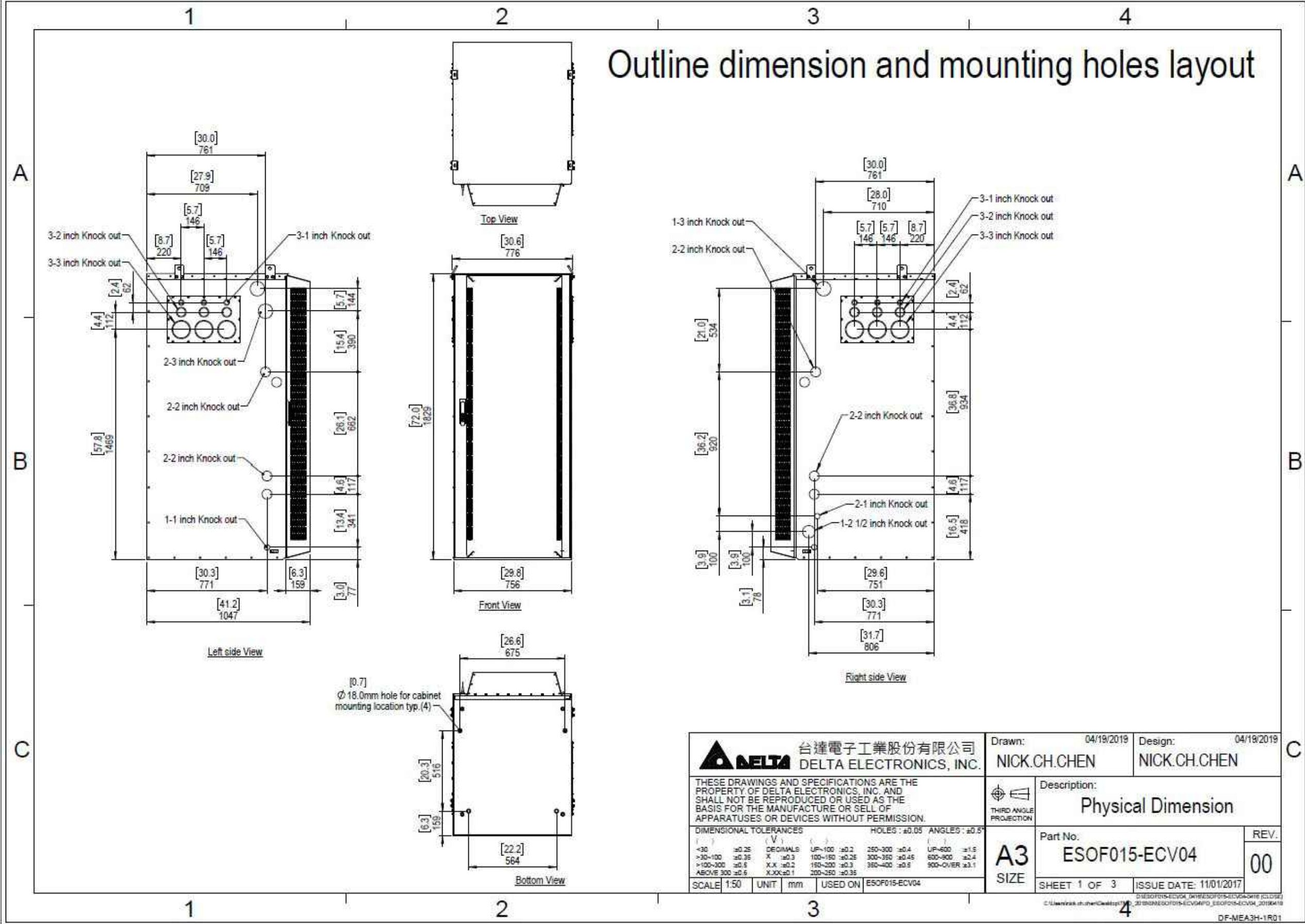
SHEET TITLE

LB3 BATTERY 3 BACK-UP
CABINET MFR. SPECS

SHEET NUMBER

SP-3

Outline dimension and mounting holes layout



1

LB3 BATTERY 3 BACK-UP CABINET MFR. SPECS
SCALE: N.T.S



Power Protection Cabinet (PPC) 200A

Product Features

- Single wall Aluminum enclosure
- Powder coated finish
- Pad lockable 3-point door latch
- Type 3R & IP55 rated
- Metal oxide varistor surge protection
- Camlok generator connection

www.deltaww.com

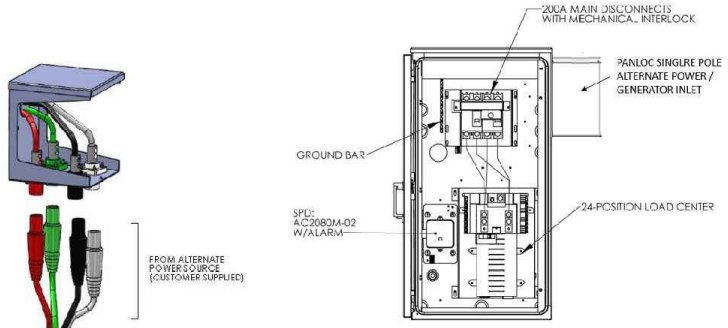


Smarter. Greener. Together.



Specifications

Model / Part Number	5811130508
1. General	
Construction	Single layer Aluminum enclosure, Type 3R
Dimensions (W x H x D)	20 x 39 x 10 inch excludes generator connections
Weight	71 lbs (without packaging)
Finish	Polyester Powder Paint
Door Latch	3-Point latching, pad lockable
	UL50 (Cabinet)
Safety	UL891 Dead Front Switchboard Listed Suitable for Use as Service Equipment (N-G Bonding kit included)
2. Environment	
Operating temperature	-40°C to +46°C (-40°F to 115°F)
Humidity (relative)	95%, non-condensing (Max.)
Protection class	Type 3R
3. AC Section	
Voltage	240/120 Single Phase (3 wire + Ground)
Current	200A
AIC Rating	Utility 65,000 Amps
	Generator Interface: Camlok Connections (Right Mount) Service Disconnect: Square D 200 Amp (65kAIC) Mechanical Slide Bar Interlock Load Center: Square D 200 Amp, QO Series, 24 Position Surge Protection Device (SPD) - 1 ea. AC2080M-02 Square D 30 Amp, 2-Pole Breaker for SPD Ground Bar Silkscreen Dead-Front Lift Off Style Captive Dead-Front Fasteners
Other features	
5. Ordering information	
PPC	5811130508 Power Pedestal Cabinet - 200A



GENERATOR INPUT

*Male Receptacle Twist Lock Panel Mount connectors (not included)

*All specifications are subject to change without prior notice.



EN_z20n8P21/ SY

Delta Group Website:
www.deltaww.com

Product Website:
www.deltapowersolutions.com

United States of America & Canada:
Delta Electronics (USA) Inc.
2925 E. Plano Parkway
Plano, TX (Texas) 75074

Sales and Orders:
DEUSTPS.Sales@deltaww.com
DEUSTPS.Orders@deltaww.com

Field Support:
1-877-DELTA-08 option 3
(877-335-8208 option 3)
DEUSTPS.Support@deltaww.com

Installation Services:
DEUSTPS.Services@deltaww.com

RMA:
DEUSTPS.RMA@deltaww.com

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PPC CABINET SPECS
SHEETS

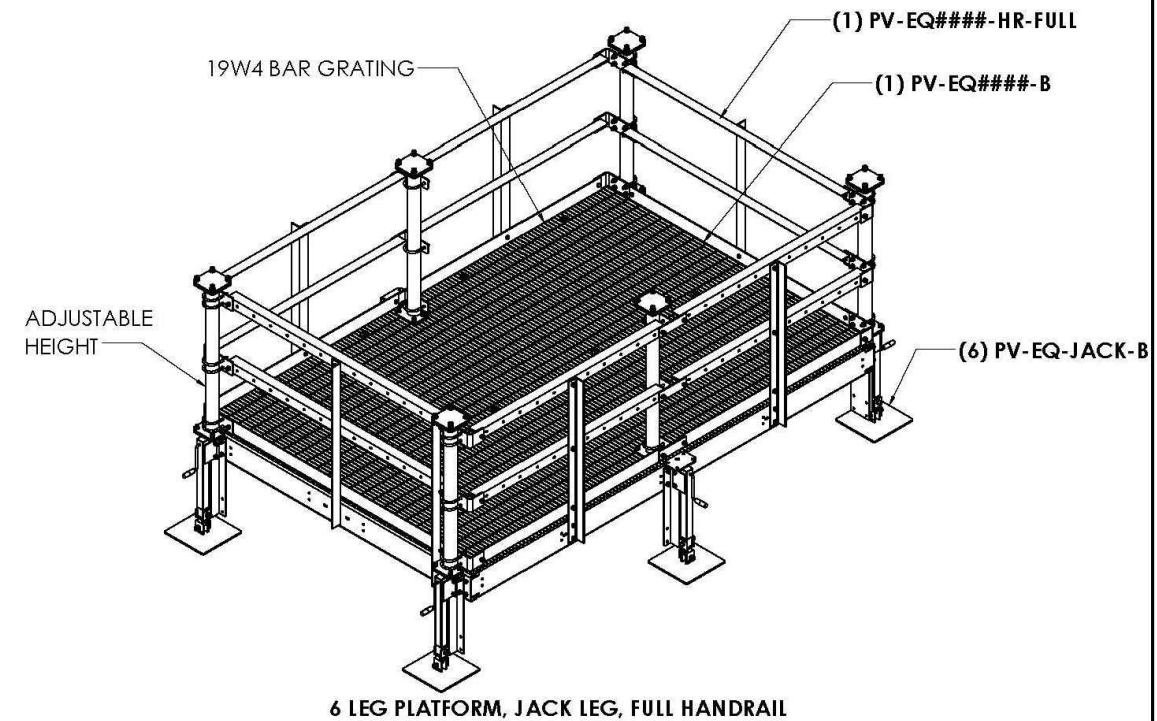
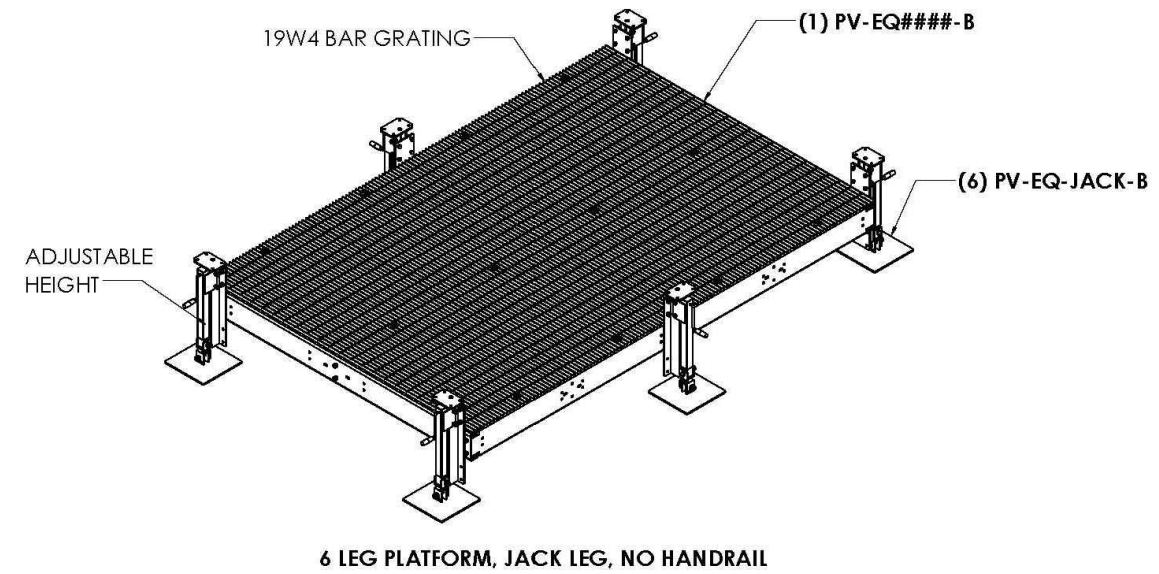
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SP-4

1

POWER PROTECTION CABINET (PPC) MFR. SPECS.
SCALE: N.T.S.

SERIES OVERVIEW: JACK LEG



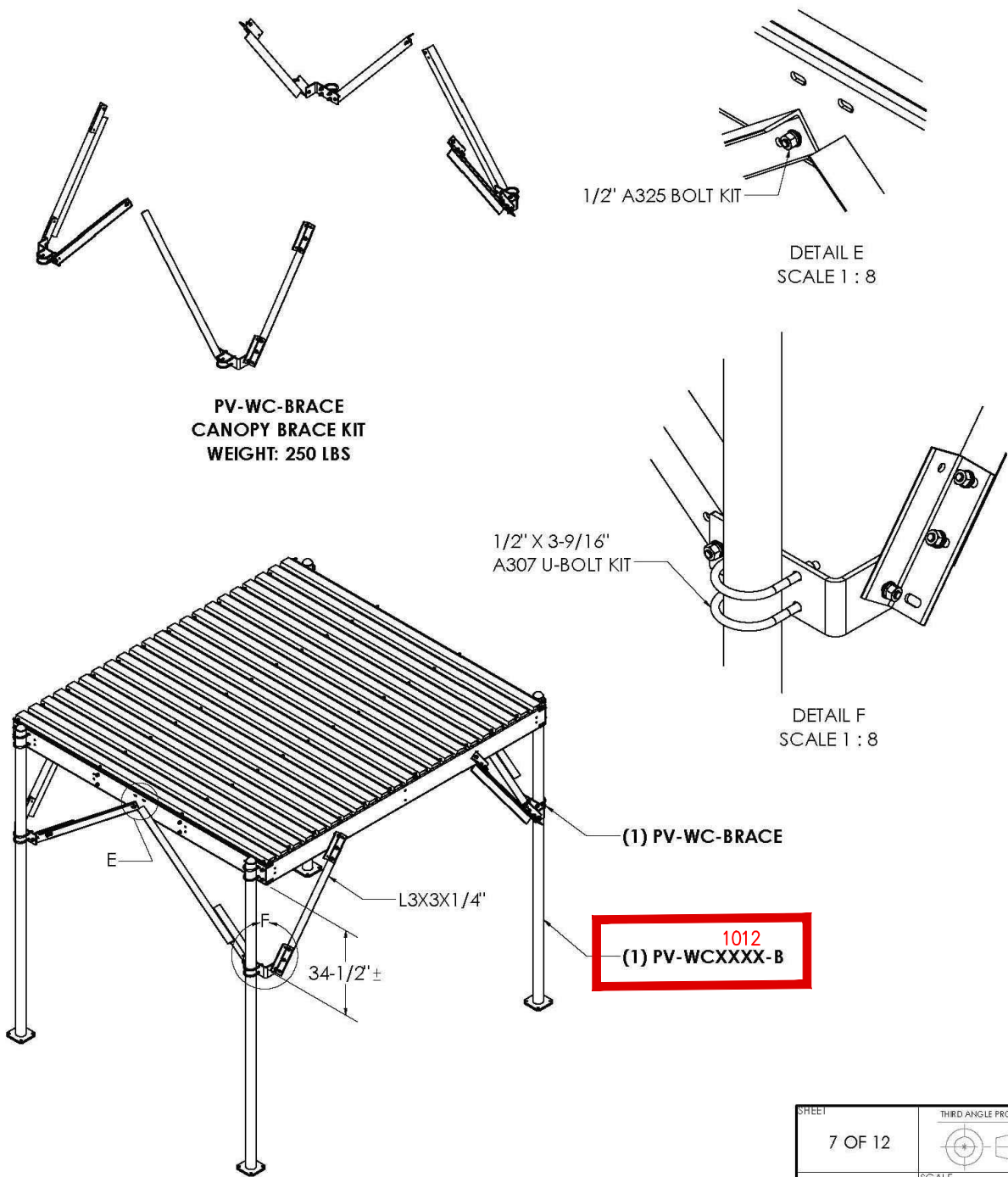
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4 OF 12		SERIES	5	UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEG	2/15/18		
5/5/2021	SCALE 1:40	TYPE	4	EQ USABLE AREA TABLE	2/02/17		
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"		BY	3	ADDED PV-EQ-STEP	1/25/17		
		CHECKED	2	UPDATED PV-WC-BRACE	9/19/16		
		STATUS	REV	DESCRIPTION	DATE		
		APPROVED				EQUIPMENT PLATFORM AND CANOPY DOCUMENT NUMBER WCEQ-ENG-01-R6	REV 6

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SP-5

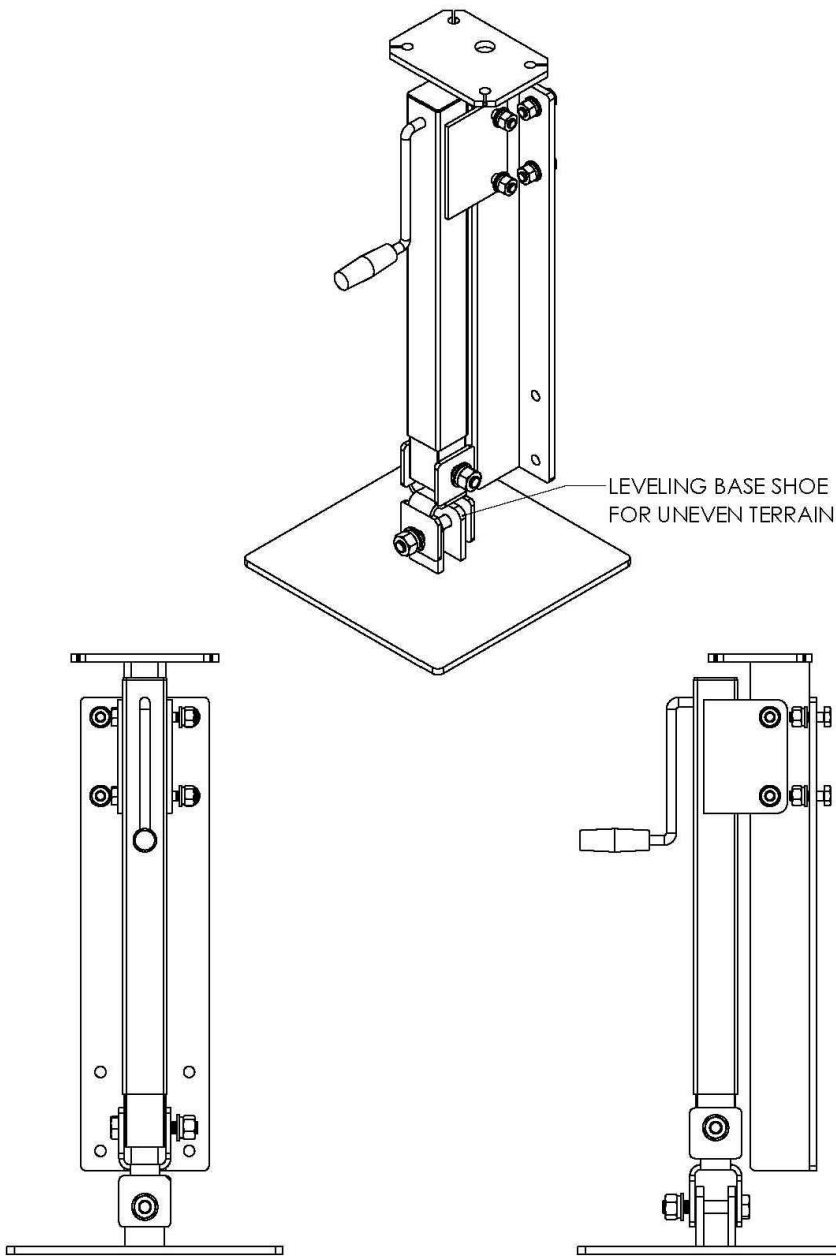
1 EQUIPMENT PLATFORM MFR. SPECS.
SCALE: N.T.S


CANOPY CORNER BRACE



CANOPY WITH CORNER BRACING

CRANK UP JACK



SHEET		THIRD ANGLE PROJECTION		CATEGORY		07_Equipment Platforms & Canopies		6		ADDED DECK HEIGHT RANGE TABLE INFO		11/18/19		<div>PERFECT VISION®</div>	
7 OF 12				SERIES		01_Equipment Platforms & Canopies		5		UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEGS		2/15/18			
5/5/2021		SCALE 1:45		TYPE		PV-WC / PV-EQ Series		4		EQ USABLE AREA TABLE		2/02/17			
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"				BY		DJN		3		ADDED PV-EQ-STEP		1/25/17		EQUIPMENT PLATFORM AND CANOPY	
				CHECKED		SJS		2		UPDATED PV-WC-BRACE		9/19/16		DOCUMENT NUMBER	
				STATUS		APPROVED		REV		DESCRIPTION		DATE		WCEQ-ENG-01-R6	
														REV 6	

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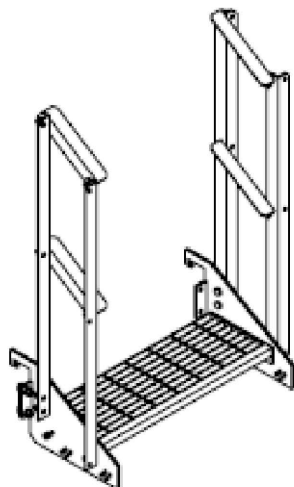
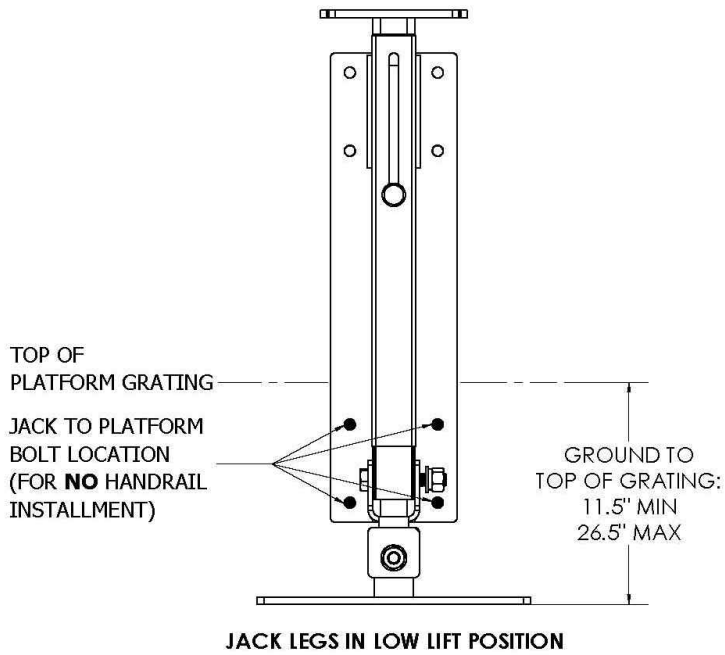
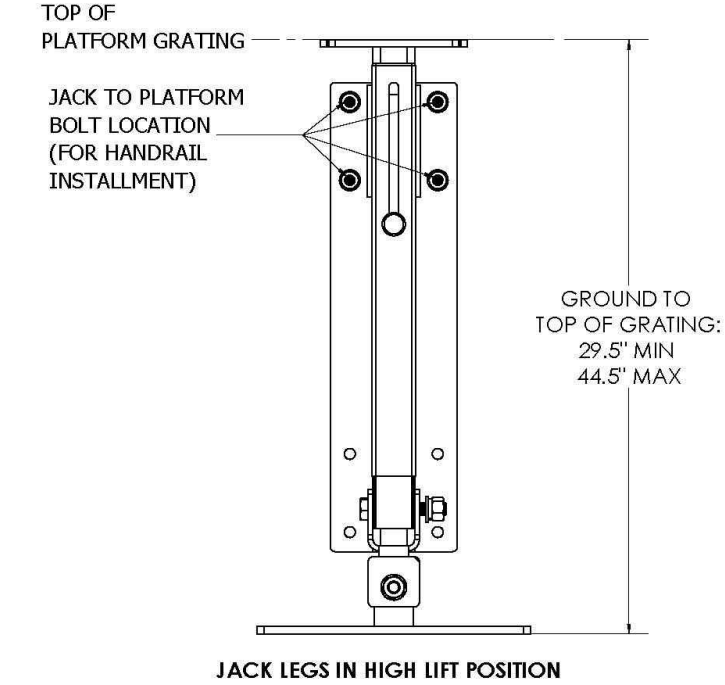
CANOPY MFR. SPECS.

SHEET NUMBER

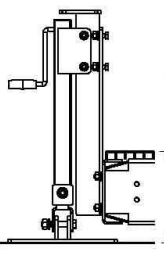
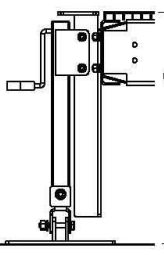
SP-5.1

1 CANOPY MFR. SPECS.
SCALE: N.T.S

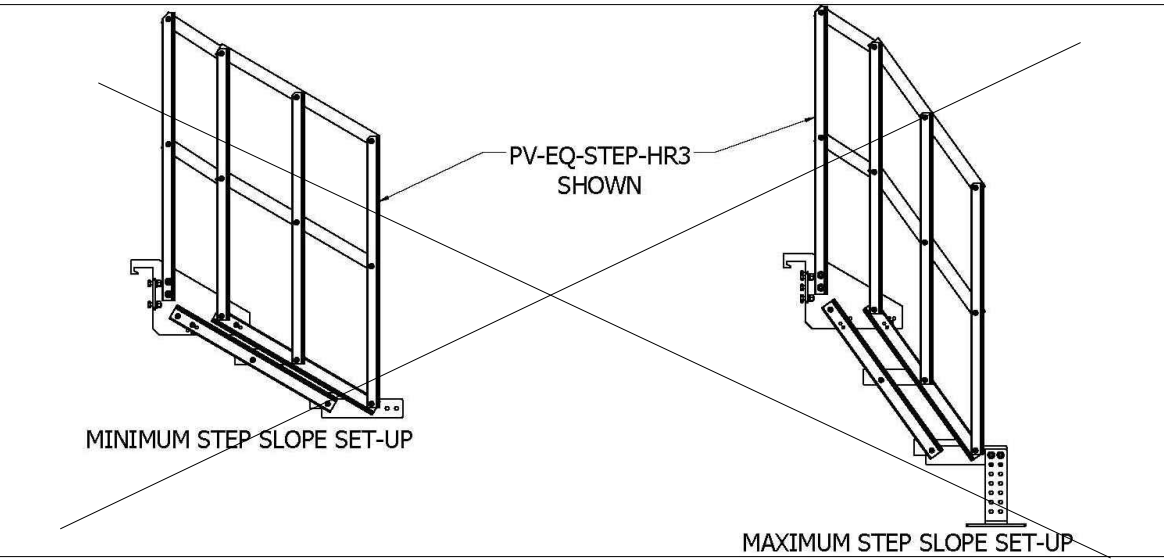
CRANK UP JACK CONT.




PV-EQ-STEP1-HR
WEIGHT: 120 LBS

TABLE 1: RECOMMENDED PLATFORM DECK HEIGHT IN ACCORDANCE WITH STEP KITS			
DECK HEIGHT RANGE (FROM GROUND TO TOP OF GRATING)	EQUIPMENT PLATFORM STEP KIT	 GROUND TO TOP OF GRATING: 11.5" MIN 26.5" MAX JACK - LOW LIFT	 GROUND TO TOP OF GRATING: 29.5" MIN 44.5" MAX JACK - HIGH LIFT
	PV-EQ-STEP-HR4 4 Step (with handrails)	-	29.75" TO 44.5"
	PV-EQ-STEP-HR3 3 Step (with handrails)	22.5" TO 26.5"	29.75" TO 43.5"
	PV-EQ-STEP-HR2 2 Step (with handrails)	15.25" TO 20.75"	-
	PV-EQ-STEP2 2 Step (no handrails)	-	-
	PV-EQ-STEP-HR1 1 Step (with handrails) PV-EQ-STEP1 1 Step (no handrails)	11.75"	-

ALL DECK HEIGHT RANGES LISTED IN TABLE 1 ABOVE ACCOUNT FOR STEP ADJUSTABILITY. SEE PAGE 9 FOR MORE INFORMATION ON STEP KITS & STEP ANGLE ADJUSTMENT



SHEET 8 OF 12		THIRD ANGLE PROJECTION		CATEGORY 07 Equipment Platforms & Canopies		6	ADDED DECK HEIGHT RANGE TABLE INFO	11/18/19		
5/5/2021		SCALE 1:45		SERIES 01 Equipment Platforms & Canopies		5	UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEGS	2/15/18		
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4", BEND ±2° ALL OTHERS: ±1/16"		TYPE PV-WC / PV-EQ Series		BY DJN		4	EQ USABLE AREA TABLE	2/02/17	EQUIPMENT PLATFORM AND CANOPY DOCUMENT NUMBER WCEQ-ENG-01-R6 REV 6	
				CHECKED SJS		3	ADDED PV-EQ-STEP	1/25/17		
				STATUS APPROVED		2	UPDATED PV-WC-BRACE	9/19/16		
				REV		DESCRIPTION		DATE		

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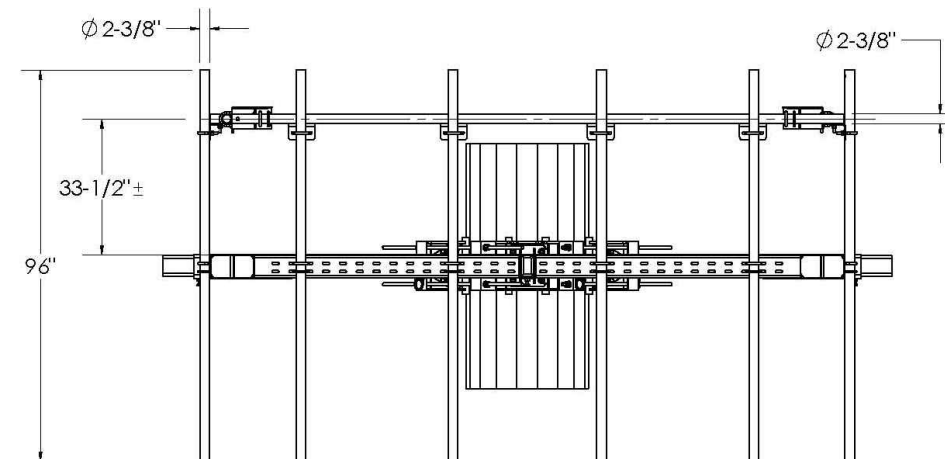
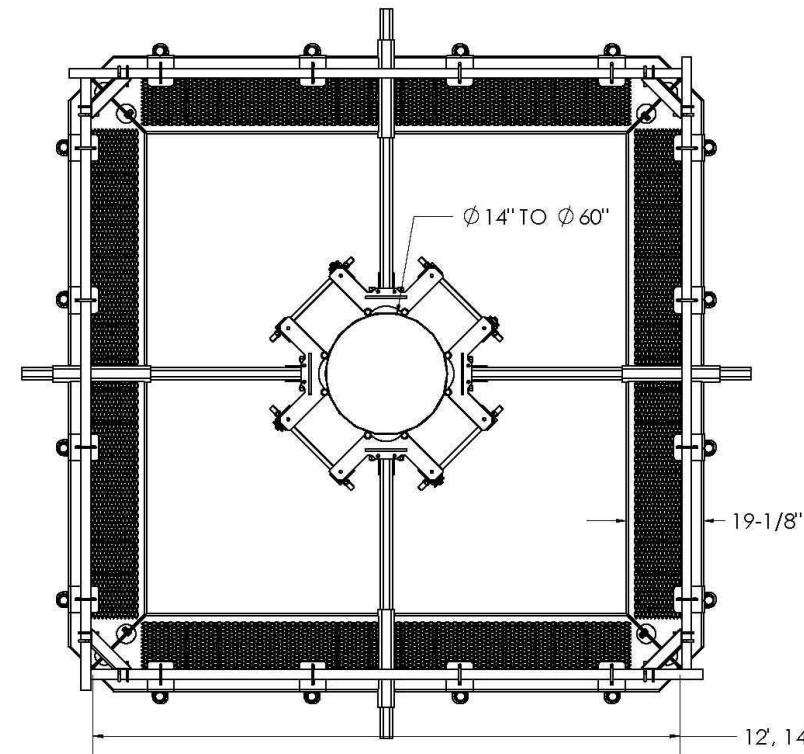
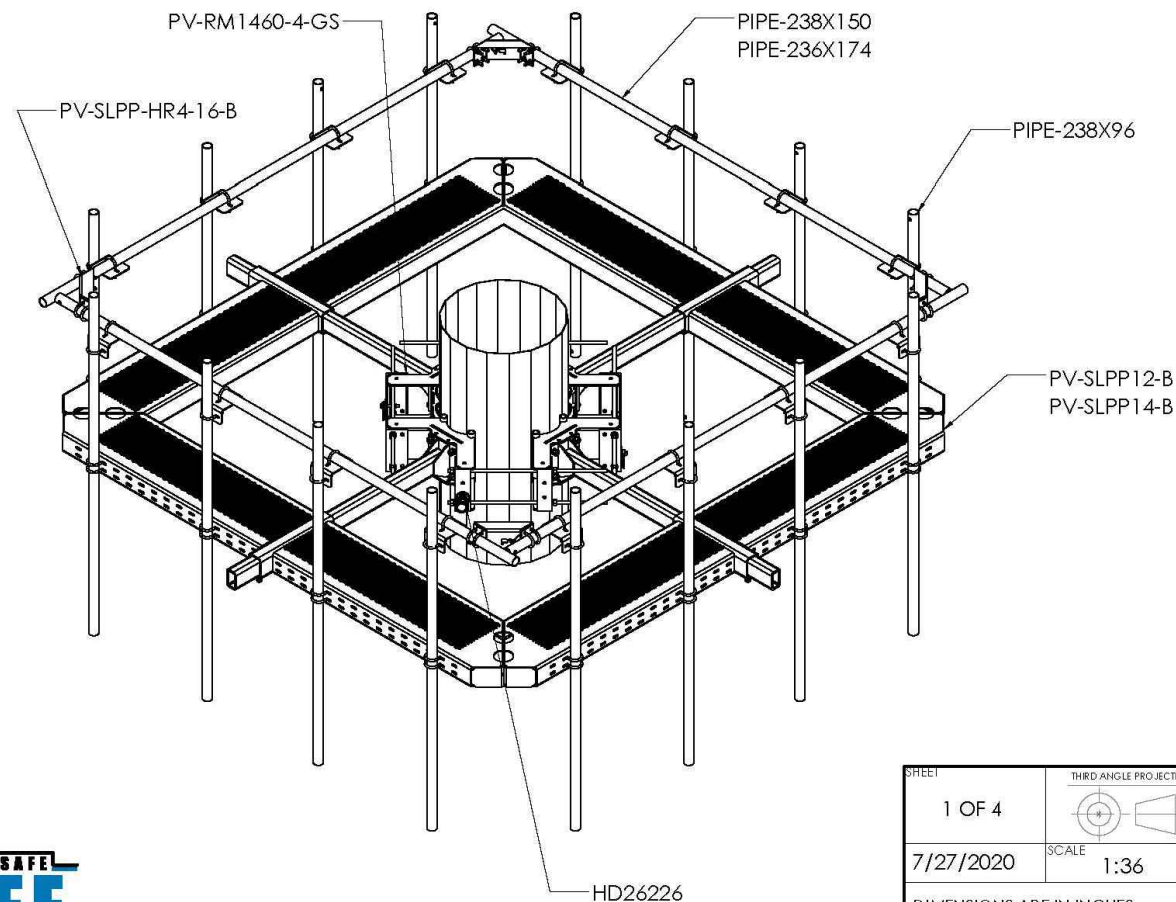
SHEET TITLE
CANOPY MFR. SPECS.

SHEET NUMBER
SP-5.2


L.I.F.E. MOUNT™ MONOPOLE SQUARE PLATFORM

Table 1: Platform Configurations

Part Number	Description	Weight (lbs)	Included Parts						
			PV-RM1460-4-GS	PV-SLPP12-B	PV-SLPP14-B	PV-SLPP-HR4-16-B	PIPE-238X96	PIPE-238X150	PIPE-238X174
PV-SLPP12U-B	L.I.F.E. Mount™ 4 Sector Platform, 12' Face, 14"-60" Pole	2511	1	1	-	-	-	-	4
PV-SLPP12U-HR-B	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole	3188	1	1	-	1	-	4	4
PV-SLPP12U-HR-12-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (12) Antenna Pipe	3539	1	1	-	1	12	4	4
PV-SLPP12U-HR-16-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (16) Antenna Pipe	3656	1	1	-	1	16	4	4
PV-SLPP14U-B	L.I.F.E. Mount™ 4 Sector Platform, 14' Face, 14"-60" Pole	2863	1	-	1	-	-	-	4
PV-SLPP14U-HR-B	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole	3217	1	-	1	1	-	-	4
PV-SLPP14U-HR-12-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole, (12) Antenna Pipe	3569	1	-	1	1	12	-	4



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SHEET 1 OF 4 7/27/2020 DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"	THIRD ANGLE PROJECTION 	CATEGORY 02_Monopole	5	KIT UPDATED WITH RM1460-GS COLLARS	6/09/20		
	SCALE 1:36	SERIES 02_Square	4	UPDATE TO NEW TEMPLATE	4/30/20		
		TYPE PV-SLPP_Square Monopole Platform	3	UPDATE TO KIT	8/03/19		
		BY DJN	2	UPDATED TO 4 PIPES PER SECTOR	10/26/18		
		CHECKED SJS	1	ADDED CLASSIFICATIONS	2/13/18		
STATUS APPROVED		REV	DESCRIPTION		DATE	SLPP-ENG-01-R5	REV 5

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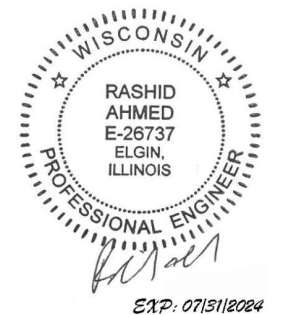
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SHEET TITLE

ANTENNA PLATFORM
MFR. SPECS.

SHEET NUMBER

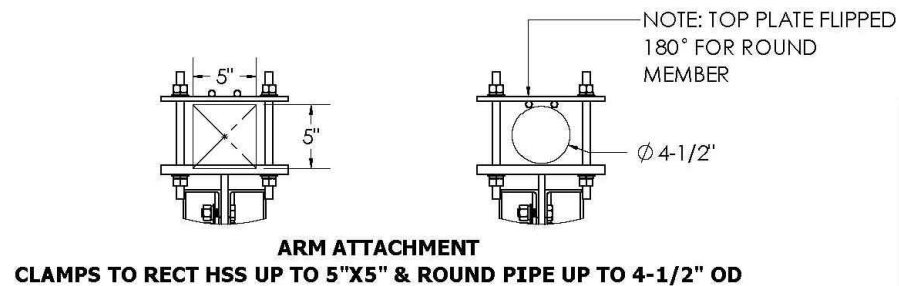
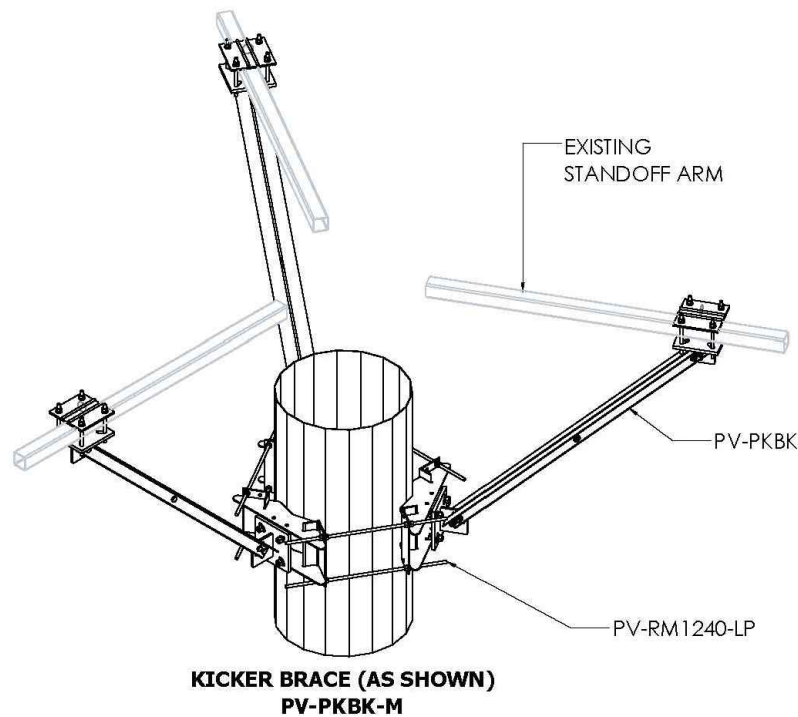
SP-6

1 ANTENNA PLATFORM MFR. SPECS.
SCALE: N.T.S.

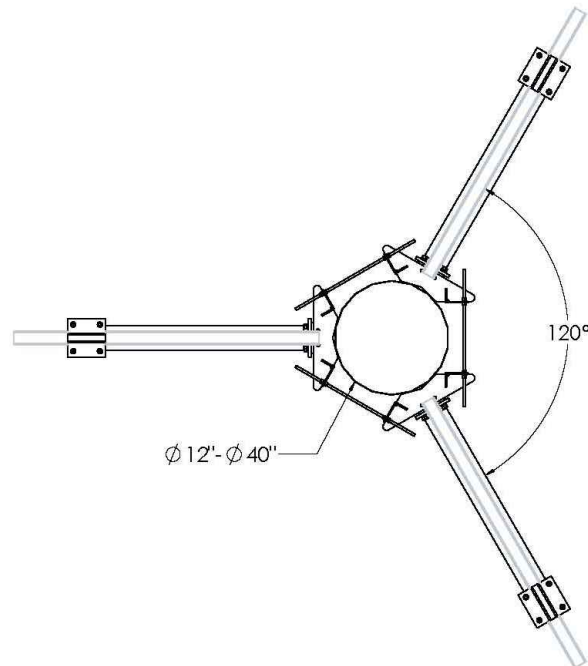
PKBK-ENG-01-R1
MONOPOLE KICKER BRACE KIT

Table 1: Monopole Kicker Brace Kit

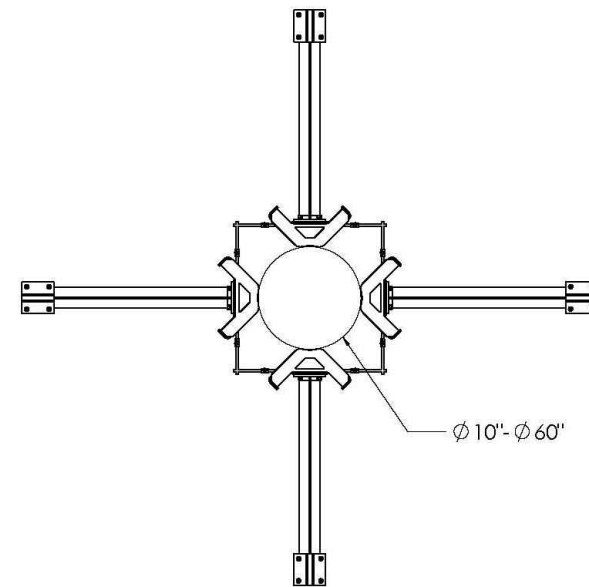
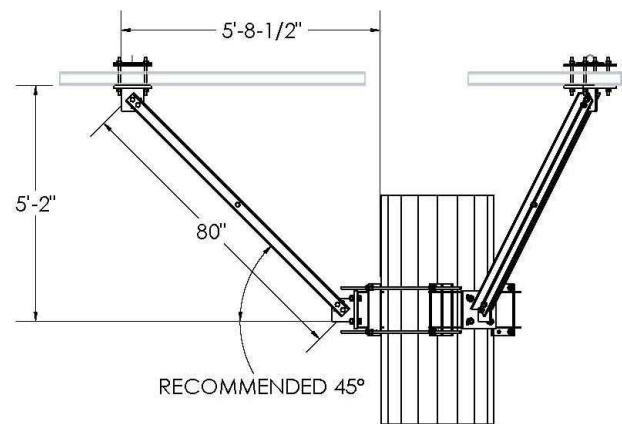
Part Number	Description	Weight (lbs)	Included Parts				
			PV-RM1240-LP	PV-RM3060	PV-RM1060-4	PV-PKBK	PV-PKBK-4
PV-PKBK-M	Brace Kit fits round Pipe OD up to 12"-40", 3 Sector	510	1	-	-	1	-
PV-PKBK-ML	Brace Kit fits round Pipe OD up to 30"-60", 3 Sector	695	-	1	-	1	-
PV-PKBK-4-M	Brace Kit fits round Pipe OD up to 10"-60", 4 Sector	903	-	-	1	-	1



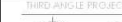

ARM ATTACHMENT
CLAMPS TO RECT HSS UP TO 5"X5" & ROUND PIPE UP TO 4-1/2" OD



PV-PKBK-M
3-SECTOR KICKER BRACE



PV-PKBK-4-M
4-SECTOR KICKER BRACE

SHEET 1 OF 1	THIRD ANGLE PROJECTION 	CATEGORY 02_Monopole	4				
		SERIES 04_Platform Reinforcement	3				
5/17/2018	SCALE 1:48	TYPE PV-PKBK_Monopole Platform Kicker	2				
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4", BEND ±2" ALL OTHERS: ±1/16"		BY INT	1	5/15/18	MONOPOLE KICKER BRACE KIT		
		CHECKED DJN	0	INITIAL RELEASE	DOCUMENT NUMBER		
		STATUS APPROVED	REV	DESCRIPTION	DATE	PKBK-ENG-01-R1	REV 1

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ANTENNA PLATFORM KICKER BRACE MFR. SPECS.
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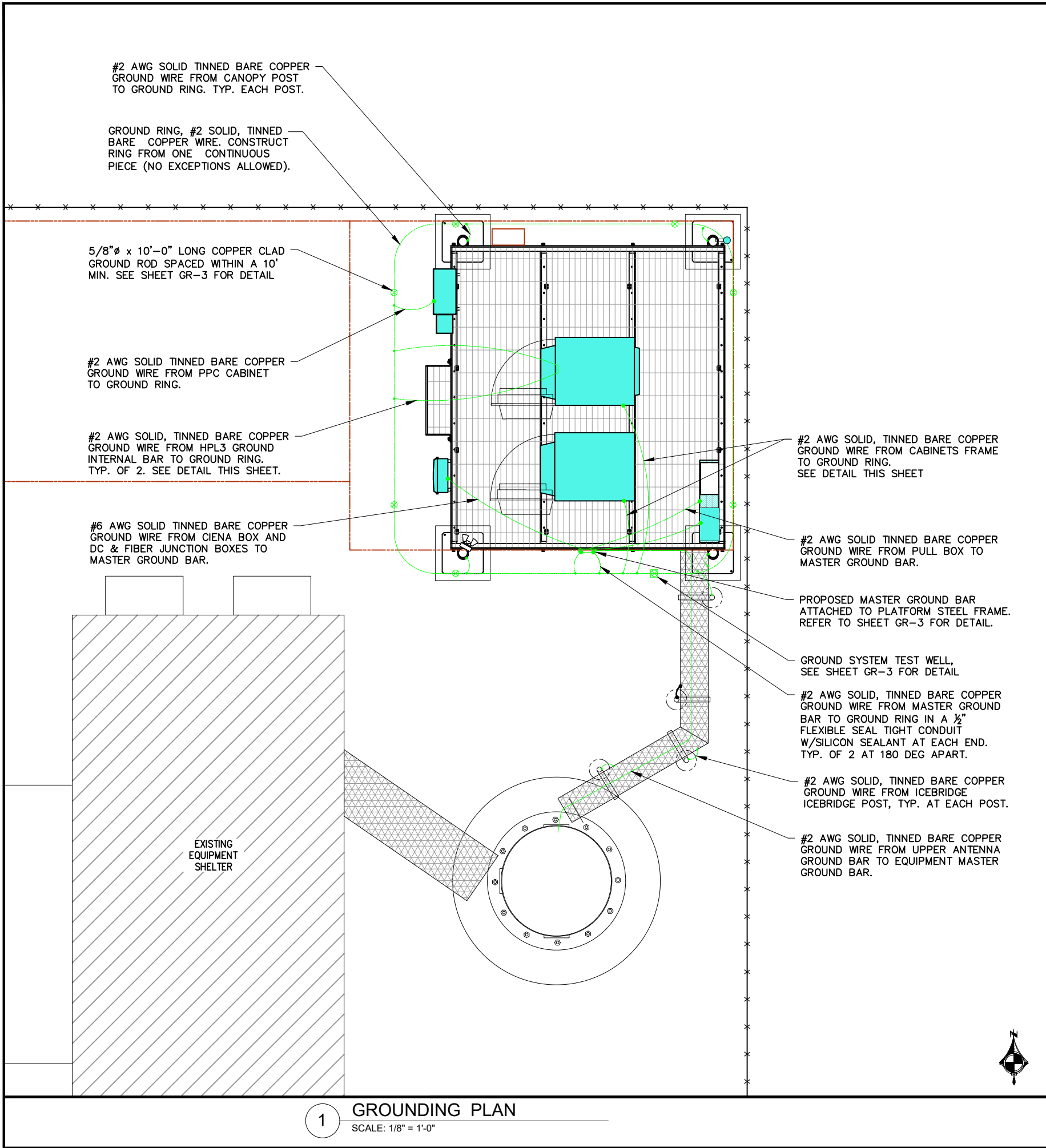
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SHEET TITLE
ANTENNA PLATFORM
KICKER BRACE
MFR. SPECS.

SHEET NUMBER

SP-7



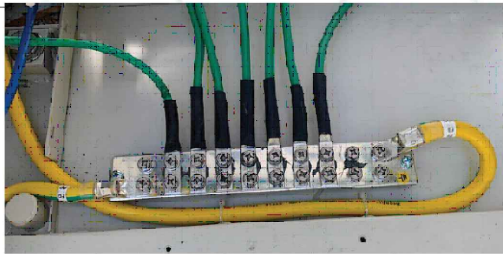
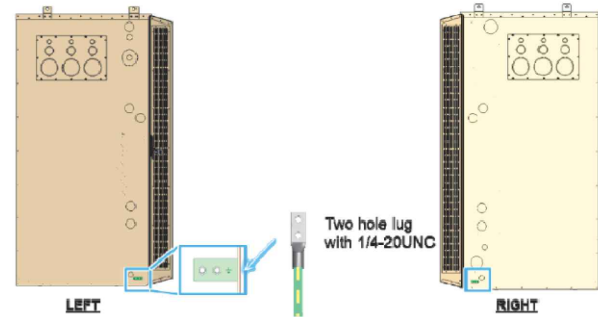
GROUNDING NOTES:

1. GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
2. GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE #2 AWG SOLID, TINNED BARE COPPER WIRE.
4. ALL BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELDS.
5. UNLESS PROVIDED W/ A FACTORY APPLIED LEAD, ALL CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYGROUND COMPRESSION LUGS OR EQUAL.
6. STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
8. ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
9. ALL MECHANICAL CONNECTIONS SHALL HAVE NOAX OR APPROVED EQUAL APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.

GROUNDING ELECTRODE SYSTEM

1. CONNECTIONS
ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE "CADWELD" PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEC. ALL CABLE TO GROUND RODS, GROUND OEDS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL CADWELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTIOXIDANT COMPOUND APPLIED TO CONNECTION.
4. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY T-MOBILE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.

Ground connections are to both external ground lug on the of the left and right sides of the cabinet.



2 GROUNDING NOTES
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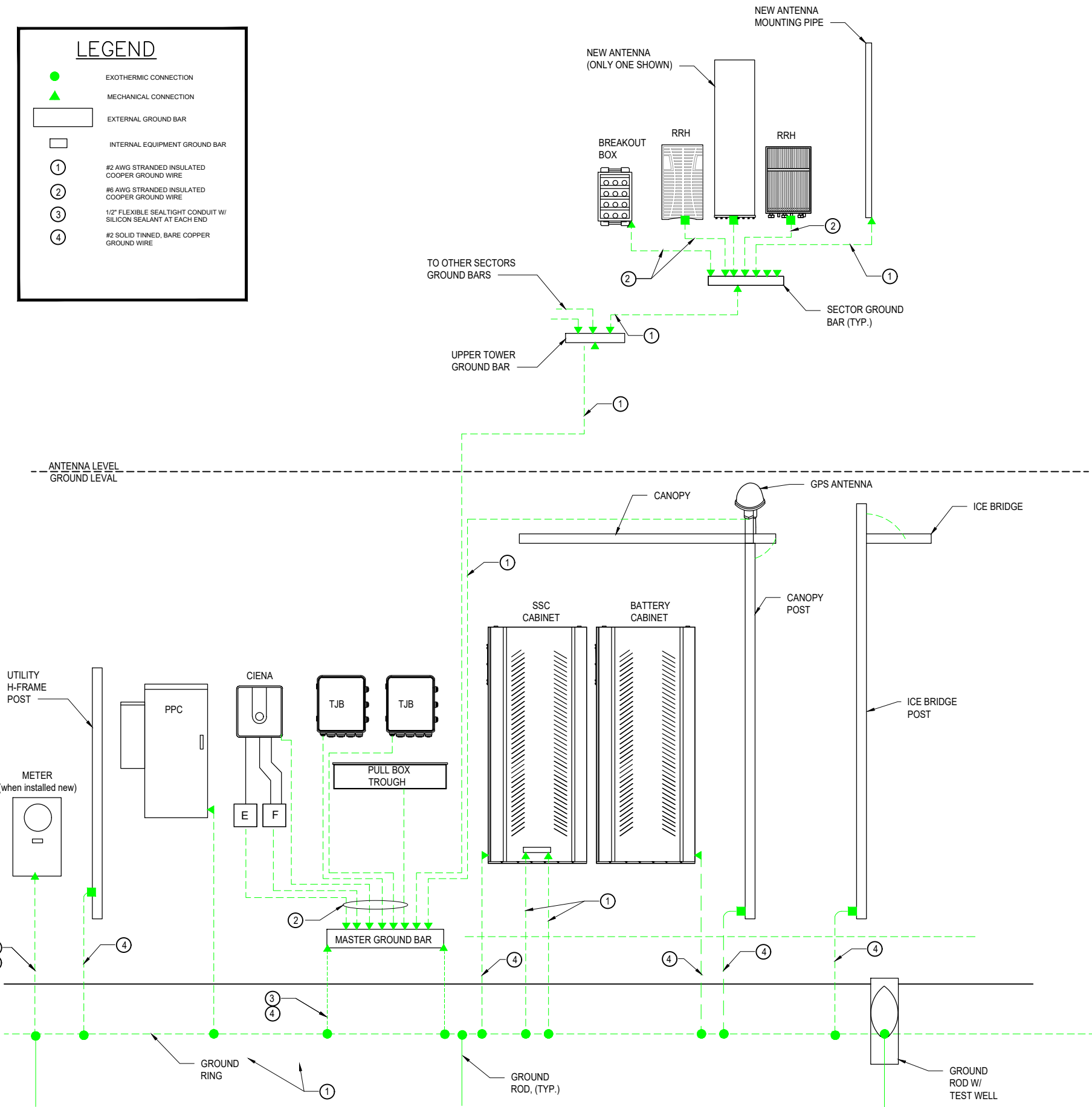
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SHEET TITLE

GROUNDING PLAN

SHEET NUMBER

GR-1



1 TYPICAL GROUNDING RISER DIAGRAM
SCALE: N.T.S

GENERAL NOTES:

1. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB.
2. IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE NOTE, SPECIFICATION OR CODE SHALL PREVAIL.
3. ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS & AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.
4. ELECTRICAL WORK SHALL INCLUDE, BUT NOT LIMITED TO, ALL LABOR MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUITS, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS OR AS REQUIRED BY CODE.
5. ALL WORK SHALL COMPLY WITH THE N.E.C. (NATIONAL ELECTRICAL CODE) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.
6. ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS & LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
7. ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO ORIGINAL OR BETTER CONDITION.
8. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, & FALL OF POTENTIAL GROUND TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO P. M. CLEAN SITE OF ALL DEBRIS RESULTING FROM WORK AND LEAVE IN A COMPLETE AND UNDAMAGED CONDITION.
9. LL BROCHURES, MANUALS, CATALOGS, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.

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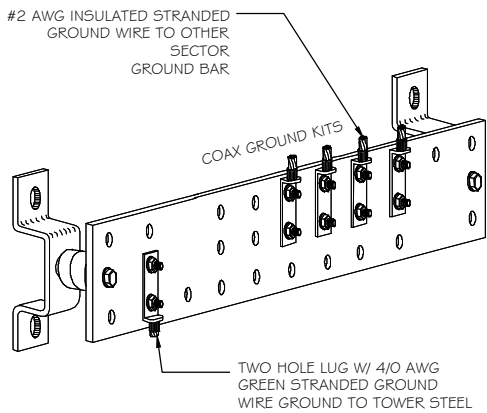
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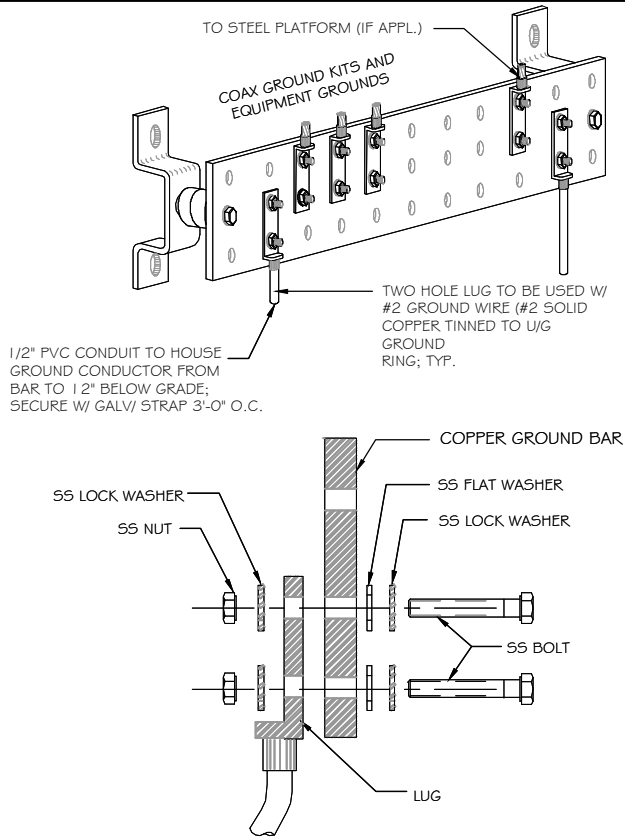
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AND NOTES

SHEET NUMBER

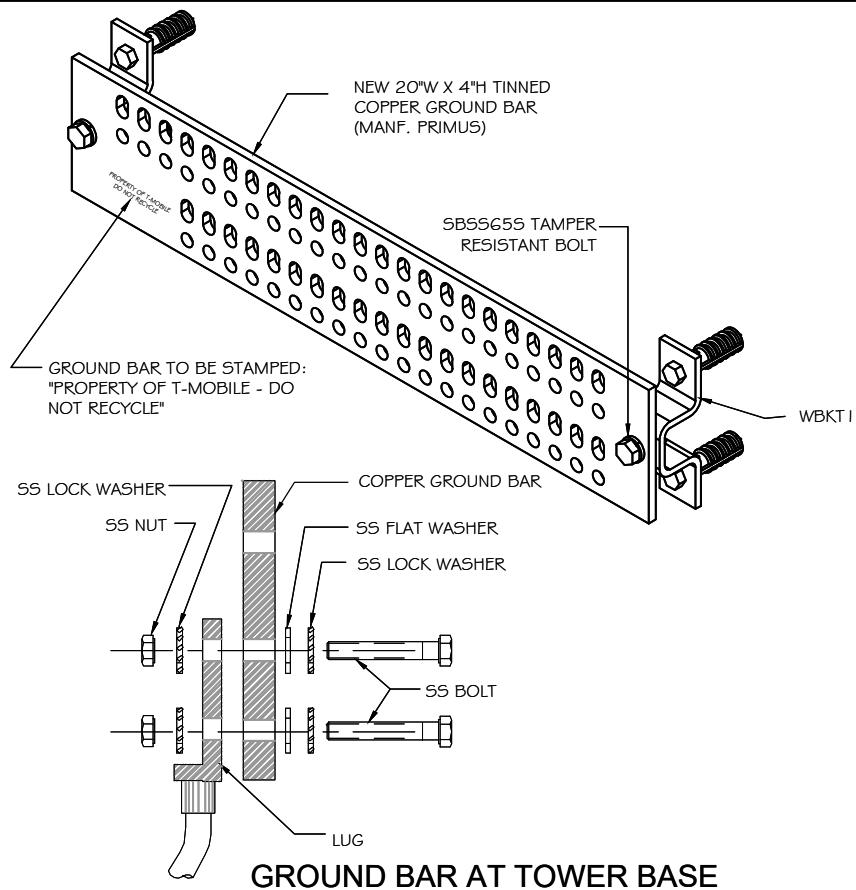
GR-2



GROUND COLLECTOR BAR



MASTER GROUND BAR

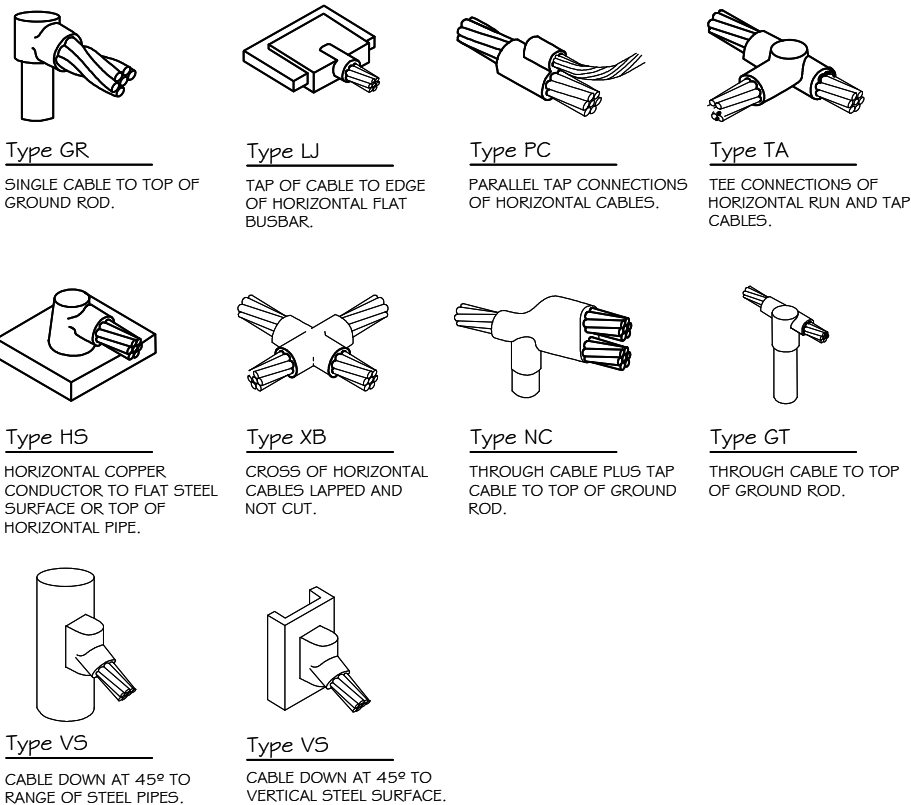


GROUND BAR AT TOWER BASE

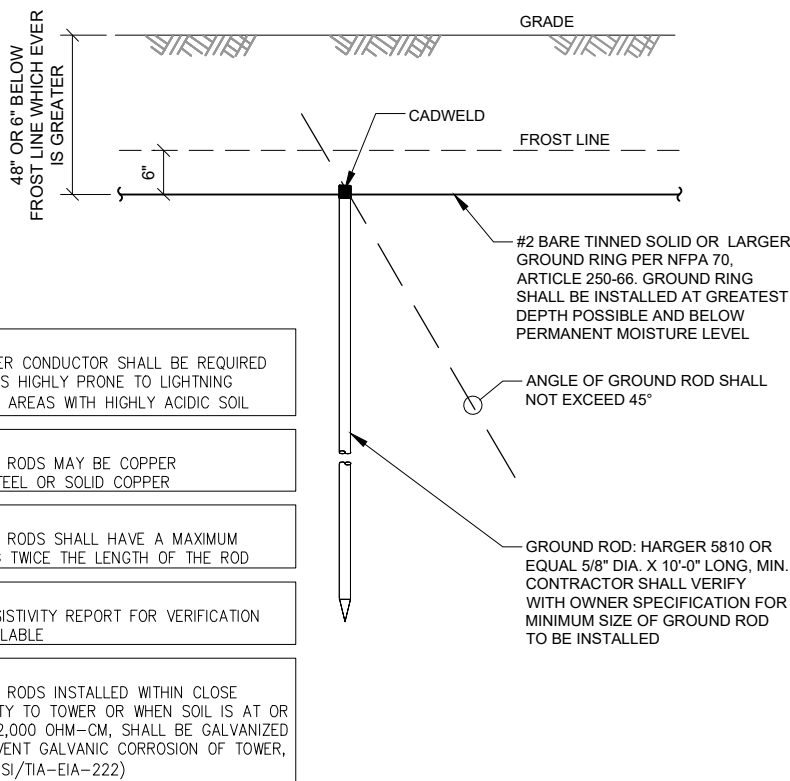
NOTES:

1. TINNED COPPER GROUND BAR, 1/4" X 4" X 20" NEWTON INSTRUMENTS CO. CAT. NO. B-6142 OR APPROVED EQUAL; HOLE CENTERS TO MATCH NEMS DOUBLE LUG CONFIGURATION
2. INSULATORS TO BE NEWTON CAT. NO. 3015-8 OR APPROVED EQUAL
3. 5/8" LOCK WASHERS; NEWTON CAT. NO. A-6056 OR APPROVED EQUAL
4. 5/8" - 11 X 1" M.M.C.S. BOLTS; NEWTON CAT. NO. 3012-1 OR APPROVED EQUAL
5. COAT ALL SURFACES WITH 'KOPER SHIELD' BEFORE MATING
6. ALL HARDWARE TO BE STAINLESS STEEL UNLESS OTHERWISE NOTED
7. NUTS TO FACE OUT

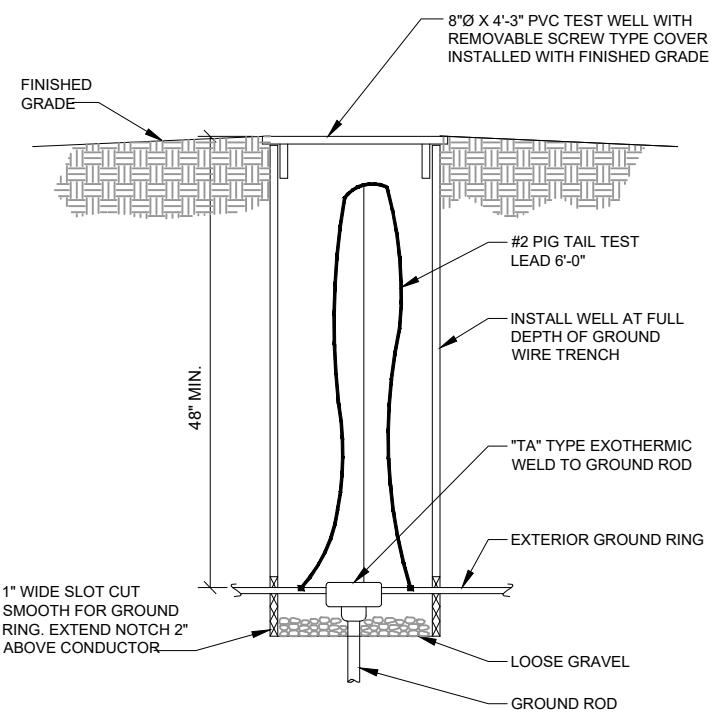
1 GROUND BAR DETAILS
SCALE: NTS



2 EXOTHERMIC WELD SCHEDULE
SCALE: NTS



3 GROUND ROD DETAIL
SCALE: NTS



4 TEST WELL DETAIL
SCALE: NTS

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TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GROUNDING TYPICAL
DETAILS

SHEET NUMBER

GR-3

PART 1 GENERAL

1.00 GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.

ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS. THE CONTRACTOR SHALL PROVIDE THE MATERIALS APPROVED BY THE FIRE MARSHALL FOR FILLING OR SEALING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM THE START OF THE PROJECT TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO ASSESS CONDITIONS THAT MAY ADVERSELY AFFECT THE WORK OR THE COST OF THE WORK. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION OF NEW PORTION OF THE WORK AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE A&E.

NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE A & E. ANY REFERENCE TO THE WORDS APPROVED OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES/SPECIFICATIONS:

- LATEST LOCAL JURISDICTIONAL BUILDING CODES.
- ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS
- AMERICAN CONCRETE INSTITUTE (ACI)
- AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
- ANSI/TIA – 222 – H
- UNIFORM BUILDING CODE (UBC)
- NATIONAL ELECTRICAL CODE (NEC) WITH ALL AMENDMENTS
- AMERICAN INSTITUTE FOR STEEL CONSTRUCTION OR SPECIFICATIONS (AISC)
- UFE SAFETY CODE NIFFA – 101
- FEDERAL AVIATION REGULATIONS

1.01 CARRIER REPRESENTATIVE

A. THE SITE DEVELOPMENT MANAGER (SDM) OR HIS DESIGNEE (INCLUDING BUT NOT LIMITED TO THE ARCHITECT/ ENGINEER, OR CONSTRUCTION MANAGER) SHALL SERVE AS THE SINGLE POINT OF CONTACT

B. BETWEEN THE CONTRACTOR AND OWNER, NOT WITHSTANDING THE REQUIREMENTS SPECIFIED HEREIN, THE SDM OR DESIGNATED REPRESENTATIVE IS EMPOWERED TO DIRECT THE CONTRACTOR TO VARY OR CHANGE FROM THE PLANS AND SPECIFICATIONS AS CIRCUMSTANCES OR CONDITIONS ARISE.

C. CONTRACTOR SHALL VERIFY ALL CHANGES ARE ACCEPTED BY THE ENGINEER OF RECORD.

1.02 INTENT

A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND COMPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.

B. THESE SPECIFICATIONS AND DESIGN DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS TO BE FURNISHED FOR THE CONSTRUCTION OF THE PROJECT.

C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS.D. THE PURPOSE OF THE SPECIFICATIONS IS

TO SUPPLEMENT THE INTENT OF THE DRAWINGS AND TO DESIGNATE A PROCEDURE, TYPE, OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. HOWEVER, NO CHANGES THAT ALTER THE CHARACTER INTENT OF THE DESIGN WILL BE MADE OR PERMITTED WITHOUT A CHANGE ORDER FROM THE OWNER.

1.03 CONFLICTS

A. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSION AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE SDM OR DESIGNATED REPRESENTATIVES FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH WORK IN THE AFFECTED AREAS.

B. THE CONTRACTOR SHALL NOTIFY A & E OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS AND NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AFTER THE START OF CONSTRUCTION THAT HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE A & E AND SHALL INCUR ANY7 EXPENSES REQUIRED TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE A & E.

C. THE CONTRACTOR, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING WHICH THE CONTRACTOR MIGHT NOT HAVE FULLY INFORMED HIMSELF PRIOR TO BIDDING.

D. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED WILL BE ACCEPTED AS A REASON FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL THE REQUIREMENTS OF THE CONTACT DOCUMENTS.

1.04 BIDDING PROCESS --- INSTRUCTIONS TO BIDDERS

A. CARRIER REQUESTS A FIRM LUMP SUM BID FOR ALL WORK DESCRIBED IN THE CONTRACT, AS INDICATED IN THESE CONSTRUCTION DRAWINGS/SPECIFICATIONS, APPARENT WITH FIELD VISIT, AND ACCORDING TO ANY OTHER AGREEMENTS AND DIRECTION.

B. BIDDER WILL GUARANTEE BIDS FOR 60 DAYS FROM BID DUE DATE. BIDS SHALL INCLUDE ALL APPLICABLE STATE AND FEDERAL TAXES.

C. PROPOSAL: (AS OUTLINED IN BID DOCUMENTS) IT IS UNDERSTOOD BY OWNER, THAT THE BIDDER IN SUBMITTING HIS BID, WARRANTS THAT HE HAS CAREFULLY EXAMINED THE SITE OF THE PROJECT TO ACQUAINT HIMSELF WITH:

1. SURROUNDING PROPERTIES.
2. MEANS OF APPROACH TO THE SITE.
3. CONDITIONS OF THE ACTUAL JOB SITE.
4. FACILITIES FOR DELIVERING, STORING, PLACING, HANDLING AND REMOVAL OF MATERIALS AND EQUIPMENT.
5. ANY AND ALL DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE EXECUTION OF ALL WORK IN ACCORD WITH THE CONTRACT DOCUMENTS.

1.05 CONTRACTS AND WARRANTIES

A. ABBREVIATED FORM OF AGREEMENT BETWEEN CARRIER REPRESENTATIVE AND CONTRACTOR MAY BE USED AND WILL BE EMPLOYED FOR CONTRACT PURPOSES.

B. UNLESS ARRANGED OTHERWISE, EACH CONTRACTOR IS RESPONSIBLE FOR FILING THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR OF RECORD, AND PROVIDE JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION.

C. A COPY OF THE APPROVED DRAWINGS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED DRAWINGS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF DRAWINGS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT DRAWINGS TO THE A & E AT THE CONCLUSION OF THE PROJECT, OR TO TMO, AS DIRECTED.

D. THE CONTRACTOR SHALL BE REIMBURSED, AT FACE VALUE, FOR THE AMOUNT OF ANY FEE PAID AS FOLLOWS:

1. PLAN REVIEW FEE.
 2. BUILDING PERMIT FEE.
 3. CONNECTIONS AND INSPECTION FEES.
- EACH CONTRACTOR IS RESPONSIBLE FOR APPLICATION &

1.06 STORAGE

A. DO NOT USE THE CARRIER EQUIPMENT SPACE FOR STORAGE OF TOOLS OR MATERIALS WITHOUT WRITTEN SDM APPROVAL.

B. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER THAT WILL NOT OBSTRUCT THE FLOW OF OTHER WORK. ANY EQUIPMENT OR MATERIAL STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE MANUFACTURER.

C. WHEN STORING MATERIALS ENSURE EVEN DISTRIBUTION OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OF SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.

1.07 PROTECTION

A. PROTECT FINISHED SURFACES, INCLUDING JAMBS AND WALLS USED AS PASSAGEWAYS THROUGH WHICH EQUIPMENT AND MATERIALS WILL PASS.

B. PROVIDE PROTECTION FOR EQUIPMENT ROOM SURFACES PRIOR TO ALLOWING EQUIPMENT OR MATERIAL TO BE MOVED OVER SUCH SURFACES.

C. MAINTAIN FINISHED SURFACES CLEAN, UNMARRED AND SUITABLY PROTECTED UNTIL JOB SITE IS ACCEPTED BY THE SDM.

D. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.

1.08 REPAIRS AND REPLACEMENTS

A. IN EVENT OF DAMAGES, THE CONTRACTOR SHALL NOTIFY OWNER SDM, THEN PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO OWNER.

B. ADDITIONAL TIME THAT IS REQUIRED TO SECURE REPLACEMENTS AND TO MAKE REPAIRS WILL NOT BE CONSIDERED BY OWNER TO JUSTIFY EXTENSION IN THE CONTRACT TIME FOR COMPLETION.

1.09 TEMPORARY FACILITIES

A. WATER: WATER IS NOT AVAILABLE TO THE CONTRACTORS ON SITE.

B. LIGHT, TELEPHONE AND POWER: LIGHT AND POWER ARE AVAILABLE ON SITE. IF NOT, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER (FOR THE OPERATION OF TOOLS, EQUIPMENT AND LIGHTING NECESSARY FOR FACILITY CONSTRUCTION), WATER AND TOILET FACILITIES. TELEPHONE: EACH CONTRACTOR TO PROVIDE HIS OWN TELEPHONE ACCESS IF REQUIRED. CONTRACTORS ARE NOT TO USE OWNER PHONES.

C. IF PERMANENT POWER IS COMPLETED, ALL CONTRACTORS MAY USE THE SERVICE CONNECTION FOR PRODUCTION WORK ONLY, PROVIDED THAT ELECTRICAL CORDS AND CONNECTIONS ARE FINISHED BY CONTRACTORS AND ARE DISCONNECTED AND PROPERLY STORED DURING NON-WORKING HOURS.

1.10 CLEAN UP

A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK, AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING, INCLUDING ALL TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK AREA CLEAN AND READY FOR USE EACH DAY.

B. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, DUST, SMUDGES, AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, SMUDGES AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

D. CONTRACTOR SHALL WASH AND WAX FLOOR PRIOR TO FINAL ACCEPTANCE FROM SDM. WAX SHALL BE THE ANTI-STATIC TYPE.

PAYMENT OF CONTRACTOR LICENSES & BONDS.1.11CHANGE ORDER PROCEDURE

A. CHANGE ORDER MAY BE INITIATED BY THE SDM, AND OR THE CONTRACTOR. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE SDM, SHALL PREPARE WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT IT TO THE SDM FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPES OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE SDM SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR

1.12 RELATED DOCUMENTS AND COORDINATION

A. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK EACH CONTRACTOR JUST REFERS ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

B. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES, AND FOR SUPERVISING, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.

1.13 SHOP DRAWINGS

A. CONTRACTOR TO SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS AND THROUGH THE GENERAL CONTRACT TO THE SDM FOR APPROVAL.

B. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD UNLESS SPECIFICALLY NOTED OTHERWISE; CONTRACTOR SHALL NOT FABRICATE STEEL UNTIL DRAWINGS HAVE BEEN ACCEPTED IN WRITING

C. ALL SHOP DRAWINGS TO BE REVISED, CHECKED AND CORRECTED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE SDM

1.14 PRODUCTS AND SUBSTITUTIONS

A. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBMISSION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED INPSECTIONS AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

B. ALL NECESSARY PRODUCT DATA AND CUT SHEETS SHOULD PROPERLY INDICATES AND DESCRIBE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE SDM, SUBMIT ACTUAL SAMPLES TO THE SDM FOR APPROVAL IN LIEU OF CUT SHEETS.

1.15 COMPLIACE

A. ALL MATERIALS, DESIGN AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES (SOME ARE LISTED HEREIN) ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. UPON THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE CARRIER WITH THE CERTIFICATES OF OCCUPANCY (IF REQUIRED), JOB SITE PERMITTED PLANS AND INSPECTION CARD WITH ALL FINAL INSPECTION SIGNATURES AND OTHER LEGAL DOCUMENTS TO VERIFY SUCH COMPLIANCES. WHERE NO CODES EXIST, THE WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE AND/OR THE SPECIFICATIONS HEREIN, WHICHEVER IS MORE STRINGENT AND A DOCUMENT STATEMENT SHALL BE FURNISHED TO THIS EFFECT.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH THE GOVERNING CODES AND TO NOTIFY THE SDM OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

C. REFERENCES TO ANY STANDARD OR CODE OF PRACTICES IN THIS SPECIFICATION SHALL BE DEEMED TO MEAN THE EDITION CURRENT AT THE TIME OF AWARD OF THE CONTRACT.

D. THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN IN THESE DRAWINGS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT TO MOBILITY, SIGHT OR HEARING, THEREFORE, PER THE APPLICABLE CODES; THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

E. THE CONTRACTOR SHALL COMPLY WITH ALL ZONING AND SITE ACQUISITION SPECIAL STIPULATIONS AS OUTLINED IN THE JOB SPECIFICATIONS, OR AS DIRECTED BY THE SDM.

T-Mobile

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Downers Grove, IL 60515

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SITE NUMBER

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SITE NAME

USCC - 784760

SITE ADDRESS

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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER

GN-1

1.16 ADMINISTRATION

A. THE CONTRACTOR SHALL FURNISH TO THE SDM WITH THE NAME AND CONTACT TELEPHONE NUMBERS OF THE CARRIER APPROVED ON-SITE SUPERVISOR. ANY CHANGES IN SUPERVISION MUST BE REPORTED TO THE SDM IMMEDIATELY AND ARE SUBJECT TO CARRIER APPROVAL.

1.17 PERMIT AND LICENSES

A. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, STATE, AND/OR COUNTY CONSTRUCTION PERMITS AND LICENSES. COPIES OF ALL PERMITS SHALL BE SENT TO SDM. APPROVALS FROM RELEVANT PLANNING BOARD, ENVIRONMENTAL BOARDS, AND/OR OTHER COMMITTEE WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE APPLICATION FOR CONSTRUCTION PREMISES.

B. FAA APPROVAL WILL BE SUPPLIED BY OTHERS BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE ERECTING OF TOWER (IF APPLICABLE).

C. FOR CONSTRUCTION SCHEDULING REFER TO THE INSTRUCTIONS PROVIDED BY THE SDM ITEMS TO BE INCLUDED (WHEN APPLICABLE):

1. CLEARING AND GRUBBING
2. BUILDING PERMIT
3. SHELTER DELIVERY AND PLACEMENT
4. BUILDING FOUNDATION EXCAVATION
5. ACCESS ROAD
6. COMMERCIAL AC POWER
7. BUILDING FOUNDATION FORMING
8. INSPECTIONS
9. LANDSCAPING
10. GROUNDING SYSTEM
11. ANTENNA INSTALLATION

D. PRIOR TO COMMENCING THE WORK THE GENERAL CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES TO THE PROCESS. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE DESIGNATED REPRESENTATIVES OF EACH SUB-CONTRACTOR

E. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY & VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR QUESTIONS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION & INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED & CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO THE SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSES. CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE UNDERGROUND UTILITIES LOCATED & MARKED.

F. THE CONTRACTOR SHALL BE EQUIPPED WITH A MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A CELLULAR PHONE, AND BE AVAILABLE IN A REASONABLE AMOUNT OF TIME DURING CONSTRUCTION.

G. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY INCLUDING BUT NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE SITE CONSTRUCTION PERIOD. HE SHALL TAKE ALL REASONABLE PRECAUTIONS TO PLACE AND MAINTAIN BARRICADES, LAMPS, SIGN, AND ALL OTHER REQUIRED SAFETY MEANS.

CONSTRUCTION NOTES

1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
2. ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECTS KNOWLEDGE AS GATHER BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
3. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
4. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING WITHIN WATER TANK SITES OR ADJACENT TO EXISTING UNDERGROUND UTILITIES SHALL BE HAND DUG.
5. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

6. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.

7. DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.

8. EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.

9. COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWNGS LABELED "ISSUED FOR CONSTRUCTION

10. NO DUMPING SOILS ON SITE OR LEASE AREA, MUST BE HAULED OFF SITE.

11. ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .

12. ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.

13. PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.

14. ANY ACCIDENTS ON SITE MUST BE REPORTED TO CONTRACT OWNER WITHIN 2 HOURS OF EVENT.

15. GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGER AND TOWER OWNER.

16. PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.

GENERAL GRADING NOTES: (WHEN APPLICABLE)

1. CONTOURS AND SPOT ELEVATIONS SHOWN ARE ONLY CONTROLS AND THE PROFILES THEY FORM SHALL BE SMOOTH AND CONTINUOUS.
2. THE CONTRACTOR SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
3. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
4. DURING GRADING OPERATIONS AND PRIOR TO COMPLETION OF CONSTRUCTION, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND IMPROPER DRAINAGE.5. PRIOR TO THE START OF GRADING ALL EXISTING VEGETATION AND DEBRIS, INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE.
6. THE EXPOSED SOILS SHALL THEN BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES, BROUGHT TO PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY THE CURRENT UNIFORM BUILDING CODE.
7. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEP FOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
8. THE MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1.

9. CONTRACTOR SHALL MAKE SURE ALL SURVEY STAKING IS PRESERVED AND PROTECTED BY MEANS OF OFFSETS OR WORKING AROUND STAKES. CONTRACTOR SHALL BE RESPONSIBLE FOR REESTABLISHING STAKES IF THEY ARE DISTURBED BY HIRING THE ORIGINAL SURVEYOR10. TOP SOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGATATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIIVE ELEMENTS.

10. TEMPORARY SILT FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS AS SHOWN ON THESE DRAWINGS OR REQUIRED BY LOCAL CODES.

11. MINIMUM BUILDING PAD DRAINAGE SHALL BE 2%. DRAINAGE SHALL BE A MINIMUM OF 0.3' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES. THE MINIMUM SLOPE OF SWALES SHALL BE 0.50%.

12. IF ANY UNFORESEEN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING FURTHER.

13. ALL DEPRESSIONS WHERE WATER MAY POND WILL BE FILLED IN MADE EQUAL TO ADJACENT GRADES, CREATING A LARGER DRAINAGE SCHEME FOR THE SITE.

UTILITY SERVICE NOTES:

A. ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY; VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS WITH OWNER; PLACEMENT AND ROUTING OF ALL COMPONENTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

B. SERVICE EQUIPMENT SHALL HAVE A FAULT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. INSTALLATION SHALL BE FREE FROM ALL FAULTS AND GROUNDS.

C. ALL ELECTRICAL EQUIPMENT, CONDUITS, AND SUPPORT SHALL BE ABLE TO WITHSTAND 90 M.P.H. WIND SPEED; EXPOSURE C.

D. ALL ELECTRICAL EQUIPMENT SHALL HAVE A PERMANENTLY AFFIXED NEOPRENE PLASTIC LABEL – BLACK ON WHITE; LETTER HEIGHT SHALL BE ¼"; ALL NAMEPLATES TO BE FASTENED WITH (2) STAINLESS STEEL SCREWS, NOT ADHESIVE.

E. ALL WRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600V, COLOR CODED, #12 AWG MINIMUM UNLESS NOTED OTHERWISE.

CONDUIT NOTES:

F. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS, OR EXPOSED ON BUILDING EXTERIOR.

G. ELECTRICAL METALLIC TUBING SHALL BE U.L. LABEL; FITTING SHALL BE GLAND RING COMPRESSION TYPE.

H. CORING THROUGH FLOORS AND WALLS SHALL NOT BE DONE WITHOUT FINAL APPROVAL OF BUILDING OWNER OR OWNER REPRESENTATIVE.

I. CORING SHALL NOT BE PERFORMED DURING WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER.

J. CONCRETE CORING OR DRILLING SHALL BE PERFORMED FOLLOWING THE REVISED & UPDATED OSHA 29 CFR 1926.1153 COMPLIANCE FOR HAZARDOUS DUST, SILICA DUST, USING HEPA VDCS DRILLING TECHNIQUES.

GENERAL NOTES:

J. SUBMITTAL OF BID INDICATES CONTRACTOR IS FAMILIAR WITH ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED AS DETAILED AND OUTLINED IN THESE DRAWINGS

K. THE ELECTRICAL PORTION OF THESE DRAWINGS IS ONLY A PART OF THE OVERALL DESIGN. IT IS NECESSARY FOR THE ELECTRICIAN TO CONSIDER ALL ASPECTS OF THIS PROJECT WHEN BIDDING AND PLANNING THE WORK

L. IN THE EVENT OF A CONFLICTING DESIGN OR NOTATION, THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OR RESTRICTIVE METHOD UNTIL A CLARIFICATION IS MADE

M. ALL THINGS, WHICH IN THE OPINION OF THE CONTRACTOR ARE DEFICIENCIES, OMISSIONS, CONTRADICTIONS, OR AMBIGUITIES, IN THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE WORK PROCEEDS; ALL CLARIFICATIONS MUST BE RECEIVED IN WRITING IN ORDER FOE THE MATTER TO BE CONSIDERED RESOLVED

N. ELECTRICAL WORK SHALL INCLUDE BUT NOT LIMITED TO ALL MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL SYSTEMS INCLUDING LIGHTING, LOW VOLTAGE SYSTEMS, PANELS, POWER AND TELEPHONE DATA SERVICE, CONTROL WIRING, AND GROUNDING.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER

GN-2



Project Name _____

Tax Key # 232 999.004

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

• JUNE 20TH
• AUGUST 15TH
• SEPTEMBER 19TH

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: ADDITIONAL PARKING, MULTI-USE

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: MIKE DUPONT Phone # 414-520-9989

E-mail: Kocherenterprises@live.com

For office use only:

Met with staff on: 6/19/23

Paid fees on: 6/19/23

To be on the Plan Commission Agenda for: AUGUST 2023

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____

PAID 6/19/23
CHECK NO. 1241



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? YES If yes, is this a new CU? YES

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # 232-999.004

Zoning: B-3

Address of Tenant Space: W240N6689 MAPLE AVE.

1. Name of Business:

MIKES WOODLAND FARMS LLC

Business

P.O. BOX 456 SUSSEX, WI 53089 414-520-9989

Address

City, State, Zip

Phone #

Kocherenterprises@live.com

Fax #

Email address

2. Business owner contact information:

MIKE DUPONT OR MIKE KOCHER

Contact

W239N5718 MAPLE AVE. SUSSEX, WI 53089 414-520-9989

Address

City, State, Zip

Phone #

Kocherenterprises@live.com

Fax #

Email address

3. Building/Land owner contact information:

SAME

Contact

Address

City, State, Zip

Phone #

Fax #

Email address

4. Number of Employees/Shifts:

N/A
Employees

N/A
Shifts

5. Days of Operation:

Put an X in box that applies:
Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
<u>N/A</u>						

6. Is this an extension of an existing operation? YES
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? NO Do you need an Outdoor Establishment Permit? NO
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? NO If yes, explain: _____
11. Dimension of area to be occupied N/A Total square footage N/A
If applicable list square footage according to 1st floor N/A 2nd floor N/A

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 14-15 Number of spaces needed per code N/A
Number of spaces allocated for employee parking _____
Dimensions of parking lot 170' x 40' Is parking lot paved? RECYCLED ASPHLT

13. Signage: What type of signage are you proposing for your business?
N/A

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

MICHAEL DUPONT 6/19/23
Name Date
OWNER
Title or Position

I am aware and approve of the business to be operating in the building owned by _____.

Name Date

Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

MIKE DUPONT / MIKE KOCHER
P.O. BOX 456 SUSSEX, WI 53089

Business Name: MIKES WOODLAND FARMS LLC

Name of Owner and Address of the Property involved in the Request (if different from above):

SAME
W240N6689 MAPLE AVE. SUSSEX, WI 53089

Tax Key No. of the Property involved in the Request: SUXV

Michael Dupont
Signature of Property Owner and /or Authorized Agent

6/12/2023
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: MIKES WOODLAND FARMS LLC

Address: W240 N6689 MAPLE AVE. SUSSEX, WI 53089

Owner/Operator: MIKE DUPONT / MIKE KOCHER

Standard Industrial Classification #: _____

How many people do you employ? N/A

What are your businesses hours of work? N/A

Who is responsible for water quality? (List job titles)

N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

NONE - PARKING ONLY

Please list each product your business produces. (Include type, amount and rate of production):

NONE

What are the constituents and characteristics of your wastewater?

NONE

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: MIKES WOODLAND FARMS LLC

Business Address: W240 N6689 MAPLE AVE SUSSEX, WI 53089

Business Phone #: 414-520-9989

Business
Email: Kocherenterprises@live.com

Business Emergency Contacts

Name and Phone #: MIKE DUPONT 414-520-9989

Name and Phone #: MIKE KOCHER 414-975-9794

Name and Phone #: _____

Building Owner Name: MIKE DUPONT / MIKE KOCHER

Building Owner Email: Kocherenterprises@live.com

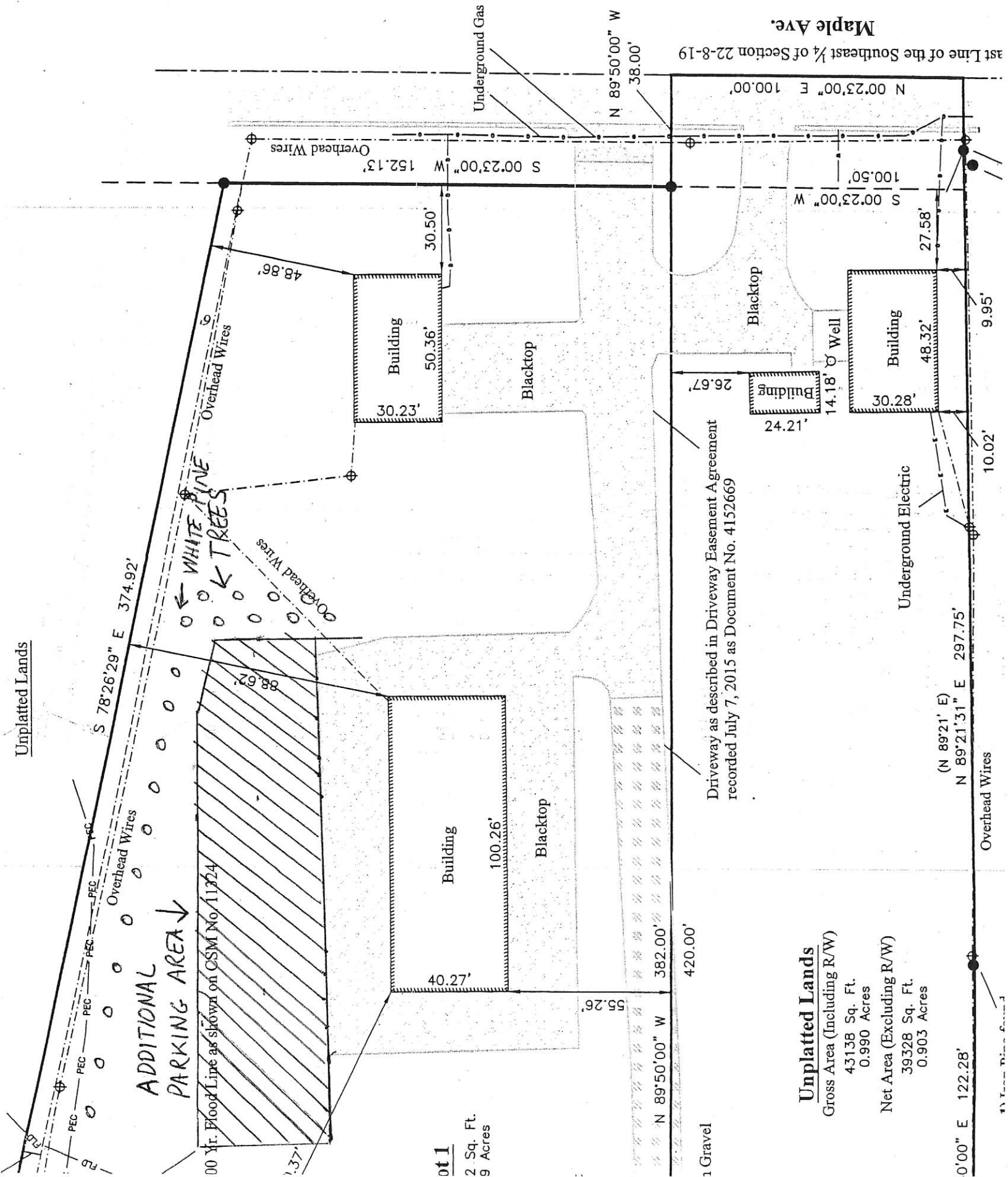
Building Owner Emergency Contacts

Name and Phone #: SAME

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

Unplatted Lands



Unplatted Lands

Gross Area (Including R/W)

43138 Sq. Ft.
0.990 Acres

Net Area (Excluding R/W)

39328 Sq. Ft.
0.903 Acres

ot 1

2 Sq. Ft.
9 Acres

1 Gravel

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0418 B-3 Highway Business District

17.0418 B-3 HIGHWAY BUSINESS DISTRICT

The B-3 Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such

traffic.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Hotels and motels
- (b) Bed and breakfast establishments
- (c) Restaurants, snack stands, and mobile food services. For a drivethrough the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (d) Bars
- (e) Food service contractors and caterers

2. Arts, Entertainment, and Recreation Services

- (a) Promoter, agent, artists offices/studio
- (b) Theater companies and dinner theaters, dance, musical groups, and performing arts companies.

3. Educational, Health Services, and Social Services

- (a) Fine arts and language schools and studios
- (b) Sports and recreation instruction
- (c) Automobile driving school
- (d) General medical services
- (e) Vocational rehabilitation services
- (f) Religious facilities
- (g) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
- (h) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
- (e) Office equipment rental and leasing
- (f) Rental Centers

5. General Services

- (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Personal care and weight loss services
- (d) Funeral home and funeral services
- (e) Coin operated laundries and drycleaners
- (f) Dry cleaning and Laundry Services (non-industrial)
- (g) Photo finishing laboratories
- (h) General business offices
- (i) Travel and visitor services
- (j) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)
- (k) Animal Boarding in the B-3 district provided that the animals are domestic pets including (dogs, cats, hamsters or similar pet rodents, pet fish, reptiles and pet birds). In no way shall the operation be allowed to board wild animals or any pets not included in the list above. The boarding shall be for limited periods of time with no animal allowed to be continually boarded for longer than 3 weeks in row. No boarding facility may sell, trade, or in any other way exchange animals. The Plan Commission when determining the appropriateness of the site for animal boarding shall take into account the available space for outside animal activity and the impact the noise of such a

facility will have on adjacent properties. An animal boarding operation shall be at least 1,000 feet from a residential zoned property, measured from the closest point where any boarded animal may be located to the closest residential zoning district property line.

The Plan Commission recognizes that customer's demands of animal boarding services and the culture related to taking care of pets is regularly evolving. These changes make it improbable to list all of the accessory uses of an animal boarding operation in the Code; therefore, the Plan Commission may consider accessory uses to the animal boarding operation such as, but not limited to; animal grooming, animal physical rehab, animal photography studios, retail sales of animal related products, if the Plan Commission finds the following:

1) The accessory use is consistent with the intent of the zoning district.

2) The accessory use is clearly established by the petitioner to be interrelated to and an accessory use of the principal animal boarding operation.

3) The site and or building are appropriately designed and located, or will be made so, to accommodate the accessory use and any impacts thereof.

6. Information Services

(a) Radio/TV/Cable network, stations, news syndicates, excluding towers and dishes.

(b) Telecommunications services

(c) Motion picture and video production

(d) Newspaper, printers, paper and software publishers, recording studio record production, telecommunications services and data processing.

(e) Libraries and archives.

7. Professional, Technical, Scientific, and Administrative Services

(a) Legal, notaries, and title services

(b) Accountants, tax preparation, payroll, and other accounting services

(c) Architects, landscape architects, engineering, surveying services

(d) Interior, industrial, graphic, and fashion design services

(e) Private investigators, locksmiths, security, and armored car services

(f) Janitorial services

(g) Pest control services

(h) Packaging and labeling service

(i) Veterinary Offices

(j) Offices of holding companies and regional managing offices

8. Retail Trade

(a) Furniture, flooring, and home furnishing stores

(b) Appliances, electronics, camera, office supply and copying stores

(c) Home improvement and hardware stores

(d) Grocery, supermarkets, convenience, and specialty food stores/markets

(e) Liquor/packaged beverage and tobacco stores

(f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores

(g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores

(h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.

(i) Gift shops, florists, variety stores, antiques, used merchandise

(j) Pet and pet supply stores

(k) Art dealers/store

(l) Internet sales shopping/mail order business and vending machine sales

(m) Building supply stores and general sales of industrial products, such as building materials, electrical supplies, heating supplies, lighting supplies, paint and painting supplies, plumbing supplies, roofing supplies, wallpaper and wallpaper supplies, and windows and doors.

(n) Outdoor Power Equipment

(o) Garden Centers

(p) Manufactured/mobile home sales

9. Manufacturing/Assembly

(a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.

10. Public Administration and Government Services

(a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.

11. Transportation and Warehousing

(a) Courier, delivery, postal service businesses

12. Parking Lots

(a) Parking lots are permitted without a principal structure, provided that the property owner submits a parking plan to the Plan Commission, and the Plan Commission approves the parking plan. The parking plan shall indicate whether the private parking area described in the parking plan may be used by the general public when the parking spots are not needed for the private use. If the plan so indicates, and if the plan is approved, then general public parking uses may be permitted upon such terms and conditions as are agreed upon in writing between the Village Board and the property owner, in a form approved by the Village Attorney. The Plan Commission shall approve the parking plan only if it finds all of the following:

(1) The lot where the proposed parking is located must be immediately adjacent to a lot that is zoned B-4 Central Mixed Use District that is proposed for development or change of use; and

(2) The adjacent B-4 Central Mixed Use District lot must have inadequate parking available on the lot to serve the new development or change of use, per the requirements of Section 17.0603 of this Code; and

(3) The parking plan must demonstrate that the parking lot will be in full compliance with all applicable requirements of this Code, except as to any modifications that may be granted pursuant to Section 17.0603(L) of this Code;

and

(4) Deed restrictions must be imposed and agreements must be entered between the adjacent lot owners, to the satisfaction of the Village Attorney, to allow the parking area to be used by the adjacent lot owner in compliance with the parking plan; and

(5) Subject to such reasonable conditions as the Plan Commission may deem to be necessary or appropriate.

13. Housing. Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.

B. Permitted Accessory Uses

1. Accessory garages for storage of vehicles used in conjunction with the operation of the business or for occupants of the premises.

2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.

3. Residential quarters for the owner or proprietor located in the same building as the business.

4. Rental efficiency and one-bedroom apartments on a non-ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.

5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.

6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

1. Conditional uses as allowed in Section 17.0500 Conditional Uses.

2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

1. Lots shall have a minimum area of 10,000 square feet and shall be not less than 75 feet in width.

2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

E. Building Height

1. No principal building or parts of a principal building shall exceed 30 feet in height.

F. Setback and Yards

1. There shall be a minimum building setback of 30 feet from the right-of-way of all streets.

2. There shall be a side yard on each side of all buildings not less than 15 feet in width.

3. There shall be a rear yard of not less than 25 feet.

4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Village Municipal Code.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be submitted to Plan Commission

1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

11. Miscellaneous Items (Towers/Antenna and Outside Storage)

a) Commercial Use Outside Storage. Outside storage maybe permitted for commercial uses in the B-1, B-2, B-3, B-4, BP-1, and OP-1, districts. All outside storage areas shall be at least 100 feet from residential, park, and institutional districts located in the Village or adjacent community. In all cases, outside storage shall be screened from all sides. All screening plans are subject to Plan Commission review and approval. Screening shall be a permanent opaque wall matching the materials of the building and may include fencing as deemed appropriate by the Plan Commission. The Plan Commission may allow vegetative screening in part or in whole, where it determines the vegetative screening shall provide sufficient and aesthetically pleasing screening and said screening is appropriate for the type of items being screened from view. The height of the wall necessary shall be sufficient to screen the product(s) in the outside storage area. The Plan Commission shall set the appropriate height of any fencing based upon the site conditions and the types of outdoor storage to be screened. Outside Storage shall not be construed to include the temporary or seasonal outdoor sales or

services allowed as part of a Village approved outdoor sales and services permit.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of

product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

Impact Report for Mike's Woodland Farms, LLC

Reason for report: Increasing driveway size with the addition of parking

1. Neighboring properties-Neighbors impacted are Kieth adjacent to the proposed driveway addition and Bill Evers Excavating to the rear. Kieth has no issues but has commented that he prefers a natural barrier(I.E. planted trees) to a fence. Bill Evers also has no issue and is also the contractor who has been performing the excavating and grading. All other neighbors are on the complete opposite side of the property behind the main building and a naturally forested area.
2. Village services:

A. Traffic-unaffected as the addition is far into our property on our own driveway.

B. Parking and overflow parking-unaffected.

C. Noise-nothing out of the ordinary.

D. Odor-None

E. Safety-standard motor vehicle operation by a licensed driver.

F. Crime-Potential for vehicle theft as with any other parking lot or driveway in the community.

G. Hours of operation-N/A

H. Health and Sanitation-N/A

I. Property Maintenance-All normal maintenance performed by the owners. (I.E. grass cutting, tree and bush pruning/removal/planting, etc.) Snow removal is contracted. Large jobs are contracted out, such as excavation and grading.



PLAN OF OPERATION – NEW CONSTRUCTION
PROCEDURE LIST

Project Name _____

Tax Key # _____

Pre-application conference must be arranged with staff. Please contact us at 262-246-5215 prior to submitting application materials.

Submittal checklist:

- _____ Original completed Plan of Operation (Page 1-3)
- _____ Original completed Professional Services Reimbursement, Emergency Contact, Wastewater Discharge Permit and Flood Plain Occupancy
- _____ 3 original size and 3 reduced (11 x 17) copies of Site Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Architectural plans
- _____ 3 original size and 3 reduced (11 x 17) copies of Sign Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Landscape Plan
- _____ 3 original size and 3 reduced (11 x 17) copies of Lighting Plan
- _____ Submit plans in PDF format on a disc

The following fees are required at the time of submittal:

- _____ Plan of Operation fee \$175.00
- _____ Conditional Use fee \$210.00
- _____ Plan Review fee \$250.00

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Please make check payable to: Village of Sussex (fees are non refundable)

Deadline for submittals is the last business day of the month for consideration for the next Plan Commission Agenda. (Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda.). Application can be submitted via email to ggilbertson@villagesussex.org.

Contact Name for meetings: _____ Phone # _____
E-mail: _____

For office use only:

Met with staff on: _____
Received documents on: _____
Fees received and paid on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on PROPERTY _____

SITE PLAN REVIEW CHECKLIST

This checklist is a guide for developers to have a project reviewed by the Village of Sussex Plan Commission. Before a project can be reviewed by the Plan Commission, initial consultation should be made with staff.

GENERAL INFORMATION

Names and addresses of owner/developer/
designer/engineer
Graphic scale, north arrow
Location sketch
Size of site (gross and net acreage)
Existing zoning, adjacent zoning
Summary of proposed development

EXISTING SITE INFORMATION

Dimensions of site and lot lines
Existing grades
Adjacent property grades and structures
Drainage systems and structures
Natural features
Wetland boundaries
Floodplain elevation and boundaries
Environmental concerns
Roads, curbs, parking lots, pavement areas
Structures (location, size)
Rights-of-way (existing/proposed)
Easements (drainage, utility)
Existing utilities
Benchmark locations and elevations
Location of fences, wells, borings, etc.

ARCHITECTURAL PLANS

Existing building location
Existing building elevations/materials
Proposed use
Proposed floor plans
Square footage
Proposed elevations, building height
Proposed materials and colors (material sample
board
required for new construction)
Details of any special features

PROPOSED SITE PLAN

Grading and spot elevations
Erosion control measures
Stormwater management
Stormwater management design report
General drainage pattern
Swales w/ arrows for direction of flow
Pond design with outfalls
Culverts location/size
Utilities
Sanitary
Water
Stormsewer
Electrical or power generators
Building location (dimension)
Building elevation (finished grade)
Location of proposed signage
Dumpster enclosure details
Setbacks (clearly marked and dimensioned)
Vehicular entrances (dimension to centerline of
nearest intersection)
Streets (dimension and direction for one-ways)
Curve radii
Sidewalks
Parking areas (show striping/spot elevations)
Parking setback from property line
Lot coverage
Square footage total
Impervious surface total %
Green space total %
Percent permitted %
Municipal utility connections
Sanitary sewer (pipe size/elevations)
Water (size, valve location, elevations)
Location of hydrants
Easement for public water mains

LIGHTING PLAN

Major improvements for context
Location/nature of existing fixtures
Location of proposed fixtures
Photometric report (to scale on plan)
Manufactures cut-sheets of all fixtures
Lighting schedule
Key to plan
Number/type of fixtures
Output (wattage)
Installation details as appropriate

The following materials can be reviewed on our website www.villagesussex.org

Design Standards
Chapter 17 & 18
Development Requirements
Downtown Plan
2040 Comprehensive Plan
2040 Land Use Plan

LANDSCAPING PLAN

Landscape plan to be same scale as site plan
Location of driveways, walk ways and sidewalks
Proposed outdoor amenities (benches, decks, gazebos)
Existing vegetation plan
Saved
Destroying
Proposed landscape features (berms, fountains)
Plant list broken down in the following categories
Deciduous trees, names and numbers
Evergreens, names and numbers
Shrubs/flowers, names and numbers
Indicate sizes of plantings

Fire Department Chapter 5

ITEMS SUBMITTED FOR PLAN COMMISSION

Completed Plan of Operation
Required # of copies to be received by established deadline date
Building material sample board
All required fees paid

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.



PLAN OF OPERATION

To be used for a business with new construction.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

OR an amendment to an existing CU? _____

(Conditional Use Permits require a Public Hearing)

Address location of new construction _____

Tax Key # _____

Zoning: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts:

_____ Employees

_____ Shifts

Please see attached narrative

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. Please see attached narrative
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____ Arcade permit? _____
If yes, explain: _____
If yes, please obtain and complete form.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____
If yes, explain: _____

11. Dimensions and levels of all buildings:

	Dimensions	Levels	Square footage
Building 1	_____	_____	_____
Building 2	_____	_____	_____
Building 3	_____	_____	_____

Is the building(s) to be used for multi-tenant purpose? _____

12.	Lot size	Depth	Width	Area
	_____	_____	_____	_____
	<i>Above to be included on survey</i>			

- 13 Parking: Dimensions of parking lot _____
Parking lot construction _____
Type of screening: Fence _____ or Plantings _____
Number of spaces needed per code _____ # of spaces for employees _____
Above to be included on site plan

Please provide the following information:

Total square footage of building, new and existing _____

Total square footage of parking lot, new and existing _____

14. Signs: Type: Free standing _____ Attached to building _____
no new signage Lighted _____ Single or double faced _____
Size _____ Location _____
Above to be included on sign plan

15. What security lighting are you proposing? (Please include on lighting plan)

16. Is there a need for outside storage? _____ If yes, explain:

17. Is a Highway access permit needed from the state or County Highway Departments? _____

If yes, please attach a copy of the secured permit.

What conditions has the State or County imposed upon your permit?

18. Is there a need for any special type of security fencing? _____

If yes, what type? _____

19. What provisions are you making for fire protection? _____

What provisions are your making for a sprinkler system? _____

Storage system? _____

Hydrant stand pipes? _____

Is there a fire lane shown on your site plan? _____

Explain: _____

20. Surface water drainage facilities and impervious areas, describe and/or include on site plan.

21. Did Wisconsin State Department of Industry Labor and Human Relations approve building plans?

_____ If yes, explain: _____

22. Please give a timetable for items to be completed:

Building construction _____

Paving _____

Landscaping _____

Occupancy _____

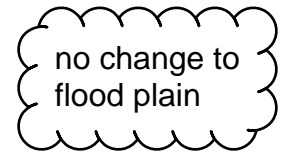
I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position



Information on Flood Plain Occupancy:

1. What is the flood plain elevation at the site? _____
2. Is the flood plain construction elevated or flood proofed? Elevated _____ Flood proofed _____
3. What is the elevation of the lowest floor of the structure? _____
4. What is the elevation of the land fill surrounding the structure? _____
5. Does the fill extend beyond the structure? _____
How far beyond the structure? _____ feet
6. Is dry land access provided? _____
7. If the structure is flood proofed, what flood proofing measures are used?

8. Certification of elevation or flood proofing must be provided by a licensed surveyor or registered Engineer.



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



no change to
existing discharge

WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes

No (no change)

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0420 BP-1 Business Park District

17.0420 BP-1 BUSINESS PARK DISTRICT

The BP-1 Business Park District is intended to provide for the orderly and attractive grouping of diverse office, retail, and customer service uses, mixed with industrial uses of limited intensity where the appearance of such mixed uses is enhanced by pleasing building architecture and generously landscaped sites free of outside storage and outside

display of products. The district is intended to be located in highly visible locations adjacent to arterial highways, and should be buffered by means of landscaping and berms from residential uses.

A. Permitted Uses

1. Accommodations and Food Service

- (a) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
- (b) Food service contractors and caterers
- (c) Hotels and Motels

2. Educational, Health Services, and Social Services

- (a) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.

3. General Services

- (a) Repair and Maintenance of consumer electronics, electronic and precision equipment commercial and Industrial machinery and equipment, appliances, furniture/reupholsters.
- (b) Barber, beauty, nail salons, spa treatment services
- (c) Dry cleaning and laundry services (non-industrial)
- (d) Photo finishing laboratories
- (e) General Business Offices.
- (f) General Construction trade services (carpenters, electricians, flooring services, lawn and landscaping services, lighting services, masonry services, painting services, plastering services, plumbing and heating contractors, roofing services, sheet metal services, welding services, and building showrooms)

4. Finance, Insurance, Real Estate, and Leasing

- (a) Financial Service Institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
- (b) Monetary Authority
- (c) Financial investment, insurance offices, and similar financial products
- (d) Real estate, appraisers, and developer offices

5. Office equipment rental and leasing Information Services

- (a) Newspapers and Publishers

- (b) Computer programming, software publishers and data/system processing
 - (c) Video, film, sound, photo production and studios
 - (d) Media station and distribution center, excluding towers and dishes
 - (e) Telecommunications services, excluding towers and dishes
6. Manufacturing: The manufacture, fabrication, assembly, and/or processing of the following products; or parts, supplies, or sub-assemblies of the same:
- (a) Fabrics and Textile Products
 - (1) Yarn, felt, and fabric
 - (2) Carpet, rugs, drapes, canvas, and rope
 - (3) Clothing, hosiery, hats, gloves, shoes
 - (4) Packing and assembly of fur and leather products, no tanning
 - (5) Upholstery of furniture and automotive
 - (b) Wood and Paper Products
 - (1) Wood furniture and wood products
 - (2) Paper products (non pulp)
 - (3) Printing, binding, and associated printing services
 - (c) Home, health, beauty, and cleaning Products
 - (1) Toiletries
 - (2) Medical, botanical, and pharmaceutical processing (non hazardous)
 - (3) Cosmetic manufacturing
 - (4) China, pottery, porcelain, clay, ceramics, silverware
 - (5) Glass and glass products
 - (6) Jewelry
 - (7) Home décor items of art, lamps, furniture, wallpaper.
 - (8) Brooms and brushes
 - (d) Machinery and Metal Products
 - (1) Rolled wire, metal product manufacturing
 - (2) Tool and die, and machining
 - (3) Machinery for of farming, construction, mining, woodworking, paper, textile, printing, food products, commercial or industrial uses, service industry, mechanical, crane, elevator, pumps, and motors.
 - (e) General manufacturing
 - (1) Electronics, telecommunications, medical instruments, scientific and laboratory equipment, measuring and recording devices.
 - (2) Electrical appliances, switches, cable, and components
 - (3) Vehicles, vehicle parts, and equipment
 - (4) Sporting goods, hobby products, musical instruments, and marking devices
 - (5) Signage and advertising products
7. Professional, Technical, Scientific, and Administrative Services
- (a) Legal, notaries, and title services
 - (b) Accountants, tax preparation, payroll, and other accounting services
 - (c) Architects, landscape architects, engineering, surveying services
 - (d) Interior, industrial, graphic, and fashion design services
 - (e) Consulting/professional services of advertising, management, HR, marketing, IT.

- (f) Laboratories, research, and development facilities
- (g) Translation and interpretation services
- (h) Employment placement and provider services
- (i) Private investigators, locksmiths, security, and armored car services
- (j) Janitorial services
- (k) Pest control services
- (l) Business service centers and telemarketers
- (m) Building maintenance services
- (n) Packaging and labeling services
- (o) Veterinary Services
- (p) Offices of holding companies and regional managing offices
- 8. Retail Trade
 - (a) Internet sales shopping/mail order business and vending machine sales
 - (b) Factory Outlets and retail sales of products made onsite in the principal industrial operation.
- 9. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
- 10. Transportation and Warehousing, as follows:
 - (a) Courier, delivery, postal service businesses
 - (b) Limited wholesaling, warehousing and storage facilities for distributors, provided that such warehousing and storage does not exceed 50,000 square feet.

B. Permitted Accessory Uses

- 1. Garages for storage of vehicles used in conjunction with the principal business park operation.
- 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 3. Office, storage, power supply, distribution, warehousing, and other uses normally auxiliary to permitted business park uses.
- 4. Indoor storage and sale of machinery and equipment associated with the permitted business park uses.
- 5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- 6. Roof-mounted solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Certain Incompatible Uses Prohibited

The following uses are considered to be incompatible with the residential characteristics of the Village and surrounding area and are herewith prohibited:

- 1. Manufacturing/processing of ammonia, asbestos, asphalt, cabbage,

chlorine, coal tar, creosote, explosives, fertilizer, fish, glue, grease, gypsum,

insecticide, lampblack, offal, poison, pulp, pyroxylin, and radioactive materials.

2. Storage of bulk fertilizer, explosives, gasoline in excess of 50,000 gallons, grease, and radioactive materials.
3. Forges, foundries, garbage incinerators, animal reduction, rubbish storage, slaughter houses, smelters, stockyards, and tanneries.

E. Lot Area and Width

1. Lots shall have a minimum of 40,000 square feet in area and shall be not less than 150 feet in width.
2. To achieve a campus-like appearance, lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.

F.

1. **Building Height**
No building or parts of a building shall exceed 60 feet in height.

G. Setback and Yards

1. There shall be a minimum building setback of 40 feet from the street right-of-way.
2. There shall be a side yard of 25 feet on each side of all structures not exceeding 45 feet in height. Buildings in excess of 45 feet in height shall increase the minimum side yards one (1) foot for each additional one (1) foot of building height over 45 feet up to a maximum height of 60 feet.
3. There shall be a rear yard of not less than 25 feet.
4. The Plan Commission may reduce setbacks within this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction,
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards of the Village.
5. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.
6. Service islands for gasoline service structures shall be considered principal structures and shall comply with building setback requirements. Canopies over a gasoline service island may extend into a front, side, or rear yard, but shall not encroach more than six (6) feet into any required yard. In no case, may a canopy extend into a street right-of-way.

- H. Erosion Control
 - 1. See Chapter 14 of the Village Municipal Code.
- I. Development Design Standards
 - 1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- J. Plans and Specifications to be Submitted to Plan Commission
 - 1. To encourage a business park environment that is compatible with the residential character of the Village, and that will maintain a campus like setting, building permits for permitted uses in the BP-1 Business Park District shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, architectural plans, ingress and egress, parking, loading and unloading, landscaping, and open space utilization.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

- 10. Transportation and Warehousing
 - Petitioners for conditional uses in the Warehousing section must:
 - a) In the BP-1 district, truck terminals, warehousing, wholesale and distribution centers, and mail-order centers when not accessory to a BP-1 district permitted use. The Plan Commission must also find the following items: that traffic from the use will not reduce the functionality grade of any nearby intersection(s) without the same being mitigated; and that noise standards of the operations shall be at least 10% lower at the property line than the Village Ordinance. The

Plan Commission must find that the buildings fully adhere to the design standards of the Village and the lot is screened such that the parked vehicles or equipment are not visible from any residential district and the street.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the

street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.



BRIOHN BUILDING CORPORATION

Caitlin LaJoie
Briohn Building Corporation
3885 N Brookfield Rd, Suite 200
Brookfield, WI 53045

July 31, 2023

Village of Sussex
N64W23760 Main Street
Sussex, WI 53089

VIA Email: Gabe Gilbertson (ggilbertson@sussexwi.gov)

Dear Village Staff, Commissioners, and Board Members:

Briohn Building Corporation is pleased to present the following proposal on behalf of Beer Capitol ("Developer") to the Village of Sussex ("Village") for the proposed addition ("Development") to their existing facility.

Subject Site

The subject site ("Site") is located at W222N5700 Miller Way, Sussex, WI 53089 (Tax Key SUXV0244992002) and is approximately 24.18 acres. The Site is currently zoned BP-1 with Exceptions, which will remain.

Company History

Beer Capitol was founded in 1933 and is now in its fourth generation of being family owned and operated. In 2016, Frank Beverage Group acquired Beer Capitol which has proven to be a successful venture as the two companies have many shared values. The Sussex headquarters continues to be a state-of-the-art facility as multiple additions have occurred over the years to accommodate a growing customer base of over 3,100 customers.

Beer Capitol is open Monday through Friday 24 hours and employs 372 full-time employees. There are approximately 80 warehouse employees, 96 delivery/transport drivers, 163 sales/merchandising employees, and 33 administrative employees. Additionally, there are 35 yearly part-time employees plus 40 summer employees. The addition is expected to assist in territory and supplier growth.

Beer Capitol is a beverage wholesaler whose facility sells approximately 9 million case equivalences of beer annually. Below is a list of top suppliers, by volume:

- Molson Coors Beverage Company

- Constellation Brands (Coronoa, Modelo)
- Mikes Hard Lemonade (Mikes, White Claw)
- Pabst Brewing Company
- Boston Beer Company (Sam Adams, Truly, Twisted Tea)
- Heineken
- Lakefront Brewery
- Premium Waters
- FIFCO (Seagram's)
- New Belgium Brewing (New Belgium, Bells)
- Eagle Park
- Raised Grain
- Stevens Point Brewery
- City Lights
- Sprecher Brewery

Vision of Development

The Developer is seeking approvals for the site plan, architecture, conditional use permit amendment, and proposed tree replacement from the Village. After completing a wetland delineation, a request for artificial wetland exemption was submitted to the WDNR on 7/27/23. Additional coordination and/or approvals from the county, state, and utility companies will be obtained as needed.

The proposed addition is to expand the existing warehouse to the north by 84,668 SF plus a loading dock addition of 13,800 SF with 10 overhead doors for a total building size (existing plus proposed) of 332,618 SF. There will be additional parking stalls to accommodate employees. Proposed interior alterations to increase efficiencies include relocating the combined cooler, creating new staging areas and modifying the dock enclosures along the southern wall. The Development will be fully sprinkled (NFPA 13) throughout with ESFR in all S-1 occupancy areas; Type 2B construction with primary occupancies as S-1 (storage moderate hazard) and secondary occupancy as B (business).

The Development will meet all BP-1 bulk zoning requirements, summary below:

	BP-1 Standard	Development
Front Setback	40'	76.1'
Side Setback	25'	137.7'
Rear Setback	25'	167.3'
Max Building Height	60'	30'
Min Open Space	25%	39% (403,584 SF)
Max Lot Coverage	75%	61% (642,983 SF)
Parking		276 car parking stalls 49 trailer parking stalls 29 van spaces

The Development is designed to be consistent with the existing building while meeting Beer Capitol's demand for additional warehouse space.

The proposed landscape plan has been prepared by a professional landscape architect. The design will meet or exceed Village ordinance and provide adequate screening.

Entitlement and Construction Timeline

08/15/2023 – Plan Commission meeting to accept application and set public hearing

08/21/2023 – Anticipated WDNR wetland approval

09/19/2023 – Plan Commission public hearing to approve site plan

10/04/2023 – Architectural Review Board meeting

10/17/2023 – Plan Commission public hearing to amend conditional use permit

A tree survey was completed and the Developer will present findings to the Parks Board at an upcoming meeting (to be coordinated with Staff).

Building permits will be applied for immediately so earth work can begin this fall, allowing Beer Capitol to be operational in the addition prior to Memorial Day 2024.

Materials and Image

The Developer has reviewed and understands the architectural design elements required by the Village. The preliminary design meets or exceeds the code while being aesthetically pleasing. Please reference Exhibit B attached hereto for proposed renderings; full size hard copies and electronic plans provided.

Contact Information

Dom Ferrante, Vice President - Architecture | Briohn Design Group
dferrante@briohn.com | 262-790-0500 x 405

Peyton Paquin, Senior Project Manager | Briohn Building Corporation
ppaquin@briohn.com | 262-790-0500 x 284

Kyle Roadt, Project Manager | Briohn Building Corporation
kroadt@briohn.com | 262-790-0500 x 286

Caitlin LaJoie, Director of Land Development | Briohn Building Corporation
clajoie@briohn.com | 262-307-8792

Conclusion

Thank you for reviewing and discussing the proposed development with our design team. We look forward to continuing the conversation with the Village. Should you have any further questions, please do not hesitate to contact me.

Sincerely,

Caitlin LaJoie, Director of Land Development
Briohn Building Corporation

Exhibit A – Aerial View

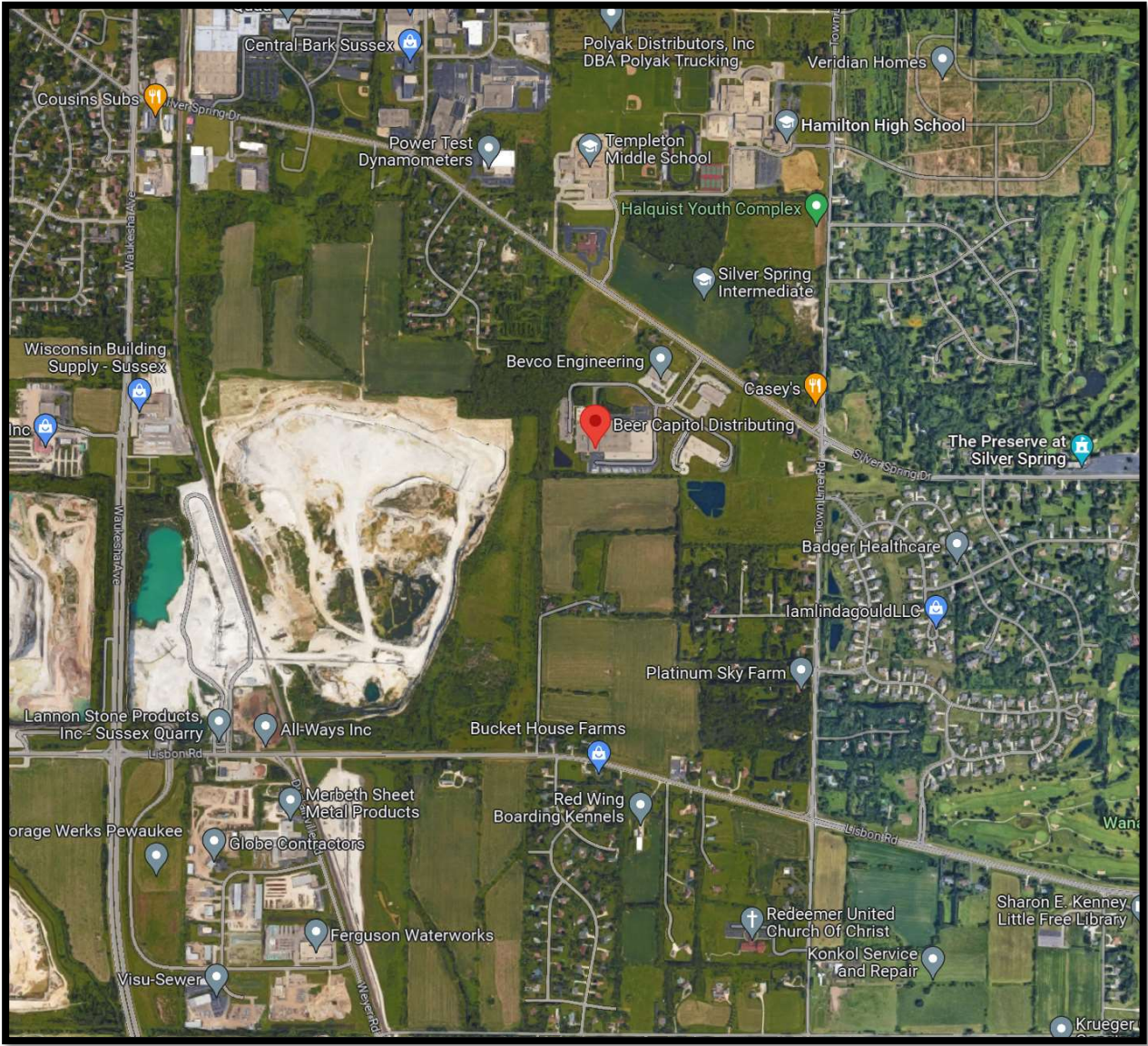


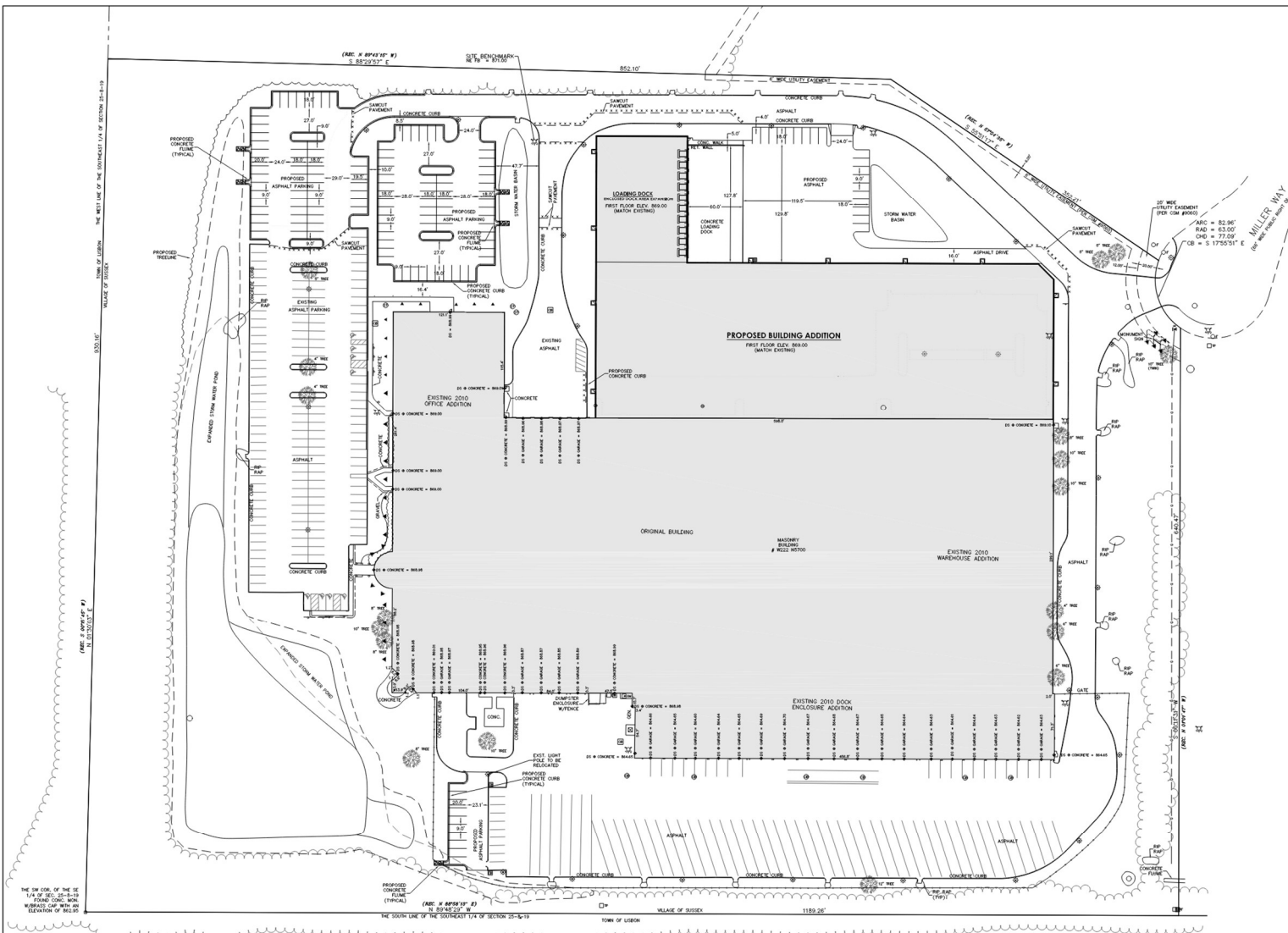


Exhibit B – Preliminary Site Plan, Elevations, and Renderings

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BEER CAPITAL
SUSSEX WISCONSIN

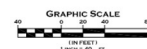
CJE NO.: CJE2229R3
JULY 28, 2023



LEGEND	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED ELEVATION
---	PROPOSED STORM SEWER

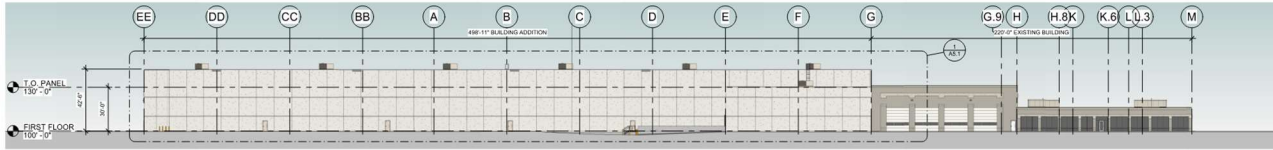
www.DiggerInfo.com
DIGGERS NOTING
DIAL 811 OR (800) 242-8511

NOTES:
1. SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE OF THE CURB.
2. ---

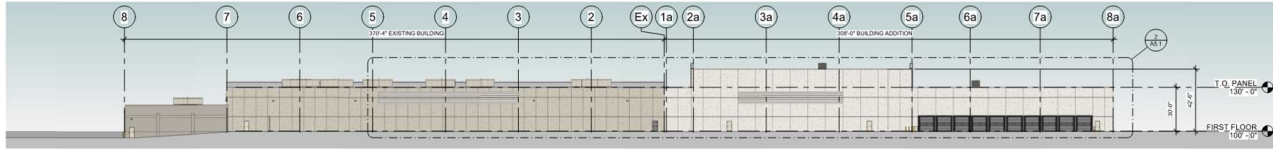


SITE PLAN

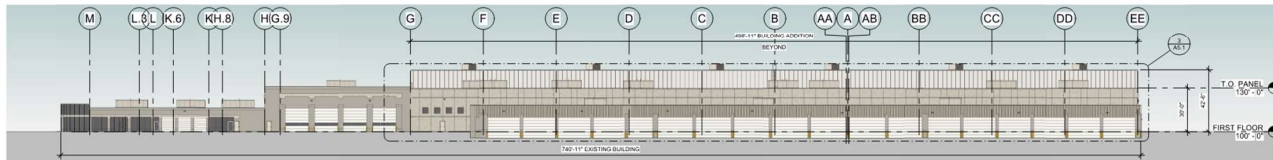
C1.0



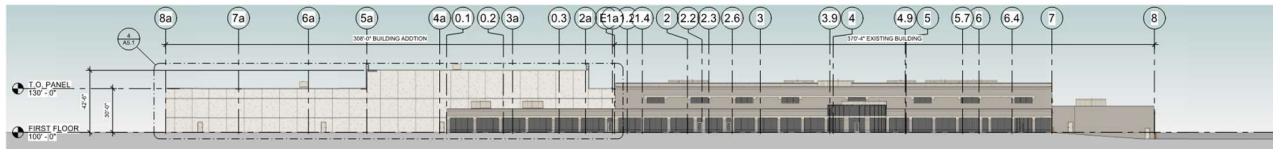
1 NORTH ELEVATION
T = 30'-0"



2 EAST ELEVATION
T = 30'-0"



4 SOUTH ELEVATION
T = 30'-0"



3 WEST ELEVATION
T = 30'-0"

WALL COLOR LEGEND

COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1 1/2" DEEP REVEAL

EXTERIOR SYSTEMS

ROOF ASSEMBLY (AMBIENT): BALLASTED 40 MIL EPDM ROOF MEMBRANE ON 4" DIRECT TO SLAB APPROVED DFI INSULATION (SEE TWO LAYERS OF 2" STAGGERED ON METAL DECK (SEE STRUCTURAL DRAWINGS))

INSULATED PRECAST WALL PANEL SYSTEM: 12" INSULATED PRECAST CONCRETE WALL PANEL (R-19)

INSULATED METAL WALL PANEL SYSTEM: 3" INSULATED METAL REVEAL WALL PANEL SYSTEM (R-42)

PRECASTER NOTE

PRECASTER TO PROVIDE COVERS FOR ALL ROUND RECESSED HOLES AND PROVIDE CLOSED GILL GRAY FOAM INSULATION WITH STEEL REINFORCED METAL COVER PLATE FOR ALL OTHER SHAFT OPENINGS OR RECESSED METAL BEAM, JOIST, JOIST BRACING OR OTHER PUNCTURED CONDITIONS ON INTERIOR SIDE OF THE PRECAST WALL PANELS

THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 4 (PER ICC SECTION 602) PER TABLE 602.2 (1) BUILDING ENVELOPE REQUIREMENTS - CLIMATE ZONE 4

ROOFS - PROPOSED ROOF INSULATION MINIMUM ABOVE DECK R-20 REQUIRED AND R-20 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.301 REQUIRED AND R-140 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW GRADE AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

VERTICAL PENETRATION LINE MAXIMUM ALLOWED ABOVE GRADE IS ACTUAL PROVIDED REQUIRED IS - FACTOR 40 ACTUAL PROVIDED 29 AND SHIP 2.

PER TABLE 602.3 BUILDING ENVELOPE REQUIREMENTS PENETRATION VERTICAL PENETRATION LINE MAXIMUM ALLOWED ABOVE GRADE IS ACTUAL PROVIDED REQUIRED IS - FACTOR 40 ACTUAL PROVIDED 29 AND SHIP 2.

REB-2015-000000

CA02.5 AIR LEAKAGE THERMAL ENVELOPE. PROPOSED BUILDING COMPLETES.

CA02.5.1 AIR BARRIER PER CA02.5.1.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE. PROPOSED BUILDING COMPLETES.

CA02.5.2 AIR LEAKAGE PENETRATION SEE EXCEPTION 1. FIELD FABRICATED PENETRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION CA02.5.1. PROPOSED BUILDING COMPLETES.

CA02.5.3 ROOMS CONTAINING FUEL-BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTRIBUTING TO OUTSIDE. PROPOSED BUILDING COMPLETES.

CA02.5.4 DOORS AND ACCESS OPENINGS TO DRAPES, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES. NOT APPLICABLE TO PROPOSED BUILDING.

CA02.5.5 AIR INLETS, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPPED. PROPOSED BUILDING COMPLETES.

CA02.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS. PROPOSED BUILDING COMPLETES.

CA02.5.7 VENTILATION EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, OR INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS MAY OPEN DIRECTLY FROM A SPACE LESS THAN 300 SQUARE FEET IN AREA. EXCEPTION 4 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS. PROPOSED BUILDING COMPLETES.

CA02.5.8 RECESSED LIGHTING. NOT APPLICABLE TO PROPOSED BUILDING.

Revision	By	Date
1	AL	2/20/24
2	AL	2/20/24
3	AL	2/20/24
4	AL	2/20/24
5	AL	2/20/24
6	AL	2/20/24
7	AL	2/20/24
8	AL	2/20/24
9	AL	2/20/24
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13	AL	2/20/24
14	AL	2/20/24
15	AL	2/20/24
16	AL	2/20/24
17	AL	2/20/24
18	AL	2/20/24
19	AL	2/20/24
20	AL	2/20/24



① PERSPECTIVE VIEW LOOKING SOUTH / SOUTHEAST
10'-0"



② PERSPECTIVE VIEW LOOKING SOUTH / SOUTHEAST
10'-0"



③ PERSPECTIVE VIEW OF EXISTING LOADING DOCK LOOKING NORTH / NORTHEAST
10'-0"



EXTERIOR RENDERINGS

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITAL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN



T1.1

BEER CAPITOL DISTRIBUTING

1 AERIA
12" = 1'-0"



2 AERIA
12" = 1'-0"

<h1>SHEET INDEX</h1>	
0 - GENERAL	
11.0	TITLE SHEET
11.1	EXTERIOR RENDERINGS
1 - SPECIFICATIONS	
GS.1	SPECIFICATIONS
GS.2	SPECIFICATIONS
2 - SURVEY	
SV-1.0	EXISTING CONDITIONS SURVEY
SV-2.0	TREE INVENTORY MAP
3 - CIVIL	
C1.0	SITE PLAN
C1.1	FIRE APPARATUS PLAN
C1.2	WB-47 TURNING MOVEMENT
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	EROSION CONTROL PLAN
C5.0	SITE DETAILS
C6.0	SITE DEMO PLAN
4 - LANDSCAPING	
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN ENLARGEMENT
L2.0	LANDSCAPE NOTES & DETAILS
5 - ARCHITECTURAL	
AO.1	ARCHITECTURAL SITE PLAN
A1.0	ARCHITECT SITE AND FLOOR PLAN EXISTING CONDITIONS
A1.1	OVERALL FLOOR PLAN
A1.2	ENLARGED FIRST FLOOR PLAN
A1.3	ENLARGED EXISTING FIRST FLOOR PLAN
A4.0	OVERALL ROOF PLAN
A5.0	OVERALL EXTERIOR ELEVATIONS
A5.1	ENLARGED EXTERIOR ELEVATIONS
A6.0	BUILDING LINE OF SIGHT SECTIONS
7 - ELECTRICAL	
E1.0	SITE LIGHTING PLAN
E2.0	LIGHTING CUT SHEETS
E2.1	LIGHTING CUT SHEETS

PLAN COMMISSION SUBMITTAL SET
JULY 31, 2023

OWNER :

BEER CAPITOL DISTRIBUTING
GARY GENZ

W222 N5700 MILLER WAY
SUSSEX, WI 53089

ARCHITECT :

BRIOHN DESIGN GROUP, LLC
Domenico Ferrante, AIA

3885 N. BROOKFIELD RD., SUITE 200
BROOKFIELD, WISCONSIN 53045
(262) 790-0500 PHONE
(262) 790-0505 FAX

CIVIL ENGINEER:

CJ ENGINEERING
Christopher A. Jackson, P.E.

9205 WEST CENTER STREET, SUITE 214
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GENERAL CONTRACTOR :

BRIORN BUILDING CORPORATION
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STRUCTURAL ENGINEER:

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Kevin Jankowski, PE

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LANDSCAPE ARCHITECT:

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Kristi Sherfinski, PLA

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MILWAUKEE, WISCONSIN 53205
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PROJECT LOCATION:



 **SITE LOCATION MAP**
SCALE: N.T.S.

PROJECT INFORMATION:

BUILDING CODE:
2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362
2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366

ACCESSIBILITY CODE:
2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362
2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

ENERGY CODE:
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363

MECHANICAL CODE:
2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364

PLUMBING CODE:
2014 WISCONSIN PLUMBING CODE SPS 381-387

ELECTRICAL CODE:
2017 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS316

FIRE CODE:
SPS 314 FIRE PREVENTION

OCCUPANCY: PRIMARY S-1 (MODERATE HAZARD STORAGE)
SECONDARY B (BUSINESS)

CLASS OF CONSTRUCTION:	TYPE 2B UNLIMITED AREA BUILDING PER IBC 507
SPRINKLER SYSTEM:	NEPA 12 OVERALL - ESER FOR S 1 OCCUPANCY AREA

FLOOR LEVELS: 1

NUMBER OF STORIES	1
TOTAL SITE AREA:	TOTAL CURRENT SITE 1,046,567 SF / 24.0259 ACRES

TOTAL EXISTING BUILDING AREA: 262,458 SF

PROPOSED WAREHOUSE ADDITION: 84,668 SF

PROPOSED LOADING DOCK ADDITION: 13,800 SF

TOTAL PROPOSED BUILDING AREA: 98,468 SF

TOTAL PROPOSED & EXISTING BUILDING AREAS: 360,926 SF

NOTE: ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS

APPLICABLE
TO ALL

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Division

Date _____

JOB:	230041
DRAWN:	CK
CHECKED:	DF
DATE:	07/31/2023

T1.0

[illegible]

PRECAST CONCRETE

1. TILT UP DESIGN SHALL CONFORM TO TCI AND ACI STANDARDS. GOVERNING SPECIFICATION FOR TILT UP CONCRETE SHALL BE IN ACCORDANCE WITH THE TILT-UP CONCRETE ASSOCIATIONS GUIDELINE SPECIFICATIONS. DESIGN LOADS SHALL CONFORM TO THE DESIGN LOADS SECTION OF THE PLAN AND APPLICABLE CODES. DESIGN AND CONSTRUCT TILT-UP WALL PANELS TO WITHSTAND CONSTRUCTION LOADS WHICH MAY OCCUR DURING LIFTING, BRACING, AND IMPACT OF ADJOINING PANELS. PERMANENT LOADS SHALL CONFORM TO CODE REQUIREMENTS.
2. THE PROJECT ARCHITECT/ENGINEER HAS NOT BEEN RETAINED TO DESIGN THE WALL PANELS OR THE FLOOR SLAB TO RESIST THE STRESSES CAUSED BY ERECTION OF THE WALL PANELS. NOW TO DESIGN THE MEANS AND METHODS TO BE USED FOR ERECTION AND BRACING UNTIL PERMANENT BRACING IS IN PLACE.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ERECT THE PANEL IN A MANNER THAT WILL BE BOTH SAFE FOR PERSONNEL AND PROPERTY, AND TO BRACE AND OTHERWISE PROTECT THE PANELS AGAINST WIND AND OTHER FORCES THAT MAY OCCUR DURING CONSTRUCTION AND UNTIL CONNECTIONS TO THE PERMANENT STRUCTURAL SYSTEM ARE COMPLETED.
4. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT A SUITABLE SLAB HAS BEEN PREPARED TO PROVIDE FOR THE LEVEL OF FINISH THAT HAS BEEN ESTABLISHED WITHIN THIS SPECIFICATION.
5. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE THE SLAB FINISHING INCLUDING SAW CUTTING OF ALL JOINTS WITH THE PANEL FORMING TOM MINIMIZE THE IMPACT TO THE ARCHITECTURAL FINISH OF THE PANELS.
6. SHOP DRAWINGS:
 - A. DRAWINGS SHALL BE COMPLETE AND INCLUDE PLANS, ELEVATIONS, CROSS SECTIONS AND DETAILS OF ALL BUILDING COMPONENTS AND ACCESSORIES TO BE FURNISHED BY THE TILT UP SUPPLIER.
 - B. APPROVAL OF SHOP AND ERECTION DRAWINGS IN AN APPROVAL OF GENERAL DESIGN ONLY AND DOES NOT RELIEVE THE TILT UP SUPPLIER FROM THE NECESSITY OF MAKING, WITHOUT COST, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR RESULTING FROM ERRORS IN SHOP AND/OR ERECTION DRAWING DIMENSIONS.
 - C. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND COORDINATE ALL OPENINGS IN TILT UP WITH TILT UP SUPPLIER.
 - D. ONE TILT UP SUPPLIER WILL BE RESPONSIBLE FOR COORDINATING ENGINEERING, DRAFTING, AND SHOP DRAWING SUBMITTALS IN THE EVENT THAT TILT UP COMPONENTS WILL BE PROVIDED BY MORE THAN ONE SUPPLIER.
 - E. SUBMIT PRODUCT DATA, SHOP DRAWINGS, AND CONCRETE MIX DESIGNS TO OWNER AND OWNERS CONTRACTED TESTING LABORATORY FOR REVIEW AND APPROVAL.
7. TILT UP SUPPLIER SHALL INCLUDE ERECTION, GROUTING, SAWING OF OPENINGS AT NEW AND EXISTING TILT UP, TILT UP SUPPLIER SHALL INCLUDE CAULKING OF ALL TILT UP TO TILT UP JOINTS, AND CAULKING OF ALL JOINTS TO OTHER MATERIAL JOINTS AT ALL EXPOSED AREAS. CAULK TO BE TREMCO DYMERIC 240 FC. PROVIDE SONNEBORN DEGUSSA NPT CAULK AT ALL STRANLUX LOCATIONS IN FOOD PROCESSING FACILITIES, FOOD PREP AND FOOD STORAGE AREAS. PROVIDE TREMCO DYMERIC 240 FC AT ALL NON-FINISH INTERIOR AND EXTERIOR LOCATIONS. SEE FLOOR PLAN.
8. FACING CONCRETE SHALL BE DESIGNED FOR MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED ON PROJECT DRAWINGS OR SPECIFIED ACCORDING TO ASTM C39.
9. THE BOND BREAKER USED ON THE TILT-UP PANELS AND THE CASTING SLAB MUST BE COMPATIBLE WITH ANY COATING SUITABLE FOR INTERIOR AND EXTERIOR CONCRETE PANELS AND SLAB.
10. CONTRACTOR SHALL ENSURE THAT FINISHED FLOOR SLAB DOES NOT SHOWING SPALLING, BOLT HOLES, OR OTHER SURFACE DEFECTS AFTER TILT-UP CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL FIGURE ALL COSTS REQUIRED TO PROVIDE OWNER WITH FLOOR SLABS THAT MEET ALL QUALITY REQUIREMENTS STATED WITHIN THIS SPECIFICATION. WASTE SLABS ARE STRONGLY RECOMMENDED.
11. CASTING SLAB SHS BE CURED. SAW CUTS, CRACKS OR JOINTS IN THE CASTING BED SHALL BE FILLED AND LEVELED WITH A SEALANT SO AS TO MINIMIZE TRANSFER OF THE JOINT LINE TO THE PANEL FACE.
12. SURFACES TO BE PAINTED SHALL BE PREPARED TO RECEIVE PAINT FINISH AS SPECIFIED. ALL EXPOSED EXTERIOR SURFACES SHALL BE SACKED AND GROUTED TO CREATE A SMOOTH MONEYCOMB-FREE SURFACE TO ACCEPT FINAL PAINT.
13. PANEL DAMAGED DURING ERECTION, CRACKS READILY VISIBLE FROM 40 FEET. PERMANENT BOWING FROM ERECTION, SPALLS AND PANELS WITH INSUFFICIENT TESTED STRENGTH, SHALL BE REPAIRED OR REPLACED IN A MANNER ACCEPTABLE TO OWNER. AT THE CONTRACTORS EXPENSE. ANY DEMOLITION OR REPAIR OF OTHER MATERIALS OR SYSTEMS AS A RESULT OF REPAIR OR REPLACEMENT OF DEFECTIVE CONCRETE SHALL BE AT THE CONTRACTORS EXPENSE.

MASONRY

1. MASONRY CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' ACI AND 'SPECIFICATIONS FOR MASONRY STRUCTURES' ACI.
2. BOND BEAMS, PILASTERS, AND LINTELS SHALL BE FILLED WITH CONCRETE HAVING $f_c = 3000$ PSI UNLESS NOTED OTHERWISE. COARSE AGGREGATE SHALL BE A GRAVEL. REINFORCE ALL CONCRETE BOND BEAMS WITH #5 U.N.O. PROVIDE CORNER BARS TO MATCH. THE MINIMUM LENGTH OF LAP FOR BARS EMBEDDED IN CONCRETE SHALL BE 24" FOR #4 BARS, 30" FOR #5 BARS, 36" FOR #6 BARS AND 42" FOR #7 BARS.
3. MASONRY CONTRACTORS TO GROUT COURSE(S) SOLID WHERE EXPANSION ANCHORS ARE SHOWN/CALLED OUT ON DRAWINGS.
4. USE ONLY U-SHAPED LINTEL BLOCK FOR MASONRY LINTELS. CENTERLINE OF REINFORCING TO BE LOCATED 3" MAX FROM BOTTOM OF LINTEL BLOCK.
5. LINTELS SHALL BEAR A MINIMUM OF 8" AT EACH END. THE FIRST COURSE OF MASONRY ABOVE THE LINTEL SHALL BE LAID WITH FULL MORTAR BEDDING. AT BEARING WALLS, GROUT END CELL SOLID TO FLOOR BELOW. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SPECIAL BOND BEAM AND LINTEL CONDITIONS.
6. FOR STEEL BEAMS BEARING PERPENDICULAR TO MASONRY WALL, GROUT AN AREA OF 4 CELLS WIDE, 4 COURSES DEEP, UNLESS NOTED OTHERWISE.
7. PROVIDE POCKETS IN MASONRY WALLS FOR STEEL BEAMS, JOISTS, GIRDERS AND COLUMN BASE PLATES AND BACK PATCH.
8. WALLS MUST BE BRACED OR TIED INTO FLOORS PRIOR TO BACKFILLING.
9. GROUT PLACEMENT IN REINFORCED MASONRY WALLS OR PIERS SHALL FOLLOW THE PROCEDURES DESCRIBED IN NCMA TEK MANUAL 3-2A FOR EITHER LOW-LIFT OR HIGH-LIFT GROUTING.
10. PROVIDE HORIZONTAL JOINT REINFORCEMENT SUCH AS DUR-O-WALL. 14 INCHES ON CENTER VERTICALLY FOR RUNNING BOND WALLS, AND 8" AND 10" STACK BOND WALLS. FOR 12" STACK BOND WALLS, STANDARD HORIZONTAL JOINT REINFORCEMENT AT 8" ON CENTER OR HEAVY (A=0.056" MIN) JOINT REINFORCEMENT AT 14" ON CENTER.
11. CONSTRUCTION SHALL BE RUNNING BOND UNLESS OTHERWISE NOTED.
12. REFER TO ARCHITECTURAL DRAWINGS AND/OR STRUCTURAL FOUNDATION PLAN FOR LOCATION OF ALL VERTICAL CONTROL JOINTS IN EXTERIOR WALLS. SEE STANDARD CONTROL JOINT DETAIL.
13. CONNECTIONS OF MASONRY VENEERS TO STRUCTURAL BACKUP WALL TO ADHERE TO THE FOLLOWING:
 - A. MASONRY VENEER ANCHORED TO MASONRY BACKING MAY BE ATTACHED USING WIRE ANCHORS, ADJUSTABLE ANCHORS, OR JOINT REINFORCEMENT. VENEER ANCHORED TO A CONCRETE OR STEEL BACKING MUST BE ATTACHED WITH ADJUSTABLE ANCHORS. VENEER ANCHORED TO WOOD STUDS TO BE ATTACHED WITH MINIMUM 22 GA. CORRUGATED SHEET METAL. ANCHOR SPACING TO BE SPACED AT MAXIMUM 32" HORIZONTALLY & 18" VERTICALLY. MINIMUM WALL SURFACE SUPPORT OF 2.67 SQ. FT.
 - B. AROUND OPENINGS LARGER THAN 16" IN EITHER DIMENSION, SPACE ANCHORS AROUND PERIMETER OF OPENING AT A MAXIMUM OF 3 FT. ON CENTER & PLACE ANCHORS WITHIN 12" OF OPENING.
 - C. WHEN VENEER IS ANCHORED TO WOOD BACKING, ANCHORS SHALL BE ATTACHED WITH A CORROSION RESISTANT 86 COMMON NAIL, OR A FASTENER EQUIVALENT OR GREATER PULL-OUT VALUE. WHEN VENEER IS ANCHORED TO STEEL BACKING, ATTACHED WITH CORROSION-RESISTANT SCREW THAT HAS A MINIMUM NOMINAL SHANK DIAMETER OF 0.19".
 - D. ALL WALL TIES, ANCHORS, AND CONNECTORS TO CONFORM WITH NCMA TEK MANUALS 3-6B AND 12-1A.
14. TEMPORARY CONSTRUCTION BRACING OF FREESTANDING WALLS IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR. PROCEDURES OUTLINED IN NCMA TEK MANUAL 3-4B TO BE FOLLOWED.

METALS

1. PROVIDE MISCELLANEOUS METAL ITEMS INCLUDING MATERIALS, FABRICATIONS, FASTENINGS AND ACCESSORIES REQUIRED FOR FINISHED INSTALLATION AS INDICATED AND SPECIFIED.
2. WHERE METAL ITEMS ARE TO BE ERECTED AND IN CONTACT WITH DISSIMILAR MATERIALS. PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED ZINC CHROMATE PRIMER IN A MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.
3. ALUMINUM EXTRUSIONS SHALL CONFORM TO ASTM B221. PROVIDE A CLEAR ANODIZED FINISH UNLESS OTHERWISE NOTED.
4. FASTENERS SHALL BE AS REQUIRED FOR PROPER ASSEMBLY AND INSTALLATION OF FABRICATED ITEMS.
5. MISCELLANEOUS MATERIALS: PROVIDE INCIDENTAL ACCESSORY MATERIALS, TOOLS, METHODS AND EQUIPMENT REQUIRED FOR FABRICATION AND INSTALLATION OF MISCELLANEOUS MATERIAL ITEMS AS INDICATED ON DRAWINGS.
6. VERIFY DIMENSIONS PRIOR TO FABRICATION OR CASTING. FORM METAL ITEMS TO ACCURATE SIZES AND CONFIGURATIONS AS INDICATED ON DRAWINGS AND OTHERWISE REQUIRED FOR PROPER INSTALLATION.
7. FABRICATE WITH ALL LINES STRAIGHT, CORNERS AND COUNTERSHARP, CLEAN AND TRUE. DAP, AND OTHERWISE PREPARE ITEMS FOR CONNECTION WITH WORK OF OTHER TRADES MAKE PERMANENT CONNECTIONS BY WELDING AND GRIND ALL EXPOSED WELDS SMOOTH TO MATCH ADJACENT SURFACES. ROUGH JOINT SURFACES NOT PERMITTED. AVOID USING BOLTS AND SCREWS UNLESS SPECIFICALLY INDICATED OR APPROVED. WHEN USED, DRAW UP TIGHT AND THE THREADS TO PREVENT LOOSENING.
7. ALL FERROUS METAL ITEMS SHALL BE SHOP FINISHED. TOUCH UP OR REPAIR DAMAGED AREAS PRIOR TO INSTALLATION WITH SAME MATERIAL.
8. PROVIDE ALL STEEL BLOCKING AND BRACING IN METAL STUD FRAMED PARTITIONS NECESSARY FOR A COMPLETE INSTALLATION INCLUDE AS REQUIRED FOR SUPPORT OF ALL WALL-MOUNTED EQUIPMENT AND FABRICATIONS AS INDICATED ON DRAWINGS. PROVIDE SUPPORTS AT JAMBS OF DOORS AND ELSEWHERE AS REQUIRED.
9. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS.

METALS: STRUCTURAL STEEL

1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL MEMBERS SHALL BE GOVERNED BY THE CURRENT EDITION OF AISC 'MANUAL OF STEEL CONSTRUCTION'.
2. ALL WELDERS TO BE CERTIFIED. ALL WELDING TO CONFORM TO AWS D1.1 LATEST EDITION USING E70-XX ELECTRODES.
3. BOLTED CONNECTIONS TO BE DOUBLE ANGLE WITH 3/4" DIAMETER ASTM A-325 BOLTS UNLESS SHOWN OTHERWISE. USE 3/4" DIAMETER A-325 BOLTS FOR SINGLE SHEAR. WING PLATE CONNECTIONS. PROVIDE MAXIMUM NUMBER OF BOLTS IN A SINGLE LINE WITH 3" GAGE. PROVIDE WASHERS FOR ALL ANCHOR BOLTS (ASTM A-307).
4. PROVIDE AND MAINTAIN TEMPORARY BRACING OF STEEL UNTIL SECURELY INCORPORATED INTO CONSTRUCTION SUCH AS SHEAR WALLS, X-BRACING, ETC.
5. STEEL COLUMNS BUILT IN MASONRY SHALL HAVE ADJUSTABLE MASONRY WALL ANCHORS AT 2'-0" ON CENTER VERTICALLY EACH SIDE. LOCATED IN COURSING.
6. WIDE FLANGE BEAMS 12" OR DEEPER SHALL HAVE 1/4" STIFFENER PLATE EACH SIDE AT ALL POINTS OF SUPPORT INCLUDING BEARING ENDS ON CONCRETE OR MASONRY. PROVIDE 5/8" BEARING PLATES WITH (2) 3/4" ANCHOR BOLTS 12" LONG WITH 3" HOOKS UNLESS OTHERWISE INDICATED ON STRUCTURAL DWGS.
7. UNLESS NOTED OTHERWISE, FRAME AROUND ALL ROOF DECK OPENINGS LARGER THAN 12" IN DIAMETER, INCLUDING ROOF DRAINS/SUMPS, WITH 4-l's 3" x 3" x 1/4" DOWN TURNED.
8. ALL STEEL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER (WITHIN THE MILL TOLERANCE) LOCATED ABOVE THE HORIZONTAL CENTERLINE BETWEEN THE END CONNECTIONS.
9. STAIRS, HANDRAILS, AND GUARDRAILS SHALL BE DESIGNED BY THE STEEL SUPPLIER.
10. SUBCONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS MUST BE SUBMITTED TO BRIORN DESIGN GROUP A MINIMUM OF SEVEN WORKING DAYS PRIOR TO FABRICATION DATE NEEDED FOR PROJECT SCHEDULING.
11. ROOF SLOPE TO BE 1/4" PER FOOT UNLESS OTHERWISE NOTED ON CONSTRUCTION DOCUMENTS. ROOF SLOPE IS GENERALLY TO BE ACHIEVED BY SLOPING THE STRUCTURE UNLESS THICKENED OR TAPERED INSULATION IS NOTED ON THE ROOF PLAN. ROOF SLOPE MAY BE 1/8" PER FOOT IF PONDING ANALYSIS IS PERFORMED PROVING STABILITY OF THE ROOF STRUCTURE AGAINST PROGRESSIVE DEFLECTIONS. SEE ASCE 7-05 SECTIONS 7.11 & 8.4. IF DIFFERENCE IN HEIGHT BETWEEN ROOF DRAINS AND HIGH POINT IN ROOF IS GREATER THAN 6", PLUMBING CONTRACTOR TO PROVIDE OVERFLOW DRAINS @ EACH DRAINAGE FEED ON THE ROOF.

METALS: DECK

1. DECK, ACCESSORIES, AND ATTACHMENTS SHALL CONFORM WITH THE CURRENT EDITION OF 'STEEL DECK INSTITUTE SPECIFICATIONS'.
2. PROVIDE SUPPORT AT COLUMNS AS REQUIRED FOR DECK SUPPORT. PROVIDE 12" x 2" x 3/16" MINIMUM.
3. AT OPENINGS IN DECK LESS THAN 12" x 12", PROVIDE A 1/4 GAUGE COVER PLATE FASTENED TO DECK WITH #12 TEK SCREWS.
4. AT CHANGE IN DECK DIRECTION, PROVIDE A 22 GAUGE x 12" CONTINUOUS PLATE. PROVIDE SAME PLATE AT ALL RIDGES, VALLEYS AND HIPS BENT TO MATCH PROFILE OF ROOF.

METALS: STEEL JOISTS & JOIST GIRDERS

1. DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO THE CURRENT EDITION OF 'STEEL JOIST INSTITUTE SPECIFICATIONS'.
2. JOIST MANUFACTURER SHALL BE A MEMBER OF THE SJI (STEEL JOIST INSTITUTE).
3. SUBCONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL JOIST SHOP DRAWINGS TO BRIORN DESIGN GROUP FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS MUST BE SUBMITTED TO BRIORN DESIGN GROUP A MINIMUM OF SEVEN WORKING DAYS PRIOR TO FABRICATION DATE NEEDED FOR PROJECT SCHEDULING.
4. PROVIDE SJI STANDARD BRIDGING AS SHOWN ON THE CONSTRUCTION DOCUMENTS OR AS REQUIRED BY DESIGN.
5. DO NOT DRILL OR CUT THROUGH ANY JOIST OR GIRDER.
6. ALL CONCENTRATED LOADS SHALL BE PRIED AT A JOIST PANEL POINT UNLESS SPECIFICALLY NOTED OTHERWISE. JOIST MANUFACTURER SHALL DESIGN JOISTS FOR ROOF UP LIFT LOADS AND SUSPENDED UNIT OR BULKHEAD LOADS SHOWN ON CONSTRUCTION DOCUMENTS. COORDINATE EXACT LOCATION OF APPLIED LOAD WITH APPROPRIATE SUB-CONTRACTOR.
6. DESIGN JOIST GIRDERS AND BRIDGING TO RESIST A NET UPLIFT LOAD OF 5 PSF UNLESS OTHERWISE NOTED.
9. PROVIDE CAMBER IN JOIST AS RECOMMENDED BY SJI SPECIFICATIONS UNLESS OTHERWISE NOTED ON CONSTRUCTION DOCUMENTS.
10. JOIST SUPPLIER SHALL COORDINATE WORK WITH THE STEEL SUPPLIER ON THE PROJECT.
11. DESIGN JOISTS AND JOIST GIRDERS FOR 1/240 LIVE LOAD DEFLECTION UNLESS NOTED OTHERWISE.

METALS: COLD-FORMED STEEL FRAMING

1. DESIGN, FABRICATION AND ERECTION OF COLD-FORMED STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE AISI DESIGN MANUAL AS AMENDED TO DATE. ALL FRAMING MEMBERS SHOWN ON PLANS ARE SCHEMATIC AND ARE SHOWN FOR INTENT ONLY. (ASSUME THAT THE DESIGN AND CALCULATIONS ARE DONE BY THE SUPPLIER).
2. ALL LIGHT GAUGE FRAMING DESIGN & CALCULATIONS TO BE DONE BY SUPPLIER. THIS INCLUDES BEAMS, HEADERS, STUDS, COLUMNS, ETC., INCLUDING ALL CONNECTIONS TO MASONRY, CONCRETE, STEEL & OTHER LIGHT GAUGE MEMBERS.
3. STEEL STUD CURTAIN WALL AND CONNECTIONS TO BE DESIGNED BY SUPPLIER. (STEEL STUD CURTAIN WALL AND CONNECTION DESIGN SHALL BE SEALED BY PROFESSIONAL STRUCTURAL ENGINEER EXPERIENCED IN THIS WORK).
- COMPONENTS & CLADDING
UPLIFT..... PER ASCE 7
V..... 115 MPH
I..... 1.0
GCP..... 0.35
- LIVE LOADS: GROUND SNOW LOAD..... 30 PSF
IMPORTANCE FACTOR..... 1.0
FLAT ROOF SNOW LOAD..... 21 PSF
FACTOR C1..... 1.0
FACTOR C6..... 1.0
- L/600 FOR BRICK VENEER
1/360 FOR WALL STUDS W/ ATTACHED DRYWALL
4. MINIMUM DESIGN THICKNESS OF STUDS AND TRACK AT EXTERIOR OF BUILDING VERTICALLY SUPPORTING MASONRY SHALL BE 0.045 INCHES (GAGE 18).
5. MINIMUM DESIGN THICKNESS OF STUDS AND TRACK AT EXTERIOR OF BUILDING VERTICALLY NOT SUPPORTING MASONRY SHALL BE 0.045 INCHES (GAGE 18).
6. LOAD BEARING STUDS VERTICALLY SUPPORTING MASONRY SHALL BE DESIGNED TO CARRY ALL GRAVITY LOADS AND LATERAL FORCES INCLUDING BUT NOT LIMITED TO DEAD LOADS, LIVE LOADS, WIND LOADS, AND AXIAL LOAD ECCENTRICITIES.
7. LOAD BEARING STUDS NOT VERTICALLY SUPPORTING MASONRY SHALL BE DESIGNED TO CARRY ALL GRAVITY LOADS AND LATERAL FORCES INCLUDING BUT NOT LIMITED TO DEAD LOADS, LIVE LOADS, WIND LOADS, AND AXIAL LOAD ECCENTRICITIES.
8. NON-LOAD BEARING STUDS NOT VERTICALLY SUPPORTING MASONRY SHALL TRANSFER LATERAL LOADS TO STRUCTURE BY MEANS OF STUDE CLIPS TO ALLOW FOR VERTICAL MOVEMENT OF PRIMARY STRUCTURAL MEMBERS.
9. SPLICES IN AXIALLY LOADED STUDS ARE NOT PERMITTED.
10. STUDS, TRACK AND ACCESSORIES SHALL BE GALVANIZED WITH A MINIMUM G-90 COATING PER ASTM A-525.
11. STUDS SHALL BE PLUMBED, ALIGNED, AND SECURELY ATTACHED TO FLANGES OR WEBS OF LOWER TRACK. STUDS SHALL BE SEATED TIGHT TO TRACK EXCEPT AS NEEDED FOR DIAGONAL BRACING OR REQUIRED FOR NON-PLUMB WALLS AND SPIR REFERENCED STANDARDS INCLUDING TESTING.
12. JOINTS SHALL BE LOCATED DIRECTLY OVER BEARING STUDS OR A LOAD DISTRIBUTION MEMBER SHALL BE PROVIDED AT THE TOP OF THE WALL.
13. REFER TO ARCHITECTURAL WALL SECTIONS AND DETAILS FOR ADDITIONAL INFO.
14. ALL MEMBERS 0.066 INCH MINIMUM THICKNESS OR THICKER (14 GAGE OR LOWER) SHALL BE OF MINIMUM 50 KSI STEEL. ALL MEMBERS OF 0.0451 INCH MINIMUM THICKNESS OR THINNER (18 GAGE OR HIGHER) AND ALL ACCESSORIES SHALL BE OF MINIMUM 33 KSI STEEL.
15. STEEL STUD ERECTOR SHALL CONSTRUCT ALL LIGHT GAGE FRAMING IN A MANNER WHICH PROTECTS LATERAL STABILITY OF THE STRUCTURE.
16. ALL WELDS PERFORMED ON GALVANIZED LIGHT GAGE COMPONENTS SHALL BE COATED WITH ZINC RICH PAINT FOR CORROSION PROTECTION IN ACCORDANCE WITH ASTM A780. CONTRACTOR SHALL NOTIFY THE ENGINEER TO ALLOW ADEQUATE TIME FOR WELDS TO BE REVIEWED BEFORE SYSTEMS ARE ENCLOSED.
17. STEEL STUD WALLS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE REQUIRED CAPACITIES TO CARRY CONSTRUCTION LOADS. CONTRACTOR SHALL PROVIDE NECESSARY BRIDGING OR ATTACHMENT TO WALL SHEATHINGS BEFORE STRUCTURAL COMPONENTS ARE LOADED.
18. INSTALL SUPPLEMENTARY FRAMING, BLOCKING AND BRACING IN METAL FRAMING SYSTEM WHENEVER WALLS OR PARTITIONS ARE INDICATED TO SUPPORT FIXTURES, EQUIPMENT, SERVICES, CASEWORK, HEAVY TRIM AND FURNISHING AND SIMILAR WORK.

WOOD AND PLASTICS

1. PROVIDE AND/OR INSTALL ALL ROUGH CARPENTRY, FINISH CARPENTRY INCLUDING MILLWORK, FINISH HARDWARE, ROUGH HARDWARE, FASTENING DEVICES AND MISCELLANEOUS ACCESSORIES AS MAY BE REQUIRED HEREIN AND/OR AS SHOWN ON THE DRAWINGS.
2. ROUGH CARPENTRY: FURNISH AND INSTALL ALL FRAMING AS MAY BE REQUIRED FOR INTERIOR PARTITION, BAFFLE, WALLS, SOFFITS, CEILINGS, STOREFRONTS, EXTERIOR WALLS, ETC. AS NOTED AND WHERE SHOWN ON THE DRAWINGS.
3. FINISH CARPENTRY: FURNISH AND INSTALL ALL THAT IS REQUIRED FOR DOORS AND FRAMES, FINISH TRIM AND MOLDING AND PANELING. PERFORM FINISH CARPENTRY WOK IN ACCORDANCE WITH AIA QUALITY STANDARDS, PREMIUM GRADE. USE FULL LENGTH PIECES, MITER ALL JOINTS, SHOULDER JOINT AT DOOR JAMBS. FILL ALL NAIL HOLES AND SAND SMOOTH.
4. PROVIDE ROUGH LUMBER AND PLYWOOD IN STANDARD DIMENSIONS. MOISTURE CONTENT NOT MORE THAN 19%.
5. PROVIDE ALL NECESSARY ROUGH HARDWARE IN SIZES AND QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
6. USE FINISH OR CASING NAILS FOR EXPOSED WORK. USE TYPE 3" TRIM HEAD SCREWS FOR ATTACHMENT OF WOOD TRIM TO METAL STUDS, RUNNERS OR FURRING.
7. RELIEVE BACKS OF WOOD TRIM, KERF BACKS OF MEMBERS MORE THAN 5" WIDE AND 1" NOMINAL THICKNESS. EASE ALL EXTERNAL CORNERS.
8. INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN SATISFACTORY CONDITION FOR INSTALLATION.
9. USE ADHESIVES RECOMMENDED BY THE MANUFACTURER FOR THE PARTICULAR APPLICATION. INSTALL IN ACCORDANCE WITH MANUFACTURER'S MOST CURRENT PRINTED APPLICATION INSTRUCTIONS. USE LOWEST VOC ADHESIVES AVAILABLE WHICH MEET OR EXCEED THE MANUFACTURERS REQUIREMENTS.
10. PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. REPLACE DAMAGED SURFACES.
11. REMOVE EXCESS ADHESIVE AND CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT AND CLEANING PROCEDURES.
12. FILL IN ALL SEAMS WITH MANUFACTURER'S RECOMMENDED SOLVENT AND CLEANING PROCEDURES. USE LOWEST VOC CLEANING AGENTS AVAILABLE THAT MEET OR EXCEED THE MANUFACTURERS REQUIREMENTS.
13. WOOD PRODUCTS SHALL MEET OR EXCEED THE AMERICAN WOODWORK INSTITUTE STANDARDS.
14. INSTALL WOODS AND PLASTICS IN CONFORMANCE WITH DETAILS AND THE FOLLOWING CONSIDERATIONS AND REQUIREMENTS:
 - A. INSTALL WOODS AND PLASTICS WITH TIGHT JOINTS.
 - B. MITER CASINGS AND MOLDINGS UNLESS OTHERWISE NOTED.
 - C. ALL RUNNING TRIM ONE (1) PIECE UP TO 10'-0" LONG. MATCH GRAIN AND COLOR PIECE TO PIECE.
 - D. USE FINISH NAILS EXCEPT WHERE ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW.
 - E. SET FASTENERS FOR PUTTYING.
 - F. WHERE SCREW ATTACHMENT REQUIRED, SPACE SCREWS AT EQUAL INTERVALS. SINK AND PUTTY IN FINISH WOOD SURFACES.
 - G. ALL MEMBERS AND LINES LEVEL AND PLUMB.
 - H. SELECT AND CUT MATERIAL TO EXCLUDE DAMAGED, MARKED OR DEFECTIVE AREAS.
 - I. FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL AND MACHINE MARKS.
 - J. EASE ALL EXPOSED WOOD EDGES TO A MINIMUM RADIUS.
 - K. INSTALL FIRE RATED DOORS IN ACCORDANCE WITH REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) RECOMMENDATIONS.
15. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS.

WOOD: LUMBER

1. LUMBER SHALL BE GRADED AND STAMPED WITH MINIMUM STRUCTURAL DESIGN VALUES AS LISTED BELOW:
 - A. #1/#2 DOUGLAS FIR 800 PSI Fb, 95 PSI Fv.
 - 1600 KSI E BEAMS (JOISTS, JOIST GIRDERS AND APPRS. UNLESS OTHERWISE NOTED)
 - B. #1/#2 S.P.F. 875 PSI Fb, 1150 PSI Fv, 1400 KSI E (ALL STUDS & PLATES, UNLESS OTHERWISE NOTED)
 - C. LVL @ 1800 KSI E OR MICRO-LAM @ 1900 KSI E 2600 PSI Fb, 285 PSI Fv (OR AS NOTED ON STRUCTURAL DRAWINGS)
2. WOOD HEADER AND FRAMING MATERIAL SHALL BE THOROUGHLY SEASONED, F FREE FROM WARP AND FREE OF ALL SPLITS, SHAKES AND CHECKS.
2. MISCELLANEOUS LUMBER: PROVIDE NO. 3 OR STANDARD GRADE LUMBER OF ANY SPECIES FOR SUPPORT OR ATTACHMENT OF OTHER CONSTRUCTION, INCLUDING ROOFTOP EQUIPMENT CURBS AND SUPPORT BASES, CANT STRIPS, BUCKS, NAILERS, BLOCKING AND SIMILAR MEMBERS.
3. PROTECTION AGAINST DECAY WITH PRESERVATIVE-TREATED WOOD SHALL BE REQUIRED IN THE FOLLOWING AREAS:
 - A. ALL WOOD SILL PLATES, FRAMING AND FURRING STRIPS ATTACHED TO EXTERIOR BELOW GRADE MASONRY AND CONCRETE WALLS.
 - B. ALL WOOD PLATES, BLOCKING, FRAMING AND FURRING STRIPS ATTACHED TO EXTERIOR, SINGLE WYTHE MASONRY WALLS.
 - C. ALL WOOD CAP FLASHING BLOCKING ATTACHED TO MASONRY OR CONCRETE PARAPETS.
 - D. ALL WOOD SLEEPERS AND SILL PLATES ON CONCRETE SLABS INDIRECT CONTACT WITH EARTH.
 - E. ALL WOOD IN CONTACT WITH GROUND OR EXPOSED TO THE WEATHER.
4. EXCEPTIONS: WOOD SILL PLATES ON CONCRETE SLABS SEPARATED FROM DIRECT CONTACT TO THE EARTH WITH A 10 MIL POLYETHYLENE VAPOR BARRIER WILL NOT REQUIRE PRESERVATIVE-TREATMENT.
5. FINISHES FOR FASTENERS AND HARDWARE IN CONTACT WITH PRESERVATIVE-TREATED WOOD ARE BASED ON THE FOLLOWING ASSUMPTIONS:
 - A. ALL INTERIOR TREATED WOOD SHALL USE AN ACQ-C, ACQ-D (CARBONATE), CBA-A OR CA-B TREATMENT WITH RETENTION LEVELS LESS THAN OR EQUAL TO 0.40 PCF, 0.40 PCF, 0.41 PCF AND 0.21 PCF RESPECTIVELY.
 - B. ALL CONNECTION HARDWARE AND FASTENERS IN DIRECT CONTACT WITH INTERIOR TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED, MECHANICALLY GALVANIZED OR STAINLESS STEEL.
 - C. ALL CONNECTION HARDWARE AND FASTENERS IN DIRECT CONTACT WITH EXPOSED EXTERIOR TREATED WOOD OR UNKNOWN TREATMENTS SHALL BE STAINLESS STEEL.
 - D. USE TAPCON CLIMASEAL FASTENERS TO CONNECT ACQ-TREATED WOOD BLOCKING TO MASONRY OR CONCRETE PARAPETS.
6. SHOP DRAWINGS FOR PRESERVATIVE-TREATED WOOD, HARDWARE AND FASTENERS:
 - A. THE SUBCONTRACTOR SHALL FURNISH MATERIAL CERTIFICATES FOR ALL P PRESERVATIVE TREATED WOOD TYPES SPECIFYING THE NAME OF THE TREATMENT, THE LEVEL OF TREATMENT (0.10, 0.25, 0.40, 0.40, ETC) THE USE (ABOVE GROUND, GROUND CONTACT, ETC.) AND A REFERENCE TO THE AWPFA STANDARD.
 - B. THE SUBCONTRACTOR SHALL FURNISH MATERIAL, DATA SHEETS FOR HARDWARE FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED WOOD.
 - C. PLACE 7" THICK NOMINAL FIRE-BLOCKING IN STUD WALLS AT CEILING, SOFFIT, FLOOR LEVELS AND AT EACH 10'-0" HEIGHT OF STUD.
 12. JOISTS SHALL BE BLOCKED AT SUPPORTS AND BRIDGED OR BLOCKED AT INTERVALS OF 8'-0" WHERE JOISTS ARE 2 x 12" OR DEEPER.
 13. JOISTS UNDER NON-BEARING PARTITIONS SHALL BE DOUBLED AND TRIPLED FOR BEARING PARTITIONS ABOVE, UNLESS OTHERWISE NOTED.
 10. COMMON NAILS SHALL BE USED, UNLESS OTHERWISE NOTED.
 11. LAG BOLTS AND SCREWS SHALL BE PRE-DRILLED TO SHANK DIAMETER AND FULL DEPTH AND SCREWED, NOT DRIVEN INTO PLACE.
 12. CUT WASHERS SHALL BE PLACED UNDER HEADS AND NUTS OF ALL BOLTS AND UNDER HEADS OF LAG BOLTS. ONE CUT WASHER SHALL BE USED FOR BOLTS CONNECTING IRON LEDGERS TO CONCRETE OR MASONRY WALLS.
 13. USE LUMBER, PLYWOOD AND NAILING SPECIFICATIONS ON STRUCTURAL DRAWINGS. PROVIDE AND INSTALL ALL WOOD FRAMING AS INDICATED ON THE DRAWINGS.
 14. METAL CONNECTORS AND FRAMING DEVICES SHOWN ON DRAWINGS OTHER THAN CUSTOM FABRICATED ITEMS SHALL BE "STEEL-TIE" CONNECTORS BY SIMPSON COMPANY.

THERMAL AND MOISTURE PROTECTION

1. CAULK AROUND ALL WINDOWS (HEAD AND JAMB), DOORS, VENT, OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, COUNTERTOPS, DOOR FRAMES, ETC. AS REQUIRED FOR WATERTIGHT AND AIRTIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE TREMCO DYMERIC 240 FC FOR FOOD PROCESSING FACILITIES OR FOOD PRE-FOOD STORAGE AREAS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER'S RECOMMENDATIONS.
2. PROVIDE NON-SAG SEALANT COMPLYING WITH REQUIREMENTS OF FEDERAL SPECIFICATIONS ITS-1543 OR FS ITS-230 TYPE "1", CLASS "A". PROVIDE ACACUSTAL SEALANT WHICH SHALL BE NON-HARDENING, NONDRYING SYNTHETIC RUBBER SEALING COMPOUND WITH MINIMUM 90% SOLIDS. USE AT ALL INTERIOR JOINTS AT INTERSECTIONS BETWEEN PLANE, AROUND DOOR AND WINDOW FRAMES PRIMER SHALL BE MADE OR RECOMMENDED B SEALANT MANUFACTURER FOR THE SPECIFIC CONDITIONS AND SUBSTRATES. USE LOWEST VOC SEALANTS AND CAULKING AVAILABLE WHICH MEET OR EXCEED THE CODE AND MANUFACTURERS REQUIREMENTS.
3. PROVIDE BACKING MATERIAL BY DOW ETHAFORM OR APPROVED EQUIV. APPLY SEALANT OVER BACKING TO UNIFORM THICKNESS IN CONTINUOUS BEADS FILLING ALL JOINTS AND VOIDS. SOLID. SUPERFICIAL POINTING WITH SKIM BEAD WILL NOT BE ACCEPTED.
4. ALL SURFACES SHALL BE ADEQUATELY CLEANED AND PREPARED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS PRIOR TO INSTALLATION. USE LOWEST VOC CLEANING AGENTS AVAILABLE THAT MEET OR EXCEED THE MANUFACTURER'S REQUIREMENTS.
5. ISOLATION AND CONTROL JOINT MATERIAL TO BE POLYETHYLENE FOAM EXPANSION ISOLATION JOINT FILLER OF 1/2" THICKNESS UNLESS OTHERWISE INDICATED. THE MINIMUM DEPTH OF ISOLATION JOINT MATERIAL TO BE EQUAL TO THE SMALL OF THE CONCRETE SLAB THICKNESS WITH WHICH IT COMES IN CONTACT.
6. WIND RESISTANCE OF EDGE FLASHING SHALL MEET OR EXCEED THE MINIMUM STANDARDS PER THE CODE AND SATISFY THE AHS AND SPIR REFERENCED STANDARDS INCLUDING TESTING.
7. REFER TO ROOF PLAN FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS FOR ROOFING MATERIALS AS THEY PERTAIN TO THERMAL AND MOISTURE PROTECTION.

DOORS AND WINDOWS

1. PROVIDE PRIMED HOLLOW METAL GALVANIZED FRAMES FOR EXTERIOR DOOR FRAMES. PROVIDE PRIMED HOLLOW METAL FRAMES FOR EXTERIOR DOORS. WHERE WEATHERSTRIPPING IS IDENTIFIED ON THE DOOR SCHEDULE PROVIDE 'CURISEAL' TYPE WEATHER STRIPPING FOR EXTERIOR AND INTERIOR APPLICATIONS.
2. PROVIDE HOLLOW METAL EXIT DOOR CONSTRUCTED WITH THE FOLLOWING MATERIALS:
 - A. MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS.
 - B. 16 GA. FOR EDGE CHANNELS.
 - C. MINIMUM 22 GA. FOR FACE STIFFENERS.
 - D. MINIMUM 16 GA. FOR INTERIOR FRAMES.
3. PROVIDE DOORS OF SIZES AND TYPES INDICATED ON DRAWINGS. FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES. THICKNESS AS SCHEDULED ON DRAWINGS.
4. FACE STIFFENERS, EDGES AND HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP AND MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRADE PRACTICE AND MANUFACTURER'S WRITTEN REQUIREMENTS AND RECOMMENDATIONS FOR THE USE INTENDED.
5. PROVIDE CUSTOM MADE WELDED UNITS WITH INTEGRAL TRIM. SIZES AND SHAPES AS INDICATED ON DRAWINGS. FABRICATE UNITS SQUARE, TRUE AND FREE FROM DEFECTS.
6. HARDWARE REINFORCEMENT AND ANCHORS (ERECTION, FLOOR, AND JAMBS) SHALL BE AS REQUIRED FOR A SECURE INSTALLATION AND SHALL BE IN ACCORDANCE WITH TRADE REQUIREMENTS FOR THE SPECIFIED HARDWARE AND INTENDED USE.
7. INSTALL FRAMES IN ACCURATE LOCATIONS AS INDICATED ON DRAWINGS. INSTALL RIGID, PLUMB, LEVEL AND TRUE, ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR ANCHORS TO FLOOR CONSTRUCTION WITH APPROVED TYPE MECHANICAL FASTENINGS. ANCHOR TO ADJOINING WALLS WITH SPECIFIED ANCHORS. BRACE FRAMES TO RETAIN POSITION AND CONTINUOUSLY CHECK ALIGNMENT DURING CONSTRUCTION OF ADJACENT WALLS. ADJUST FRAME LOCATIONS AS NECESSARY USING SHIMS BEFORE FASTENINGS. LEAVE READY TO RECEIVE SEALANT WHERE INDICATED ON DRAWINGS. ADJUST AND CHECK OPERATION OF EVERY UNIT. REPAIR OR REPLACE UNITS WHICH CANNOT BE ADJUSTED TO OPERATE FREELY AND SMOOTHLY.
8. INSTALL WOOD DOORS, FRAMES AND TRIM. SIZES AND THICKNESS AS SCHEDULED ON DRAWINGS. HANG DOORS AS SCHEDULED ON DRAWINGS IN ACCURATE LOCATIONS WITH 1/8" CLEARANCE AT THE TOPS AND 3/8" CLEARANCE AT BOTTOM, UNLESS SPECIFICALLY NOTED FOR 'UNDERCUTS' OR OTHER DEVIATIONS IN FIT. MAKE NO JOB SITE FIT IN CUTS UNLESS APPROVED. HANG PAIRS OF DOORS AS SPECIFIED WITH 3/32" CLEARANCE AT MEETING EDGES. DEMONSTRATE THAT DOORS OPEN FREELY WITHOUT BINDING, AND WHEN CLOSED, WILL LATCH PROPERLY.
10. PROVIDE ACCESS DOORS AS REQUIRED FOR SPECIFIED RATING. SIZE AS INDICATED.
11. PROVIDE ALL DOORS PER DOOR AND FRAME AND HARDWARE SCHEDULES. INSTALLATION TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS.
12. PROVIDE ALL HARDWARE WITH ALL NECESSARY SCREWS AND OTHER FASTENERS OF SUITABLE SIZE AND TYPE TO ANCHOR THE HARDWARE IN POSITION FOR LONG LIFE UNDER HARD USE. FURNISH ITEMS COMPLETE WITH EXPANSION SHIELDS, TOGGLE BOLTS AND OTHER ANCHORS IN ACCORDANCE WITH THE MATERIAL TO WHICH THE HARDWARE IS TO BE APPLIED TO AND THE RECOMMENDATIONS OF THE HARDWARE MANUFACTURER. FASTENER FINISH SHALL HARMONIZE WITH THE HARDWARE MATERIAL.
13. COORDINATE WITH OTHER TRADES TO ASSURE PROPER AND ADEQUATE PROVISION IN THE WORK OF THOSE TRADES FOR INTERFACE WITH THE WORK OF THIS SECTION.

FINISHES

1. GENERAL FINISH REQUIREMENTS:
 - A. PROVIDE AND INSTALL ALL FINISHES AS INDICATED ON PLANS.
 - B. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
 - C. FINISH INSTALLER INSPECT SUBSURFACE AND PREPARE AS PER REQUIREMENTS, RECOMMENDATIONS, AND SPECIFICATIONS PRIOR TO EQUIPMENT.
 - D. ALL FINISHES TO MEET ALL CODE REQUIREMENTS AND REGULATIONS FLAME SPREAD AND SMOKE DEVELOPMENT.

SPECIALTIES

1. NOT USED.

EQUIPMENT

1. NOT USED.

FURNISHINGS

1. NOT USED.

SPECIAL CONSTRUCTION

1. NOT USED.

CONVEYING SYSTEMS

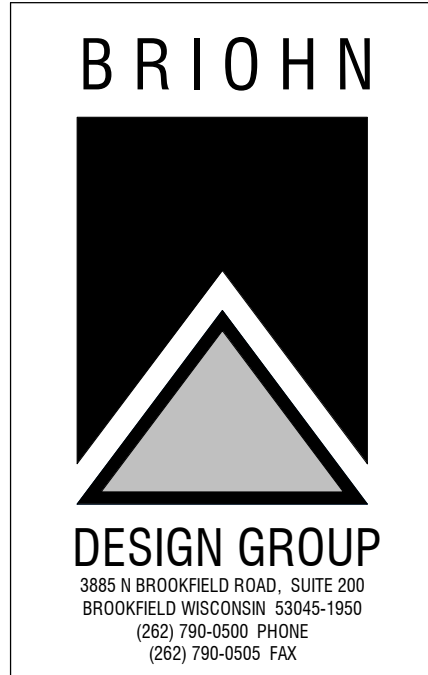
1. NOT USED.

MECHANICAL

1. NOT USED.

ELECTRICAL

1. NOT USED.



PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTEING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Revision

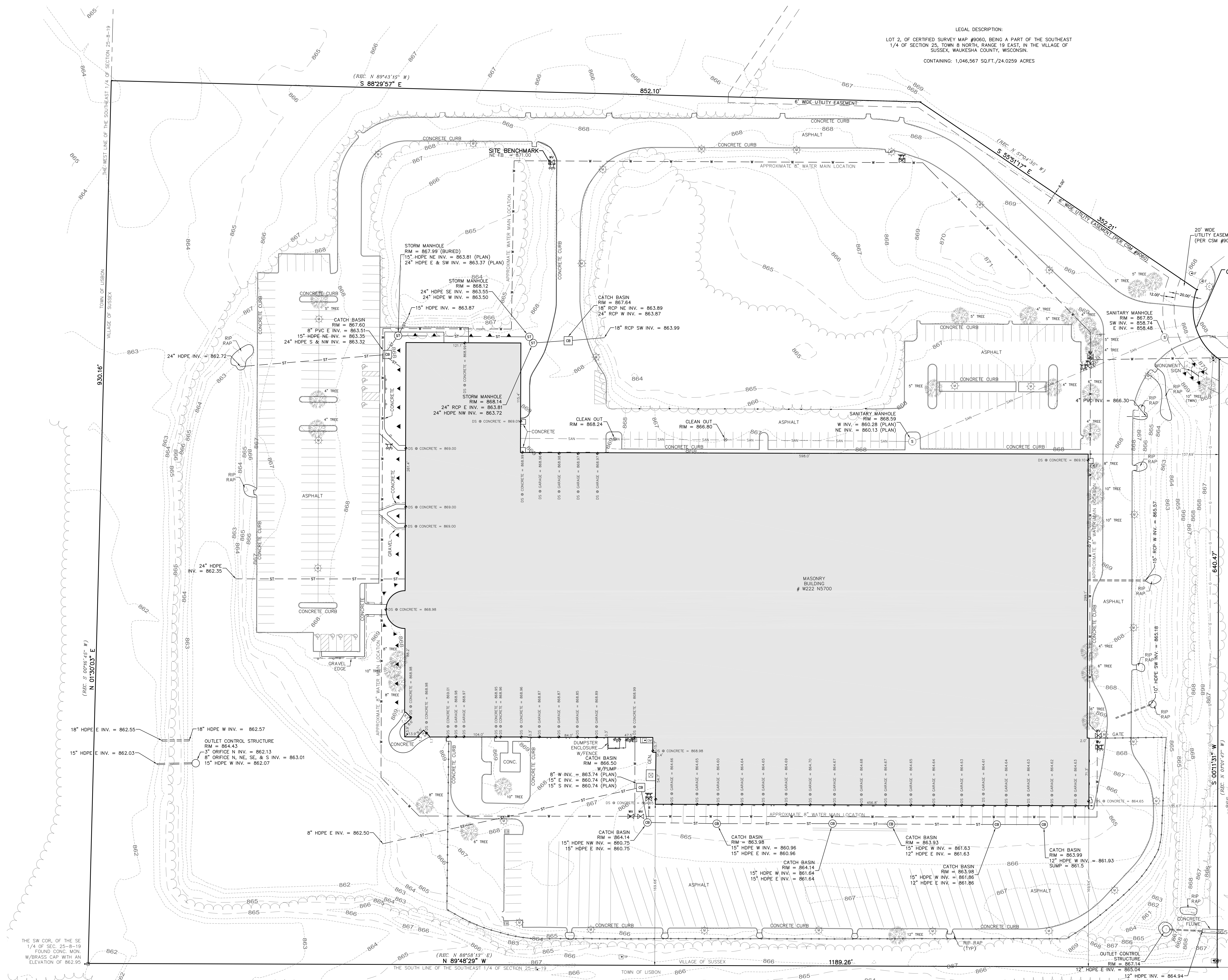
Date

JOB: 230041
DRAWN: Author
CHECKED: Checker
DATE: 07/31/2023
SHEET:

GS.2



LEGAL DESCRIPTION:
LOT 2, OF CERTIFIED SURVEY MAP #9060, BEING A PART OF THE SOUTHEAST
1/4 OF SECTION 25, TOWN 8 NORTH, RANGE 19 EAST, IN THE VILLAGE OF
SUSSEX, WAUKESHA COUNTY, WISCONSIN.
CONTAINING: 1,046,567 SQ.FT./24.0259 ACRES

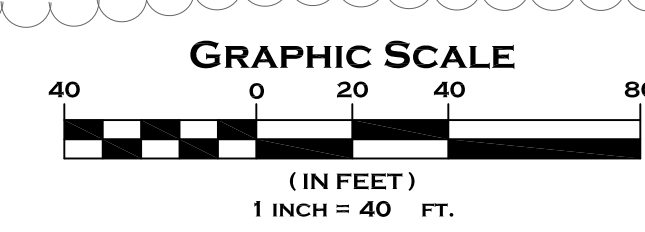


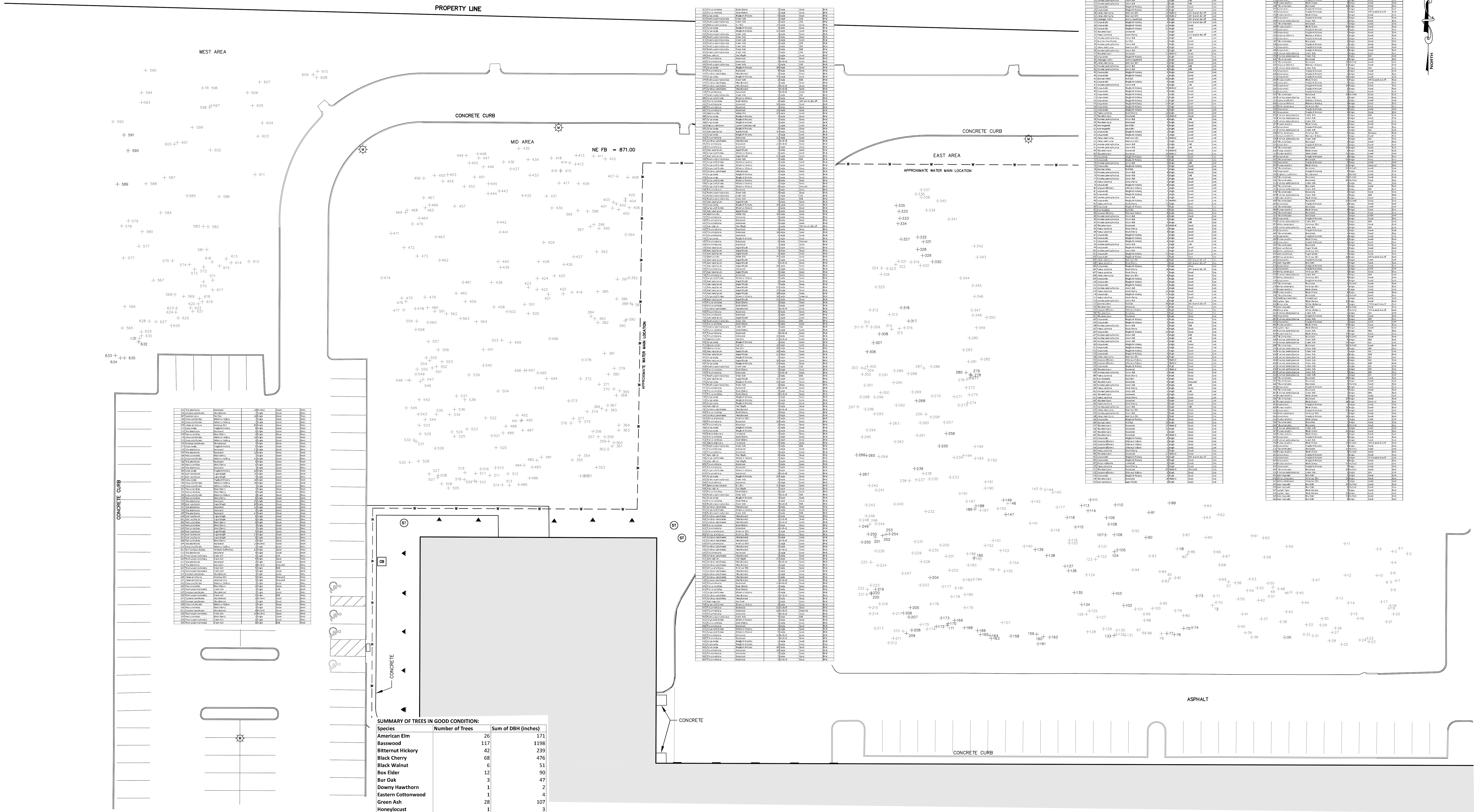
- NOTES
- SUBJECT PROPERTY ZONED: BP-1 WITH EXCEPTIONS, BUSINESS PARK DISTRICT.
 - SETBACKS BASED ON THE VILLAGE OF SUSSEX ZONING CODE AND ARE AS FOLLOWS:
G. SETBACK AND YARDS
1. THERE SHALL BE A MINIMUM BUILDING SETBACK OF 40 FEET FROM THE STREET RIGHT-OF-WAY.
2. THERE SHALL BE A SIDE YARD OF 25 FEET ON EACH SIDE OF ALL STRUCTURES NOT EXCEEDING 45 FEET IN HEIGHT. BUILDINGS IN EXCESS OF 45 FEET IN HEIGHT SHALL INCREASE THE MINIMUM SIDE YARDS ONE (1) FOOT FOR EACH ADDITIONAL ONE (1) FOOT OF BUILDING HEIGHT OVER 45 FEET UP TO A MAXIMUM HEIGHT OF 60 FEET.
3. THERE SHALL BE A REAR YARD OF NOT LESS THAN 25 FEET.
 - THE PLAN COMMISSION MAY REDUCE SETBACKS WITHIN THIS DISTRICT OUTSIDE OF A PLANNED DEVELOPMENT OVERLAY DISTRICT IF IT FINDS THAT IN GRANTING THE REDUCED SETBACKS:
(A) THE SITE IS MASTER PLANNED AND PROVIDES AN EFFICIENT USE OF LAND,
(B) THE HEALTH, WELFARE, AND SAFETY OF THE PUBLIC IS NOT JEOPARDIZED BY THE SETBACK REDUCTION,
(C) THE SETBACK CHANGE WILL ENCOURAGE PEDESTRIAN INTERACTION BETWEEN BUILDINGS.
(D) THE REDUCED SETBACK SERVES TO IMPLEMENT THE DESIGN STANDARDS OF THE VILLAGE.
 - LEGAL DESCRIPTION BASED ON CERTIFIED SURVEY MAP NUMBER 9060.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0202G, WITH A DATE OF IDENTIFICATION OF 11/5/2014, IN COMMUNITY NO. 550490, VILLAGE OF SUSSEX, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 - PROJECT BENCHMARK - THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 25, TOWN 8 NORTH, RANGE 19 EAST, FOUND CONCRETE MONUMENT WITH BRASS CAP WITH AN ELEVATION OF 862.95'.
 - SITE BENCHMARK - NORTHEAST FLANGE BOLT ON HYDRANT, (AS SHOWN HEREON).
 - SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS) WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAVD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISCORS & GEOD 12A).

LEGEND		
— SAN	— SANITARY SEWER	— ELECTRIC TRANSFORMER
— ST	— STORM SEWER	— ELECTRIC METER
— W	— WATER MAIN	— ELECTRIC BOX AT GRADE
— G	— BURIED GAS LINE	— TELEPHONE BOX AT GRADE
— TEL	— BURIED TELEPHONE LINE	— TELEPHONE FIBERGLASS
— CATV	— BURIED CABLE TELEVISION LINE	— TV FIBERGLASS
— FO	— BURIED FIBER OPTIC LINE	— AIR CONDITIONER
— OVERHEAD	— OVERHEAD UTILITY LINES	— UTILITY POLE
— COMB	— COMBINATION SEWER	— WOOD SIGN
— METAL FENCE	— METAL FENCE	— METAL SIGN
— FLARE POLE	— FLARE POLE	— BOLLARD
— BOLLARD LIGHT	— BOLLARD LIGHT	— BOLLARD
— FIRE DEPARTMENT CONNECTION	— FIRE DEPARTMENT CONNECTION	— YARD LIGHT
— HYDRANT	— HYDRANT	— WATER VALVE
— GAS VALVE	— GAS VALVE	— MANHOLE
— CATCH BASIN	— CATCH BASIN	— STORM MANHOLE
— CLUMP INLET	— CLUMP INLET	— CLUMP INLET
— METAL LIGHT POLE	— METAL LIGHT POLE	— CONCRETE LIGHT POLE
— WOOD LIGHT POLE	— WOOD LIGHT POLE	— WOOD LIGHT POLE
— MAIL BOX	— MAIL BOX	— FIBER OPTIC MANHOLE
— FIBER OPTIC MANHOLE	— FIBER OPTIC MANHOLE	— WIRE

EXISTING CONDITIONS SURVEY
FOR
BEER CAPITOL
W222 N5700 MILLER WAY
SUSSEX, WI

DRAWN BY:	RAP	DATE:	07/24/2023
CHECKED BY:	MJB	DRAWING No.	SV-1.0
CSE JOB No.:	23-072	SHEET	1 OF 1





NOTES:

1. TREES IN GOOD CONDITION ARE LABELLED AS GOOD OR 25% BRANCH DIE-OFF. ALL OTHER CATEGORIES—DISEASED, EAB, 50% OR GREATER BRANCH DIE-OFF, SOME ROT WOULD BE CONSIDERED TO BE IN BAD CONDITION. INVASIVE TREES INCLUDING COMMON BUCKTHORN AND NORWAY MAPLE WERE NOT SURVEYED. MANY OF THE TREES WERE MULTI-TRUNKED. THE NUMBER OF TRUNKS AT BREAST HEIGHT WERE RECORDED. 2 IS MULTI +2, ETC. ALL TRUNKS WERE MEASURED AND THE SUM WAS REPORTED FOR DBH.

2. THE TREE ID# CORRESPONDS TO THE TREE NUMBER LABELLED IN THE FIELD AND RECORDED IN THE SURVEY.

3. SURVEY WAS COMPLETED BY K. SHERFINSKI ON JULY 18, 20 AND 21, 2023.

4. 634 TREES TOTAL.

5. 530 HARDWOOD TREES IN GOOD CONDITION.

6. THE FOREST IS AN UPLAND HICKORY—BASSWOOD FOREST.

SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCSCS) WAUKESHA COUNTY: NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)). USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISCORS & GEOID 12A).

TREE INVENTORY MAP

FOR

BEER CAPITOL
W222NN5700 MILLER WAY
SUSSEX, WI

DRAWN BY:	RAP	DATE:	07/26/2023
CHECKED BY:	MJB	DRAWING NO.	EC-TREE
CSE JOB NO.:	23-072	SHEET	SV-2.0

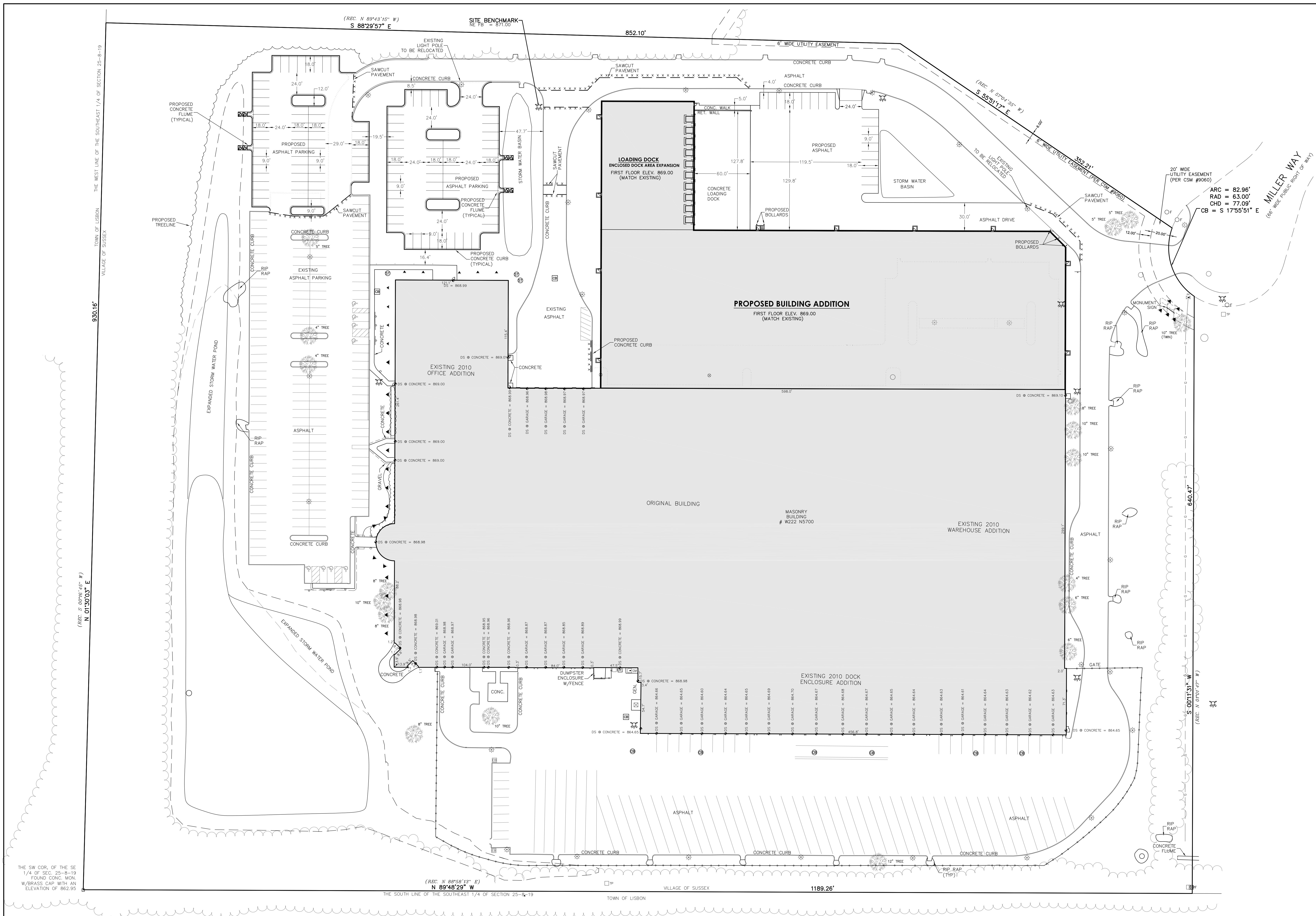


BEER CAPITAL
SUSSEX, WISCONSIN

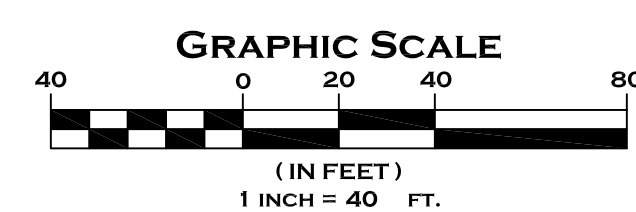
CJE NO.: CJE2329R4
JULY 31, 2023

SITE PLAN

C1.0



NOTES:
1. DIMENSIONS ARE TO THE FACE
OF CURB OR EDGE OF ASPHALT



SITE PARKING:
EXISTING PARKING:
REGULAR PARKING SPACES = 247
ACCESSIBLE PARKING SPACES = 8
TOTAL PARKING SPACES = 255

PROPOSED PARKING:
REGULAR PARKING SPACES = 268
ACCESSIBLE PARKING SPACES = 8
TOTAL PARKING SPACES = 276

TRAILER SPACES = 49
VAN SPACES = 29

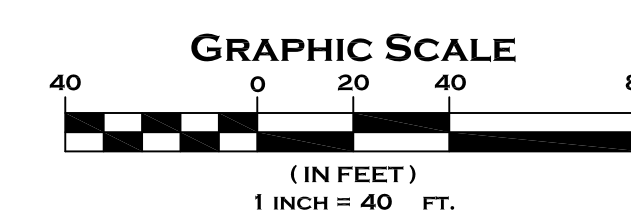
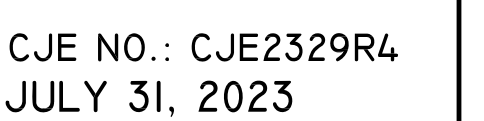
SITE AREAS:
EXISTING BUILDING = 262,288 S.F. (6.021 ACRES)
EXISTING PAVEMENT = 253,968 S.F. (5.830 ACRES)

EXISTING IMPERVIOUS AREA = 516,256 S.F. (11.852 ACRES) [49%]
EXISTING OPEN AREA = 530,311 S.F. (12.174 ACRES) [51%]

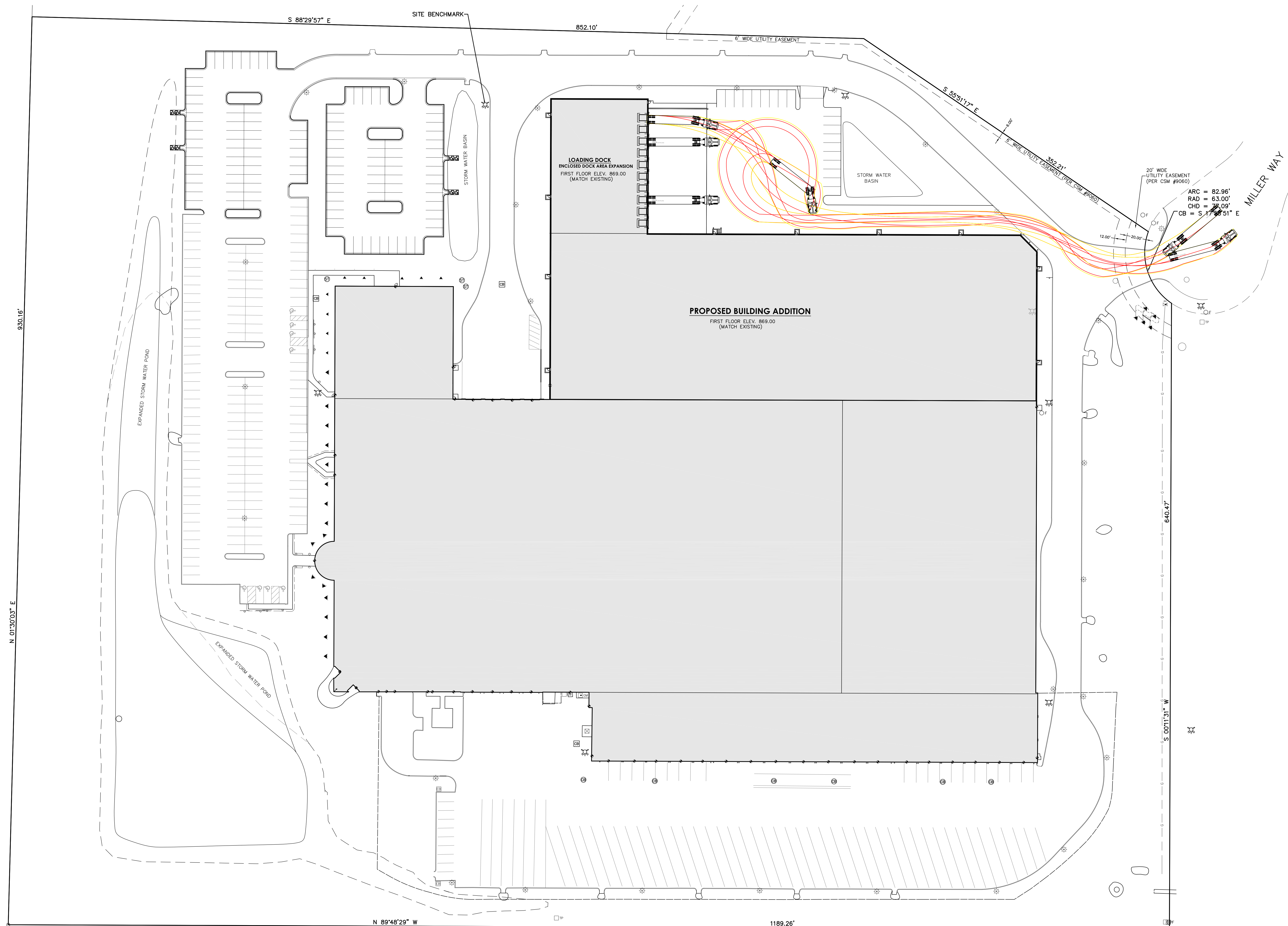
PROPOSED BUILDING = 360,756 S.F. (8.282 ACRES)
-NEW BUILDING ADDITION = 98,468 S.F. (2.261 ACRES)
PROPOSED PAVEMENT = 282,227 S.F. (6.479 ACRES)
-NEW S.D. ASPHALT = 34,708 S.F. (0.787 ACRES)
-NEW H.D. ASPHALT = 28,586 S.F. (0.656 ACRES)
-NEW CONCRETE APRON = 7,570 S.F. (0.175 ACRES)
-NEW CONCRETE CURB (B.O.C.) = 1,644 L.F.

PROPOSED IMPERVIOUS AREA = 642,983 S.F. (14.761 ACRES) [61%]
PROPOSED OPEN SPACE = 403,584 S.F. (9.265 ACRES) [39%]

TOTAL SITE AREA = 1,046,567 S.F. (24.026 ACRES)

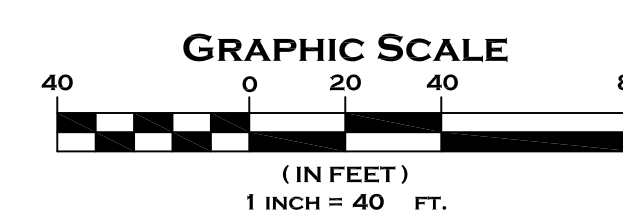
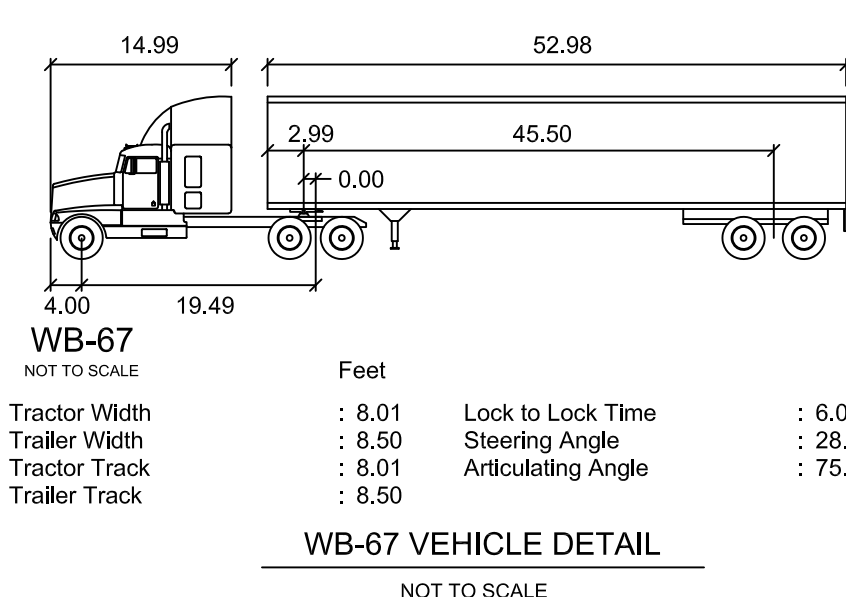


FIRE APPARATUS PLAN C1.1



LEGEND

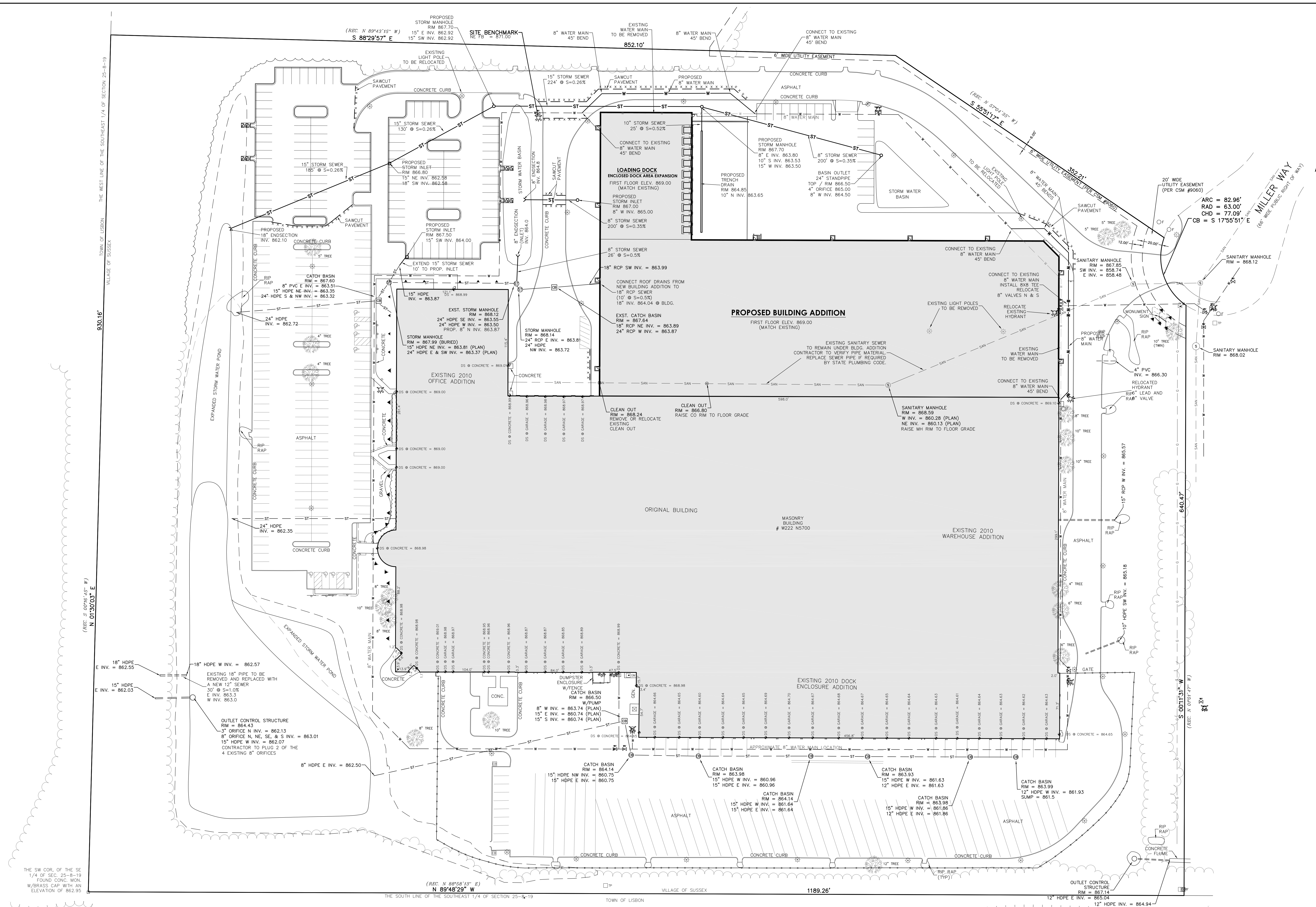
- FRONT WHEEL PATH
- REAR WHEEL PATH
- VEHICLE BODY OVERHANG





BEER CAPITOL
SUSSEX, WISCONSIN

CJE NO.: CJE2329R4
JULY 31, 2022

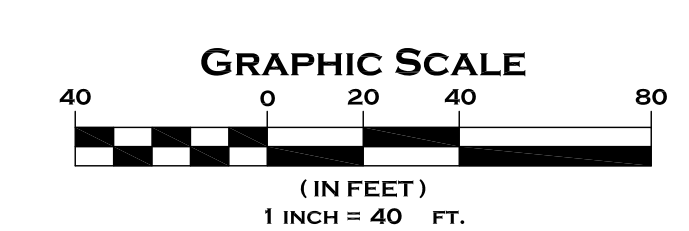


LEGEND

—ST—	EXISTING STORM SEWER
—ST—	PROPOSED STORM SEWER
—SAN—	EXISTING SANITARY SEWER
—SAN—	PROPOSED SANITARY SEWER
—W—	EXISTING WATER MAIN
—W—	PROPOSED WATER MAIN
—G—	BURIED GAS MAIN
—//—	OVER HEAD WIRE
—E—	BURIED ELECTRIC



- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF SUSSEX REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 8.4.3.4 AND PER FILE NO. 4 COMPACTED SECTION (CLASS "B" BEDDING).
 3. PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR AND PLUMBER SHALL VERIFY THE SIZE, SLOPE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING. DOCUMENTATION CONFIRMING THE SIZING REQUIREMENTS SHALL BE PROVIDED TO THE CITY PRIOR TO ANY CONSTRUCTION OF THE SANITARY AND WATER SERVICES.
 4. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6.0 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. UTILITY SPECIFICATIONS:
WATER SERVICE: CLASS 150 PVC; AWWA C900, SDR 18
STORM SEWER: ADS HDPE N-12



SITE UTILITY PLAN

C3.0

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. INSTALL CONSTRUCTION EXIT.
3. INSTALL SILT FENCE.
4. INSTALL INLET PROTECTION IN EXISTING INLETS AS SHOWN ON PLAN.
5. REMOVED EXISTING TREES IN THE AREA OF NEW DEVELOPMENT.
6. SAWCUT AND REMOVE PAVEMENT (SEE DEMO PLAN).
7. ROUGH GRADE SITE.
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES.
10. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
11. INSTALL OUTLET PROTECTION.
12. INSTALL BASE COURSE OF PAVEMENT.
13. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
14. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
15. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
16. ESTIMATED TIME BEFORE FINAL STABILIZATION -10 MONTHS.

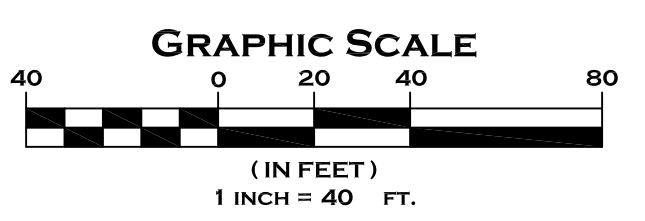


BEER CAPITOL SUSSEX, WISCONSIN

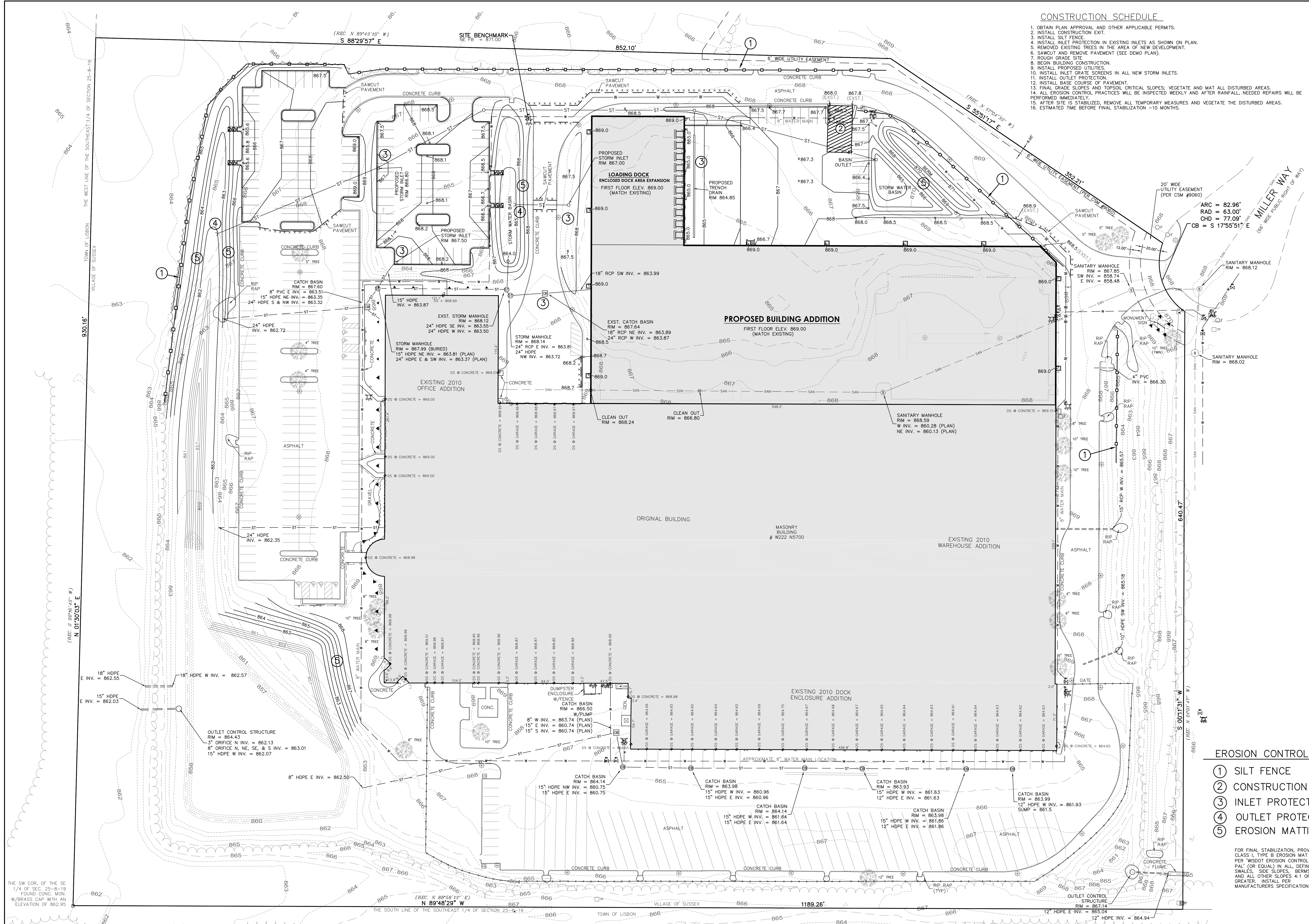
EROSION CONTROL PRACTICES

- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ OUTLET PROTECTION
- ⑤ EROSION MATTING

FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER WISDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.



EROSION CONTROL PLAN C4.0



- NOTES:
1. SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE OF THE CURB.
 2. DISTURBED AREA: 256,400 S.F. 5.89 ACRES

LEGEND

- 864 --- EXISTING CONTOUR
- 868 --- PROPOSED CONTOUR
- x 867.5 --- PROPOSED ELEVATION
- ST --- EXISTING STORM SEWER
- ST --- PROPOSED STORM SEWER
- S --- SILT FENCE LOCATION



TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROPS) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131*	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

* Fall Seeding

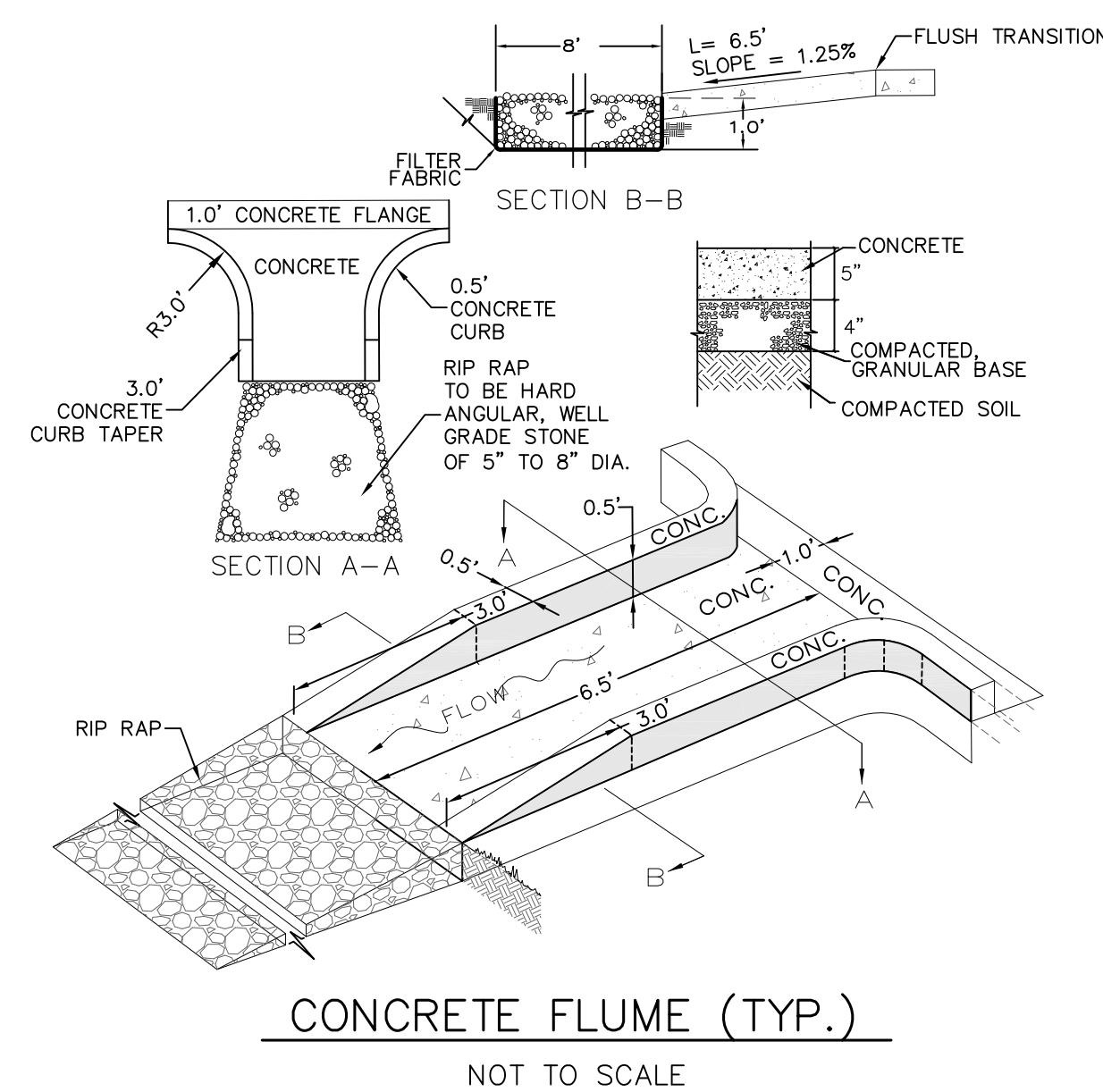
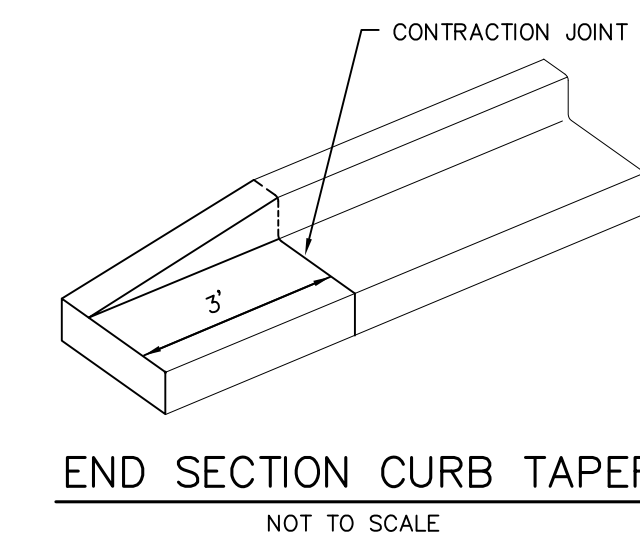
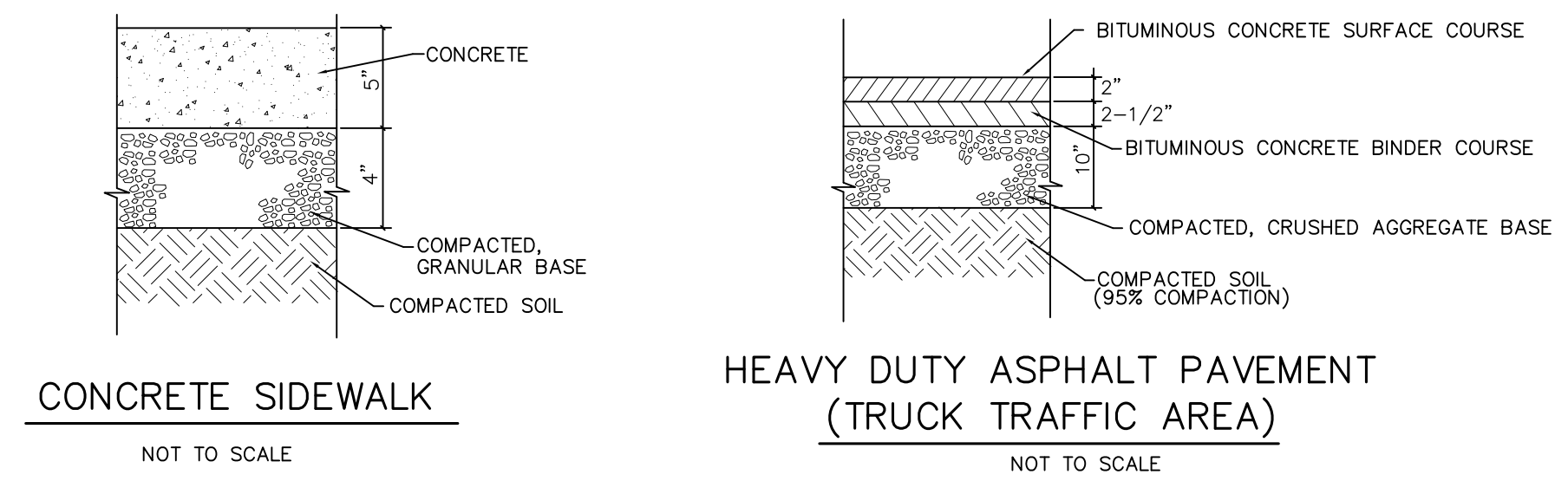
LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST MOTT PAM (UPDATED 11/2/2017) - SEE MOTT TECHNICAL STANDARD 1050.

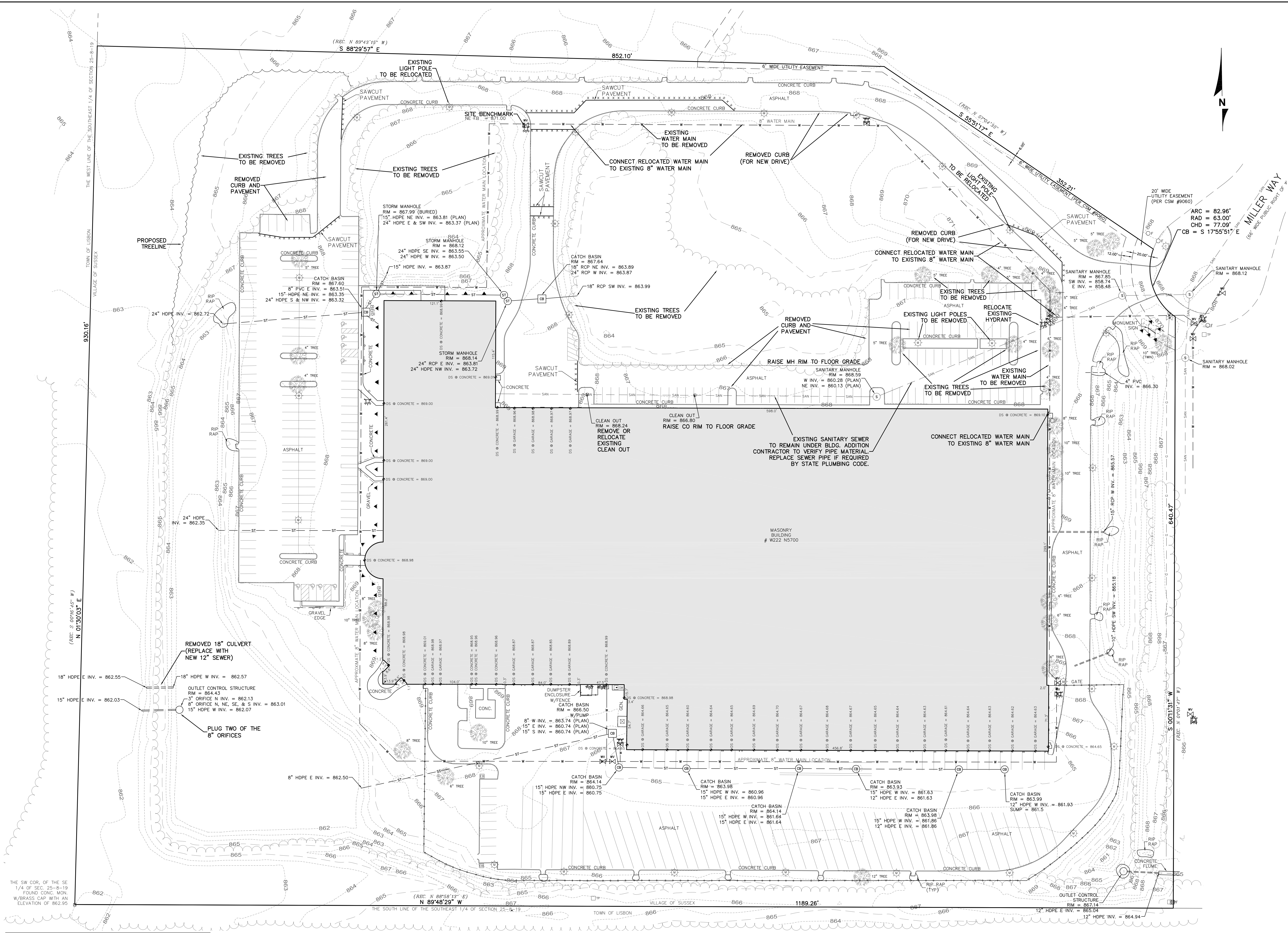
STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, RESEEDING AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE, VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

CJE NO.: CJE2329R4
JULY 31, 2023



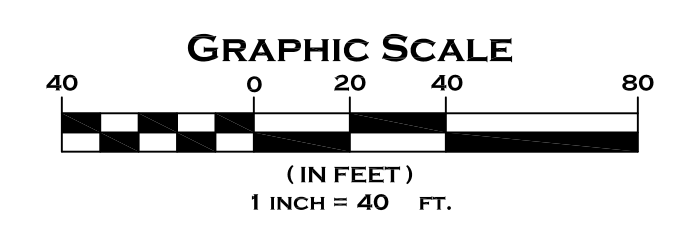


LEGEND

— SAN —	SANITARY SEWER	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— ST —	STORM SEWER	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— B —	BURIED GAS LINE	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— T —	BURIED TELEPHONE LINE	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— C —	BURIED COMBINATION SEWER	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— F —	BURIED FLAG POLE	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— B —	BURIED BOLLARD	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— Y —	BURIED YARD LIGHT	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE
— G —	BURIED GUYS WIRE	— W —	WATER MAIN	— G —	GAS LINE	— T —	TELEPHONE LINE	— C —	COMBINATION SEWER	— F —	FLAG POLE	— B —	BOLLARD	— Y —	YARD LIGHT	— G —	GUYS WIRE

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DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

- NOTES:
1. INSTALL EROSION CONTROL (SHEET C4.0) PRIOR TO BEGINNING SITE DEMOLITION.
 2. SEE SITE UTILITY PLAN (SHEET C3.0) FOR UTILITY RE-LOCATIONS.
 3. DISTURBED AREA: 256,400 S.F. 5.89 ACRES

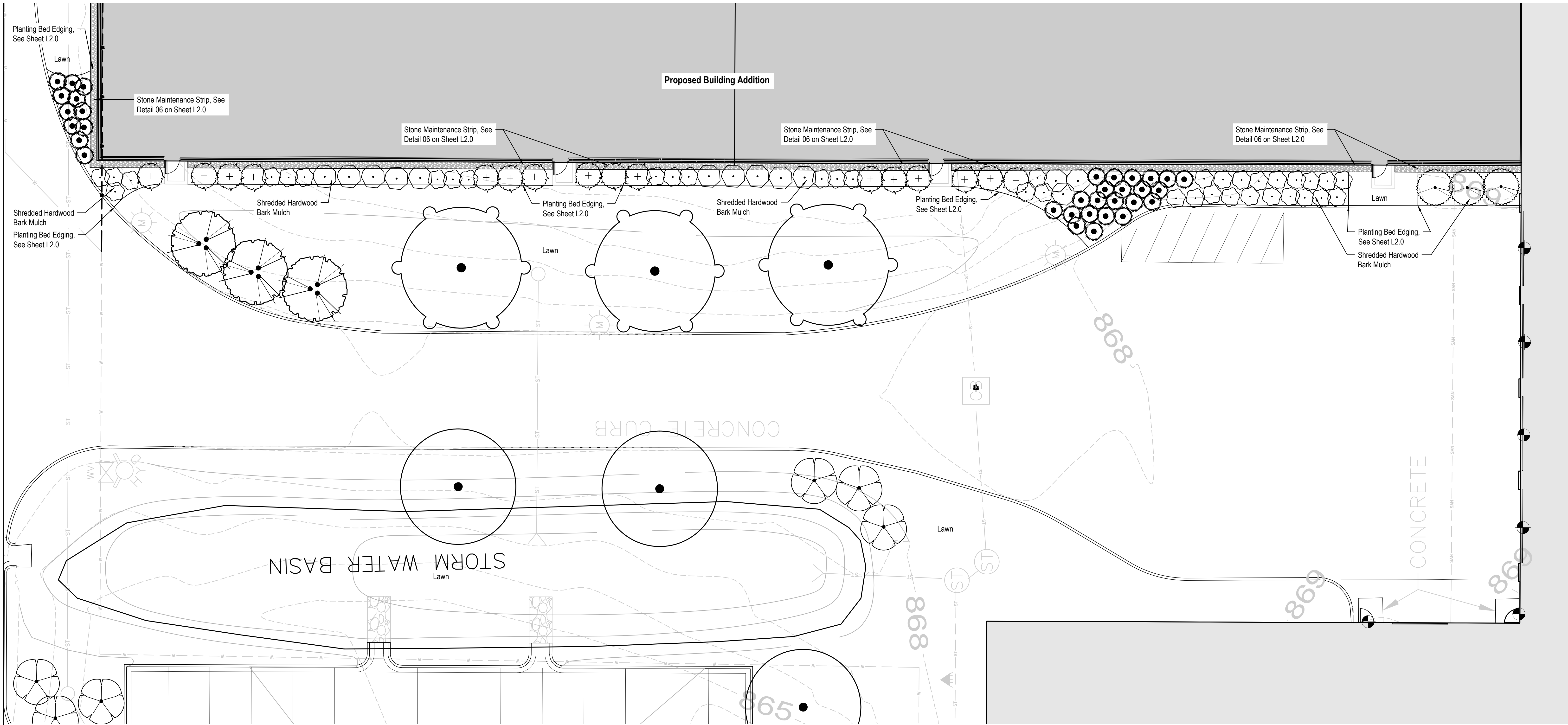


SITE DEMO PLAN

CJE NO.: CJE2329R4
JULY 31, 2023

C6.0

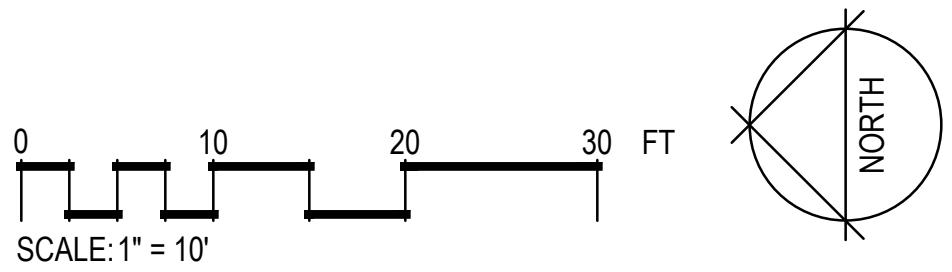




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TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND PAVERS, SEE SHEET L2.0.

CALL DIGGERS HOTLINE
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REQUIRED AND 15 WORK DAYS
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LANDSCAPE PLAN
ENLARGEMENT

L1.1

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PH. (414) 443-1312
FAX (414) 443-1317
www.cj-engineering.com

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1836 W. FOND DU LAC AVE, SUITE 100
MILWAUKEE, WI 53204
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CJE NO.:
JULY 31, 2023

GENERAL

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- TOP OF MULCH SHALL BE ½" MINIMUM BELOW THE TOP OF WALKS AND CURBS
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- THE LANDSCAPE SHALL BE MAINTAINED IN A MANNER COMMON TO THE PRACTICE, INCLUDING MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, TRASH REMOVAL, AND OTHER SUCH ACTIVITIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING FOR 60 DAYS, OR UNTIL FINAL ACCEPTANCE BY THE OWNER. AN ON-SITE INSPECTION BY THE OWNER'S AGENT WILL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- DURING WORK, PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS THE WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT THE END OF EACH WORK DAY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER'S AGENT. PLANTS SHALL BE IN HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE AT NO COST TO OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR MAINTENANCE PERIOD.

QUALITY ASSURANCE

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- SELECTION OF PLANT MATERIAL: MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- SUBSTITUTIONS: DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WRITTEN VERIFICATION WILL BE REQUIRED DOCUMENTING MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
- MEASUREMENTS: TAKE CALIPER MEASUREMENTS OF TREES SIX INCHES ABOVE GROUND. MEASURE MAIN BODY OF ALL PLANT MATERIAL FOR HEIGHT AND SPREAD DIMENSIONS, NOT FROM TIP-TO-TIP.
- LANDSCAPE ARCHITECT OR OWNER, SHALL INSPECT ALL PLANT MATERIAL WITH RESPECT TO GENUS, SPECIES, CULTIVAR/VARIETY, SIZE AND QUALITY, INCLUDING SIZE AND CONDITION OF ROOT SYSTEMS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, OR OTHER LATENT DEFECTS UPON ARRIVAL TO SITE OR DURING INSTALLATION.
- LANDSCAPE ARCHITECT OR OWNER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE WORK PROCESS. REMOVE REJECTED MATERIALS FROM SITE AND REPLACE WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PRODUCT DELIVERY, STORAGE AND HANDLING

- DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON THE JOB SITE.
- PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NO PLANTED WITHIN 24 HOURS OF DELIVERY.
- TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS.

MATERIALS

PLANTS

- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, MOST RECENT EDITION.
- PLANTS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL-SHAPED, FULL BRANCHED AND FREE OF DISEASE AND INSECTS.
- ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH, OR ARE IN ANY UNHEALTHY, BADLY SHAPED, OR UNDERSIZED CONDITION WILL BE REJECTED BY THE LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE PLANT AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS.
- PLANTS SHALL BE FRESHLY DUG FROM DURING THE MOST RECENT APPROPRIATE HARVEST SEASON.
- PRUNING SHALL BE LIMITED TO DEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300.

SOILS

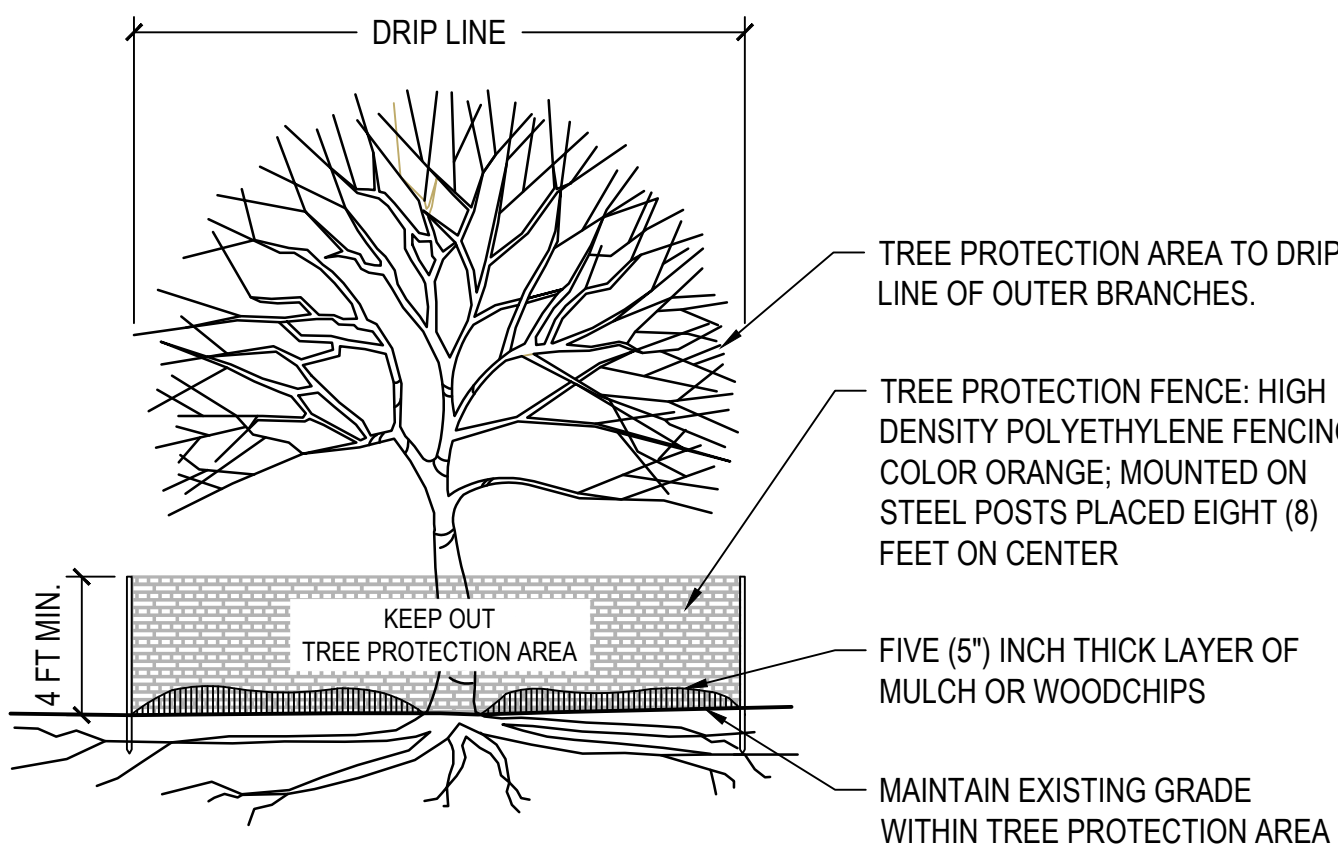
- PLANTING SOIL AND TOPSOIL TO BE A CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER ¾" IN DIAMETER, AND FREE FROM TOXINS AND WEEDS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 5.5 AND 7. ORGANIC MATERIAL SHALL BE 2.0-5.0% OF TOTAL DRY WEIGHT. SOLUBLE SALT LEVELS SHALL BE LESS THAN 2 mmho/cm. PLANTING SOIL AND TOPSOIL SHALL BE TESTED AND AMENDED TO MEET THESE SPECIFICATIONS.
- COMPOST SHALL BE COMMERCIALY PREPARED, PEAT-FREE COMPOST AND MEET US COMPOST COUNCIL STA/TMECC CRITERIA AND SHALL CONSIST OF PLANT-BASED MATERIALS, COMPOSTED FOR A MINIMUM OF 9 MONTHS AT TEMPERATURES SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS, AND LEAF STRUCTURES.
- ALL PLANTING AREAS WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF SIX (6) INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD THREE (3") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF THE TOPSOIL. ALL PLANTING AREAS WITHOUT EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF EIGHTEEN (18") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF EIGHTEEN (18") INCHES OF THE TOPSOIL.
- BACKFILL FOR TREE PITS SHALL CONSIST OF EXISTING TOPSOIL ON SITE (OR IMPORTED AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, SUBSOILS, ETC., PLACED IN NINE (9") LAYERS AND WATERED IN THOROUGHLY.

OTHER MATERIALS

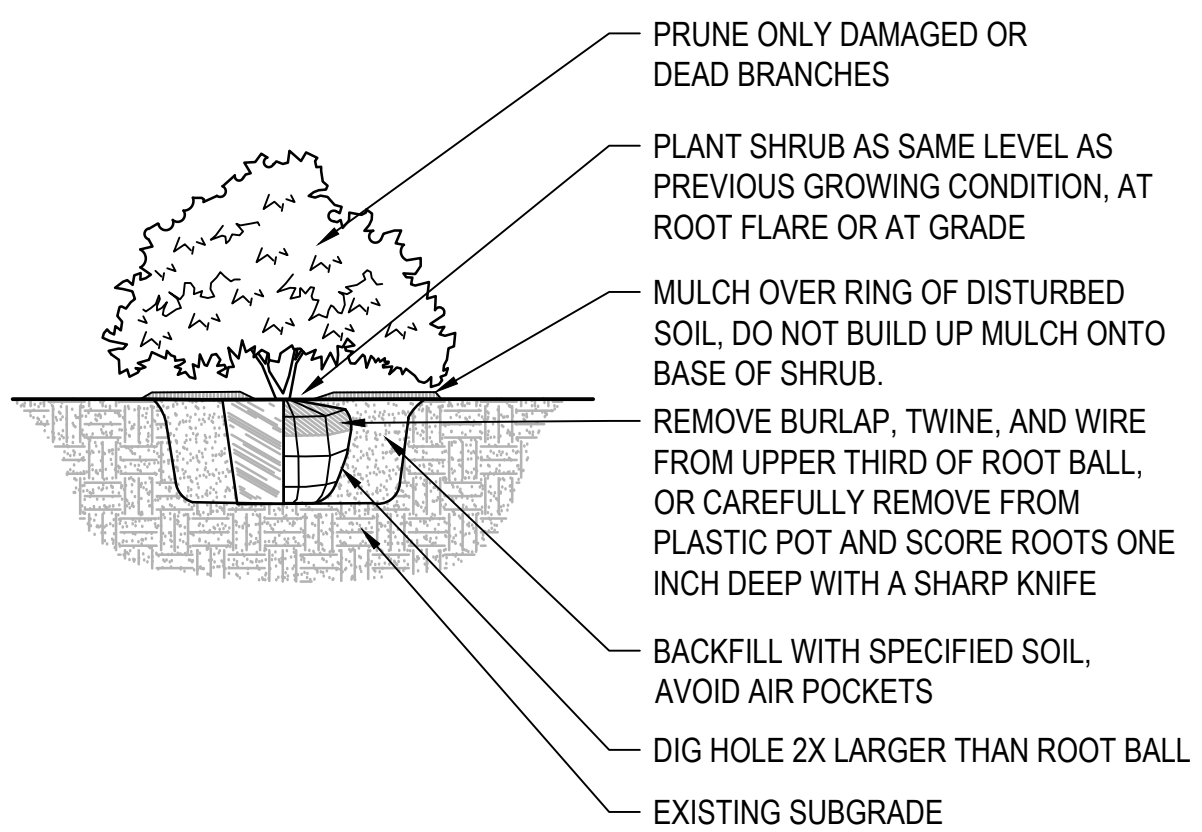
- SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF THREE (3") INCHES OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH, SIZE AND COLOR TO BE APPROVED BY OWNER'S AGENT PRIOR TO INSTALLATION. MULCHED AREAS SHALL NOT RECEIVE A WOVEN WEED BARRIER FABRIC.
- EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING, TO BE APPROVED BY OWNER'S AGENT.
- 18" WIDE STONE MAINTENANCE STRIP: DECORATIVE STONE TO MATCH EXISTING STONE ON SITE AND SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. INSTALL STONE MAINTENANCE STRIP IN THE LOCATIONS INDICATED IN THE PLAN FOLLOWING THE MANUFACTURER'S INSTRUCTIONS. THE GEOTEXTILE FABRIC SHALL BE PERMEABLE NONWOVEN MIRAFI MSCAPE E OR APPROVED EQUAL.
- SOD: ALL AREAS SPECIFIED ON PLAN AS SOD (IF APPLICABLE) SHALL BE A PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. TURFGRASS SOD SHALL BE REASONABLY FREE OF DISEASES, NEMATODES, INSECTS, GRASSY AND BROAD-LEAF WEEDS.
- LAWN SEED: DISTURBED LAWN AREAS LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH 'MADISON PARKS' OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 ½ POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- UPLAND NATIVE SEED MIX: POND SIDE SLOPES SHALL BE 'SHORTGRASS PRAIRIE FOR MEDIUM SOILS' BY AGRECOL OR APPROVED EQUAL. PLANT WITH COVER CROP OF COMMON OATS AT 20 LBS/ACRE OR OF WINTER WHEAT AT 12 LBS/ACRE FOR FALL SEEDING. COVER PLANTING WITH STRAW BLANKET FOR EROSION CONTROL.

INSTALLATION

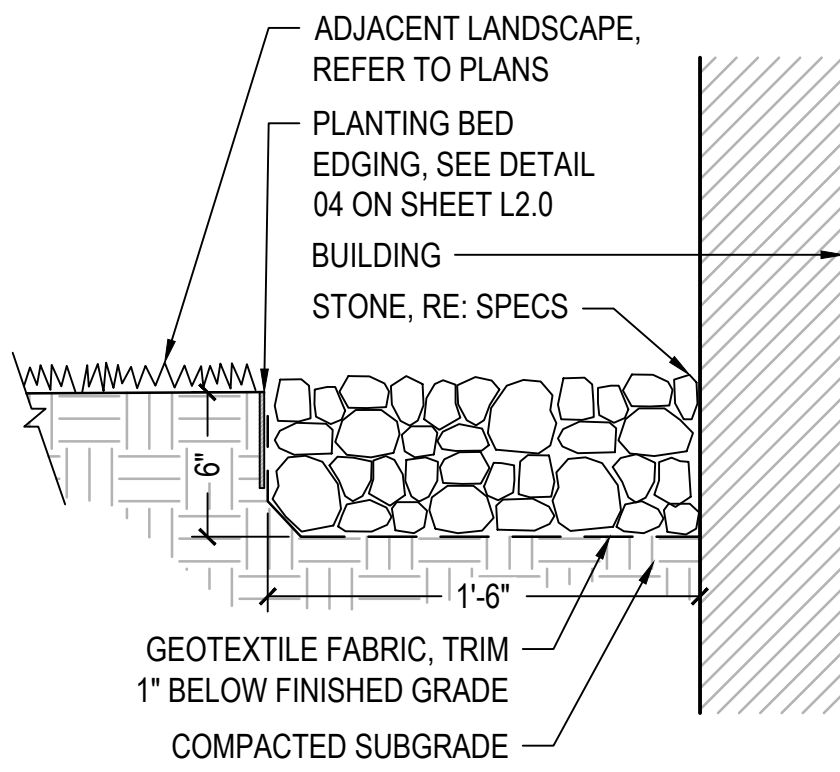
- PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING.
- EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO THE ROOT BALLS, AND SHALL BE PLACED AT THE SAME DEPTH RELATIVE TO FINISH GRADE AS IT DID TO THE SOIL SURFACE IN THE ORIGINAL PLACE OF GROWTH.
- SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO TIMES WIDER THAN THE LATERAL DIMENSIONS OF THE EARTH BALL AND NO DEEPER THAN ITS VERTICAL DIMENSION. THE SIDES OF THE HOLE SHALL BE ROUGH AND JAGGED, NEVER SLICK AND GLAZED, ROUGH UP WITH SHOVEL IF NEEDED.
- BACKFILL HOLE WITH 5 PARTS EXISTING SOIL AND 1 PART PLANT BED PREPARATION SOIL. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP, NYLON, STRING, AND WIRE FROM THE TOP ½ OF THE BALL. MULCH THE TOP OF THE BALL WITH A MINIMUM OF TWO (2") INCHES OF SPECIFIED MULCH OVER THE PLANTING PIT.
- DO NOT WRAP TREES. STAKE TREES AND LARGE SHRUBS ONLY AS SITE CONDITIONS REQUIRE.
- TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. ENSURE EDGES OF SOD ARE STAGGERED AND TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO THE SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY OWNER. THE SOD SUPPLIER MAY MAKE RECOMMENDATIONS REGARDING THE WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER THE SOD IS INSTALLED.
- THE NATIVE PRAIRIE VEGETATION PLANTED IN THE BASINS WILL BE REQUIRED TO BE PLANTED AND VERIFIED PER THE STANDARDS OF DNR TECHNICAL STANDARD 1004 AND THE WAUKESHA COUNTY PLANTING VERIFICATION DOCUMENT. A PLANTING VERIFICATION LETTER WILL BE REQUIRED TO BE COMPLETED BY A LANDSCAPE ARCHITECT OR OTHER QUALIFIED PROFESSIONAL.



01 TREE PROTECTION



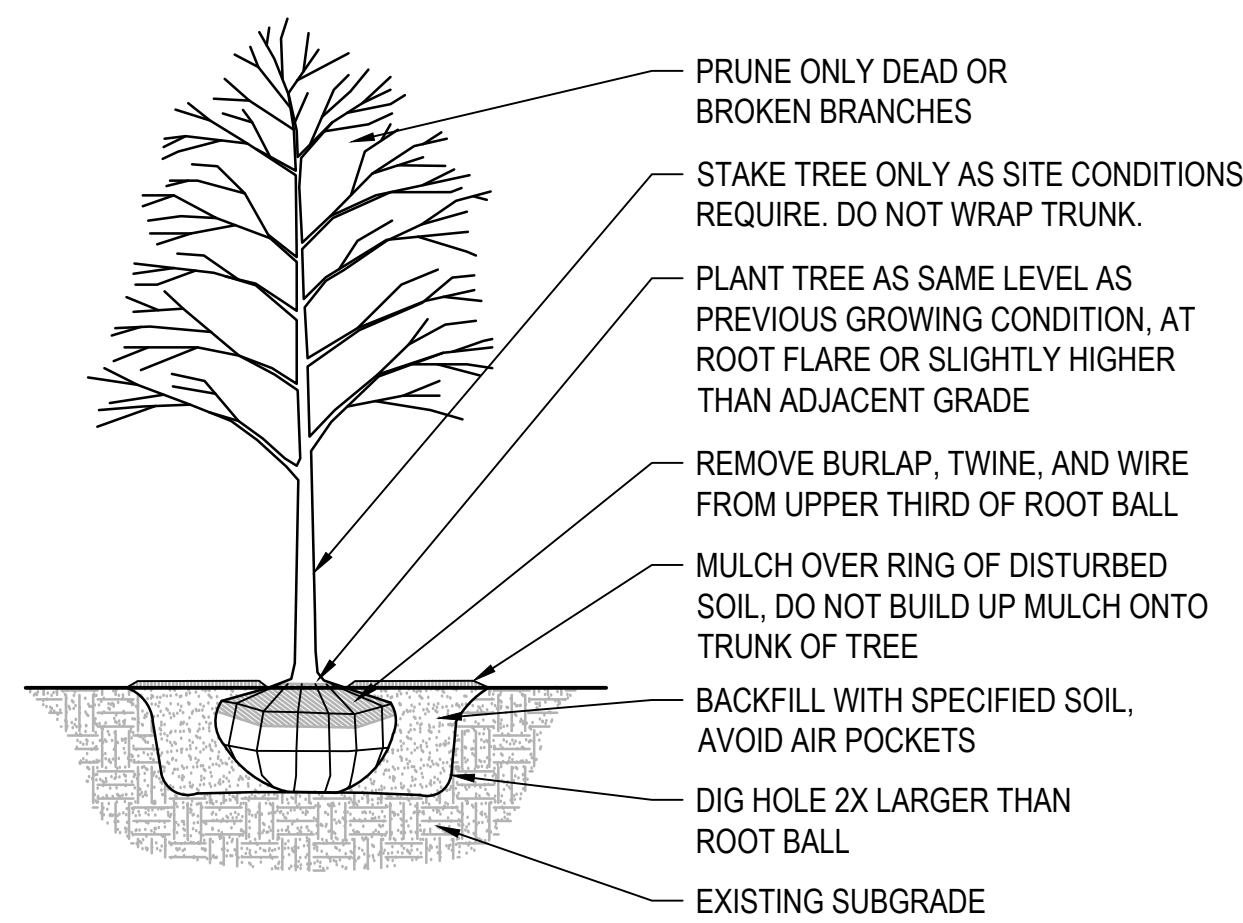
03 SHRUB PLANTING



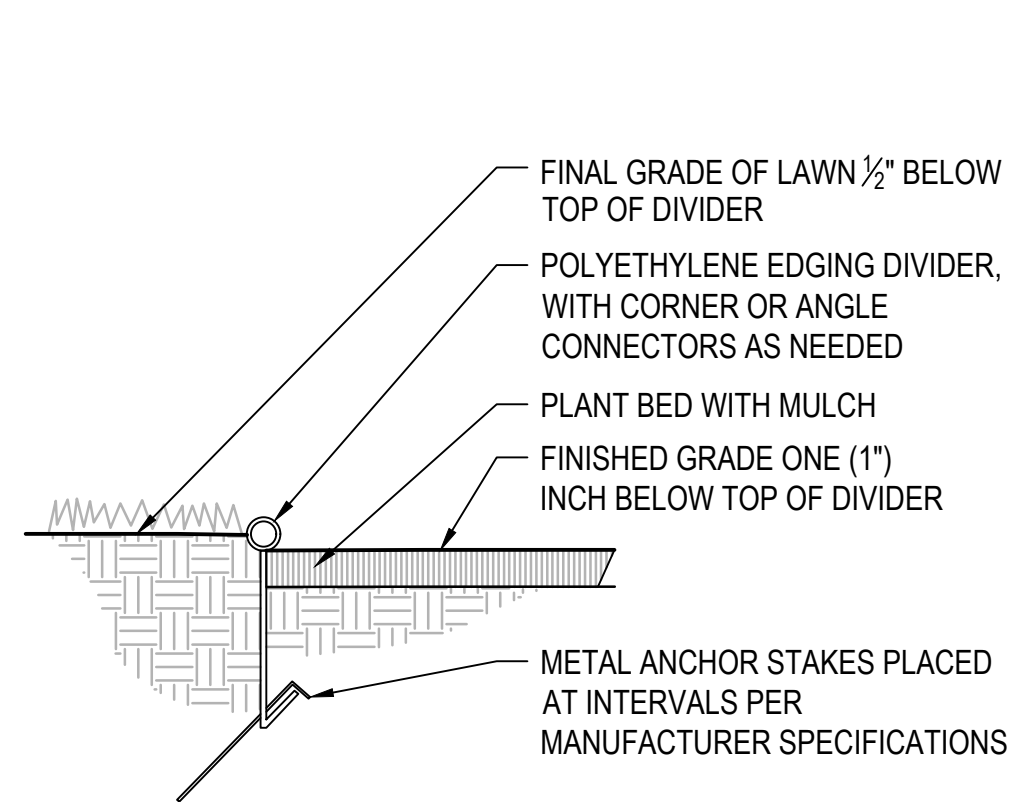
06 STONE MAINTENANCE STRIP

PLANT SCHEDULE

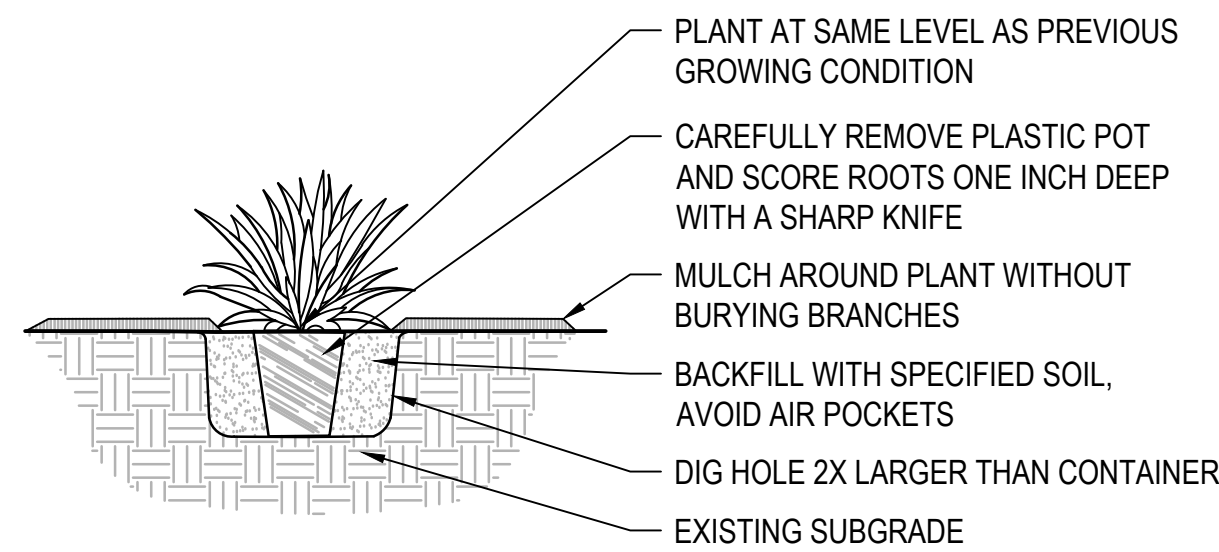
TREES	CODE	BOTANICAL / COMMON NAME	CONT	PLANTING SIZE	MATURE HT	MATURE SP	QTY
	ACE MTN	Acer miyabei 'Morton' / State Street™ Miyabe Maple	B & B	2.5' Min. Cal.	60'	50'	12
	AME CAN	Amelanchier canadensis / Shadblow Serviceberry	B & B	1.5' Min. Cal.	15'	10'	3
	GYM ESP	Gymnocladus dioica 'Espresso' / Kentucky Coffee Tree	B & B	2.5' Min. Cal.	50'	35'	8
	JUN EAS	Juniperus virginiana / Eastern Redcedar	B & B	6 FT. Tall Min.	50'	25'	2
	MAL DON	Malus x 'Donald Wyman' / Donald Wyman Crab Apple	B & B	2" Min. Cal.	25'	25'	8
	PIC DEN	Picea glauca 'Densata' / Black Hills Spruce	B & B	6 FT. Tall Min.	30'	25'	12
	PIN FLE	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine	B & B	6 FT. Tall Min.	30'	20'	16
	PIN STR	Pinus strobus / White Pine	B & B	6 FT. Tall Min.	80'	40'	1
	QUE RUB	Quercus rubra / Red Oak	B & B	2.5' Min. Cal.	75'	75'	5
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	PLANTING SIZE	MATURE HT	MATURE SP	QTY
	AES PAR	Aesculus parviflora / Bottlebrush Buckeye	3 gal	Container	10'	10'	14
	ARO IRO	Aronia melanocarpa 'Innoqis Beauty' / Black Chokeberry	3 gal	Container	3'	4'	38
	COR ALB	Cornus alba / Red-osier Dogwood	3 gal	Container	8'	8'	17
	DIE LON	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	Container	4'	5'	13
	JUN SEA	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal	Container	6'	6'	10
	JUN OWL	Juniperus virginiana 'Grey Owl' / Eastern Redcedar	3 gal	Container	3'	6'	16
	TAX MON	Taxus cuspidata 'Monloco' / Emerald Spreader Japanese Yew	3 gal	Container	2.5'	8'	3
	VIB SUN	Viburnum dentatum 'Synnvestedt' / Chicago Lustre Arrowwood Viburnum	3 gal	Container	12'	10'	5
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	PLANTING SIZE	MATURE HT	MATURE SP	QTY
	PAN ROT	Panicum virgatum 'Rotstrahlbusch' / Rotstrahlbusch Red Switch Grass	#1	Container	4'	4'	33



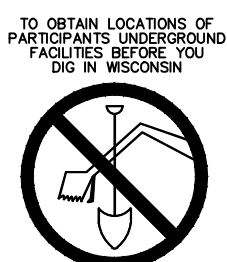
02 DECIDUOUS TREE PLANTING



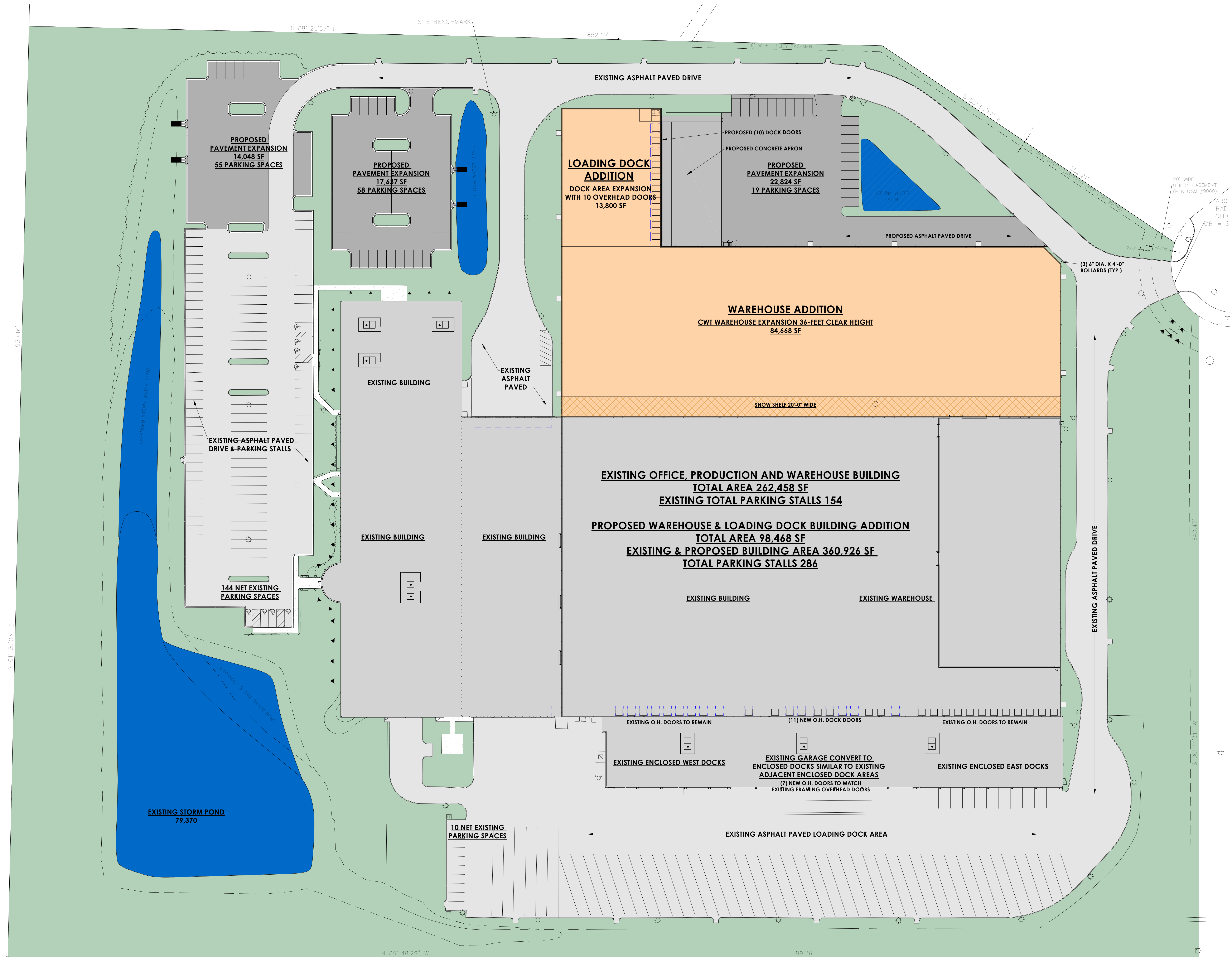
04 PLANTING BED EDGING



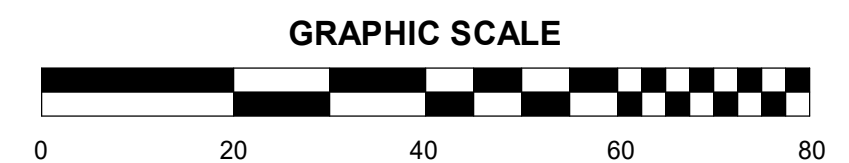
05 PERENNIAL PLANTING



CALL DIGGING HOTLINE
1-800-324-2891
TOLL FREE
NE STATE REGISTRATION
REQUIRED AND 24 HOURS
NOTICE BEFORE YOU EXCAVATE
MILWAUKEE 200-1181



1 ARCHITECTURAL SITE PLAN
1" = 40'-0"



JOB: 230041
DRAWN: CK
CHECKED: DF
DATE: 07/31/2023
SHEET:

A0.1

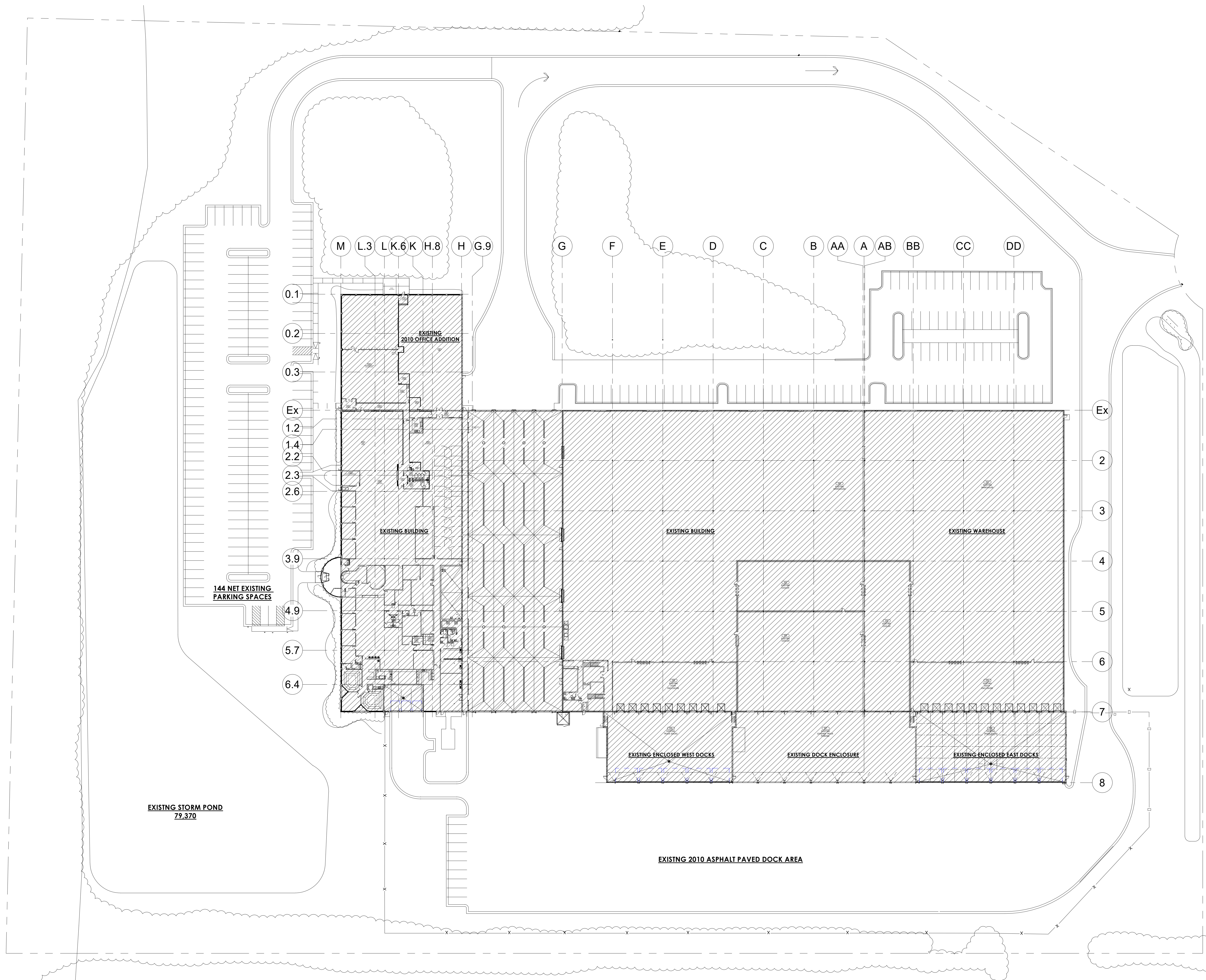


BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

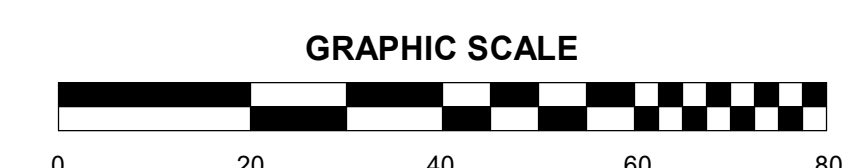
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1 OVERALL SITE AND FLOOR PLAN EXISTING CONDITIONS



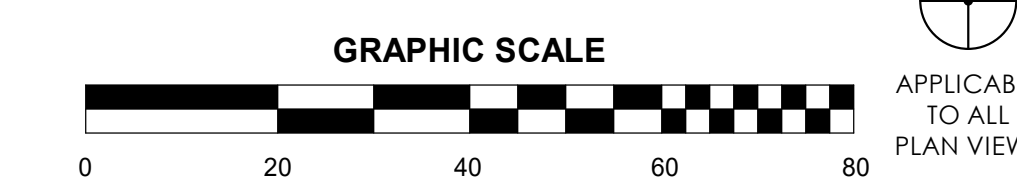


EXTERIOR SYSTEMS:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3", STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM. INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

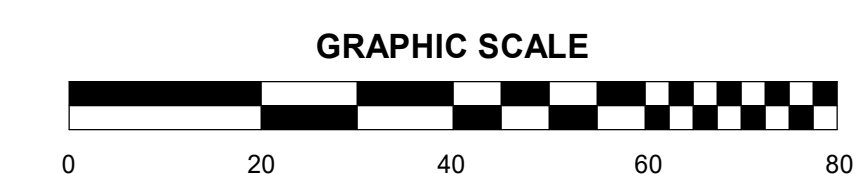
INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)





1	VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRIGHTON'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
2	VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3	AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
4	SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
5	SEE SHEET A0.2 FOR ADA REQUIREMENTS AND MOUNTING HEIGHTS
6	SEE SHEET A1.0 FOR PARTITION TYPE.
7	EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL. CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
8	FURNITURE AND APPLIANCES PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.
9	ALL WALLS TO BE PAINTED PROVIDING FRP WAINSCOT WHERE CALLED FOR.
10	ALL FLOORS THROUGHOUT ARE TO BE SEALED CONCRETE WITH CALKED CONTROL JOINTS.
11	EXPOSED STEEL DECK, JOISTS, GIRDERS AND COLUMNS ARE TO BE PRIME GREY.
12	LOCKERS AND BENCHES IN LOCKER ROOMS ARE PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.

MARK	FLOOR PLAN CODED NOTES
------	------------------------



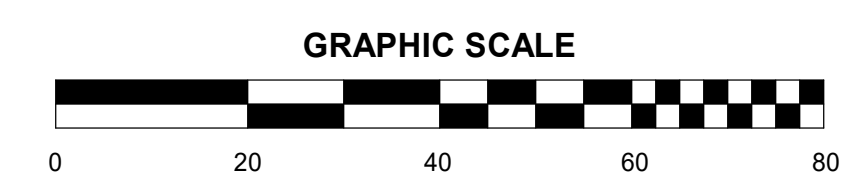
A1.2

BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

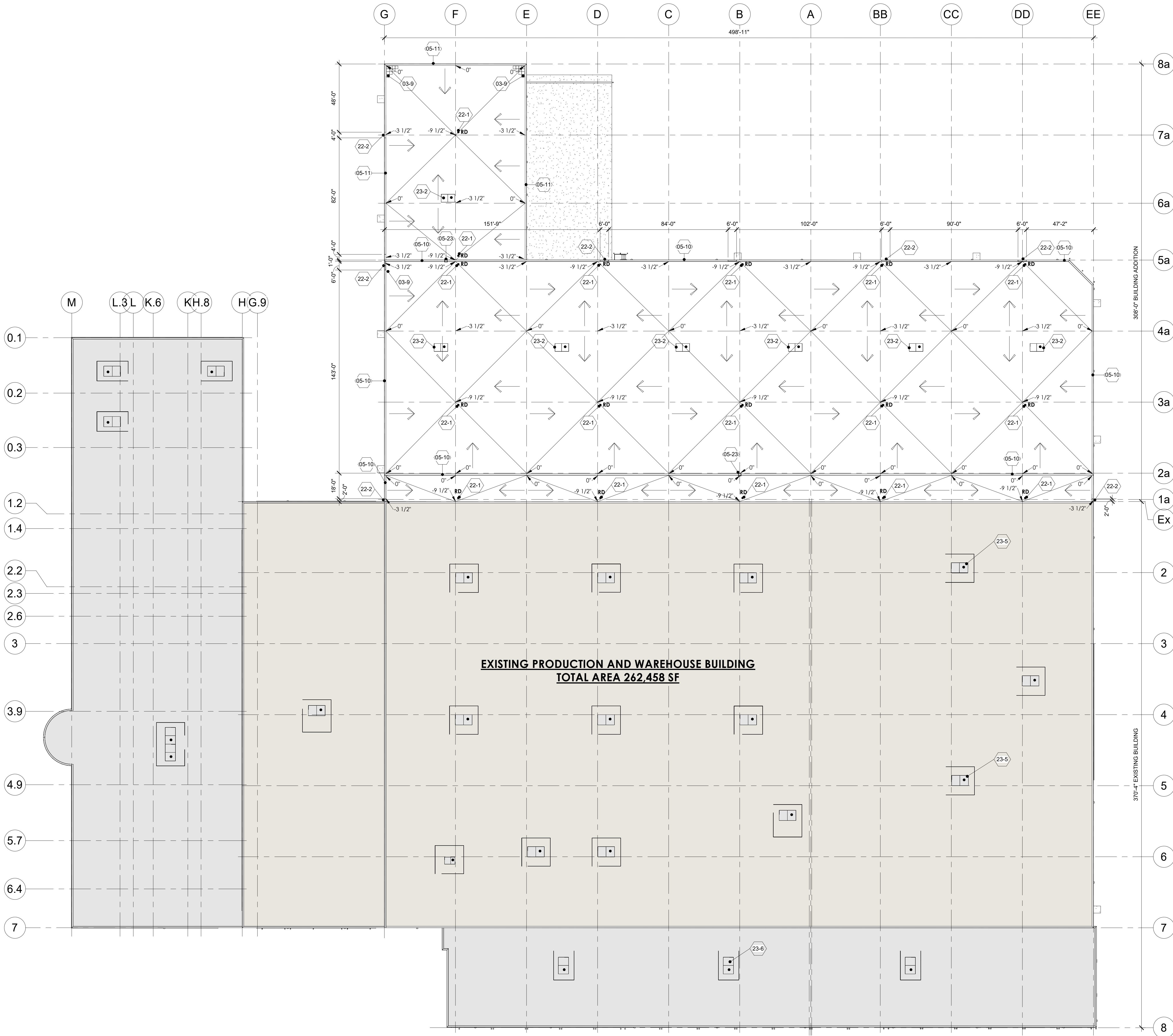
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YN: CK
CKED: DF
07/31/2023
IT:

A1.3



1 ENLARGED EXISTING FIRST FLOOR PLAN
1" = 20'-0"



1 OVERALL ROOF PLAN
1" = 30'-0"

GENERAL NOTES - ROOF PLAN

- 1 SEE STRUCTURAL DWGS FOR FURTHER STRUCTURAL INFORMATION.
- 2 COORDINATE ROOF SCREEN SIZE WHERE CALLED FOR WITH MECHANICAL UNITS. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- 3 SEE SHEET A4.2 FOR OTHER CANOPY AND TUBE SUN SHADES PLANS.
- 4 PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLAN BY OTHERS FOR LOCATIONS.
- 5 PROVIDE ROOF HATCH NOT LESS THAN 16 S.F. IN AREA AND HAVING A MINIMUM DIMENSION OF 24".
- 6 PROVIDE ALL REQUIRED FLASHING FOR HVAC ROOF TOP EQUIPMENT, INCLUDING ROOF TOP UNITS AND EXHAUST FANS.
- 7 PROVIDE AND INSTALL ALL REQUIRED FLASHING AND BOOTS FOR ROOF TOP AND PARAPET WALL ELECTRICAL PENETRATIONS AND HVAC EQUIPMENT.
- 8 PROVIDE FLASHING FOR PLUMBING VENTS.
- 9 PROVIDE 20 YEAR MANUFACTURERS LABOR AND MATERIAL WARRANTY.

KEYNOTE LEGEND ROOF PLAN

MARK	ROOF PLAN CODED NOTES
03-9	CONCRETE BALLAST PAVERS - 2' X 2' X 2" WITH PROTECTION SHEET.
05-10	PRE-FINISHED METAL CAP/COPING ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER AND PLATFORM 'BRIDGE BETWEEN' WITH STEEL GUARDRAIL, PAINTED.
22-1	PRIMARY ROOF DRAIN
22-2	2'-0" 4'-0" OR 6'-0" WIDE SCUPPERS - 6" ABOVE PRIMARY DRAIN - REFER TO ARCHITECTURAL ELEVATION DRAWINGS, STRUCTURAL, AND PLUMBING DRAWINGS. LOCATION OF SCUPPER DRAINS. DO NOT PLACE OUTFALL DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. REFER TO DETAIL 3/A4.0. ALTERNATE: PROVIDE SCUPPER BOX WITH DOWNSPOUT.
23-2	RTU-REFER TO HVAC DRAWINGS. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED AND PROVIDE ROOF SCREENS.
23-5	POTENTIAL ROOF-TOP REFRIGERATION UNITS FOR NEW COOLER TO REPLACE EXISTING RTU'S.
23-6	POTENTIAL NEW RTU.

ROOFING SYSTEM NOTES:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3", STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

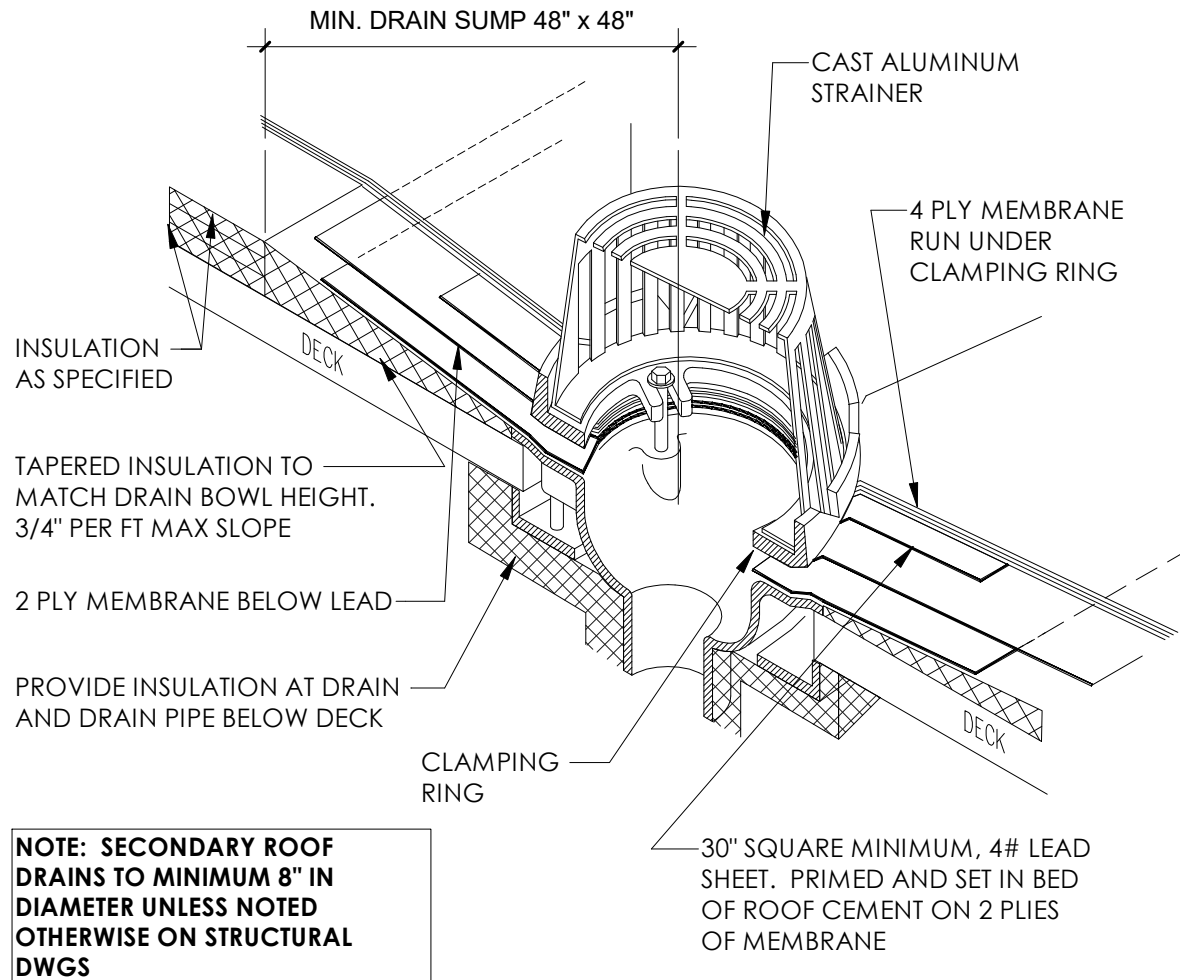
ROOF TOP EQUIPMENT TO BE POSITIONED BEHIND RAISED PARAPETS AS INDICATED BY HATCH PATTERN. PROVIDE SUPPLEMENTAL SCREENING FOR ROOF TOP UNITS THAT ARE NOT SCREENED BY PARAPETS.

PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLANS FOR EXACT LOCATION.

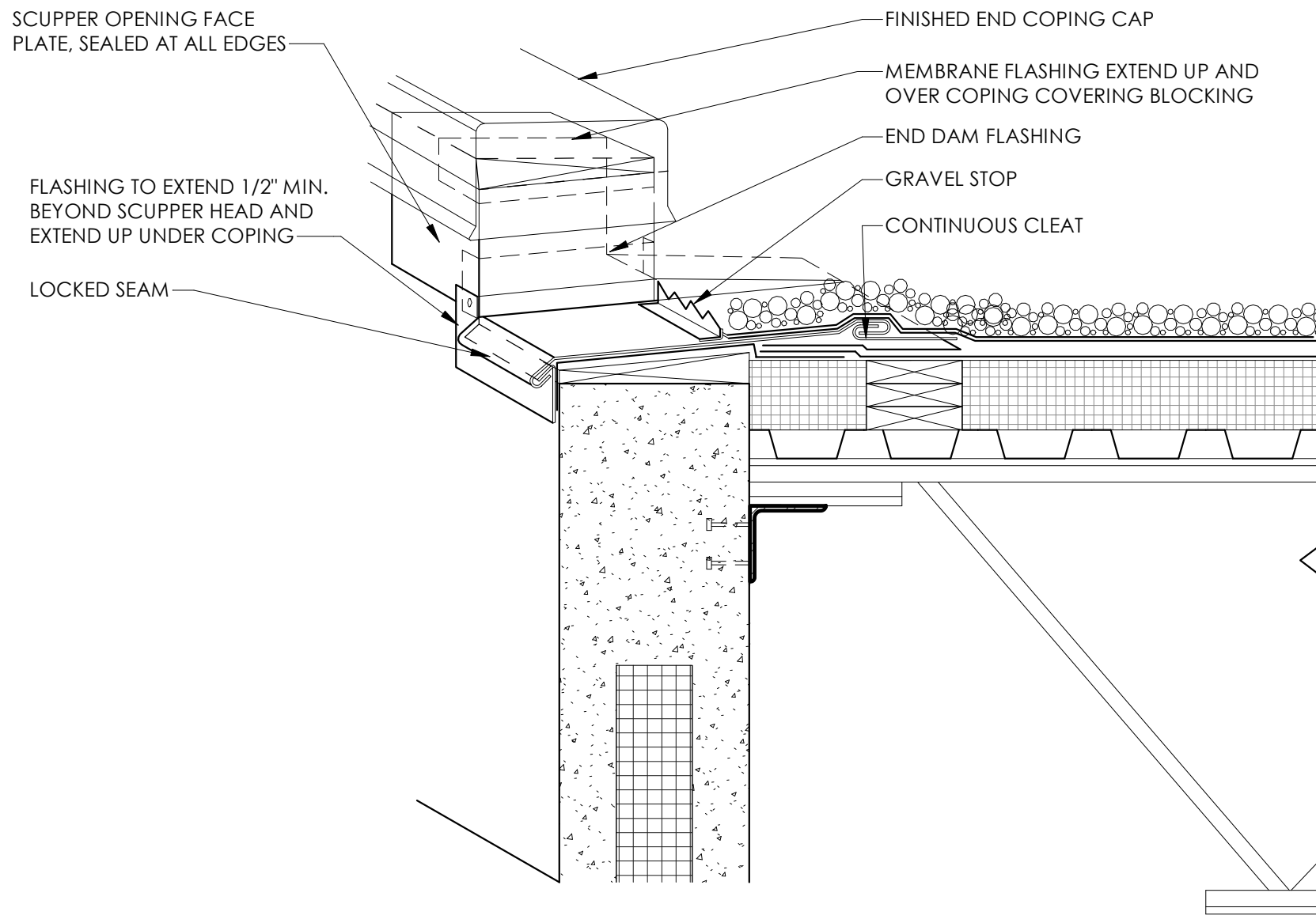
PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLANS FOR EXACT LOCATION.

ROOF IS DESIGNED FOR NO CONTROL FLOW

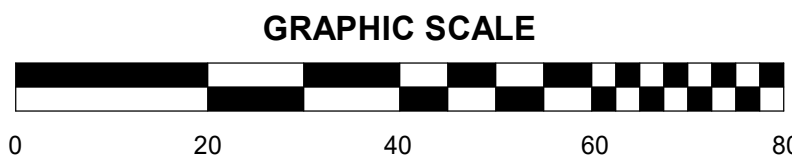
RTU EQUIPMENT REFER TO MECHANICAL PLANS



2 ROOF DRAIN DETAIL
1/2" = 1'-0"



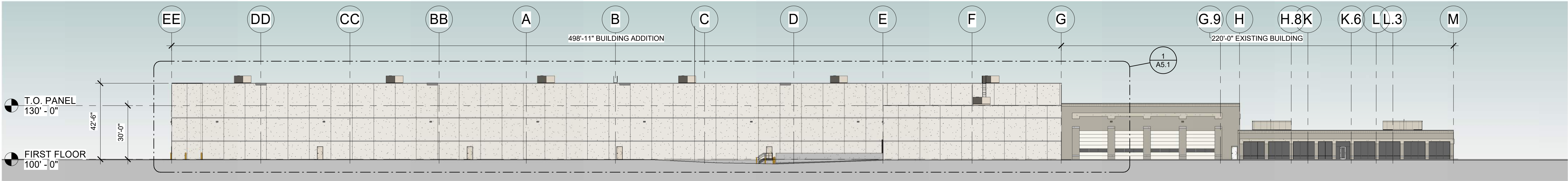
3 DETAIL - OPEN SCUPPER @ PRECAST
1 1/2" = 1'-0"



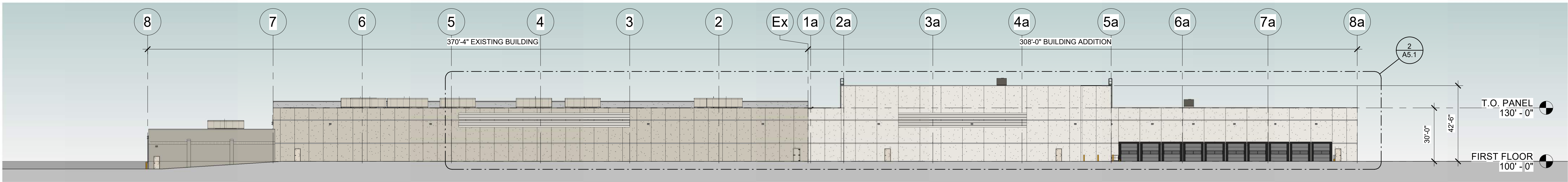
Revision

Date

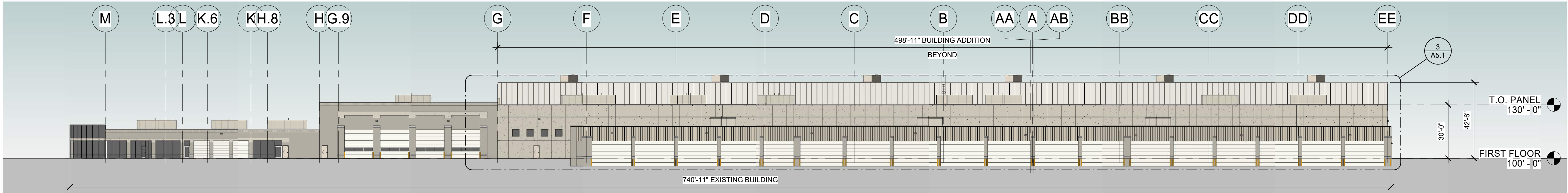
JOB: 230041
DRAWN: CK
CHECKED: DF
DATE: 07/31/2023
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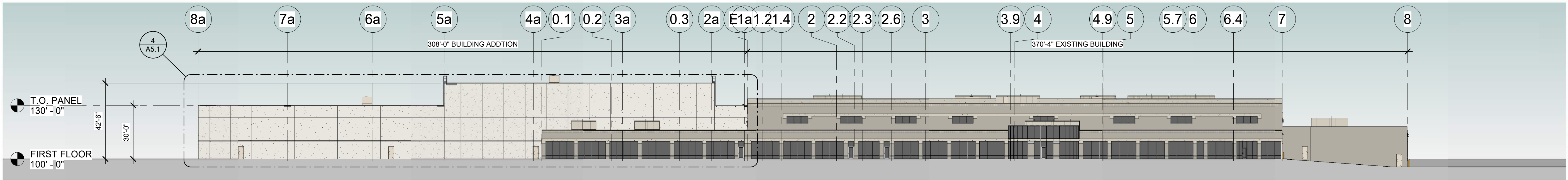
1 NORTH ELEVATION
1" = 30'-0"



2 EAST ELEVATION
1" = 30'-0"



4 SOUTH ELEVATION
1" = 30'-0"



3 WEST ELEVATION
1" = 30'-0"

WALL COLOR LEGEND

COLOR 1 - MATCH EXISTING EXPOSED AGGREGATE STONE

COLOR 2 - MATCH EXISTING 4" X 1/2" DEEP REVEAL

EXTERIOR SYSTEMS:

ROOF ASSEMBLY (AMBIENT): BALLASTED 45 MIL EPDM ROOF MEMBRANE ON 6" DIRECT TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS OF 3" STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 12" NOM. INSULATED PRECAST CONCRETE WALL PANEL (R-13.4)

INSULATED METAL WALL PANEL SYSTEM: 4" INSULATED METAL WALL PANEL SYSTEM (R-26)

PRECASTER NOTE:

PRECASTER TO PROVIDE COVERS FOR ALL ROUND RECESSED POCKETS AND PROVIDE CLOSED CELL SPRAY FOAM INSULATION WITH STEEL PREFINISHED METAL COVER PLATES FOR ALL OTHER SHAPE OPENINGS OR RECESSED AREAS (BEAM, LINTEL, JOIST, GIRDER BEARING OR OTHER POCKETED CONDITIONS) ON INTERIOR SIDE OF THE PRECAST WALL PANELS

THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 4 (PER IECC SECTION 502) PER TABLE 502.2 (1) BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES.

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-25ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.
WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED AND R-16ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION
VERTICAL FENESTRATION (40% MAXIMUM ALLOWED ABOVE GRADE) 5% ACTUAL PROVIDE REQUIRED U - FACTOR .40 ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE.
PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE.
PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1, FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1.
PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1, DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE.
PROPOSED BUILDING COMPLIES.

C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES.
NOT APPLICABLE TO PROPOSED BUILDING.

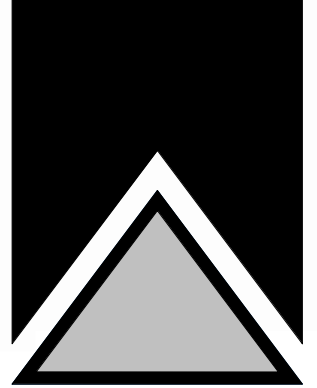
C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED.
PROPOSED BUILDING COMPLIES.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS.
PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2, DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS.
PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING.
NOT APPLICABLE TO PROPOSED BUILDING.

BRIORN



DESIGN GROUP
3805 N BIRCHFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1950
(952) 780-6500 PHONE
(952) 780-6505 FAX

OVERALL EXTERIOR ELEVATIONS

SHEET TITLE

PROPOSED BUILDING ADDITIONS FOR:
BEER CAPITOL DISTRIBUTING
W222 N5700 MILLER WAY
SUSSEX, WISCONSIN

Revision	Date	Job	230041
		DRAWN:	CK
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A5.0



COLOR 2 - MATCH EXISTING 4" X 1 1/2" DEEP REVEAL

KEYNOTE LEGEND ELEVATION












MARK		KEYNOTE LEGEND ELEVATION
		FLOOR PLAN CODED NOTES
03-1	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH TO MATCH EXISTING - COLOR 1 [SW 9166 DRIFT OF M57]	
03-10	4" X 1/2" DEEP REVEAL [HORIZONTAL] COLOR 2.	
03-12	CONCRETE RETAINING WALL [SEE CIVIL AND STRUCTURAL DWGS].	
05-6	EXTERIOR STEEL STAIRS WITH GALVANIZED STEEL BAR GRATE TREADS AND LANDING. PROVIDE STEEL CLOSED RISERS WITH PIPE GUARD/HAND RAILING DESIGN AND FABRICATION TO BE CODE/OSHA/ANSI COMPLIANT. STEEL TO BE PAINTED. LANDING TO BE SIZED FOR AREA OF RESCUE.	
05-10	PRE-FINISHED METAL CLAD DOOR TO MATCH EXISTING DOOR BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.	
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.	
05-14	REFINISHED DECORATIVE METAL PROFILE TO MATCH EXISTING - REFER TO DETAILS.	
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER AND PLATFORM BRIDGE BETWEEN WITH STEEL GUARDRAIL. PAINTED.	
07-3	INSULATED METAL WALL PANELS [MATCH COLOR 1].	
08-6	9"-0" WIDE X 10"-0" HIGH INSULATED OIL DOOR FACTORY FINISHED TO MATCH COLOR 1 WITH DOCK SEALS, DOCK LEVELERS AND BUMPER.	
08-19	23'-6" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.	
08-20	23'-9" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.	
08-21	24'-5" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND OPENER.	
08-22	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS CODE REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.	
08-23	EXISTING DOOR TO REMAIN.	
08-24	EXISTING O.H. DOOR TO REMAIN.	
08-25	REMOVE EXISTING 3'-0" X 7'-0" HOLLOW METAL DOOR AND FRAME AND REPLACE WITH NEW COOLER DOOR - REFER TO DOOR SCHEDULE - PAINTED TO MATCH ADJACENT WALL COLOR.	
23-2	2'-0" X 4'-0" OR 6'-0" WIDE SCRIPPER - 2" ABOVE PRIMARY DRAIN. - REFER TO ARCHITECTURAL ELEVATION DRAWINGS, STRUCTURAL AND PLUMBING DRAWINGS, LOCATION OF SCRIPPER DRAINS. DO NOT PLACE OUTFALL DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. REFER TO DETAIL 3/4/4.0. ALTERNATE: PROVIDE SCRIPPER BOX WITH DOWNSPOUT.	
23-3	RTU-REFER TO HVAC DRAWINGS. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE ABOVE FLASH AS REQUIRED AND PROVIDE ROOF SCREENS.	
23-5	POTENTIAL ROOF TOP REFRIGERATION UNITS FOR NEW COOLER TO REPLACE EXISTING RTUS.	
23-6	POTENTIAL NEW RTU.	
24-1	EXTERIOR LIGHT FIXTURE - CUT-OFF LED WALLPACK - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT (TYPICAL FOR EXTERIOR DOORS)	
32-4	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S). PAINTED SAFETY YELLOW.	

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JOB:	230041
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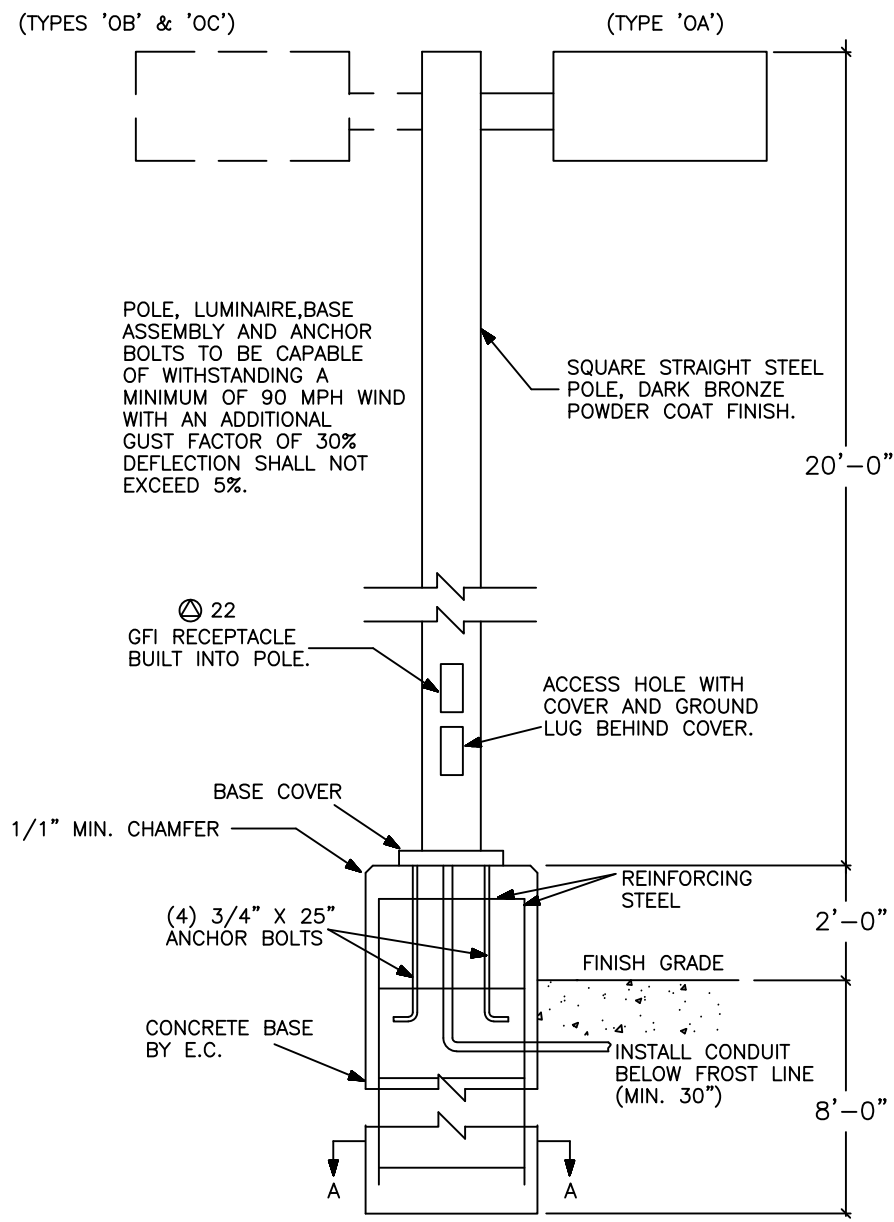
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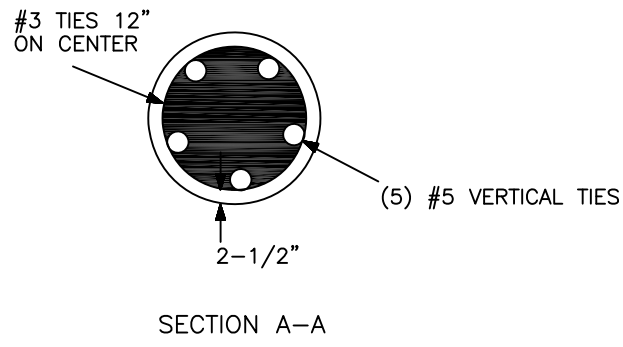
Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	OA	17	RAB LIGHTING	EXISTING	TYPE II LUMINAIRE MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_3h150n.ies	2707	0.9	153.4
	OB	1	RAB LIGHTING	EXISTING	TWIN 90 TYPE III LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_3h150n.ies	2707	0.9	306.8
	OC	5	RAB LIGHTING	ALED 4T 150 N	QUAD TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	616
	OG	28	RAB LIGHTING	ALED FC 80 N	BUILDING MOUNTED 20' AFG	4000K LED	1	dff20180427001-Samod40.ies	10018	0.9	83.37
	OH	10	LITHONIA	EXISTING KBR8 100M RS	100W MH 8 IN ROUND BOLLARD	100W MH	1	94033002.IES	8500	0.72	140
	OM	4	RAB LIGHTING	EXISTING	TYPE IV LUMINAIRE MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	154
	ON	5	UNITE LIGHTING	TL 150 H4 4K U 82 PM	BUILDING MOUNTED 20' AFG	4000K LED	1	Talon 150W Type 4 4000K.IES	21044	0.9	150
	OP	1	RAB LIGHTING	ALED 4T 150 N	TYPE IV LUMINAIRE MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	154
	OR	1	RAB LIGHTING	ALED	TWIN 180 TYPE III AND TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	[...]	[...]	0.9	307.4
			RAB LIGHTING	ALED	TWIN 180 TYPE III AND TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_3h150n.ies	2707	0.9	153.4
			RAB LIGHTING	ALED	TWIN 180 TYPE III AND TYPE IV LUMINAIRES MOUNTED ON A 20' POLE ON A Z BASE	4000K LED	6	aled_wplod_4h150n.ies	2970	0.9	154

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Lighting	+	1.5 fc	27.5 fc	0.0 fc	N/A	N/A

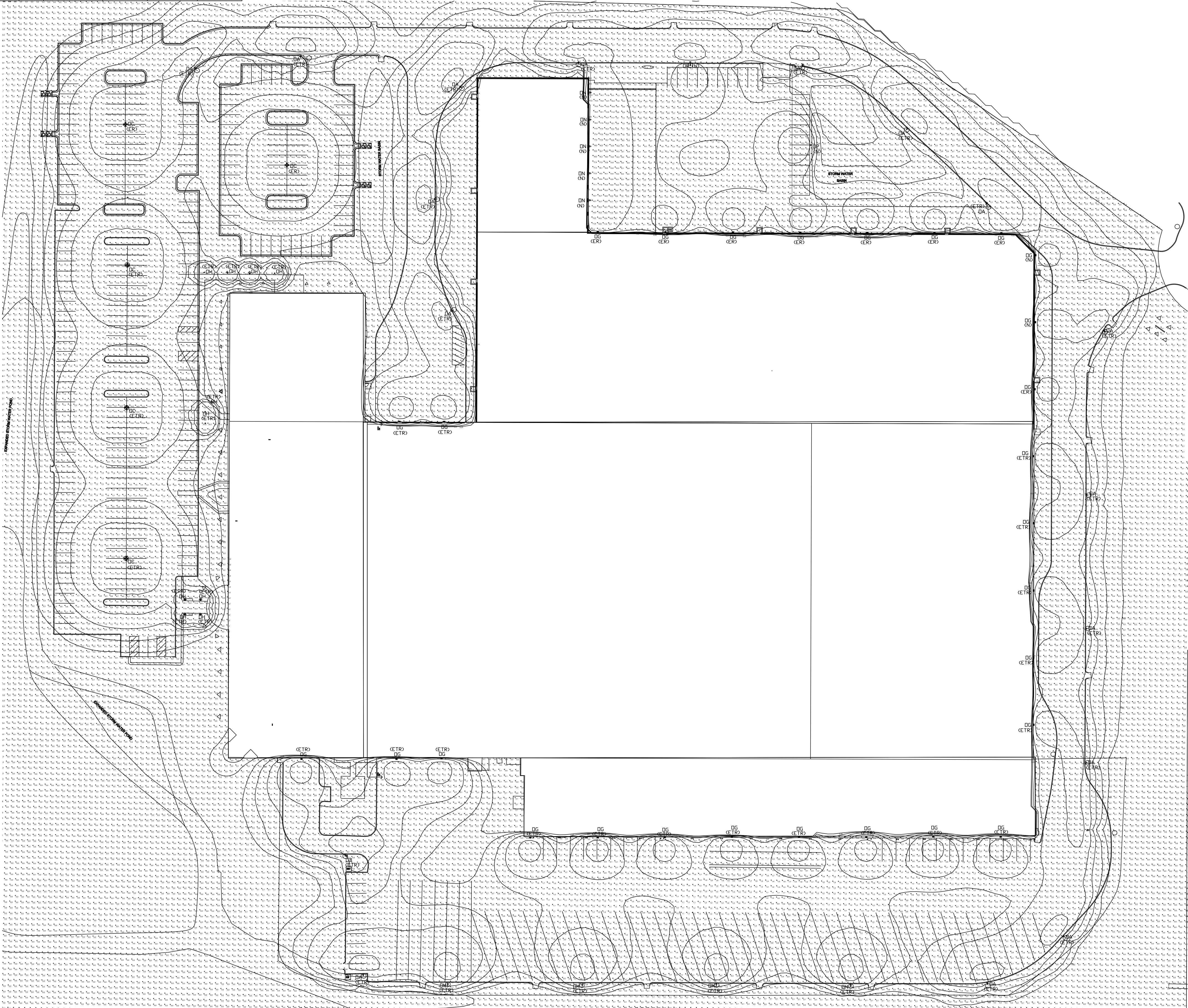
(N) - NEW FIXTURE
(ER) - EXISTING RELOCATED
(ETR) - EXISTING TO REMAIN



FIXTURE TYPE 'OA', 'OB', & 'OC'
MOUNTING DETAIL
NO SCALE



1 SITE LIGHTING PLAN
1" = 40'-0"



ALED4T150N

RAB



Color: Bronze

Weight: 36.9 lbs

Project: BEER CAPITOL

Type: OC

Prepared By: PACE ELECTRIC

Date: 7/26/23

Driver Info		LED Info	
Type	Constant Current	Watts	150W
120V	1.31A	Color Temp	4000K (Neutral)
208V	0.80A	Color Accuracy	71 CRI
240V	0.66A	L70 Lifespan	100,000 Hours
277V	0.66A	Lumens	17,822 lm
Input Watts	154W	Efficacy	115.7 lm/W

Technical Specifications

Compliance

UL Listed:
Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P00001756

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Performance

Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 400W Metal Halide

Construction

IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adapter plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be <4" to mount fixtures at 90° orientation.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

EPA:

1 Fixture: 0.75
2 Fixtures at 90°: 1.2
2 Fixtures at 180°: 2.4
3 Fixtures at 90°: 2.4
4 Fixtures at 90°: 1.8

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:
Multi-chip, high-output, long-life LEDs

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ALED4T150N

RAB

Technical Specifications (continued)

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

One Driver, Constant Current, Class 2, 2100mA, 100-277V, 50-60Hz, Power Factor 99%

THD:

5.9% at 120V, 11.1% at 277V

Power Factor:

99.5% at 120V, 93.7% at 277V

Surge Protection:

4kV

Optical

BUG Rating:

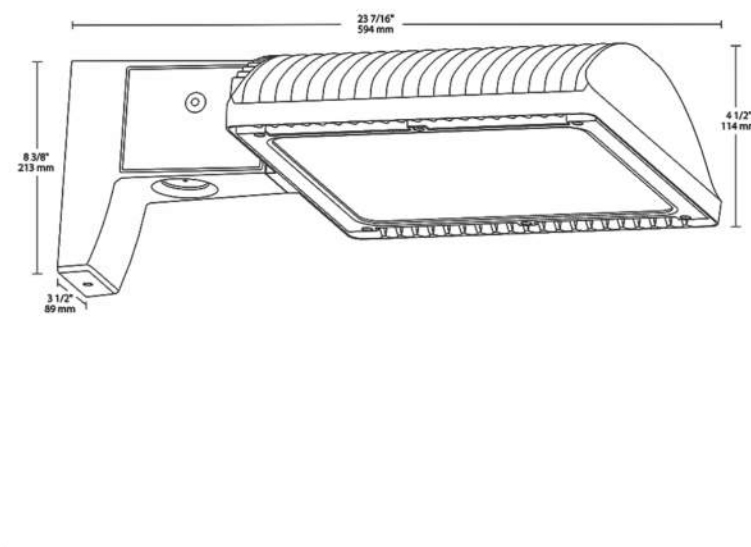
B1 U0 G2

Other

BAA Compliance:

Click here for BAA compliance.

Dimensions



Features

66% energy cost savings vs. HID
100,000-hour LED lifespan
5-Year, No-Compromise Warranty

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ALED4T150N

RAB

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T = Type IV 1T = Type II 2T = Type II	150 50 = 50W 75 = 75W 105 = 105W 125 = 125W 150 = 150W	Blank = Pole mount SF = Splitter	Blank = 3000K Cool N = 4000K Neutral Y = 3000K Warm	Blank = Bronze RC = Roadway Gray W = White K = Black	Blank = 120-277V AB0 = 480V /BL = B-Level /D10 = 0-10V Dimming AB0D10 = 480V, 0-10V Dimming	Blank = No Option /LC = Lightcloud® Controller /PCS = 120V Swivel Photocell /PC3 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PC4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant

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ALED80N/D10

RAB



Color: Bronze

Weight: 16.4 lbs

Project: BEER CAPITOL

Type: OG

Prepared By: PACE ELECTRIC

Date: 7/26/23

Driver Info		LED Info	
Type	Constant Current	Watts	80W
120V	0.71A	Color Temp	4000K (Neutral)
208V	0.41A	Color Accuracy	76 CRI
240V	0.36A	L70 Lifespan	100,000 Hours
277V	0.31A	Lumens	10,018 lm
Input Watts	83.1W	Efficacy	120.6 lm/W

Technical Specifications

Electrical

Drivers:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

5.99% at 120V, 10.03% at 277V

Power Factor:

99.5% at 120V, 93.6% at 277V

Surge Protection:

4kV

Compliance

UL Listed:

Suitable for wet locations. Suitable for mounting within 4 feet of the ground.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Performance

Lifespan:
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 250W Metal Halide

Construction

IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Thermal Management:

Cast aluminum Thermal Management system for optimal heat sinking. The ALED is designed for cool operation, most efficient output and maximum LED life by minimizing LED junction temperature.

Housing:

Housing: die-cast aluminum housing, lens frame

Arm:

Die-cast aluminum with wiring access plate

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone

EPA:

1 Fixture: 1.5
2 Fixtures at 90°: 2.4
2 Fixtures at 180°: 2.9
3 Fixtures at 90°: 3.2
4 Fixtures at 90°: 3.2

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

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ALED80N/D10

RAB

Technical Specifications (continued)

Color Stability:
LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Patents:

The WFL-LED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Buy American Act Compliance:

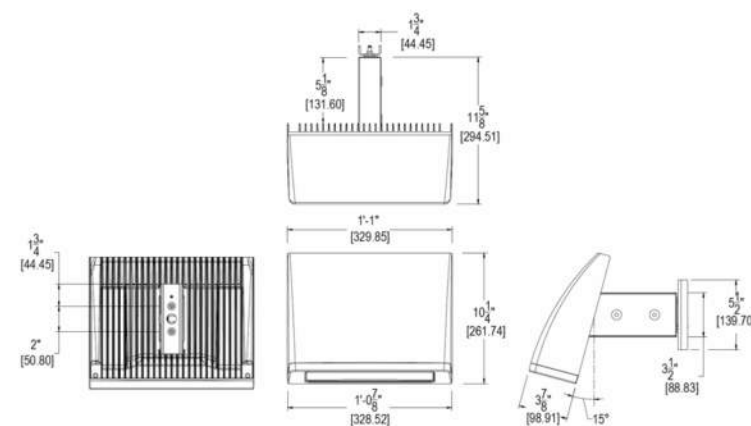
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U2 G3

Dimensions



Features

75% energy savings
Superior heat sinking with die cast aluminum housing and external fins
100,000-hour LED lifespan
5-Year, No-Compromise Warranty

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ALED80N/D10

RAB

Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options	Other Options
ALED	(15°) C = Cutoff (7.5°) FC = Full Cutoff (0°)	80 52 = 52W 80 = 80W	Y = 3000K Warm Blank = 5000K Cool N = 4000K Neutral	Blank = Bronze W = White	Blank = 120-277V AB0 = 480V /BL = B-Level /D10 = 0-10V Dimming	Blank = No Option /PCS = 120V Swivel Photocell /PC3 = 277V Swivel Photocell /PC4 = 480V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /LC = Lightcloud® Controller	Blank = Standard USA = BAA Compliant

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UNITE

Talon

TALON

Area Light

TYPE: OP

Project: BEER CAPITOL

Performance Data

Dimming: 0.1% - 10% to 100%
 CCT: 4000K
 Lifetime: LM80 100,000+
 Operating Temp: -40°C to +55°C
 IP Rating: IP 65

Description

The Talon is Unite's most popular area light offering both fantastic efficiency and reliability to provide the best one for every project merit value in the market. Multiple mounting options and distribution types make this a highly versatile solution for parking lots, alleys and roadways. The Talon is always part of Unite's 24 hr quick ship program for ultimate convenience.

Features

- Highly durable powder coat finish over chromatic conversion coating
- 50k foot aluminum IP65 housing UL listed with integral heat sink
- 4 convenient mounting holes for all installation
- Thermal and shock resistant 3G tested for roadways and crane mounting

Ordering Information

Example: TL-150-3K-14-882-PN-3PIN-NC-HSS

Series	Wattage	Optic	Color Temp	Voltage	Color	Mounting
N-150	150	H5 TACO 3	40 CRI	120/277	82 CRI	SP 8" x 14" Mount
	100	H5 TACO 3		# 277-40	74 CRI White	SP 8" x 14" Mount
	150	H5 TACO 3			82 CRI White	SP 8" x 14" Mount
	300					
	300					

Accessories	Options
3PIN 3 Pin Socket Base Included AC AC Voltage Input 15W 15W Single Protector 15W 15W Single Protector 15W 15W Single Protector	PC Protocol PM PM Programmable Microcontroller Sensor 88 88 Color Intensity Beamshot 88 88 Color Intensity Beamshot 88 88 Color Intensity Beamshot 88 88 Color Intensity Beamshot

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Talon

DIMENSIONS

TALON 100W & 150W

Technical drawing of the Talon 100W & 150W antenna. The top view shows a rectangular antenna with a central rectangular cutout. Dimensions are labeled: A (total width), B (width of the central cutout), C (total height), and D (height of the central cutout). The side view shows the antenna's profile with a curved top and a flat base.

Measure Point	Dimensions
A	13.14"
B	11.41"
C	12.4"
D	2.4"

TALON 200W

Technical drawing of the Talon 200W antenna. The top view shows a rectangular antenna with a central rectangular cutout. Dimensions are labeled: A (total width), B (width of the central cutout), C (total height), and D (height of the central cutout). The side view shows the antenna's profile with a curved top and a flat base.

Measure Point	Dimensions
A	14.84"
B	13.11"
C	12.4"
D	2.4"

TALON 240W & 300W

Technical drawing of the Talon 240W & 300W antenna. The top view shows a rectangular antenna with a central rectangular cutout. Dimensions are labeled: A (total width), B (width of the central cutout), C (total height), and D (height of the central cutout). The side view shows the antenna's profile with a curved top and a flat base.

Measure Point	Dimensions
A	22.72"
B	21.03"
C	12.39"
D	2.4"



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PERFORMANCE						
LUMEN OUTPUT						
Wattage	12 Lum	12 EFP	14 Lum			
100W	1403	142 LPW	14637			
150W	20144	140 LPW	20874			
200W	29301	141 LPW	29105			
240W	34710	143 LPW	34928			
300W	42331	141 LPW	42143			
16 EFP	18 Lum	18 EFP	20 Lum			
100W	14211	142 LPW				
150W	21347	141 LPW				
200W	29143	143 LPW				
240W	34743	145 LPW				
300W	42784	142 LPW				
LUMEN AMBIENT TEMP MULTIPLIERS		ELECTRICAL CALCULATIONS				
Temperature	Multiple	Wattage	12V	20V	240V	277V
95/122°	1.03	100W	0.83A	0.48A	0.42A	0.36A
100/109°	0.91	150W	1.25A	0.72A	0.63A	0.56A
150/68°	1.00	200W	1.66A	0.96A	0.83A	0.72A
35C/94F	0.99	250W	2.08A	1.15A	1.00A	0.86A
49C/108F	0.96	300W	2.50A	1.44A	1.25A	1.08A
B-U-G and EPA RATING		WEIGHT AND PACKAGING SIZE				
Wattage	B-U-G	EPA	Wattage	Weight	Box Size (LxWxH)	
100W	83-U1-G3	0.7	100W	6.3 lbs	19"X14.4"X5.7"	
150W	83-U1-G3	0.7	150W	6.4 lbs	19"X14.4"X5.7"	
200W	83-U2-G3	0.9	200W	7.0 lbs	19"X14.4"X5.7"	
240W	84-U2-G4	1.0	240W	10.3 lbs	27.7"X14.4"X5.7"	
300W	84-U2-G4	1.0	300W	10.8 lbs	27.7"X14.4"X5.7"	
LUMEN MAINTENANCE						
Operating Hours	0	25,000	50,000	100,000		
Percent of Initial	100%	94%	93%	86%		
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Talon

MOUNTING

SF Slip Fit Bracket

PM Pole Mount (Round and Square)

TRN Trunion

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UNITE

Talon

CONTROLS


Photocell

The talon photocell is the most economical choice for hassle free controls. The PC will detect natural light and activate the Talon at dusk and shut it off at dawn!




Programmable Microwave Sensor

The Talon can integrate a programmable microwave sensor for total independent control. Functionality includes daylight-harvesting, occupancy sensing, high low dimming of 10%, 30% or 20% standby levels with cycling hold times up to one hour.




Silvair Wireless Control

The Silvair wireless control system utilizes qualified bluetooth protocol to allow for truly open source wireless control system. Easily integrated with InOcean switches, the Silvair controllers in seconds and provides true wireless network control.



Autani Wireless Control

Autani is a mixrange Zigbee wireless control platform that can offer advanced features such as space utilization, coast counting, temperature data collection, and advanced energy monitoring.



Synapse Wireless Control

Synapse is the Cadillac of outdoor wireless controls. Appropriate for single site to entire cities, Synapse boasts 1000 foot range as well as capacity for up to 10,000 lights all within one network. Functionality includes advanced features such as internet free network and full Backnet integration.



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UNITEG is a technology company that designs and manufactures smart lighting solutions and control systems for outdoor lighting. We are a leading provider of smart lighting solutions and control systems for outdoor lighting. We are a leading provider of smart lighting solutions and control systems for outdoor lighting.

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Talon

EPA RATINGS

S Single

D90 Double Y0

D180 Double Y180

T90 Triple Y0

T120 Triple Y20

Q90 Quad

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	0.70	0.90	1.00

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	1.10	1.20	1.50

Size	100 & 150	200	240 & 300
Weight	12.6 lbs	14.0 lbs	21.6 lbs
EPA	1.60	1.90	2.00

Size	100 & 150	200	240 & 300
Weight	19.3 lbs	21.0 lbs	32.4 lbs
EPA	1.80	2.10	2.20

Size	100 & 150	200	240 & 300
Weight	19.3 lbs	21.0 lbs	32.4 lbs
EPA	1.80	2.10	2.20

Size	100 & 150	200	240 & 300
Weight	25.2 lbs	28.0 lbs	43.2 lbs
EPA	1.90	2.20	2.40

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Talon

PHOTOMETRY 100W

100W Type 3

Distance in increments of 40ft
Repeating height: 20ft

Talon 100W T3			
Zonal Lumens		Summary	
Zone	Lumens	lf/foot	lf/foot
0-30	2947	21%	
0-40	4645	34%	
0-60	9874	70%	
0-80	13373	97%	
0-90	14204	99%	
40-80	6685	47%	
70-80	3899	27%	
80-90	1737	12%	
0-180	14203	100%	

100W Type 4

Talon 100W T4			
Zonal Lumens		Summary	
Zone	Lumens	lf/foot	lf/foot
0-30	2140	15%	
0-40	3655	26%	
0-60	9005	62%	
0-80	14150	97%	
0-90	14458	99%	
40-80	8020	55%	
70-80	5145	35%	
80-90	2357	16%	
0-180	14457	100%	

100W Type 5

Talon 100W T5			
Zonal Lumens		Summary	
Zone	Lumens	lf/foot	lf/foot
0-30	1712	12%	
0-40	3367	24%	
0-60	8512	60%	
0-80	13812	97%	
0-90	14879	99%	
40-80	8192	58%	
70-80	5300	37%	
80-90	2368	17%	
0-180	14221	100%	

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Talon

PHOTOMETRY 150W

Distance In Increments of 40ft
Mounting Height = 32ft

150W Type 3

Talon 150W T3			
Zone		Lumens	Footcandle
0-30	2991	145	
0-40	5471	285	
0-50	13023	645	
0-60	20399	975	
0-70	26729	995	
0-80	11294	545	
70-80	4666	235	
80-90	2724	145	
0-180	21044	1005	

150W Type 4

Talon 150W T4			
Zone		Lumens	Footcandle
0-30	3031	155	
0-40	5404	275	
0-50	13024	635	
0-60	20413	965	
0-70	25817	995	
0-80	11284	545	
70-80	4749	325	
80-90	2369	115	
0-180	20873	1005	

150W Type 5

Talon 150W T5			
Zone		Lumens	Footcandle
0-30	3995	145	
0-40	5668	275	
0-50	13050	635	
0-60	20723	975	
0-70	21105	995	
0-80	11460	545	
70-80	4850	325	
80-90	2678	125	
0-180	21347	1005	

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Talon

PHOTOMETRY 200W

10fc
5fc
2fc

Distance in Invertments of 40ft
Mounting height = 20'

200W Type 3

200W Type 4

200W Type 5

Talon 200W 13

Zone Lumens Summary		
Zone	Lumens	Footcandle
0-30'	4601	1618
0-40'	7621	2895
0-40'	17704	6378
0-60'	25520	9378
0-80'	28603	9995
60-80'	17335	5485
70-80'	9788	3551
80-90'	4307	1595
0-180'	28301	1000%

Talon 200W 14

Zone Lumens Summary		
Zone	Lumens	Footcandle
0-30'	4270	1551
0-40'	7700	2816
0-40'	17896	6425
0-60'	26172	9798
0-80'	28788	9995
60-80'	13584	5051
70-80'	10186	3839
80-90'	4660	1818
0-180'	29105	1000%

Talon 200W 15

Zone Lumens Summary		
Zone	Lumens	Footcandle
0-30'	3760	1411
0-40'	7200	2591
0-60'	17613	6378
0-80'	26010	9798
0-80'	28606	9995
60-80'	14244	5485
70-80'	10397	3845
80-90'	4760	1818
0-180'	29143	1000%

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Talon

PHOTOMETRY 240W

Distance in footcandle of 40ft
Mounting height - 20ft

240W Type 3

Talon 240W T3

Talon 240W T3		
Zone	Lumens	%Footcandle
0-30°	3,300	100%
0-40°	9631	285%
0-60°	22173	645%
0-80°	33798	978%
0-90°	34340	979%
40-60°	18049	535%
70-80°	11625	338%
80-90°	5502	145%
0-180°	34710	1000%

240W Type 4

Talon 240W T4

Talon 240W T4		
Zone	Lumens	%Footcandle
0-30°	4159	100%
0-40°	11026	306%
0-60°	23716	665%
0-80°	34608	975%
0-90°	34317	995%
40-60°	16893	465%
70-80°	10292	299%
80-90°	4964	146%
0-180°	34626	1000%

240W Type 5

Talon 240W T5

Talon 240W T5		
Zone	Lumens	%Footcandle
0-30°	6791	100%
0-40°	11865	345%
0-60°	24537	708%
0-80°	34656	975%
0-90°	34565	995%
40-60°	11162	455%
70-80°	9529	276%
80-90°	4964	146%
0-180°	34716	1000%

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Talon

PHOTOMETRY 300W

Distance in footcandle of 40ft
Measuring Height : 30ft

300W Type 3

Talon 300W T3			
Total Lumens Summary			
Zone	Lumens	%Illum	%Footc
0-30°	6479	14%	
0-40°	12264	29%	
0-60°	28337	67%	
0-80°	41325	98%	
0-90°	41814	99%	
0-100°	21688	51%	
70-90°	12974	31%	
80-90°	3001	7%	
0-180°	42331	100%	

300W Type 4

Talon 300W T4			
Total Lumens Summary			
Zone	Lumens	%Illum	%Footc
0-30°	4493	11%	
0-40°	11930	28%	
0-60°	26523	67%	
0-80°	41147	98%	
0-90°	41626	99%	
0-100°	21799	52%	
70-90°	13094	31%	
80-90°	3061	7%	
0-180°	42143	100%	

300W Type 5

Talon 300W T5			
Total Lumens Summary			
Zone	Lumens	%Illum	%Footc
0-30°	3778	14%	
0-40°	11310	27%	
0-60°	28254	66%	
0-80°	41478	97%	
0-90°	42247	99%	
0-100°	22248	55%	
70-90°	13624	32%	
80-90°	3201	7%	
0-180°	42364	100%	

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11

RESOLUTION NO. _____

AMENDMENT TO THE
2040 COMPREHENSIVE PLAN
FOR THE VILLAGE OF SUSSEX, WISCONSIN
AND SPECIFICALLY THE LAND USE MAP A
COMPONENT OF THE COMPREHENSIVE PLAN

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1002(2) of the Wisconsin Statutes; and

WHEREAS: The Village Board adopted a comprehensive plan on March 25, 2003 and updated to the 2040 Comprehensive Plan on May 22, 2018 and on occasion amendments will be made; and

WHEREAS: The Sussex Plan Commission has received a petition to amend the Land Use Map and finds it to be acceptable; and

WHEREAS: The Village desires to amend the adopted 2040 Comprehensive plan, specifically the Land Use Plan Map component of the same, based on a request by the petitioner, Vista Run, LLC, specifically a portion of Tax Key Number 0227.038.007 as follows:

FROM: The approximately 3.41 acres of the subject property that are currently classified on the Land Use Map as Single-Family Attached and Two-Family Residential.

TO: The approximately 3.41 acres of the subject property would be classified on the Land Use Map as Medium Density Single Family Residential.

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Sussex, adopts this resolution and recommends that the Village Board of the Village of Sussex adopt an ordinance entitled Amendment to the Village of Sussex 2040 Comprehensive Plan of the Land Use Map a component of the comprehensive plan for the Village of Sussex to accomplish the following:

Amend the Land Use classification for a portion of Tax Key Number 0227.038.007 containing approximately 3.41 acres on the Land Use Map as shown on the exhibit to the Medium Density Single Family Residential.

Exhibit A legal description attached hereto and incorporated herein.

ADOPTED THIS _____ DAY OF _____ 2023

Approved by a vote of ____ ayes ____ nays.

By: _____
Anthony LeDonne, Chairman

Attest: _____
Jennifer Moore, Village Clerk

STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. _____

AMENDMENT to the 2040 COMPREHENSIVE PLAN
OF THE VILLAGE OF SUSSEX, WISCONSIN
AND SPECIFICALLY THE LAND COMPONENT OF THE SAME

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes; and

WHEREAS: the Village Board for the Village of Sussex is authorized to make changes to the adopted Comprehensive Plan upon recommendation of the Village Plan Commission; and

WHEREAS: the Plan Commission reviewed the amendment to the land use map, a component of the comprehensive plan, to change the Land Use classification for the properties located at south of Silver Spring Road and west of Hwy 164 more specifically a portion of Tax Key Number 0227.038.007 as follows:

FROM: The approximately 3.41 acres of the subject property that are currently classified on the Land Use Map as Single-Family Attached and Two-Family Residential.

TO: The approximately 3.41 acres of the subject property would be classified on the Land Use Map as Medium Density Single Family Residential.

WHEREAS: the Plan Commission made a finding the proposed amendment is consistent with the spirit and intent of the comprehensive plan.

WHEREAS: the Village Plan Commission, by a majority vote, adopted resolution #_____, a copy of which is on file with the Village Clerk's office, recommending to the Village Board an amendment to the land use map which is a component of the comprehensive plan; and

WHEREAS: the Village Board conducted a public hearing on August 22, 2023 regarding the proposed amendment in compliance with the requirements of section 66.1001(4)(d) of the Wisconsin Statutes; and

WHEREAS: the Village Board of the Village of Sussex, having carefully reviewed the recommendation of the Village Plan Commission, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration of the plan components, as may be herein amended, relating to issues and opportunities, housing transportation, utilities and community facilities, agricultural, natural and cultural resources, economic development, inter governmental cooperation, land-use, and implementation has determined that the comprehensive plan dated March 25, 2003, as herein amended, will serve the general purposes of guiding and accomplishing a coordinated, adjusted and harmonious development of the Village of Sussex which will, in accordance with existing and future need, best promote public health, safety, morals, order convenience, prosperity and general welfare, as well as efficiency and economy in the process of development.

NOW THEREFORE, the Village Board of the Village of Sussex, do ordain as follows:

SECTION 1. FINDINGS

The Village Board makes the following finding relating to the plan amendment:

1. The subject property to be reclassified on the land use map is appropriate to be reclassified to the proposed land use classification due complimentary existing land uses adjacent to the property.
2. The proposed amendment is consistent with the spirit and intent of the comprehensive plan.

SECTION 2. AMENDMENT

The Village of Sussex's comprehensive plan is hereby amended to change the land use classification of property located at south of Silver Spring Road and west of Hwy 164 more specifically a portion of Tax Key No. 0227.038.007 as follows:

FROM: The approximately 3.41 acres of the subject property that are currently classified on the Land Use Map as Single-Family Attached and Two-Family Residential.

TO: The approximately 3.41 acres of the subject property would be classified on the Land Use Map as Medium Density Single Family Residential.

SECTION 3. DISTRIBUTION OF RECOMMENDED AMENDMENT

1. The Village Administrator is directed to send a copy of this ordinance to the following along with an explanatory cover letter:
2. Clerk of each adjoining municipality;
3. County Clerk of the Waukesha County Administration Center, 1320 Pewaukee Road, Room 120; Waukesha, WI 53188;
4. Executive Director of the Southeast Wisconsin Regional Planning Commission; P.O. Box 1607
5. Waukesha, WI 53188;
6. Director; Waukesha County Department of Parks and Land Use; 515 W. Moreland Blvd Waukesha, WI 53188;
7. Wisconsin Department of Administration, Comprehensive Planning Program, 101 E. Wilson Street, 9th Floor Madison, WI 53703;
8. Pauline Haass Public Library N64W23820 Main Street, Sussex, WI 53089

SECTION 4. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof of the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2023.

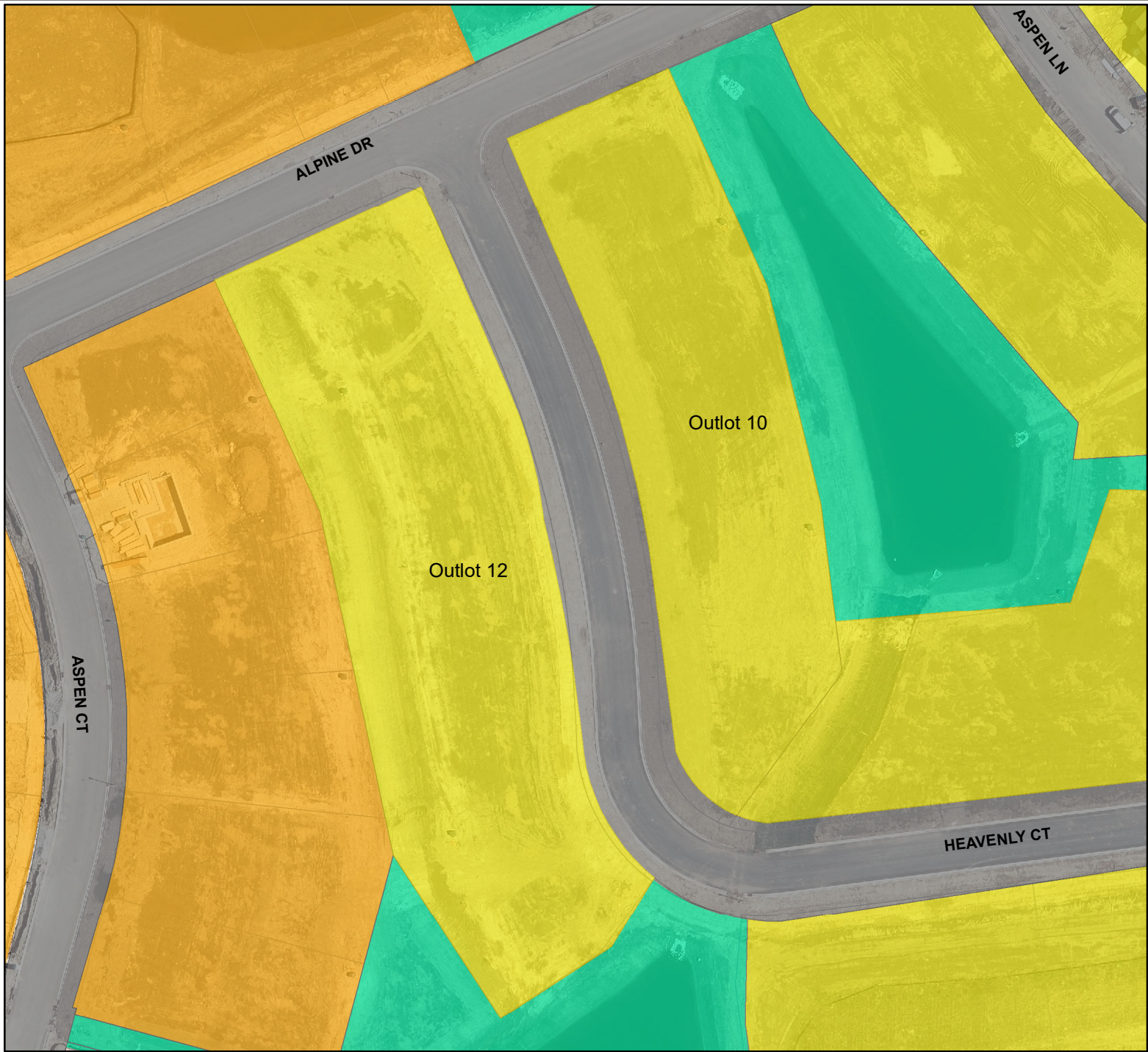
VILLAGE OF SUSSEX

Anthony J. LeDonne, Village President

ATTEST:





Jennifer Moore, Village Clerk-Treasurer

Approved by a vote of _____ ayes _____ nays.



Vista Run Existing Landuse

Date: 1-30-20

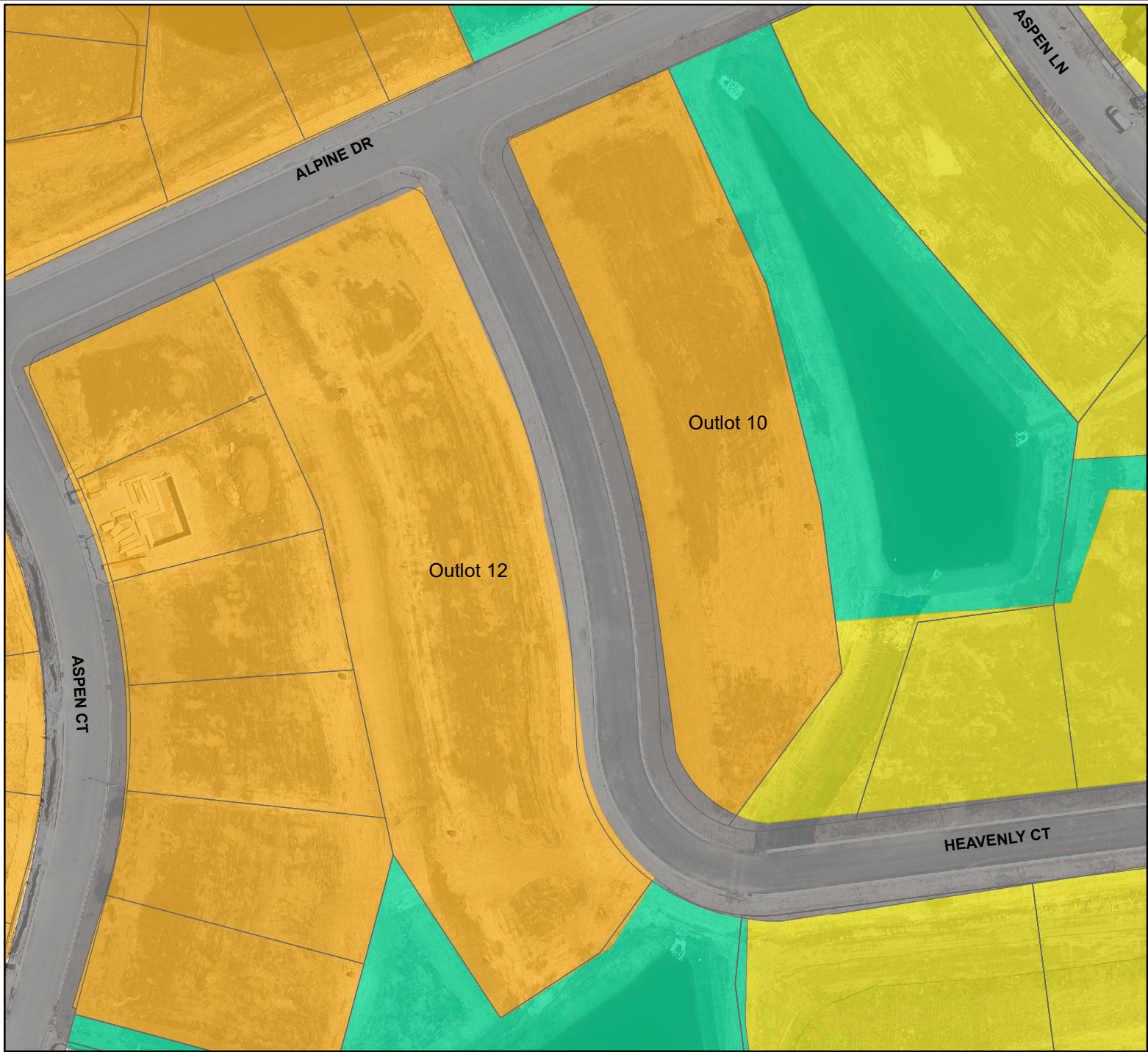
-  Single-Family Attached and Two-Family Residential
-  Medium Density Single-Family Residential
-  Recreational
-  Streets and Highways



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





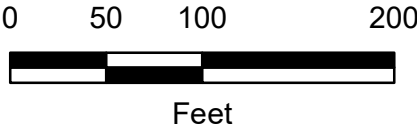
Feet



**Vista Run
Ammended Landuse
Outlots 10 & 12**

Date: 7-18-23

-  Single-Family Attached and Two-Family Residential
-  Medium Density Single-Family Residential
-  Recreational
-  Streets and Highways



STATE OF WISCONSIN

VILLAGE OF SUSSEX

WAUKESHA COUNTY

ORDINANCE NO. ____

AN ORDINANCE TO CONDITIONALLY REZONE
CERTAIN LANDS IN THE VILLAGE OF SUSSEX FROM
SFRD-3 SINGLE-FAMILY ATTACHED WITH A PDO
PLANNED DEVELOPMENT OVERLAY
TO
RS-2 SINGLE-FAMILY RESIDENTIAL WITH A PDO
PLANNED DEVELOPMENT OVERLAY

WHEREAS: A petition has been filed by Vista Run, LLC (“Petitioner”) of certain lands in the Village of Sussex to rezone said properties as described in Exhibit A attached hereto and incorporated herein (“Subject Properties”); and

WHEREAS: Said rezoning petition was submitted to rezone the subject properties to RS -2 Single Family Residential District with a Planned Development Overlay District described on Exhibit A-1; and

WHEREAS: The Petitioner has supplied all required data pursuant to the Village of Sussex Zoning Code; and

WHEREAS: Upon due notice as required by Section 17.1300 of the Village Code, the Village Board held a public hearing on August 22, 2023, as required by Section 17.0435(C)(4) of the Village Code; and

WHEREAS: The Plan Commission has reviewed the basis for approval described in Section 17.0435(D) of the Village Code and has made the following findings, subject to all terms and conditions of this zoning ordinance being satisfied:

1. That the petitioners for the proposed Planned Development Overlay District have begun the physical development of the PDO and that the development will be carried out according to a reasonable construction schedule satisfactory to the Village.
2. That the proposed Planned Development Overlay District is consistent in all respects to the purpose of this Section and to the spirit and intent of this Ordinance; is in conformity with the adopted master plan or any adopted component thereof; and, that the development would not be contrary to the general welfare and economic prosperity of the community.
3. The proposed site shall be provided with adequate drainage facilities for surface and storm waters.

4. The proposed site shall be accessible from public roads that are adequate to carry the traffic that can be expected to be generated by the proposed development.
5. No undue constraint or burden will be imposed on public services and facilities, such as fire and police protection, street maintenance, and maintenance of public areas by the proposed development.
6. The streets and driveways on the site of the proposed development shall be adequate to serve the residents of the proposed development and shall meet the minimum standards of all applicable ordinances or administrative regulations of the Village.
7. Public water and sewer facilities shall be provided.
8. The entire tract or parcel of land to be included in a Planned Development Overlay District is held under single ownership.
9. Such development will create an attractive residential environment of sustained desirability and economic stability, including structures in relation to terrain, consideration of safe pedestrian flow, ready access to recreation space, and coordination with overall plans for the community.
10. The total net residential density within the Planned Development Overlay District will be compatible with the Village master plan or component thereof.
11. Provision has been made for the installation of adequate public facilities and the continuing maintenance and operation of such facilities.
12. Adequate, continuing fire and police protection is available.
13. The population composition of the development will not have an adverse effect upon the community's capacity to provide needed school or other municipal service facilities.
14. Adequate guarantee is provided for permanent preservation of open space areas as shown on the approved site plan either by private reservation and maintenance or by dedication to the public.

WHEREAS: The Village Plan Commission of the Village of Sussex has recommended to the Village Board of the Village of Sussex that said zoning change be made upon certain conditions; and

WHEREAS: The Village of Sussex has reviewed the basis for approval of the petition described in Section 17.0435(D) of the Village Code, and concurs with the Village Plan Commission, and makes the same findings, subject to all terms and conditions of this zoning ordinance being duly satisfied as required herein; and

WHEREAS: The Village Board of the Village of Sussex having carefully reviewed the recommendation of the Plan Commission of the Village of Sussex, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the health, safety and welfare of the community, immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved as well as the impact on the surrounding properties as to noise, dust, smoke and odor, and others hereby determine that the rezoning will not violate the spirit or intent of the Zoning Code for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be hazardous, harmful, noxious, offensive and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the operation is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendation found in the Village of Sussex master plan.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1: The subject property as described on **Exhibit A** is hereby rezoned to RS-2 Single Family Residential District (Approximately 3.41 acres with a Planned Development Overlay District, and the Zoning Map of the Village of Sussex is hereby amended, subject to the terms and conditions described herein.

SECTION 2: The above rezoning and zoning map amendment is conditioned upon the following conditions, which must be complied with or this ordinance is null and void:

1. Presentation Compliance. The subject property must be developed in substantial conformity with the plans presented to the Plan Commission on June 18, 2019 and November 19, 2019 and February 18, 2020 in substantial conformity with the presentation at the public hearing at the Village Board on June 9, 2020 and August 22, 2023 as presented shall be attached hereto and incorporated herein as **Exhibit B.**
2. Preliminary and Final Plat Conditions. The Petitioner shall submit and receive all necessary approvals for a preliminary plat and a final plat, and shall satisfy all conditions of the same.

3. Lot Sizes and Setbacks.

A. There will be 3 single family detached style areas within the PDO RS-2 zoning:

1. Estate Lots (38 lots), lot sizes will not be less than 15,000 square feet with a minimum lot width not less than 90 feet. The setbacks for this lot style shall be 25 feet front yard, 12.5 feet side yard and 25 feet rear yard.
2. Residential Lots (70 lots), lot sizes will not be less than 12,000 square feet with a minimum lot width not less than 75 feet. The setbacks for this lot style shall be 25 feet front yard, 10 feet side yard and 25 feet rear yard.
3. **Villa Lots (111 lots)**, lot sizes will not be less than 10,000 square feet with a minimum lot width not less than 65 feet. The setbacks for this lot style shall be 20 feet front yard, 7.5 feet side yard and 20 feet rear yard.

The location of these lot styles shall remain consistent with the plans presented, but the number of the exact lots in each type may be adjusted with permission of the Village Administrator (which may or may not be granted) by not more than 3 lots of any one type (Estate, Residential, or Villa).

B. There will be 2 single family attached style areas within the PDO SFRD-3 zoning:

1. Two- Family Condominium (**40 condo units and a condo clubhouse**) with shared common areas where the lots are greater than an acre and the building setbacks are 20 feet front yard, 20 feet building to building and 25 feet rear yard.
2. Townhomes (30 home units in 3 buildings of 4 townhome units each and 9 buildings of 2 townhome units each) with shared common area, and setbacks of 20 feet front yard, 20 feet building to building and 25 feet rear yard.

C. All of these home/unit locations and layouts as presented shall be attached hereto and incorporated herein as **Exhibit B**.

3. Phasing Plan. For purposes of the Village's Phasing Ordinance under 18.0902 Outlots 4, 5, and 7 shall be considered one development, Outlots 10, 11, 12, 14, and 15 shall be considered one development, and the remaining single family detached lots shall be considered a development such that each may develop in conjunction with each other without limiting each other groups development capabilities.

4. Road Width and Length. The Public Road widths shall be 33' measured back of curb to back of curb. The Plan Commission and Village Board find that this width is appropriate to provide safe and convenient access in accordance with this neighborhood plan, 18.0701 18.0703 of the Village Code.
5. Special Assessment. The payment of outstanding special assessments owed on this property must be paid in full prior to starting any site work.
6. Construction Sequencing Plan. Subject to the Developer submitting to and receiving approval from the Village Engineer a construction sequencing plan to ensure safe and adequate construction development of the site for public safety access, utility development, and customer access at all times. Because of the size of this development and the requirement to preserve public safety while this development is phased in there shall be established in the first phase of development a roadway pattern that has two access points to the existing public roadway system.
7. Housing Monotony Clause. As required in the Village Design Standards and Chapter 17 Section 17.1002 (B)(2), no single family detached building shall be permitted that design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates monotony or drabness.
8. Required Plans and Engineer Satisfaction. Subject to the Petitioner submitting to and receiving written approval from the Village Plan Commission of all of the following plans for the entire subject property, prior to the rezoning ordinance taking effect. Said plans shall satisfy all comments, conditions, and concerns of the Village Engineer.
 - A. Utility Plans for the entire site including any necessary utility extensions or oversizing necessary to properly connect the development site's utilities with the Village system. Including, but not limited to:
 1. Sewer System Plans
 2. Water System Plans including the water loop along Main Street looping into Big Sky Drive.
 3. Storm water Management Plans with the appropriate maintenance requirements and outlots. The outlots for the stormwater ponds shall be owned by the Village.
 - B. Master Street Lighting Plan for the entire site.
 - C. Sidewalk and Path Plan for the entire site shown on the plat including location, width, and materials of the sidewalks. Sidewalk shall be established along the entirety of Silver Spring/CTH VV/Main Street and along Maryhill Road to the UnNamed Creek Crossing to the point where it connects with the path along said Creek. Developer shall establish a path along the length of Outlot 16. Sidewalks shall be on one side of all non cul-de sac roads internal to the subdivision.

D. Street Tree Plan for the entire site, which shall be planted by the Developer per each phase no later than 12 months from the date of approval of that corresponding Final Plat/Condo Plat within the optimal spring or fall planting season.

E. Landscape plan for common areas including necessary easements for ongoing maintenance by homeowners association as may be appropriate. In particular a specific plan for buffering the homes/units along Main Street.

F. Tree Mitigation and Preservation Plan and payment of any fees associated with said plan, and the proper deed restriction in a form approved by the Village Attorney being placed against said lots where the trees and soil are to be left preserved according to said plan.

G. Street plans including Highway VV Plans and any necessary approvals from Waukesha County for the access points and improvements necessary to gain access for the same.

10. Developer's Agreement. Prior to development of the Subject Property or any portion thereof, the Developer of the Subject Lands or portion thereof is required to enter into a Developer's Agreement as approved by the Village prior to the approval of permits for grading and start of construction.
11. Professional Fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this rezoning petition, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional rezoning ordinance due to a violation of these conditions.
12. Payment of Charges. Any unpaid bills owed to the Village by the owner of subject lands or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village: shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of billing by the Village, pursuant to Section 66.0627. Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional rezoning ordinance that is subject to all remedies available to the Village, including possible cause for termination of the conditional rezoning ordinance.
13. Acceptance. Subject to the petitioner approving in writing the issuance of the conditional rezoning ordinance, and that the petitioner understands and accepts the same, and that upon failure to satisfy these conditions, this conditional rezoning ordinance is void,

and the same is deemed not to have been approved, and the Petitioner will therefore need to re-commence the application process for rezoning of the property.

14. One Year to Satisfy Conditions. Subject to the petitioner satisfying all of the aforementioned conditions within one year of the Village Board adopting this conditional rezoning ordinance. The Village Board may grant additional time solely at the discretion of the Village Board upon request for an extension by the Developer.

SECTION 3: The Village Engineer is hereby authorized and directed to note this rezoning on the Official Zoning Map of the Village of Sussex upon successful development of the property and satisfaction of all conditions in Section 2 of this Ordinance.

SECTION 4. SEVERABILITY. The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE. This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2020.

VILLAGE OF SUSSEX

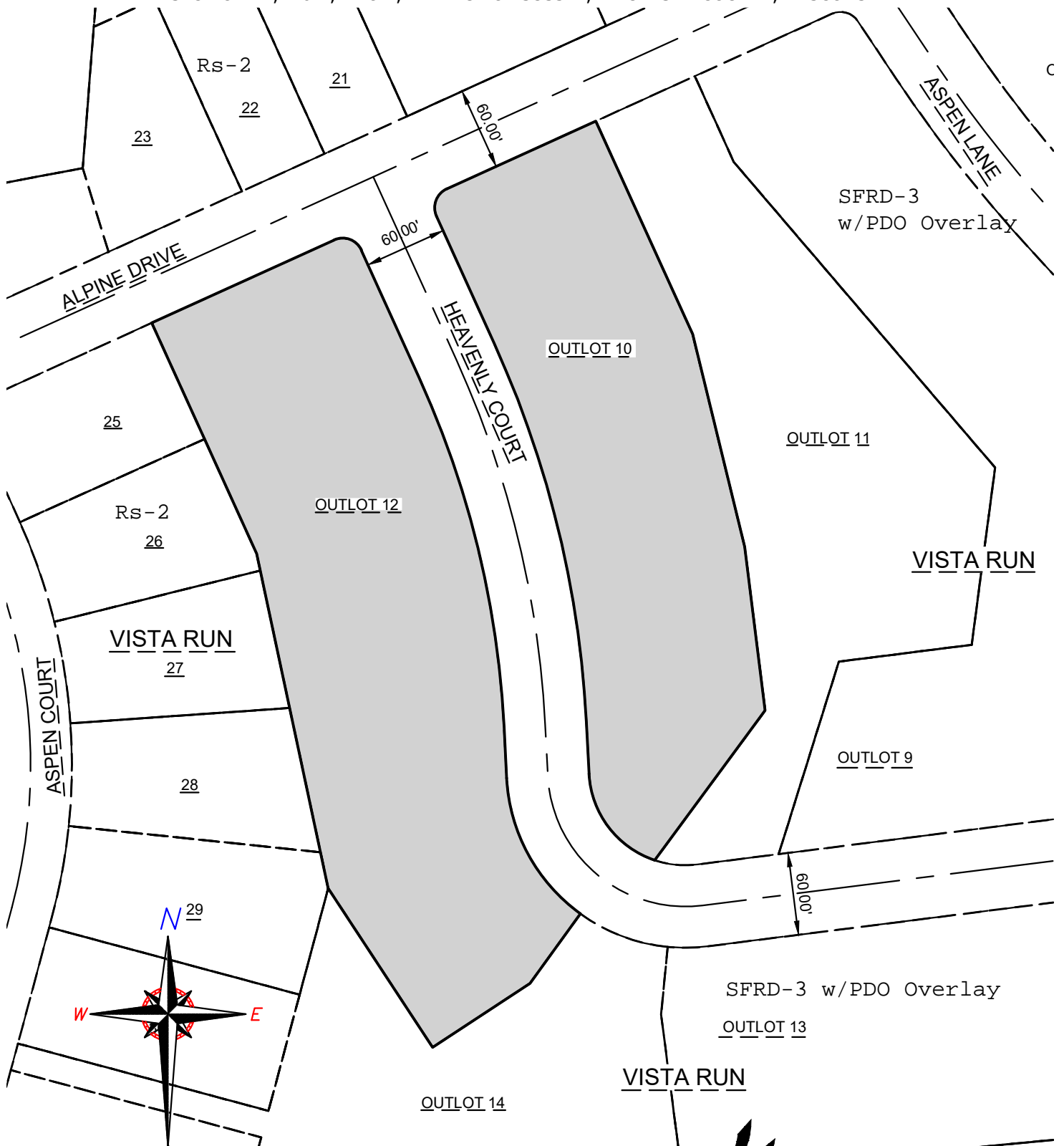
Anthony LeDonne
Village President

ATTEST: _____
Jennifer Moore
Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2023.

EXHIBIT A REZONE EXHIBIT

ALL OF OUTLOT 10 AND OUTLOT 12 OF VISTA RUN, BEING OF PART OF THE SW. 1/4 OF THE SE. 1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.



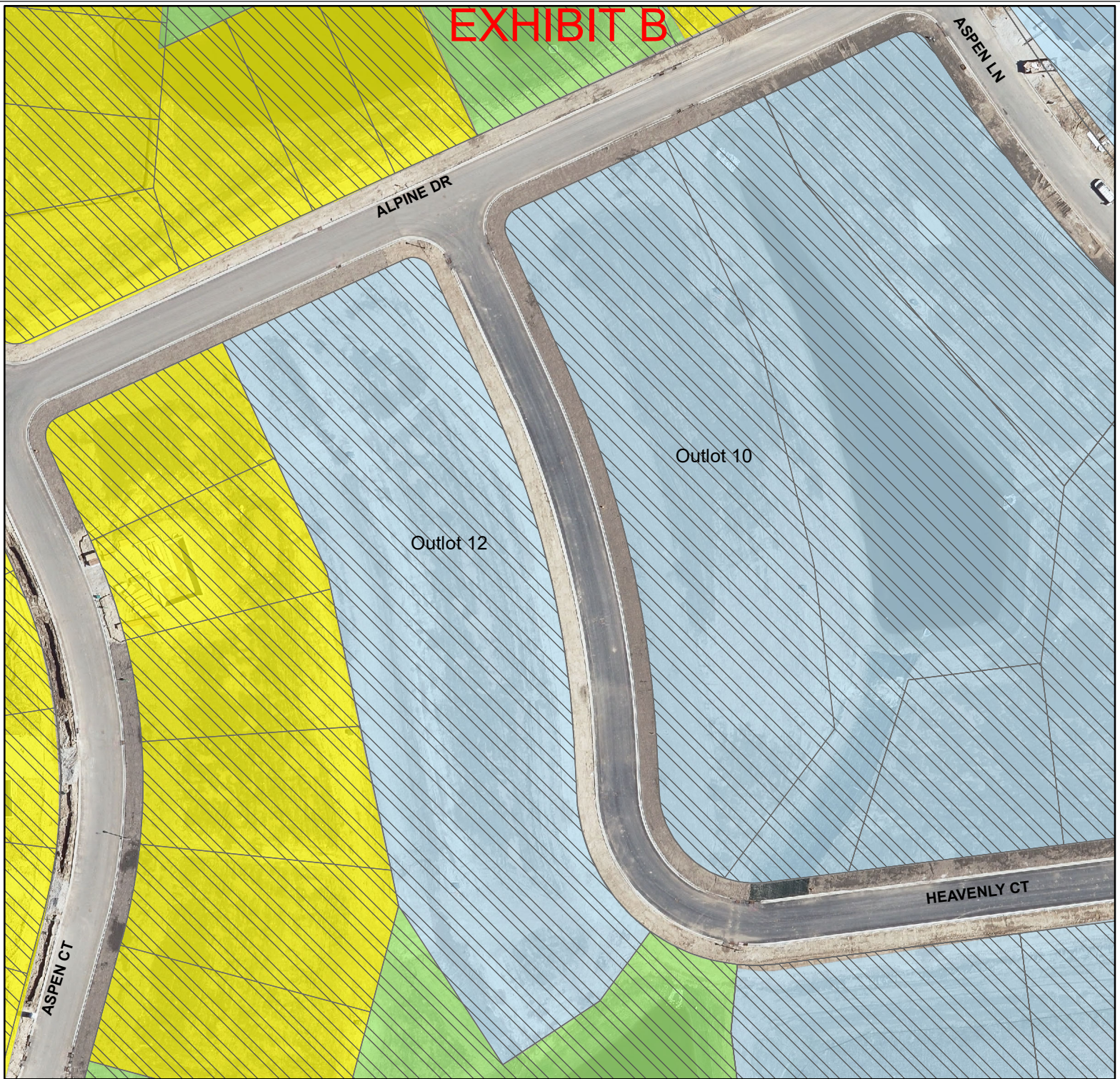
SCALE: 1" = 100'



PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com






PROJECT #149103

EXHIBIT B



Vista Run Existing Zoning

Date: 2-12-20

-  Single-Family Residential (Rs-2)
-  Single-Family Attached (SFRD-3)
-  Park (P-1, P-2)
-  Planned Development Overlay (PDO)
-  Isolated Natural Area (INRA)

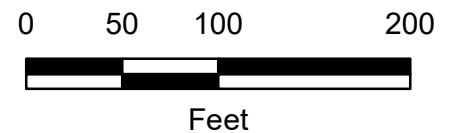
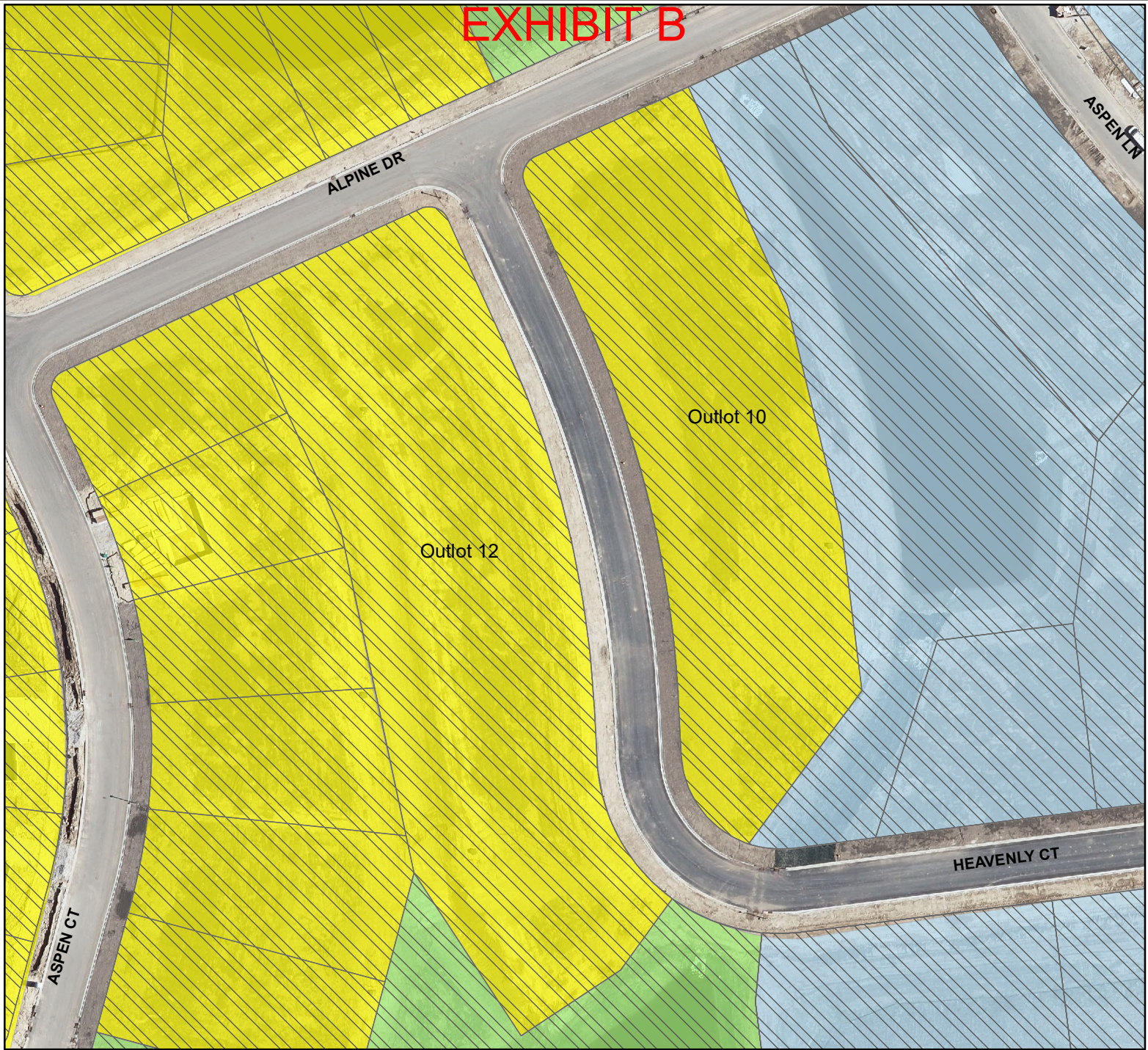







EXHIBIT B



Vista Run Re-Zone Outlots 10 & 12

Date: 7-18-23

-  Single-Family Residential (Rs-2)
-  Single-Family Attached (SFRD-3)
-  Park (P-1, P-2)
-  Isolated Natural Area (INRA)
-  Planned Development Overlay (PDO)



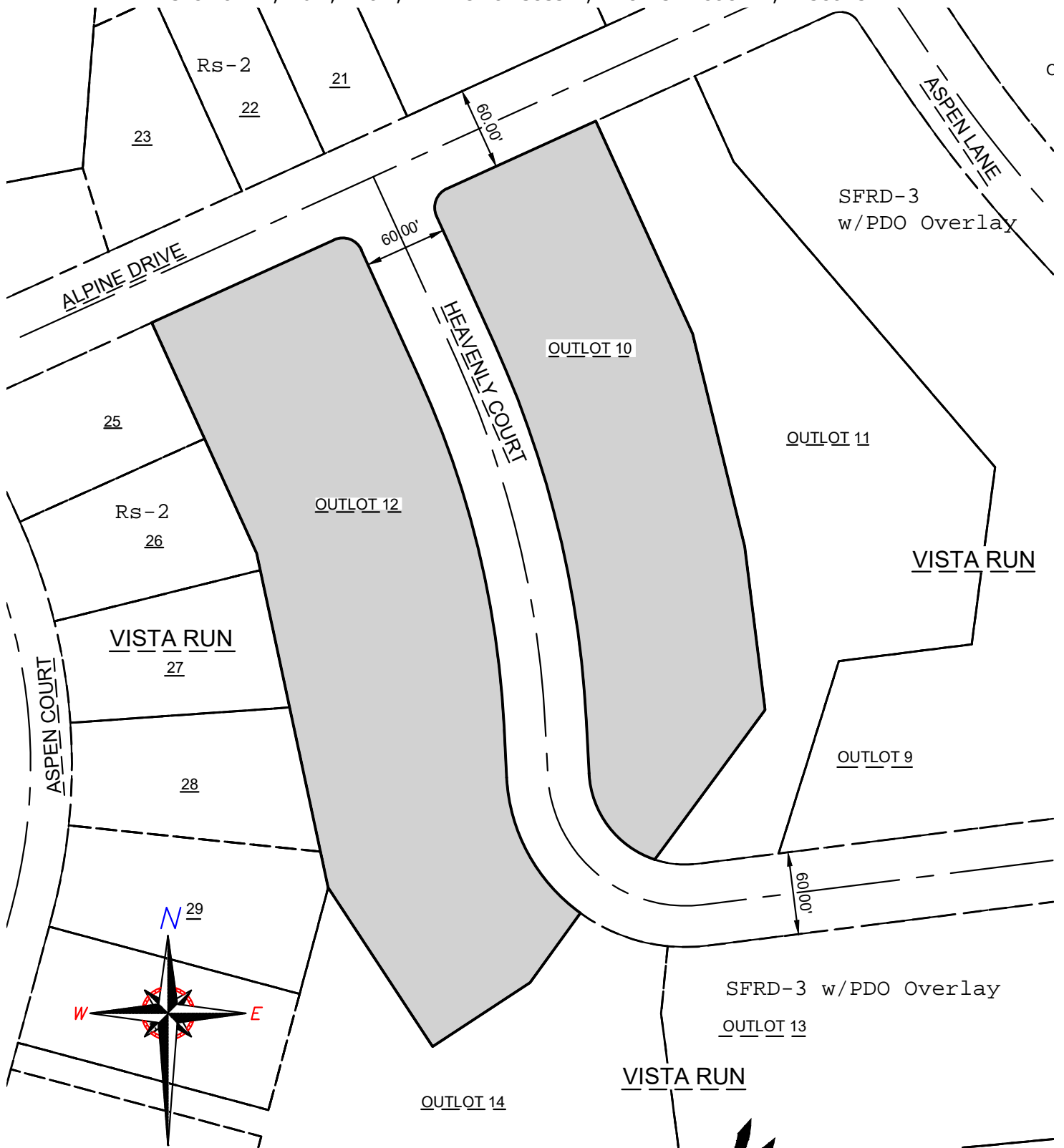
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Feet

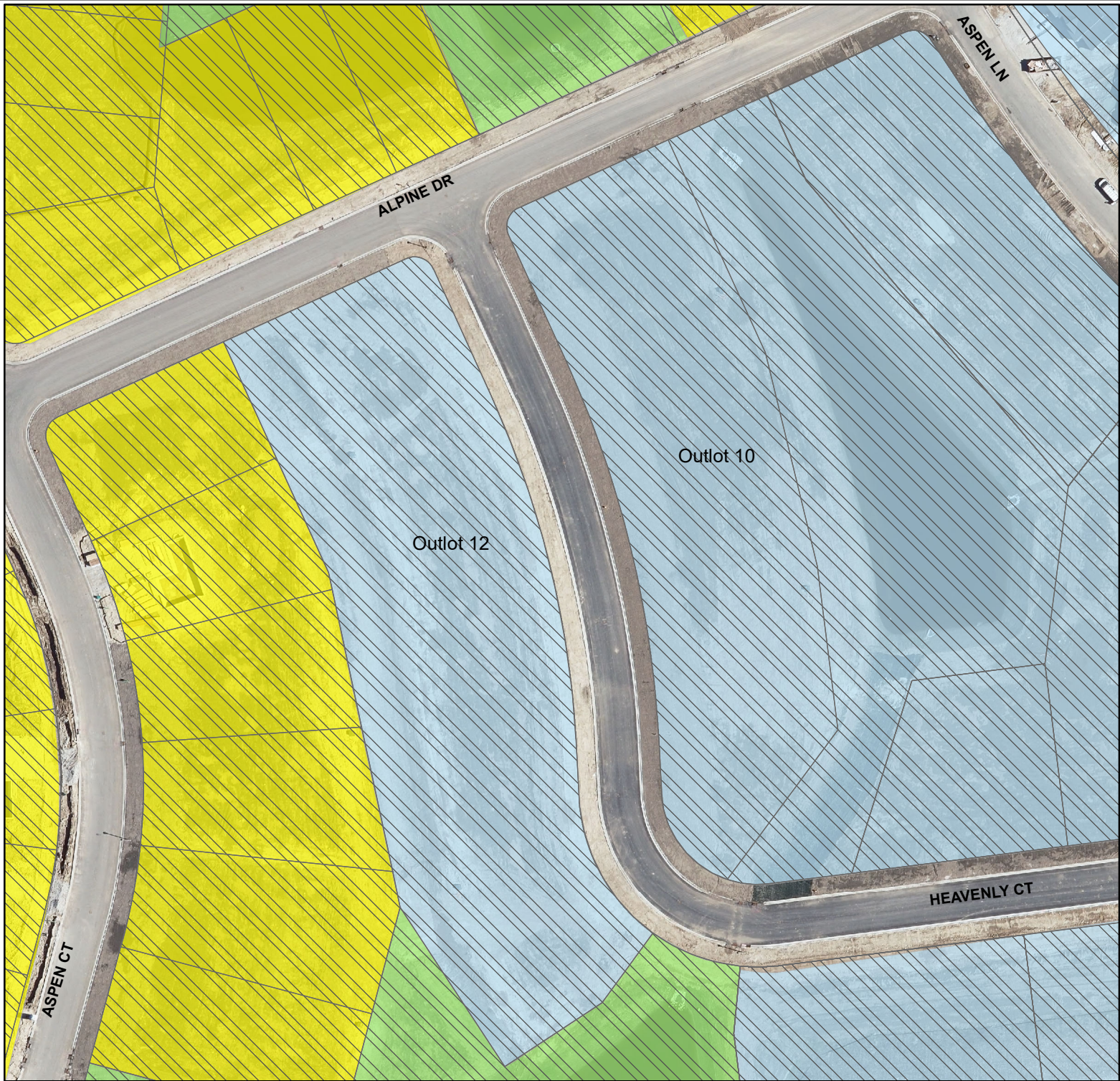
REZONE EXHIBIT

ALL OF OUTLOT 10 AND OUTLOT 12 OF VISTA RUN, BEING OF PART OF THE SW. 1/4 OF THE SE. 1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.



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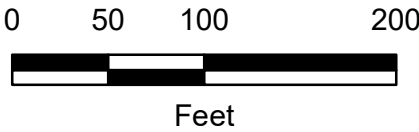
PROJECT #149103



**Vista Run
Existing Zoning**

Date: 2-12-20






- Single-Family Residential (Rs-2)
- Single-Family Attached (SFRD-3)
- Park (P-1, P-2)
- Planned Development Overlay (PDO)
- Isolated Natural Area (INRA)

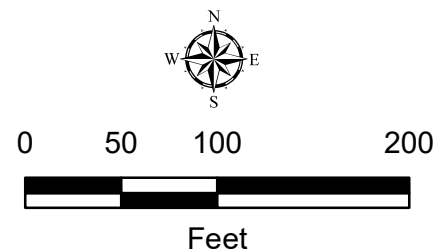


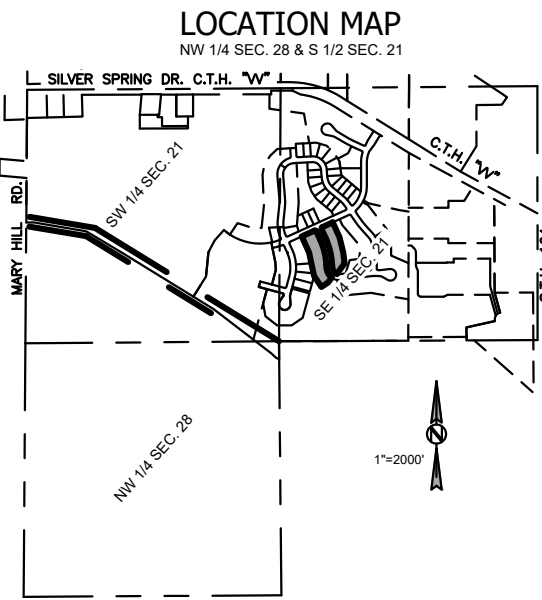


Vista Run Re-Zone Outlots 10 & 12

Date: 7-18-23

-  Single-Family Residential (Rs-2)
-  Single-Family Attached (SFRD-3)
-  Park (P-1, P-2)
-  Planned Development Overlay (PDO)
-  Isolated Natural Area (INRA)

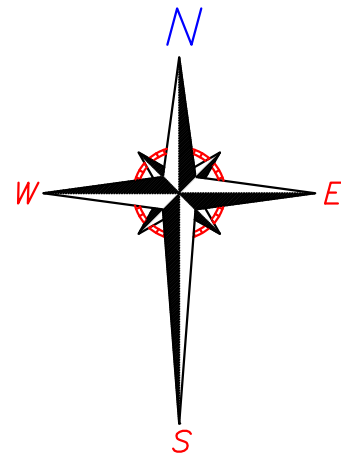




- LEGEND**
- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.65 LBS./LIN. FT. 11/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL OTHER LOT & OUTLOT CORNERS
 - CONCRETE MONUMENT W/ BRASS CAP FOUND
 - 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200



VISTA RUN V

ALL OF OUTLOT 10 AND OUTLOT 12 OF THE PLAT OF VISTA RUN, BEING A PART OF THE SW. 1/4 OF THE SE.1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

OVERALL DETAIL

SCALE: 1" = 150'

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 1927) GRID NORTH ON THE EAST LINE OF THE SW 1/4 OF SECTION 21-8-19 AS S00°22'15"W.

DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND MEASURED TO THE NEAREST 0.01'

ANGLES ARE COMPUTED TO THE NEAREST 00°00'00.5" AND MEASURED TO THE NEAREST 00°00'00.5"

GENERAL NOTES:

1) EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDED FRACTIONAL OWNERSHIP IN OUTLOT 4 OF VISTA RUN. WAUKESHA COUNTY SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL ASSESSMENTS IN THE EVENT THEY BECOME THE OWNER OF ANY LOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY. THE INDIVIDUAL HOME OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF SAID OUTLOTS.

2) NO POLES, PADS BOXES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.

3) AREA SHOWN IS ZONE X, AREA OF MINIMAL FLOODING PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 55133C0069H, EFFECTIVE DATE NOVEMBER 5, 2014.

STORM WATER MANAGEMENT NOTES:

THERE ARE ONE OR MORE SEPARATE DOCUMENTS RECORDED ON THE PROPERTY TITLE THROUGH THE WAUKESHA COUNTY REGISTER OF DEEDS ENTITLED "STORM WATER MANAGEMENT PRACTICE MAINTENANCE AGREEMENT" ("MAINTENANCE AGREEMENT") THAT APPLY TO OUTLOT 2, OUTLOT 7, OUTLOT 11 AND OUTLOT 14 OF VISTA RUN. THE MAINTENANCE AGREEMENT SUBJECTS THIS SUBDIVISION PLAT, AND ALL LOT OWNERS THEREIN, TO COVENANTS, CONDITIONS AND RESTRICTIONS NECESSARY TO ENSURE THE LONG-TERM MAINTENANCE OF THE STORM WATER MANAGEMENT PRACTICE. THE AGREEMENT ALSO OUTLINES A PROCESS BY WHICH THE VILLAGE OF SUSSEX MAY LEVY AND COLLECT SPECIAL ASSESSMENTS OR CHARGES FOR ANY SERVICES THE COMMUNITY MIGHT PROVIDE RELATING TO ENFORCEMENT OF THE MAINTENANCE AGREEMENT.

IN ACCORDANCE WITH CHAPTER 14. OF VILLAGE OF SUSSEX CODE OF ORDINANCES ("STORMWATER MANAGEMENT ORDINANCE"), THE STORM WATER PERMIT HOLDER IS RESPONSIBLE FOR CONSTRUCTING THE STORM WATER MANAGEMENT PRACTICES FOLLOWING PLANS APPROVED BY VILLAGE AND IS RESPONSIBLE FOR MAINTAINING THE STORM WATER PRACTICES UNTIL PERMIT TERMINATION BY THE VILLAGE. UPON TERMINATION OF THE STORM WATER PERMIT, THE OWNERS OF LOTS 1-30 OF VISTA RUN, THE OWNERS OF LOTS 31-42 OF VISTA RUN II, THE OWNERS OF LOTS 43-62 OF VISTA RUN III, THE OWNERS OF LOTS 63-89 OF VISTA RUN IV AND THE OWNERS OF LOTS 90-102 OF VISTA RUN V SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH THE MAINTENANCE AGREEMENT.

ALL SIDE AND REAR LOT LINES NOT REGULATED BY THE VILLAGE OF SUSSEX SHALL BE GRADED AND MAINTAINED IN COOPERATION WITH ADJUTING PROPERTY OWNERS SO AS TO NEITHER IMPEDE THE FLOW OF STORMWATER, NOR NEGATIVELY IMPACT ANY ADJUTING PROPERTY, WHILE ALSO ADHERING TO THE ESTABLISHED, APPROVED, AND ACCEPTED STORMWATER MANAGEMENT PLAN.

EASEMENTS
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VISION CORNER RESTRICTIONS

WITHIN THE AREA OF THE VISION CORNER EASEMENT (V.C.E.) THE HEIGHT OF ALL PLANTINGS, BERMS, FENCING, SIGNS OR ANY OTHER STRUCTURE WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24" ABOVE THE INTERSECTION ELEVATION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENT.

BASEMENT RESTRICTION - BEDROCK NOTE:

ALTHOUGH ALL LOTS IN THE SUBDIVISION HAVE BEEN REVIEWED AND APPROVED FOR DEVELOPMENT WITH SINGLE-FAMILY RESIDENTIAL USE IN ACCORDANCE WITH SECTION 236 WISCONSIN STATUTES, SOME LOTS CONTAIN SOIL CONDITIONS WHICH, DUE TO THE POSSIBLE PRESENCE OF BEDROCK NEAR THE GROUND SURFACE, MAY REQUIRE ADDITIONAL SOIL ENGINEERING AND FOUNDATION DESIGN WITH REGARD TO BASEMENT CONSTRUCTION. IT IS RECOMMENDED THAT EITHER A LICENSED PROFESSIONAL ENGINEER OR OTHER SOILS EXPERT BE CONSULTED REGARDING THE CONSTRUCTION OF BASEMENTS IN THESE AREAS WHERE BEDROCK MAY BE PRESENT NEAR THE GROUND SURFACE. SOIL CONDITIONS SHOULD BE SUBJECT TO EACH OWNER'S SPECIAL INVESTIGATION PRIOR TO CONSTRUCTION AND NO SPECIFIC REPRESENTATION IS MADE HEREIN.

BASEMENT RESTRICTION - GROUNDWATER:

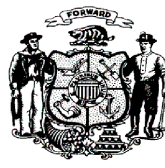
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PER THE VILLAGE OF SUSSEX STORM WATER MANAGEMENT ORDINANCE UNDER SUBSURFACE DRAINAGE, BASEMENT FLOOR SURFACES SHALL BE BUILT A MINIMUM OF ONE (1) FOOT ABOVE THE SEASONAL HIGH WATER TABLE ELEVATION, AS DOCUMENTED IN THE SUBMITTED SOIL EVALUATIONS, AND SHALL AVOID HYDRIC SOILS AS MUCH AS POSSIBLE.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified , 20

Department of Administration



REVISED THIS 7TH DAY OF JULY, 2023.
REVISED THIS 13TH DAY OF JUNE, 2023
DATED THIS 6TH DAY OF JUNE, 2023

SHEET 1 OF 3

SEH
PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NEUMA #149103

CONC. MON
W/ BRASS CAP
SOUTH 1/4 CORNER
SECTION 21-8-19

PARCEL 2
CSM #9815

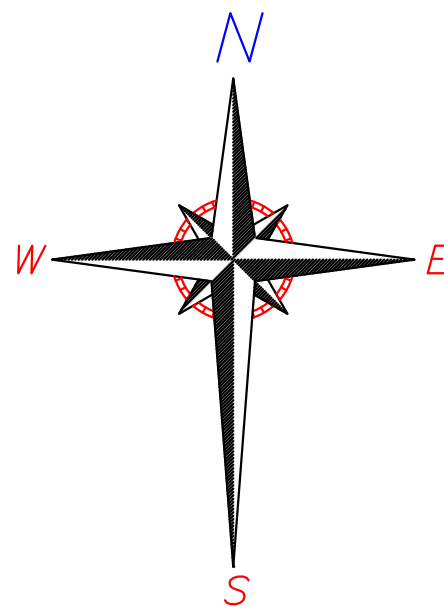
PARCEL 1
CSM #9815

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS

VISTA RUN V

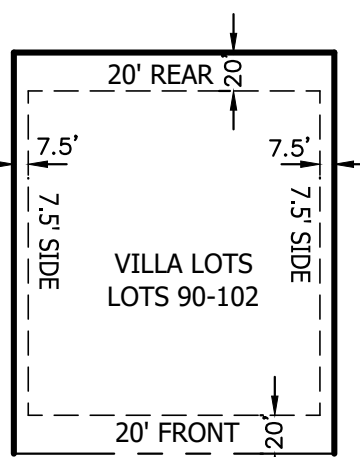
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LOT DETAIL



SCALE: 1" = 40'

VISION CORNER DETAIL (N.T.S.)

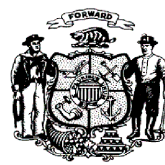


LOT SETBACK DETAILS
(N.T.S.)

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

DEVELOPER:
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200

OWNER:
HICKORY HILL FARMS INC.
N67W25913 SILVER SPRING DR.
SUSSEX, WI 53089-2503
414-349-3738

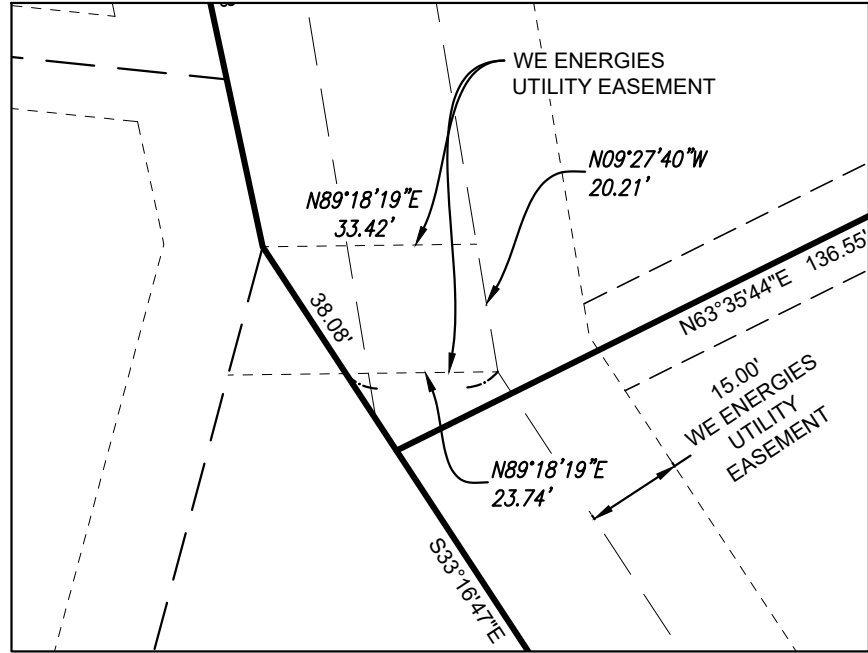


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REVISED THIS 7TH DAY OF JULY, 2023.
REVISED THIS 13TH DAY OF JUNE, 2023
DATED THIS 6TH DAY OF JUNE, 2023

LEGEND

- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.85 LBS./LIN. FT. 11/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL OTHER LOT & OUTLOT CORNERS
- CONCRETE MONUMENT W/ BRASS CAP FOUND
- 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- VCE VISION CORNER EASEMENT



DETAIL
SCALE 1"=30'

PROJECT NEUMA #149103

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS

SHEET 2 OF 3

VISTA RUN V

ALL OF OUTLOT 10 AND OUTLOT 12 OF THE PLAT OF VISTA RUN, BEING A PART OF THE SW. 1/4 OF THE SE.1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, Keith A. Kindred, Professional Land Surveyor hereby certify:

That I have surveyed, divided and mapped all of Outlot 10 and Outlot 12 of the plat of Vista Run, being a part of the Southwest 1/4 of the Southeast 1/4 of Section 21, T8N, R19E, Village of Sussex, Waukesha County, Wisconsin more particularly described as follows:

All of Outlot 10 and Outlot 12 of the plat of Vista Run.

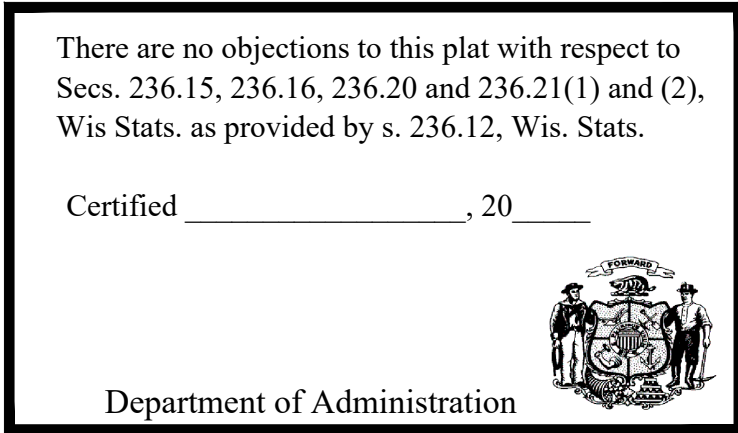
Said lands contain 148,872 square feet, 3.41 acres

That I have made such survey, land division and plat by the direction of the owner(s) of said lands.

That such plat is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Sussex and Waukesha County in surveying, dividing and mapping the same.

Dated this 6th day of June, 2023.
Revised this 13th day of June, 2023.
Revised this 7th day of July, 2023.



Keith A Kindred, PLS 2082

LIMITED LIABILITY OWNER'S CERTIFICATE OF DEDICATION:

Vista Run, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Vista Run LLC, does further certify that this plat is required by S236.10 or S236.12 to be submitted to the following for approval or objection:

- 1) Department of Administration
- 2) Village of Sussex
- 3) Waukesha County Department of Parks and Land Use

IN WITNESS WHEREOF, said Vista Run LLC, has caused these presents to be signed by Steve DeCleene, President of Neumann Developments, its sole member, at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____ day of _____.

In Presence of:

Steve DeCleene, President

STATE OF WISCONSIN)
_____(COUNTY) SS

Personally came before me this _____ day of _____, 20____, the above named Steve DeCleene, President of Neumann Developments, its sole member of the above named corporation, to me known to be such member of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

_____(COUNTY), Wisconsin

My Commission Expires _____

CONSENT OF CORPORATE MORTGAGEE:

Midland States Bank a Illinois corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication as presented on this subdivision and further consents to the above certified owners.

IN WITNESS WHEREOF, Midland States Bank has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this _____ day of _____, 20____.

STATE OF ILLINOIS)
_____(COUNTY) SS

Personally came before me this _____ day of _____, 20____, to me known to be the person who executed the foregoing instrument as such, by its authority.

(Notary Seal) _____, Notary Public, _____ County, Illinois.

My commission expires _____.

VILLAGE BOARD APPROVAL CERTIFICATE:

Approved that the Plat of VISTA RUN V, in the Village of Sussex, is hereby approved by the Village Board.

All conditions have been met as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Village President

Date: _____ Signed _____
Jennifer Moore, Village Clerk

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Plat of VISTA RUN V, in the Village of Sussex, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Chairperson

Date: _____ Signed _____
Jennifer Moore, Village Clerk

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, Jennifer Moore, being duly elected, qualified and acting Treasurer of the Village of Sussex, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of

Vista Run V.

Date _____
Treasurer-Jennifer Moore

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, Pamela Reeves, being duly elected, qualified and acting Treasurer of WAUKESHA County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of

Vista Run V.

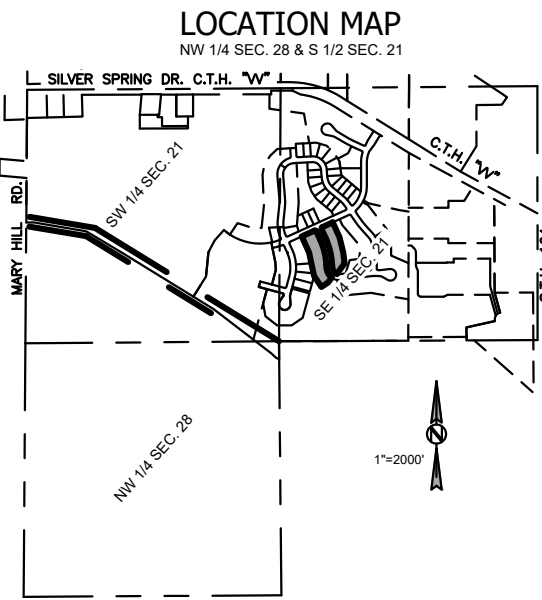
Date _____
Waukesha County Treasurer - Pamela Reeves

CURVE TABLE							
CURVE #		RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TAN BEARING 1 TAN BEARING 2
A	R/W EAST	760.00'	21°28'45"	284.91'	283.25'	N13°41'31"W	N02°57'08"W N24°25'53"W
	LOT 91	760.00'	3°10'00"	42.00'	42.00'	S22°50'53"E	S24°25'53"E
	LOT 92	760.00'	5°28'34"	72.64'	72.61'	S18°31'38"E	
	LOT 93	760.00'	5°28'34"	72.64'	72.61'	S13°03'02"E	
	LOT 94	760.00'	5°28'34"	72.64'	72.61'	S07°34'27"E	
	LOT 95	760.00'	1°53'03"	24.99'	24.99'	S03°53'39"E	S02°57'08"E
	R/W WEST	700.00'	21°28'45"	262.42'	260.88'	N13°41'31"W	N02°57'08"W N24°25'53"W
	LOT 96	700.00'	4°34'50"	55.96'	55.95'	N05°14'33"W	N02°57'08"W
	LOT 99	700.00'	6°47'47"	83.04'	82.99'	N10°55'52"W	
	LOT 100	700.00'	6°25'05"	78.41'	78.37'	N17°32'18"W	
	LOT 101	700.00'	3°41'03"	45.01'	45.00'	N22°35'22"W	N24°25'53"W
B	R/W EAST	70.00'	68°33'39"	83.76'	78.85'	N37°13'57"W	N71°30'47"W N02°57'08"W
	R/W WEST	130.00'	51°08'24"	116.03'	112.22'	N28°31'20"W	N54°05'32"W N02°57'08"W
	LOT 96	130.00'	27°41'16"	62.82'	62.21'	N40°14'54"W	N54°05'32"W
	LOT 97	130.00'	23°27'08"	53.21'	52.84'	N14°40'42"W	N02°57'08"W



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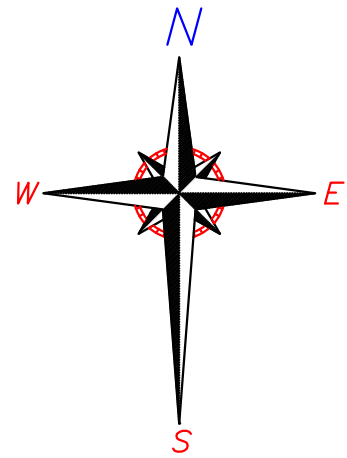
SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200



- LEGEND**
- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.65 LBS./LIN. FT. 11/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL OTHER LOT & OUTLOT CORNERS
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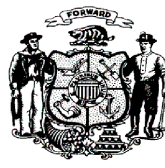
ALTHOUGH ALL LOTS IN THE SUBDIVISION HAVE BEEN REVIEWED AND APPROVED FOR DEVELOPMENT WITH SINGLE-FAMILY RESIDENTIAL USE IN ACCORDANCE WITH SECTION 236 WISCONSIN STATUTES, SOME LOTS CONTAIN SOIL CONDITIONS THAT, DUE TO THE POSSIBLE PRESENCE OF GROUNDWATER NEAR THE SURFACE, MAY REQUIRE ADDITIONAL SOIL ENGINEERING AND FOUNDATION DESIGN WITH REGARD TO BASEMENT CONSTRUCTION. IT IS RECOMMENDED THAT A LICENSED PROFESSIONAL ENGINEER DESIGN A BASEMENT AND FOUNDATION THAT WILL BE SUITABLE TO WITHSTAND THE VARIOUS PROBLEMS ASSOCIATED WITH SATURATED SOIL CONDITIONS ON BASEMENT WALLS OR FLOORS OR THAT OTHER SPECIAL MEASURES BE TAKEN. SOIL CONDITIONS SHOULD BE SUBJECT TO EACH OWNER'S SPECIAL INVESTIGATION PRIOR TO CONSTRUCTION AND NO SPECIFIC REPRESENTATION IS MADE HEREIN.

PER THE VILLAGE OF SUSSEX STORM WATER MANAGEMENT ORDINANCE UNDER SUBSURFACE DRAINAGE, BASEMENT FLOOR SURFACES SHALL BE BUILT A MINIMUM OF ONE (1) FOOT ABOVE THE SEASONAL HIGH WATER TABLE ELEVATION, AS DOCUMENTED IN THE SUBMITTED SOIL EVALUATIONS, AND SHALL AVOID HYDRIC SOILS AS MUCH AS POSSIBLE.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified , 20

Department of Administration



REVISED THIS 7TH DAY OF JULY, 2023.
REVISED THIS 13TH DAY OF JUNE, 2023
DATED THIS 6TH DAY OF JUNE, 2023

SHEET 1 OF 3

SEH
PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NEUMA #149103

CONC. MON
W/ BRASS CAP
SOUTH 1/4 CORNER
SECTION 21-8-19

PARCEL 2
CSM #9815

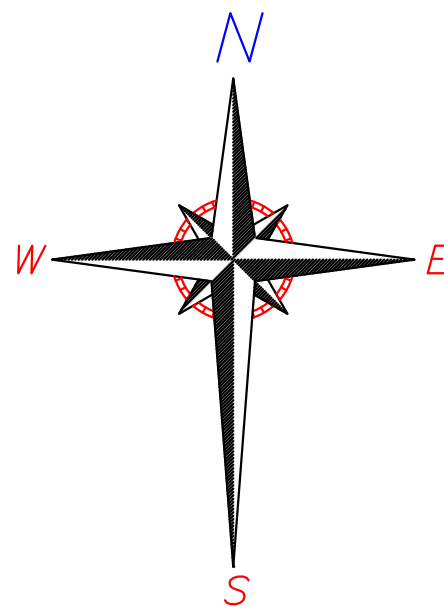
PARCEL 1
CSM #9815

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS

VISTA RUN V

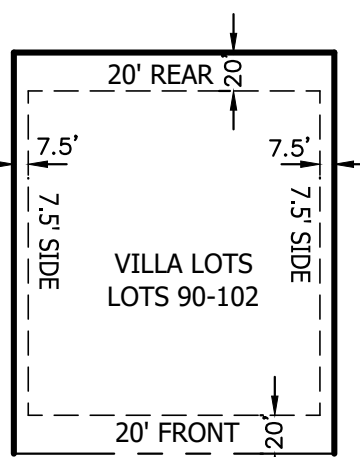
ALL OF OUTLOT 10 AND OUTLOT 12 OF THE PLAT OF VISTA RUN, BEING A PART OF THE SW. 1/4 OF THE SE.1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

LOT DETAIL



SCALE: 1" = 40'

VISION CORNER DETAIL (N.T.S.)

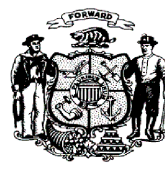


LOT SETBACK DETAILS
(N.T.S.)

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

DEVELOPER:
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200

OWNER:
HICKORY HILL FARMS INC.
N67W25913 SILVER SPRING DR.
SUSSEX, WI 53089-2503
414-349-3738

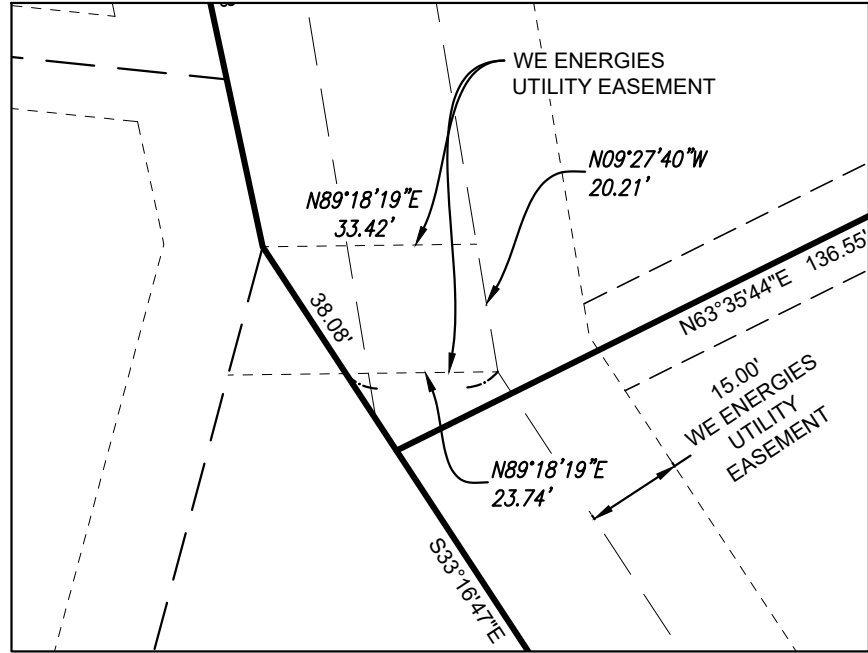


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501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

REVISED THIS 7TH DAY OF JULY, 2023.
REVISED THIS 13TH DAY OF JUNE, 2023
DATED THIS 6TH DAY OF JUNE, 2023

LEGEND

- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.85 LBS./LIN. FT. 11/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL OTHER LOT & OUTLOT CORNERS
- CONCRETE MONUMENT W/ BRASS CAP FOUND
- 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- VCE VISION CORNER EASEMENT



DETAIL
SCALE 1"=30'

PROJECT NEUMA #149103

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS

SHEET 2 OF 3

VISTA RUN V

ALL OF OUTLOT 10 AND OUTLOT 12 OF THE PLAT OF VISTA RUN, BEING A PART OF THE
SW. 1/4 OF THE SE.1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX,
WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, Keith A. Kindred, Professional Land Surveyor hereby certify:

That I have surveyed, divided and mapped all of Outlot 10 and Outlot 12 of the plat of Vista Run, being a part of the Southwest 1/4 of the Southeast 1/4 of Section 21, T8N, R19E, Village of Sussex, Waukesha County, Wisconsin more particularly described as follows:

All of Outlot 10 and Outlot 12 of the plat of Vista Run.

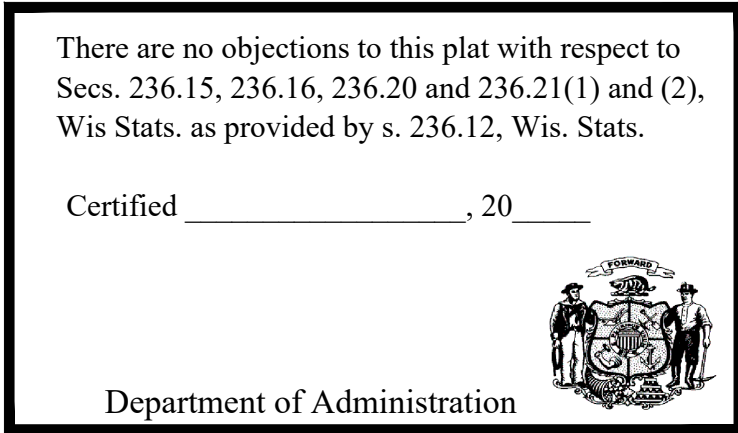
Said lands contain 148,872 square feet, 3.41 acres

That I have made such survey, land division and plat by the direction of the owner(s) of said lands.

That such plat is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Sussex and Waukesha County in surveying, dividing and mapping the same.

Dated this 6th day of June, 2023.
Revised this 13th day of June, 2023.
Revised this 7th day of July, 2023.



Keith A Kindred, PLS 2082

LIMITED LIABILITY OWNER'S CERTIFICATE OF DEDICATION:

Vista Run, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Vista Run LLC, does further certify that this plat is required by S236.10 or S236.12 to be submitted to the following for approval or objection:

- 1) Department of Administration
- 2) Village of Sussex
- 3) Waukesha County Department of Parks and Land Use

IN WITNESS WHEREOF, said Vista Run LLC, has caused these presents to be signed by Steve DeCleene, President of Neumann Developments, its sole member, at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____ day of _____.

In Presence of:

Steve DeCleene, President

STATE OF WISCONSIN)

COUNTY) SS

Personally came before me this _____ day of _____, 20____, the above named Steve DeCleene, President of Neumann Developments, its sole member of the above named corporation, to me known to be such member of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

County, Wisconsin

My Commission Expires _____

CONSENT OF CORPORATE MORTGAGEE:

Midland States Bank a Illinois corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication as presented on this subdivision and further consents to the above certified owners.

IN WITNESS WHEREOF, Midland States Bank has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this _____ day of _____, 20____.

STATE OF ILLINOIS)

COUNTY) SS

Personally came before me this ____ day of _____, 20____, to me known to be the person who executed the foregoing instrument as such, by its authority.

(Notary Seal) _____, Notary Public, _____ County, Illinois.

My commission expires _____.

VILLAGE BOARD APPROVAL CERTIFICATE:

Approved that the Plat of VISTA RUN V, in the Village of Sussex, is hereby approved by the Village Board.

All conditions have been met as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Village President

Date: _____ Signed _____
Jennifer Moore, Village Clerk

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Plat of VISTA RUN V, in the Village of Sussex, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Chairperson

Date: _____ Signed _____
Jennifer Moore, Village Clerk

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, Jennifer Moore, being duly elected, qualified and acting Treasurer of the Village of Sussex, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of

Vista Run V.

Date _____
Treasurer-Jennifer Moore

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, Pamela Reeves, being duly elected, qualified and acting Treasurer of WAUKESHA County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of

Vista Run V.

Date _____
Waukesha County Treasurer - Pamela Reeves

CURVE TABLE							
CURVE #		RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TAN BEARING 1 TAN BEARING 2
A	R/W EAST	760.00'	21°28'45"	284.91'	283.25'	N13°41'31"W	N02°57'08"W N24°25'53"W
	LOT 91	760.00'	3°10'00"	42.00'	42.00'	S22°50'53"E	S24°25'53"E
	LOT 92	760.00'	5°28'34"	72.64'	72.61'	S18°31'38"E	
	LOT 93	760.00'	5°28'34"	72.64'	72.61'	S13°03'02"E	
	LOT 94	760.00'	5°28'34"	72.64'	72.61'	S07°34'27"E	
	LOT 95	760.00'	1°53'03"	24.99'	24.99'	S03°53'39"E	S02°57'08"E
	R/W WEST	700.00'	21°28'45"	262.42'	260.88'	N13°41'31"W	N02°57'08"W N24°25'53"W
	LOT 96	700.00'	4°34'50"	55.96'	55.95'	N05°14'33"W	N02°57'08"W
	LOT 99	700.00'	6°47'47"	83.04'	82.99'	N10°55'52"W	
	LOT 100	700.00'	6°25'05"	78.41'	78.37'	N17°32'18"W	
	LOT 101	700.00'	3°41'03"	45.01'	45.00'	N22°35'22"W	N24°25'53"W
B	R/W EAST	70.00'	68°33'39"	83.76'	78.85'	N37°13'57"W	N71°30'47"W N02°57'08"W
	R/W WEST	130.00'	51°08'24"	116.03'	112.22'	N28°31'20"W	N54°05'32"W N02°57'08"W
	LOT 96	130.00'	27°41'16"	62.82'	62.21'	N40°14'54"W	N54°05'32"W
	LOT 97	130.00'	23°27'08"	53.21'	52.84'	N14°40'42"W	N02°57'08"W



SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200

ORDINANCE NO. 891

AN ORDINANCE TO REPEAL AND RECREATE THE
FLOODPLAIN MANAGEMENT SECTION OF
CHAPTER 14 STORMWATER MANAGEMENT
OF THE VILLAGE OF SUSSEX MUNICIPAL CODE.

WHEREAS, the Village of Sussex Plan Commission has initiated a zoning code amendment to repeal and recreate the Floodplain Management section of Chapter 14 Stormwater Management as required by FEMA for the Village of Sussex's compliance with participation in the Nation Flood Insurance Program; and

WHEREAS, upon receipt of the Village Plan Commission's recommendation, the Village Board held a public hearing on August 22, 2023, as required by Section 17.1305 of the Village of Sussex Zoning Ordinance, after providing due notice as required by Section 17.1400 of the Village of Sussex Zoning Ordinance; and

WHEREAS, following the public hearing, and upon due consideration of the recommendation from the Plan Commission, the Village Board finds that the public necessity, convenience, welfare and good zoning practice requires that the amendment to the zoning ordinance be granted as recommended by the Plan Commission;

WHEREAS, the Village Board Members are committed to aligning the Village of Sussex Zoning Code with opportunities to support growth that meet current needs without jeopardizing public safety or welfare.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1. The Floodplain Management section of Chapter 14 Stormwater management is hereby repealed and recreate to read as follows:

**CHAPTER 14
STORMWATER MANAGEMENT**

FLOODPLAIN MANAGEMENT

- 14.900 STATUTORY AUTHORIZATION, FINDING OF FACT, STATEMENT OF PURPOSE, TITLE AND GENERAL PROVISIONS
- 14.901 Statutory Authorization
- 14.902 Finding of Fact
- 14.903 Statement of Purpose
- 14.904 Title
- 14.905 General Provisions
 - (1) Areas to be Regulated
 - (2) Official Maps and Revisions
 - (3) Establishment of Districts
 - (4) Locating Floodplain Boundaries
 - (5) Removal of Lands from Floodplain
 - (6) Compliance
 - (7) Municipalities and State Agencies Regulated
 - (8) Abrogation and Greater Restrictions
 - (9) Interpretation

- (10) Warning and Disclaimer of Liability
- (11) Severability
- (12) Annexed Areas for Cities and Villages

14.910	GENERAL STANDARDS APPLICABLE TO ALL FLOODPLAIN DISTRICTS
14.911	Hydraulic and Hydrologic Analyses
14.912	Watercourse Alterations
14.913	Chapter 30, 31, Wis. Stats., Development
14.914	Public or Private Campgrounds
14.920	FLOODWAY DISTRICT (FW/F-1)
14.921	Applicability
14.922	Permitted Uses
14.923	Standards for Developments in the Floodway
14.924	Prohibited Uses
14.930	FLOODFRINGE DISTRICT (FF/FFO)
14.931	Applicability
14.932	Permitted Uses
14.933	Standards for Development in the Floodfringe
14.940	OTHER FLOODPLAIN DISTRICTS
14.941	General Floodplain District (GFP)
14.942	Flood Storage District (FSD/F-2)
14.950	NONCONFORMING USES
14.951	General
14.952	Floodway District (FW/F-1)
14.953	Floodfringe District (FF/FFO)
14.954	Flood Storage District (FSD/F-2)
14.960	ADMINISTRATION
14.961	Administrator Powers and Duties AND Conditional Use Permit Requirements
14.962	Zoning Agency
14.963	Zoning Board of Appeals
14.964	To Review Appeals of Conditional Use Permit Denials
14.965	Floodproofing Standards for Nonconforming Structures or Uses
14.966	Public Information
14.970	AMENDMENTS
14.971	General
14.972	Procedures
14.980	ENFORCEMENT AND PENALTIES
14.990	DEFINITIONS

CHAPTER 14
STORMWATER MANAGEMENT

Floodplain Management

14.900 STATUTORY AUTHORIZATION, FINDING OF FACT, STATEMENT OF PURPOSE, TITLE, AND GENERAL PROVISIONS

14.901 STATUTORY AUTHORIZATION

This ordinance is adopted pursuant to the authorization in ss. 61.35 and 62.23, for villages and cities; and the requirements in s. 87.30, Stats.

14.902 FINDING OF FACT

Uncontrolled development and use of the floodplains and rivers of this municipality would impair the public health, safety, convenience, general welfare and tax base.

14.903 STATEMENT OF PURPOSE

This ordinance is intended to regulate floodplain development to:

- (1) Protect life, health and property;
- (2) Minimize expenditures of public funds for flood control projects;
- (3) Minimize rescue and relief efforts undertaken at the expense of the taxpayers;
- (4) Minimize business interruptions and other economic disruptions;
- (5) Minimize damage to public facilities in the floodplain;
- (6) Minimize the occurrence of future flood blight areas in the floodplain;
- (7) Discourage the victimization of unwary land and homebuyers;
- (8) Prevent increases in flood heights that could increase flood damage and result in conflicts between property owners; and
- (9) Discourage development in a floodplain if there is any practicable alternative to locate the activity, use or structure outside of the floodplain.

14.904 TITLE

This ordinance shall be known as the Floodplain Zoning Ordinance for the Village of Sussex, WI.

14.905 GENERAL PROVISIONS

(1) **AREAS TO BE REGULATED**

This ordinance regulates all areas of special flood hazard identified as zones A, AO, AH, A1-30, or AE on the Flood Insurance Rate Map (FIRM). Additional areas on maps approved by the Department of Natural Resources (DNR) and the local community may also be regulated under the provisions of this ordinance, where applicable.

(2) **OFFICIAL MAPS & REVISIONS**

Special Flood Hazard Areas (SFHA) are designated as zones A, AE, AH, AO or A1-30 on the Flood Insurance Rate Maps (FIRMs) based on flood hazard analyses summarized in the Flood Insurance Study (FIS) listed in sub (a) below. Additional flood hazard areas subject to regulation under this ordinance are identified on maps based on studies approved by the DNR and listed in sub (b) below. These maps and revisions are on file in the office of the Village Engineer, Village of Sussex.

OFFICIAL MAPS: Based on the Flood Insurance Study (FIS):

- (a) Flood Insurance Rate Map (FIRM): panel numbers 55133C0069J, 55133C0086J, 55133C0087J, 55133C0088H, 55133C0089H, 55133C0182H, 55133C0201H, 55133C0202H, and 55133C0206H, dated October 19, 2023;
 - a. Flood Insurance Study (FIS) for Village of Sussex (Waukesha County), 55133CV001D, 55133CV002D, 55133CV003D, 55133CV004D, and 55133CV005D, dated October 19, 2023;
Approved by: The DNR and FEMA
- (b) Based on other studies: Any maps referenced in this section must be approved by the DNR and be more restrictive than those based on the FIS at the site of the proposed development.
 - a. Flood Storage Map, panel number 3, dated November 5, 2014, approved by the DNR.
 - b. Letter of Map Revision Case No. 20-05-1875P (effective March 18, 2021).

2)

Approved by: The DNR and FEMA

(3) ESTABLISHMENT OF DISTRICTS

The flood hazard areas regulated by this ordinance are divided into three districts as follows:

- (a) The Floodway District (FW also known as F-1 in Chapter 17) is the channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional floodwaters and are contained within AE Zones as shown on the FIRM or within A zones shown on the FIRM when determined according to 14.941(5).
- (b) The Floodfringe District (FF also known as FFO in Chapter 17) is that portion of a riverine flood hazard area outside of the floodway within AE Zones on the FIRM, or, when floodway limits have been determined according to 14.941(5) within A zones shown on the FIRM.
- (c) The General Floodplain District (GFP) is those riverine areas that may be covered by floodwater during the regional flood in which floodway boundary has not been delineated on the FIRM and also includes shallow flooding areas identified as AH and AO zones on the FIRM.
- (d) The Flood Storage District (FSD also known as F-2 Floodplain Conservancy District in Chapter 17) is that area of the floodplain where storage of floodwaters is calculated to reduce the regional flood discharge.

(4) LOCATING FLOODPLAIN BOUNDARIES

Discrepancies between exterior boundaries of zones A1-30, AE, AH or A on the official floodplain zoning map and actual field conditions shall be resolved using the criteria in paragraphs (a) or (b) below. If a significant difference exists, the map shall be amended according to s. 14.970. The Village Administrator or their designee can rely on a boundary derived from a profile elevation to grant or deny a Conditional Use Permit, whether or not a map amendment is required. The Village Administrator or their designee shall be responsible for documenting actual pre-development field conditions and the basis upon which the district boundary was determined. Disputes between the Village Administrator or their designee and an applicant over the district boundary line shall be settled according to s. 14.963(3) and the criteria in (a) and (b) below. Where the flood profiles are based on established base flood elevations from a FIRM, FEMA must also approve any map amendment or revision pursuant to s. 14.970.

- (a) If flood profiles exist, the map scale and the profile elevations shall determine the district boundary. The regional or base flood elevations shall govern if there are any

discrepancies.

- (b) Where flood profiles do not exist, including any boundary zone A or AO, the location of the boundary shall be determined by the map scale.

(5) REMOVAL OF LANDS FROM FLOODPLAIN

- (a) Compliance with the provisions of this ordinance shall not be grounds for removing land from the floodplain unless it is filled at least two feet above the regional or base flood elevation, the fill is contiguous to land outside the floodplain, and the map is amended pursuant to s. 14.970.

Note: This procedure does not remove the requirements for the mandatory purchase of flood insurance. The property owner must contact FEMA to request a Letter of Map Change (LOMC).

- (b) The delineation of any of the Floodplain Districts may be revised by the community where natural or man-made changes have occurred and/or where more detailed studies have been conducted. However, prior to any such change, approval must be obtained from the Wisconsin Department of Natural Resources and Federal Emergency Management Agency. A completed Letter of Map Revision is a record of this approval. The floodplain administrator shall not sign a community acknowledgement form unless all criteria set forth in the following paragraphs are met:

1. The land and/or land around the structure must be filled at least two feet above the regional or base flood elevation;
2. The fill must be contiguous to land outside the floodplain; Applicant shall obtain floodplain development permit before applying for a LOMR or LOMR-F;

- b) Removal of lands from the floodplain may also occur by operation of §87.30(1)(e), Wis. Stat. if a property owner has obtained a letter of map amendment from the federal emergency management agency under 44 C.F.R. 70.

(6) COMPLIANCE

- a) No structure or use within areas regulated by this ordinance shall hereafter be located, erected, constructed, reconstructed, repaired, extended, converted, enlarged, or altered without full compliance with the terms of these regulations and all other applicable regulations that apply to uses within the jurisdiction of these regulations.
- b) Failure to obtain a floodplain development permit shall be a violation of these regulations and shall be punishable in accordance with s. 14.980.
- c) Floodplain development permits issued on the basis of plans and applications approved by the Floodplain Administrator authorize only the use, and arrangement, set forth in such approved plans and applications, or amendments thereto if approved by the Floodplain Administrator. Use, arrangement, or construction contrary to that authorized shall be deemed a violation of these regulations and punishable in accordance with s. 14.980.

(7) MUNICIPALITIES AND STATE AGENCIES REGULATED

Unless specifically exempted by law, all cities, villages, towns, and counties are required to comply with this ordinance and obtain all necessary permits. State agencies are required to comply if s. 13.48(13), Stats., applies. The construction, reconstruction, maintenance and repair of state highways and bridges by the Wisconsin Department of Transportation is exempt when s. 30.2022, Stats., applies. Although exempt from a local zoning permit and permit fees, DOT must provide sufficient project documentation and analysis to ensure that the community is in compliance with Federal, State, and local floodplain standards. If a local transportation project is located within a Zone A floodplain and is not a WisDOT project under s. 30.2022, then the road project design documents (including appropriate detailed plans and profiles) may be sufficient to

meet the requirements for issuance of a local floodplain permit if the following apply: The applicant provides documentation to the Floodplain Administrator that the proposed project is a culvert replacement or bridge replacement under 20' span at the same location, the project is exempt from a DNR permit under s. 30.123(6)(d), the capacity is not decreased, the top road grade is not raised, and no floodway data is available from a federal, state, or other source. If floodway data is available in the impacted area from a federal, state, or other source, that existing data must be utilized by the applicant in the analysis of the project site.

(8) **ABROGATION AND GREATER RESTRICTIONS**

- (a) This ordinance supersedes all the provisions of any municipal zoning ordinance enacted under s. 61.35 for villages; or s. 87.30, Stats., which relate to floodplains. If another ordinance is more restrictive than this ordinance, that ordinance shall continue in full force and effect to the extent of the greater restrictions, but not otherwise.
- (b) This ordinance is not intended to repeal, abrogate or impair any existing deed restrictions, covenants or easements. If this ordinance imposes greater restrictions, the provisions of this ordinance shall prevail.

(9) **INTERPRETATION**

In their interpretation and application, the provisions of this ordinance are the minimum requirements liberally construed in favor of the governing body and are not a limitation on or repeal of any other powers granted by the Wisconsin Statutes. If a provision of this ordinance, required by ch. NR 116, Wis. Adm. Code, is unclear, the provision shall be interpreted in light of the standards in effect on the date of the adoption of this ordinance or in effect on the date of the most recent text amendment to this ordinance.

(10) **WARNING AND DISCLAIMER OF LIABILITY**

The flood protection standards in this ordinance are based on engineering experience and scientific research. Larger floods may occur or the flood height may be increased by man-made or natural causes. This ordinance does not imply or guarantee that non-floodplain areas or permitted floodplain uses will be free from flooding and flood damages. Nor does this ordinance create liability on the part of, or a cause of action against, the municipality or any officer or employee thereof for any flood damage that may result from reliance on this ordinance.

(11) **SEVERABILITY**

Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this ordinance shall not be affected.

(12) **ANNEXED AREAS FOR CITIES AND VILLAGES**

The Waukesha County floodplain zoning provisions in effect on the date of annexation shall remain in effect and shall be enforced by the municipality for all annexed areas until the municipality adopts and enforces an ordinance which meets the requirements of ch. NR 116, Wis. Adm. Code and the 44 CFR 59-72, National Flood Insurance Program (NFIP). These annexed lands are described on the municipality's official zoning map. County floodplain zoning provisions are incorporated by reference for the purpose of administering this section and are on file in the office of the municipal Administrator. All plats or maps of annexation shall show the regional flood elevation and the location of the floodway.

14.910 GENERAL STANDARDS APPLICABLE TO ALL FLOODPLAIN DISTRICTS

The Municipality shall review all permit applications to determine whether proposed building sites will be reasonably safe from flooding and assure that all necessary permits have been received from those governmental agencies whose approval is required by federal or state law.

- 1) If a proposed building site is in a flood-prone area, all new construction and substantial improvements shall:

- a. Be designed and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads including the effects of buoyancy;
 - b. Be constructed with flood-resistant materials;
 - c. Be constructed by methods and practices that minimize flood damages; and
 - d. Mechanical and utility equipment must be elevated to or above the flood protection elevation.
- 2) If a subdivision or other proposed new development is in a flood-prone area, the community shall assure that:
 - a. Such proposed subdivision or other proposed new development is consistent with the need to minimize flood damage within flood-prone area;
 - b. Public utilities and facilities such as sewer, gas, electrical, and water systems are located and constructed to minimize or eliminate flood damage; and
 - c. Adequate drainage is provided to reduce exposure to flood hazards.

All subdivision proposals (including manufactured home parks) shall include regional flood elevation and floodway data for any development that meets the subdivision definition of this ordinance and all other requirements in s 14.961(2).

14.911 HYDRAULIC AND HYDROLOGIC ANALYSES

- (1) No floodplain development shall:
 - (a) Obstruct flow, defined as development which blocks the conveyance of floodwaters by itself or with other development, causing any increase in the regional flood height; or
 - (b) Cause any increase in the regional flood height due to floodplain storage area lost.
- (2) The Plan Commission shall deny Conditional Use Permits if it is determined the proposed development will obstruct flow or cause any increase in the regional flood height, based on the officially adopted FIRM or other adopted map, unless the provisions of 14.970 are met.

14.912 WATERCOURSE ALTERATIONS

No Conditional Use Permit to alter or relocate a watercourse in a mapped floodplain shall be issued until the local official has notified in writing all adjacent municipalities, the Department and FEMA regional offices and required the applicant to secure all necessary state and federal permits. The standards of s. 14.911 must be met and the flood carrying capacity of any altered or relocated watercourse shall be maintained.

As soon as is practicable, but not later than six months after the date of the watercourse alteration or relocation, and pursuant to s. 14.970, the Administrator shall apply for a Letter of Map Revision (LOMR) from FEMA. Any such alterations must be reviewed and approved by FEMA and the DNR through the LOMC process.

14.913 CHAPTER 30, 31, WIS. STATS., DEVELOPMENT

Development which requires a permit from the Department, under chs. 30 and 31, Wis. Stats., such as docks, piers, wharves, bridges, culverts, dams and navigational aids, may be allowed if the necessary permits are obtained and amendments to the floodplain zoning ordinance are made according to s. 14.970.

14.914 PUBLIC OR PRIVATE CAMPGROUNDS

Public or private campgrounds shall have a low flood damage potential and shall meet the following provisions:

- (1) The campground is approved by the Department of Agriculture, Trade, and Consumer Protection;
- (2) A Conditional Use Permit for the campground is issued by the Administrator.
- (3) The character of the river system and the campground elevation are such that a 72-hour warning of an impending flood can be given to all campground occupants.
- (4) There is an adequate flood warning procedure for the campground that offers the minimum notice

- required under this section to all persons in the campground. This procedure shall include a written agreement between the campground owner, the Village, the municipal emergency government coordinator and the chief law enforcement official which specifies the flood elevation at which evacuation shall occur, personnel responsible for monitoring flood elevations, types of warning systems to be used and the procedures for notifying at-risk parties, and the methods and personnel responsible for conducting the evacuation.
- (5) This agreement shall be for no more than one calendar year, at which time the agreement shall be reviewed and updated - by the officials identified in sub. (4) - to remain in compliance with all applicable regulations, including those of the state Department of Agriculture, Trade, and Consumer Protection and all other applicable regulations.
 - (6) All Mobile recreational vehicles placed on site must meet one of the following:
 - (a) Be fully licensed, if required, and ready for highway use; or
 - (b) Not occupy any site in the campground for more than 180 consecutive days, at which time the recreational vehicle must be removed from the floodplain for a minimum of 24 hours; or
 - (c) Meet the requirements in either 14.920, 14.930, or 14.941 for the floodplain district in which the structure is located.

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.

- (7) All camping units that remain on site for more than 30 days shall be issued a limited authorization by the campground operator, a written copy of which is kept on file at the campground. Such authorization shall allow placement of a camping unit. Consistent with 14.916(6) and shall ensure compliance with all provisions of this section.
 - (8) The municipality shall monitor the limited authorizations issued by the campground operator to assure compliance with the terms of this section.
 - (9) The campground shall have signs clearly posted at all entrances warning of the flood hazard and the procedures for evacuation when a flood warning is issued.
 - (10) All service facilities, including but not limited to refuse collection, electrical service, gas lines, propane tanks, sewage systems and wells shall be properly anchored and placed at or floodproofed to the flood protection elevation.
- (11) Standards for structures in a campground:**

- (a) All structures must comply with section 2.4 or meet the applicable requirements in ss. 14.920, 14.930, or 14.941, for the floodplain district in which the structure is located;
- (b) Deck/landing-a portable landing may be allowed for a camping unit for each entry provided that the landing is not permanently attached to the ground or camping unit, is no more than 200 square feet in size, shall be portable, contain no walls or roof, and can be removed from the campground by a truck and/or trailer. Sections of such portable landings may be placed together to form a single deck not greater than 200 square feet at one entry point. Provisions for the removal of these temporary landings during flood events must be addressed within the written agreement with the municipality compliant with section 14.914(4). Any such deck/landing structure may be constructed at elevations lower than the flood protection elevation but must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood.
- (c) Decks/patios that are constructed completely at grade may be allowed but must also comply with applicable shoreland zoning standards.
- (d) Camping equipment and appurtenant equipment in the campground may be allowed provided that the equipment is not permanently attached to the ground or camping unit, is not used as a habitable structure, and must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood. Provisions for the removal of this equipment during flooding events shall be addressed within the written agreement with the municipality compliant with section 14.914(4).
- (e) Once a flood warning in the written agreement has been issued for the campground, the

campground owner or the designated operator shall ensure that all persons, camping units, decks, camping equipment and appurtenant equipment in the campground shall be evacuated within the timelines specified within the written agreement with the municipality compliant with section 14.941(4).

- (12) A Conditional Use permit shall be obtained as provided under 14.961(2) before any development; repair, modification, or addition to an existing structure; or change in the use of a building or structure, including sewer and water facilities, may be initiated.

14.920 FLOODWAY DISTRICT (FW / F-1)

14.921 APPLICABILITY

This section applies to all floodway areas on the floodplain zoning maps and those identified pursuant to s. 14.941(5).

14.922 PERMITTED USES

- (1) The following open space uses are allowed in the Floodway District and the floodway areas of the General Floodplain District, if

- they are not prohibited by any other ordinance;
 - they meet the standards in s. 14.923 and s. 14.924; and
 - all Conditional Use Permits or certificates have been issued according to s. 14.961:
- (a) Agricultural uses, such as: farming, outdoor plant nurseries, horticulture, viticulture and wild crop harvesting.
 - (b) Nonstructural industrial and commercial uses, such as loading areas, parking areas and airport landing strips.
 - (c) Nonstructural recreational uses, such as golf courses, tennis courts, archery ranges, picnic grounds, boat ramps, swimming areas, parks, wildlife and nature preserves, game farms, fish hatcheries, shooting, trap and skeet activities, hunting and fishing areas and hiking and horseback riding trails, subject to the fill limitations of s. 14.923(4).
 - (d) Uses or structures accessory to open space uses, or classified as historic structures that comply with ss. 14.923 and 14.924.
 - (e) Extraction of sand, gravel or other materials that comply with s. 14.923(4).
 - (f) Functionally water-dependent uses, such as docks, piers or wharves, dams, flowage areas, culverts, navigational aids and river crossings of transmission lines, and pipelines that comply with chs. 30, 31, Stats.
 - (g) Public utilities, streets and bridges that comply with s. 14.923(3).
 - (h) Portable latrines that are removed prior to flooding and systems associated with recreational areas and Department-approved campgrounds that meet the applicable provisions of local ordinances and Ch. SPS 383, Wis. Adm. Code.
 - (i) Public or private wells used to obtain potable water for recreational areas that meet the requirements of local ordinances and chs. NR 811 and NR 812, Wis. Adm. Code.
 - (j) Wastewater treatment ponds or facilities permitted under s. NR 110.15(3)(b), Wis. Adm. Code.
 - (k) Sanitary sewer or water supply lines to service existing or proposed development located outside the floodway that complies with the regulations for the floodplain area occupied.

14.923 STANDARDS FOR DEVELOPMENTS IN THE FLOODWAY

(1) GENERAL

- (a) Any development in floodway areas shall comply with s. 14.910 and have a low flood damage potential.
- (b) Applicants shall provide an analysis calculating the effects of this proposal on the regional flood height to determine the effects of the proposal according to s. 14.911 and 14.961(2)(c).

The analysis must be completed by a Registered Professional Engineer in the State of Wisconsin

- (c) Any encroachment in the regulatory floodway is prohibited unless the data submitted for 14.923(1)(b) above demonstrates that the encroachment will cause no increase in the flood elevations in flood events up to the base flood at any location or removes the encroached area from the regulatory floodway as provided in 14.905(5).
- (2) **STRUCTURES**
Structures accessory to permanent open space uses, including utility and sanitary facilities, or functionally dependent on a waterfront location may be allowed by Conditional Use Permit if the structures comply with the following criteria:
 - (a) Not designed for human habitation, does not have a high flood damage potential, and is constructed to minimize flood damage;
 - (b) Shall either have the lowest floor elevated to or above the flood protection elevation or shall meet all the following standards:
 - 1. Have the lowest floor elevated to or above the regional flood elevation and be dry floodproofed so that the structure is watertight with walls substantially impermeable to the passage of water and completely dry to the flood protection elevation without human intervention during flooding;
 - 2. Have structural components capable of meeting all provisions of Section 14.923(2)(g) and;
 - 3. Be certified by a registered professional engineer or architect, through the use of a Federal Emergency Management Agency Floodproofing Certificate, that the design and methods of construction are in accordance with Section 14.923(2)(g).
 - (c) It must be anchored to resist flotation, collapse and lateral movement;
 - (d) Mechanical and utility equipment must be elevated to or above the flood protection elevation; and
 - (e) It must not obstruct the flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood.
 - (f) For a structure designed to allow the automatic entry of floodwaters below the Regional Flood Elevation, the applicant shall submit a plan that meets s. 14.923(2)(a) through 14.923(2)(e) and meets or exceeds the following standards:
 - 1. The lowest floor must be elevated to or above the regional flood elevation;
 - 2. a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - 3. the bottom of all openings shall be no higher than one foot above the lowest adjacent grade; openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters, otherwise must remain open.
 - 4. The use must be limited to parking, building access or limited storage.
 - (g) Certification: Whenever floodproofing measures are required, a registered professional engineer or architect shall certify that the following floodproofing measures will be utilized, where appropriate, and are adequate to withstand the flood depths, pressures, velocities, impact and uplift forces and other factors associated with the regional flood:
 - 1. Reinforcement of floors and walls to resist rupture, collapse, or lateral movement caused by water pressures or debris buildup;

2. Construction of wells, water supply systems and waste treatment systems so as to prevent the entrance of flood waters in such systems and must be in accordance with provisions in Sections 14.924(4) and 14.924(5);
3. Subsurface drainage systems to relieve external pressures on foundation walls and basement floors;
4. Cutoff valves on sewer lines or the elimination of gravity flow basement drains; and
5. Placement of utilities to or above the flood protection elevation.

(3) **PUBLIC UTILITIES, STREETS AND BRIDGES**

Public utilities, streets and bridges may be allowed by Conditional Use Permit, if:

- (a) Adequate flood proofing measures are provided to the flood protection elevation; and
- (b) Construction meets the development standards of s. 14.911.

(4) **FILLS OR DEPOSITION OF MATERIALS**

Fills or deposition of materials may be allowed by Conditional Use Permit, if:

- (a) The requirements of s. 14.911 are met;
- (b) No material is deposited in the navigable waters unless a permit is issued by the Department pursuant to ch. 30, Stats., and a permit pursuant to s. 404 of the Federal Water Pollution Control Act, Amendments of 1972, 33 U.S.C. 1344 has been issued, if applicable, and the other requirements of this section are met;
- (c) The fill or other materials will be protected against erosion by riprap, vegetative cover, sheet piling or bulkheading; and
- (d) The fill is not classified as a solid or hazardous material.

14.924 PROHIBITED USES

All uses not listed as permitted uses in s. 14.922 are prohibited, including the following uses:

- (1) Habitable structures, structures with high flood damage potential, or those not associated with permanent open-space uses;
- (2) Storing materials that are buoyant, flammable, explosive, injurious to property, water quality, or human, animal, plant, fish or other aquatic life;
- (3) Uses not in harmony with or detrimental to uses permitted in the adjoining districts;
- (4) Any private or public sewage systems, except portable latrines that are removed prior to flooding and systems associated with recreational areas and Department-approved campgrounds that meet the applicable provisions of local ordinances and ch. SPS 383, Wis. Adm. Code.
- (5) Any public or private wells which are used to obtain potable water, except those for recreational areas that meet the requirements of local ordinances and chs. NR 811 and NR 812, Wis. Adm. Code;
- (6) Any solid or hazardous waste disposal sites;
- (7) Any wastewater treatment ponds or facilities, except those permitted under s. NR 110.15(3)(b), Wis. Adm. Code;
- (8) Any sanitary sewer or water supply lines, except those to service existing or proposed development located outside the floodway which complies with the regulations for the floodplain area occupied.

14.930 FLOODFRINGE DISTRICT (FF / FFO)

14.931 APPLICABILITY

This section applies to all floodfringe areas shown on the floodplain zoning maps and those identified pursuant to s. 14.941(4).

14.932 PERMITTED USES

Any structure, land use, or development is allowed in the Floodfringe District if the standards in s. 14.933 are met, the use is not prohibited by this or any other ordinance or regulation and all permits or certificates specified in s. 14.961 have been issued.

14.933 STANDARDS FOR DEVELOPMENT IN THE FLOODFRINGE

S. 14.911 shall apply in addition to the following requirements according to the use requested. Any existing structure in the Floodfringe must meet the requirements of s. 14.950.

(1) RESIDENTIAL USES

Any structure, including a manufactured home, which is to be newly constructed, or moved into the floodfringe area, shall meet or exceed the following standards. Any existing structure in the floodfringe must meet the requirements of 14.950.

- (a) All new construction, including placement of manufactured homes, and substantial improvement of residential structures, shall have the lowest floor elevated to or above the flood protection elevation on fill. The fill around the structure shall be one foot or more above the regional flood elevation extending at least 15 feet beyond the limits of the structure. No area may be removed from the floodfringe district unless it can be shown to meet s. 14.905(5).
- (b) Notwithstanding s. 14.933 (1)(a), a basement or crawlspace floor may be placed at the regional flood elevation if the basement or crawlspace is designed to make all portions of the structure below the flood protection elevation watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. No floor of any kind is allowed below the regional flood elevation;
- (c) Contiguous dryland access shall be provided from a structure to land outside of the floodplain, except as provided in par. (d).
- (d) In developments where existing street or sewer line elevations make compliance with par. (c) impractical, the municipality may allow, by Conditional Use Permit, new development, and substantial improvements where access roads are at or below the regional flood elevation, if:
 - 1. The municipality has written assurance from police, fire and emergency services that rescue and relief will be provided to the structure(s) by wheeled vehicles during a regional flood event; or
 - 2. The municipality has a DNR -approved emergency evacuation plan that follows acceptable hazard mitigation planning guidelines.

(2) ACCESSORY STRUCTURES OR USES

In addition to s. 14.910, new construction and substantial improvements of accessory structures shall be constructed on fill with the lowest floor at or above the regional flood elevation.

(3) COMMERCIAL USES

In addition to s. 14.910, any commercial structure which is erected, altered or moved into the floodfringe area shall meet the requirements of s. 14.933(1). Subject to the requirements of s. 14.933(5), storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.

(4) MANUFACTURING AND INDUSTRIAL USES

In addition to s. 14.910, any manufacturing or industrial structure which is erected, altered or moved into the floodfringe shall have the lowest floor elevated to or above the flood protection elevation or meet the floodproofing standards in s. 14.965. Subject to the requirements of s.

14.933(5), storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.

(5) STORAGE OF MATERIALS

Materials that are buoyant, flammable, explosive, or injurious to property, water quality or human, animal, plant, fish or aquatic life shall be stored at or above the flood protection elevation or floodproofed in compliance with s. 14.965. Adequate measures shall be taken to ensure that such materials will not enter the water body during flooding.

(6) PUBLIC UTILITIES, STREETS AND BRIDGES

All utilities, streets and bridges shall be designed to be compatible with comprehensive floodplain development plans; and

- (a) When failure of public utilities, streets and bridges would endanger public health or safety, or where such facilities are deemed essential, construction, or repair of such facilities shall only be permitted if they are designed and floodproofed in compliance with s. 14.965;
- (b) Minor roads or nonessential utilities may be constructed at lower elevations if they are designed to withstand flood forces to the regional flood elevation.

(7) SEWAGE SYSTEMS

All sewage disposal systems shall be designed to minimize or eliminate infiltration of flood waters into the system, pursuant to 14.965(3), to the flood protection elevation and shall meet the provisions of all local ordinances and ch. SPS 383, Wis. Adm. Code.

(8) WELLS

All wells shall be designed to minimize or eliminate infiltration of flood waters into the system pursuant to 14.965(3) to the flood protection elevation and shall meet the provisions of chs. NR 811 and NR 812, Wis. Adm. Code.

(9) SOLID WASTE DISPOSAL SITES

Disposal of solid or hazardous waste is prohibited in floodfringe areas.

(10) DEPOSITION OF MATERIALS

Any deposited material must meet all the provisions of this ordinance.

(11) MANUFACTURED HOMES

- (a) Owners or operators of all manufactured home parks and subdivisions shall provide adequate surface drainage to minimize flood damage, and prepare, secure approval and file an evacuation plan, indicating vehicular access and escape routes, with local emergency management authorities.
- (b) In existing manufactured home parks, all new homes, replacement homes on existing pads, and substantially improved homes shall:
 - 1. have the lowest floor elevated to the flood protection elevation; and
 - 2. be anchored so they do not float, collapse or move laterally during a flood.
- (c) Outside of existing manufactured home parks, including new manufactured home parks and all single units outside of existing parks, all new, replacement and substantially improved manufactured homes shall meet the residential development standards for the floodfringe in s. 14.933(1).

(12) MOBILE RECREATIONAL VEHICLES

All mobile recreational vehicles that are on site for 180 consecutive days and be either

- (a) fully licensed and ready for highway use; or
- (b) shall meet the elevation and anchoring requirements in s. 14.933 (11) (b) and (c).

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.

14.940 OTHER FLOODPLAIN DISTRICTS

Other floodplain districts may be established under the ordinance and reflected on the floodplain zoning map. These districts may include general floodplain districts and flood storage districts.

14.941 GENERAL FLOODPLAIN DISTRICT (GFP)

(1) **APPLICABILITY**

The provisions for the General Floodplain District shall apply to all development in floodplains mapped as A, AO, AH, and in AE zones within which a floodway is not delineated on the Flood Insurance Rate Maps identified in 14.905(2)(a).

(2) **FLOODWAY BOUNDARIES**

For proposed development in zone A, or in zone AE within which a floodway is not delineated on the Flood Insurance Rate Map identified in s. 14.905(2)(a), the boundaries of the regulatory floodway shall be determined pursuant to 14.941(5). If the development is proposed to encroach upon the regulatory floodway, the development is subject to the standards of s. 14.920. If the development is located entirely within the floodfringe, the development is subject to the standards of s. 14.930.

(3) **PERMITTED USES**

Pursuant to s. 14.941(5), it shall be determined whether the proposed use is located within a floodway or floodfringe area. Those uses permitted in Floodway (s. 14.922) and Floodfringe (s. 14.932) Districts are allowed within the General Floodplain District, according to the standards of s. 14.941 (4), provided that all permits or certificates required under s. 14.961 have been issued.

(4) **STANDARDS FOR DEVELOPMENT IN THE GENERAL FLOODPLAIN DISTRICT**

S. 14.920 applies to floodway areas, determined pursuant to s. 14.941(5); s. 14.930 applies to floodfringe areas determined pursuant to s. 14.941(5). The rest of this ordinance applies to either district.

(a) New construction and substantial improvements of structures in zone AO shall have the lowest floor, including basement, elevated:

1. To at or above the depth, in feet, as shown on the FIRM above the highest adjacent natural grade; or
2. If the depth is not specified on the FIRM, to or above two (2) feet above the highest adjacent natural grade.

(b) New construction and substantial improvement of structures in zone AH shall have the lowest floor, including basement, elevated to above the flood protection elevation.

(c) In AO/AH Zones, provide plans showing adequate drainage paths to guide floodwaters around structure.

(d) All development in zones AO and zone AH shall meet the requirements of s. 14.930 applicable to flood fringe areas.

(5) **DETERMINING FLOODWAY AND FLOODFRINGE LIMITS**

Upon receiving an application for development within zone A, or within zone AE where a floodway has not been delineated on the Flood Insurance Rate Maps, the Administrator shall:

(a) Require the applicant to submit two copies of an aerial photograph or a plan which shows the proposed development with respect to the general floodplain district limits, stream channel, and existing floodplain developments, along with a legal description of the property, fill limits and elevations, building floor elevations and flood proofing measures; and the flood zone as shown on the FIRM.

(b) Require the applicant to furnish of any of the following information deemed necessary by the Department or Municipality to evaluate the effects of the proposal upon flood height and flood flows, regional flood elevation and to determine floodway boundaries:

1. A Hydrologic and Hydraulic Study as specified in s.14.961 (2) (c).

2. Plan (surface view) showing elevations or contours of the ground; pertinent structure, fill or storage elevations; size, location and layout of all proposed and existing structures on the site; location and elevations of streets, water supply, and sanitary facilities; soil types and other pertinent information;
3. Specifications for building construction and materials, floodproofing, filling, dredging, channel improvement, storage, water supply and sanitary facilities.

14.942 FLOOD STORAGE DISTRICT (FSD / F-2)

The flood storage district delineates that portion of the floodplain where storage of floodwaters has been taken into account and is relied upon to reduce the regional flood discharge. The district protects the flood storage areas and assures that any development in the storage areas will not decrease the effective flood storage capacity which would cause higher flood elevations.

(1) APPLICABILITY

The provisions of this section apply to all areas within the Flood Storage District (FSD / F-2)), as shown on the official floodplain zoning maps.

(2) PERMITTED USES

Any use or development which occurs in a flood storage district must meet the applicable requirements in s. 14.930.

(3) STANDARDS FOR DEVELOPMENT IN FLOOD STORAGE DISTRICTS

- (a) Development in a flood storage district shall not cause an increase equal or greater than 0.00 of a foot in the height of the regional flood.
- (b) No development shall be allowed which removes flood storage volume unless an equal volume of storage as defined by the pre-development ground surface and the regional flood elevation shall be provided in the immediate area of the proposed development to compensate for the volume of storage which is lost, (compensatory storage). Excavation below the groundwater table is not considered to provide an equal volume of storage.
- (c) If compensatory storage cannot be provided, the area may not be developed unless the entire area zoned as flood storage district – on this waterway – is rezoned to the floodfringe district. This must include a revision to the floodplain study and map done for the waterway to revert to the higher regional flood discharge calculated without flood plain storage, as per s. 14.970 of this ordinance.
- (d) No area may be removed from the flood storage district unless it can be shown that the area has been filled to the flood protection elevation and is contiguous to other lands lying outside of the floodplain.

14.950 NONCONFORMING USES

14.951 GENERAL

(1) APPLICABILITY

- a) The standards in this section shall apply to all uses and buildings that do not conform to the provisions contained within a floodplain zoning ordinance or with s. 87.30, Stats. and §§ NR 116.12-14, Wis. Adm. Code and 44 CFR 59-72., these standards shall apply to all modifications or additions to any nonconforming use or structure and to the use of any structure or premises which was lawful before the passage of this ordinance or any amendment thereto. A party asserting existence of a lawfully established nonconforming use or structure has the burden of proving that the use or structure was compliant with the floodplain zoning ordinance in effect at the time the use or structure was created.
- b) As permit applications are received for additions, modifications, or substantial improvements to nonconforming buildings in the floodplain, municipalities shall develop a list of those nonconforming buildings, their present equalized assessed value, and a list of the costs of those activities associated with changes to those buildings.

- (2) The existing lawful use of a structure or its accessory use which is not in conformity with the provisions of this ordinance may continue subject to the following conditions:
- (a) No modifications or additions to a nonconforming use or structure shall be permitted unless they comply with this ordinance. The words "modification" and "addition" include, but are not limited to, any alteration, addition, modification, structural repair, rebuilding or replacement of any such existing use, structure or accessory structure or use. Maintenance is not considered a modification; this includes painting, decorating, paneling and other nonstructural components and the maintenance, repair or replacement of existing private sewage or water supply systems or connections to public utilities. Any costs associated with the repair of a damaged structure are not considered maintenance. The construction of a deck that does not exceed 200 square feet and that is adjacent to the exterior wall of a principal structure is not an extension, modification or addition. The roof of the structure may extend over a portion of the deck in order to provide safe ingress and egress to the principal structure.
 - (b) If a nonconforming use or the use of a nonconforming structure is discontinued for 12 consecutive months, it is no longer permitted and any future use of the property, and any structure or building thereon, shall conform to the applicable requirements of this ordinance;
 - (c) The municipality shall keep a record which lists all nonconforming uses and nonconforming structures, their present equalized assessed value, the cost of all modifications or additions which have been permitted, and the percentage of the structure's total current value those modifications represent;
 - (d) No modification or addition to any nonconforming structure or any structure with a nonconforming use, which over the life of the structure would equal or exceed 50% of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 14.933(1). The costs of elevating the lowest floor of a nonconforming building or a building with a nonconforming use to the flood protection elevation are excluded from the 50% provisions of this paragraph;
 - (e) No maintenance on a per event basis to any nonconforming structure or any structure with a nonconforming use, the cost of which would equal or exceed 50% of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 14.933 (1).
 - (f) If on a per event basis the total value of the work being done under (d) and (e) equals or exceeds 50% of the present equalized assessed value the work shall not be permitted unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Continuous dry land access must be provided for residential and commercial uses in compliance with s. 14.933 (1). Maintenance to any nonconforming structure, which does not exceed 50% of its present equalized value on a per event basis, does not count against the cumulative calculations over the life of the structure for substantial improvement calculations.
 - (g) Except as provided in subd. (h), if any nonconforming structure or any structure with a nonconforming use is destroyed or is substantially damaged, it cannot be replaced, reconstructed, or rebuilt unless the use and the structure meet the current ordinance requirements. A structure is considered substantially damaged if the total cost to restore the structure to its pre-damaged condition equals or exceeds 50% of the structure's present equalized assessed value.
 - (h) For nonconforming buildings that are damaged or destroyed by a nonflood disaster, the repair or reconstruction of any such nonconforming building may be permitted in order to restore it to the size and use in effect prior to the damage event, provided that the

following minimum requirements are met and all required permits have been granted prior to the start of construction:

1. Residential Structures
 - a. Shall have the lowest floor, including basement, elevated to or above the base flood elevation using fill, pilings, columns, posts or perimeter walls. Perimeter walls must meet requirements of s. 14.965 (2).
 - b. Shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, and shall be constructed with methods and materials resistant to flood damage.
 - c. Shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or elevated so as to prevent water from entering or accumulating within the components during conditions of flooding.
 - d. In A Zones, obtain, review, and utilize any flood data available from a federal, state or other source.
 - e. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in s. 14.941 (4).
 - f. In AO Zones, shall have adequate drainage paths around structures on slopes to guide floodwaters around and away from the structure.
 2. Nonresidential Structures.
 - a. Shall meet the requirements of s. 14.951 (2)(h) 1. a-f.
 - b. Shall either have the lowest floor, including basement, elevated to or above the regional flood elevation; or, together with attendant utility and sanitary facilities, shall meet the standards in s. 14.965 (1) or (2).
 - c. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in s. 14.941 (4).
- (3) A nonconforming historic structure may be altered if the alteration will not preclude the structures continued designation as a historic structure, the alteration will comply with s. 14.923 (1), flood resistant materials are used, and construction practices and floodproofing methods that comply with s. 14.965 are used. Repair or rehabilitation of historic structures shall be exempt from the development standards of s. 14.951 (2) (h) 1. if it is determined that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and is the minimum necessary to preserve the historic character and design of the structure.
- (4) Notwithstanding anything in this chapter to the contrary, modifications, additions, maintenance, and repairs to a nonconforming building shall not be prohibited based on cost and the building's nonconforming use shall be permitted to continue if:
- a. Any living quarters in the nonconforming building are elevated to be at or above the flood protection elevation;
 - b. The lowest floor of the nonconforming building, including the basement, is elevated to or above the regional flood elevation;
 - c. The nonconforming building is permanently changed to conform to the applicable requirements of 14.910;
 - d. If the nonconforming building is in the floodway, the building is permanently changed to conform to the applicable requirements of 14.923(1), 14.923(2)(b) through (e), 14.923(3), 14.923(4), and 14.952. Any development that adds additional fill or creates an encroachment in the floodplain from beyond the original nonconforming structure's 3-D building envelope must determine the floodway in accordance with section 14.941(5). If the encroachment is in the floodway, it must meet the standards in section 14.923(4);

- e. If the nonconforming building is in the floodfringe, the building is permanently changed to conform to the applicable requirements of 14.933 and 14.953;
- f. Repair or reconstruction of nonconforming structures and substantial improvements of residential buildings in zones A1-30, AE, and AH must have the lowest floor (including basement) elevated to or above the base flood elevation;
- g. Repair or reconstruction of nonconforming structures and substantial improvements of non-residential buildings in zones A1-30, AE, and AH must have the lowest floor (including basement) elevated to or above the base flood elevation, or (together with attendant utility and sanitary facilities) be designed so that below the base flood elevation the building is watertight with walls substantially impermeable to the passage of water and with structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy:
 - i. Where a non-residential structure is intended to be made watertight below the base flood elevation, a registered professional engineer or architect must develop and/or review structural design, specifications, and plans for the construction, and must certify that the design and methods of construction are in accordance with accepted standards of practice for meeting the provisions of s. 14.951(4)(g) above.
 - ii. The community must maintain a record of such certification including the specific elevation to which each such structure is floodproofed;
- h. Fully enclosed areas below the lowest floor of repair or reconstruction of nonconforming structures and substantial improvements in zones A1-30, AE, and AH that are usable solely for parking of vehicles, building access, or storage, must be designed to adequately equalize hydrostatic forces on exterior walls by allowing for the entry and exit of floodwaters. Subsequent improvements to repaired or reconstructed nonconforming structures must not increase the degree of their nonconformity. Designs for meeting this requirement must either be certified by a registered professional engineer or architect, or meet the following criteria:
 - i. A minimum of two openings into each enclosed area must be located below the base flood elevation and provide a total net area of not less than one square inch for every square foot of enclosed area.
 - ii. The bottom of all openings must be no higher than one foot above the adjacent grade.
 - iii. Openings may be equipped with screens, louvers, valves, or other coverings if they permit the automatic entry and exit of floodwaters;
- i. Manufactured homes that are placed or substantially improved within zones A1-30, AE, and AH outside of a manufactured home park or subdivision, in a new manufactured home park or subdivision, in an expansion to an existing manufactured home park or subdivision, or in an existing manufactured home park or subdivision on which a manufactured home has incurred substantial damage as a result of flood, must be elevated on a permanent foundation such that the lowest floor of the manufactured home is at or above the base flood elevation, and be securely anchored to an adequately anchored foundation system to resist flotation, collapse, and lateral movement;
- j. Manufactured homes that are placed or substantially improved within zones A1-30, AE, and AH on existing sites in an existing manufactured home park that is not undergoing expansion and on which a manufactured home has not incurred substantial damage as a result of flood must be elevated so that either the lowest floor of the manufactured home is at or above the base flood elevation, or the manufactured home chassis is supported by reinforced piers or other foundation elements of at least equivalent strength that are no less than 36 inches in

height above grade, and be securely anchored to an adequately anchored foundation system to resist flotation, collapse, and lateral movement;

- k. Recreational vehicles placed on sites within zones A1-30, AH, and AE must either:
 - i. Be on site for fewer than 180 consecutive days; or
 - ii. Be fully licensed and ready for highway use (a recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices, and has no permanently attached additions); or
 - iii. Meet the elevation and anchoring requirements for manufactured homes in s. 14.951(4)(i) above;
- l. In a regulatory floodway that has been delineated on the FIRM in zone A1-30 or AE, encroachments, including repair or reconstruction of nonconforming structures, substantial improvement, or other development (including fill) must be prohibited unless it has been demonstrated through hydrologic and hydraulic analyses performed in accordance with standard engineering practice that the proposed encroachment will not result in any increase in flood levels within the community during the occurrence of the base flood discharge. Subsequent improvements to repair or reconstructed nonconforming structures must not increase the degree of their nonconformity;
- m. In zone A, the community must obtain, review, and reasonably utilize any base flood elevation and floodway data available from a federal, state, or other source as criteria for requiring repair or reconstruction of nonconforming structures, substantial improvement, and other development to meet ss. 14.951(4)(f) through (l) (inclusive) above. Any development that adds additional fill or creates an encroachment in the floodplain from beyond the original nonconforming structure's 3-D building envelope must determine the floodway in accordance with section 14.941(5). If the encroachment is in the floodway, it must meet the standards in section 14.923(4). Subsequent improvements to repair or reconstructed nonconforming structures must not increase the degree of their nonconformity;
- n. In zones A1-30 or AE where a regulatory floodway has not been delineated on the FIRM, repair or reconstruction of nonconforming structures, substantial improvement, or any development that adds additional fill or creates an encroachment in the floodplain from beyond the original nonconforming structure's 3-D building envelope must determine the floodway in accordance with section 14.951(5). If the encroachment is in the floodway, it must meet the standards in section 14.923(4). Subsequent improvements to repair or reconstructed nonconforming structures must not increase the degree of their nonconformity;
- o. In zone AO, repair or reconstruction of nonconforming structures and substantial improvements of residential structures must have the lowest floor (including basement) elevated above the highest adjacent grade at least as high as the depth number specified in feet on the FIRM (at least two feet if no depth number is specified). Subsequent improvements to repair or reconstructed nonconforming structures must not increase the degree of their nonconformity; or
- p. In zone AO, repair or reconstruction of nonconforming structures and substantial improvements of nonresidential structures must have the lowest floor (including basement) elevated above the highest adjacent grade at least as high as the depth number specified in feet on the FIRM (at least two feet if no depth number is specified), or (together with attendant utility and sanitary facilities) be structurally dry-floodproofed to that level according to the standard specified in s. 14.951(4)(g) above. Subsequent improvements to repair or reconstructed nonconforming structures must not increase the degree of their nonconformity.

14.952 FLOODWAY DISTRICT (FW / F-1)

- (1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use in a Floodway District, unless such modification or addition:
 - (a) Has been granted a Conditional Use Permit or variance which meets all ordinance requirements;
 - (b) Meets the requirements of s. 14.951;
 - (c) Shall not increase the obstruction to flood flows or regional flood height;
 - (d) Any addition to the existing structure shall be floodproofed, pursuant to s. 14.965, by means other than the use of fill, to the flood protection elevation; and
 - (e) If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;
 2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
 3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
 4. The use must be limited to parking, building access or limited storage.
- (2) No new on-site sewage disposal system, or addition to an existing on-site sewage disposal system, except where an addition has been ordered by a government agency to correct a hazard to public health, shall be allowed in a Floodway District. Any replacement, repair or maintenance of an existing on-site sewage disposal system in a floodway area shall meet the applicable requirements of all municipal ordinances, s. 14.965 (3) and ch. SPS 383, Wis. Adm. Code.
- (3) No new well or modification to an existing well used to obtain potable water shall be allowed in the Floodway District. Any replacement, repair or maintenance of an existing well in a Floodway District shall meet the applicable requirements of all municipal ordinances, s. 14.965 (3) and chs. NR 811 and NR 812, Wis. Adm. Code.

14.953 FLOODFRINGE DISTRICT (FF / FFO)

- (1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use unless such modification or addition has been granted a Conditional Use Permit or variance by the municipality, and meets the requirements in s. 14.933, except where s. 14.953(2) is applicable.
- (2) Where compliance with the provisions of. 14.953(1) would result in unnecessary hardship and only where the structure will not be used for human habitation or be associated with a high flood damage potential, the Zoning Board of Appeals, using the procedures established in s. 14.963, may grant a variance from those provisions of 14.953(1) for modifications or additions, using the criteria listed below. Modifications or additions which are protected to elevations lower than the flood protection elevation may be permitted if:
 - (a) No floor is allowed below the regional flood elevation for residential or commercial structures;
 - (b) Human lives are not endangered;
 - (c) Public facilities, such as water or sewer, will not be installed;
 - (d) Flood depths will not exceed two feet;
 - (e) Flood velocities will not exceed two feet per second; and
 - (f) The structure will not be used for storage of materials as described in s. 14.933(5).
- (3) All new private sewage disposal systems, or addition to, replacement, repair or maintenance of a private sewage disposal system shall meet all the applicable provisions of all municipal ordinances, s. 14.965 (3) and ch. SPS 383, Wis. Adm. Code.

- (4) All new wells, or addition to, replacement, repair or maintenance of a well shall meet the applicable provisions of this ordinance, s. 14.965 (3) and ch. NR 811 and NR 812, Wis. Adm. Code.

14.954 FLOOD STORAGE AREAS (FSD / F-2)

No modifications or additions shall be allowed to any nonconforming structure in a flood storage area unless the standards outlined in 14.942(3) are met.

14.960 ADMINISTRATION

Where an Administrator, village engineer, Plan Commission or a Zoning Board of Appeals has already been appointed to administer a zoning ordinance adopted under ss. 59.69, 59.692 or 62.23(7), Stats., these officials shall also administer this ordinance.

14.961 ADMINISTRATOR POWERS AND DUTIES AND CONDITIONAL USE PERMIT REQUIREMENTS

- (1) The Administrator or their designee is authorized to administer this ordinance and shall have the following duties and powers:
- (a) Advise applicants of the ordinance provisions, assist in preparing Conditional Use Permit application forms and appeals, and assure that the regional flood elevation for the proposed development is shown on all Conditional Use Permit applications.
 - (b) Coordinate the review and possible approval of Conditional Use Permit Applications, by the Plan Commission, and if approved, issue permits and inspect properties for compliance with provisions of this ordinance, and issue certificates of compliance where appropriate.
 - (c) Inspect and assess all damaged floodplain structures to determine if substantial damage to the structures has occurred.
 - (d) Keep records of all official actions such as:
 - 1. All Conditional Use Permits issued, inspections made, and work approved;
 - 2. Documentation of certified lowest floor and regional flood elevations;
 - 3. Floodproofing certificates;
 - 4. Water surface profiles, floodplain zoning maps and ordinances, nonconforming uses and structures including changes, appeals, variances and amendments.
 - 5. All substantial damage assessment reports for floodplain structures.
 - 6. List of nonconforming structures and uses.
 - (e) Submit copies of the following items to the Department Regional office:
 - 1. Within 10 days of the decision, a copy of any decisions on variances, appeals for map or text interpretations, and map or text amendments;
 - 2. Copies of any case-by-case analyses, and other required information.
 - 3. Copies of substantial damage assessments performed and all related correspondence concerning the assessments.
 - (f) Investigate, prepare reports, and report violations of this ordinance to the municipal zoning agency and attorney for prosecution. Copies of the reports shall also be sent to the Department Regional office.
 - (g) Submit copies of amendments to the FEMA Regional office.

(2) **CONDITIONAL USE PERMIT**

A Conditional Use Permit shall be obtained before any development; repair, modification or addition to an existing structure; or change in the use of a building or structure, including sewer and water facilities, may be initiated. Application to the Zoning Administrator shall include:

- (a) **GENERAL INFORMATION**
 - 1. Name and address of the applicant, property owner and contractor;
 - 2. Legal description, proposed use, and whether it is new construction or a modification;
- (b) **SITE DEVELOPMENT PLAN**

A site plan drawn to scale shall be completed under the direct supervision of a Professional Engineer registered in the state and submitted with the Conditional Use

Permit application form and shall contain:

1. Location, dimensions, area and elevation of the lot;
2. Location of the ordinary highwater mark of any abutting navigable waterways;
3. Location of any structures with distances measured from the lot lines and street center lines;
4. Location of any existing or proposed on-site sewage systems or private water supply systems;
5. Location and elevation of existing or future access roads;
6. Location of floodplain and floodway limits as determined from the official floodplain zoning maps;
7. The elevation of the lowest floor of proposed buildings and any fill using vertical datum from the adopted study - either National Geodetic Vertical Datum (NGVD) or North American Vertical Datum (NAVD);
8. Topographic and other data sufficient to determine the regional flood elevation in NGVD or NAVD at the location of the development and to determine whether or not the requirements of s. 14.920 or 14.930 are met; and
9. Data to determine if the proposed development will cause an obstruction to flow or an increase in regional flood height or discharge according to s. 14.911. This may include any of the information noted in s. 14.923(1).

(c) **HYDRAULIC AND HYDROLOGIC STUDIES TO ANALYZE DEVELOPMENT**

All hydraulic and hydrologic studies shall be completed under the direct supervision of a professional engineer registered in the State. The study contractor shall be responsible for the technical adequacy of the study. All studies shall be reviewed and approved by the Department.

1. Zone A floodplains and in AE zones within which a floodway has not been delineated:
 - a. Hydrology
 - i. The appropriate method shall be based on the standards in ch. NR 116.07(3), Wis. Admin. Code, *Hydrologic Analysis: Determination of Regional Flood Discharge*.
 - b. Hydraulic modeling. The regional flood elevation shall be based on the standards in ch. NR 116.07(4), Wis. Admin. Code, *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:
 - i. determination of the required limits of the hydraulic model shall be based on detailed study information for downstream structures (dam, bridge, culvert) to determine adequate starting WSEL for the study.
 - ii. channel sections must be surveyed.
 - iii. minimum four-foot contour data in the overbanks shall be used for the development of cross section overbank and floodplain mapping.
 - iv. a maximum distance of 500 feet between cross sections is allowed in developed areas with additional intermediate cross sections required at transitions in channel bottom slope including a survey of the channel at each location.
 - v. the most current version of HEC_RAS shall be used.
 - vi. a survey of bridge and culvert openings and the top of road is required at each structure.
 - vii. additional cross sections are required at the downstream and upstream limits of the proposed development and any necessary intermediate locations based on the length of the reach if greater than 500 feet.
 - viii. standard accepted engineering practices shall be used when assigning parameters for the base model such as flow, Manning's N values, expansion and contraction coefficients or effective flow limits. The base model shall be calibrated to past flooding data such as high-water marks to determine the reasonableness of the model results. If no historical data is

- ix. available, adequate justification shall be provided for any parameters outside standard accepted engineering practices. the model must extend past the upstream limit of the difference in the existing and proposed flood profiles in order to provide a tie-in to existing studies. The height difference between the proposed flood profile and the existing study profiles shall be no more than 0.00 feet.
 - c. Mapping

A work map of the reach studied shall be provided, showing all cross-section locations, floodway/floodplain limits based on best available topographic data, geographic limits of the proposed development and whether the proposed development is located in the floodway.

 - i. If the proposed development is located outside of the floodway, then it is determined to have no impact on the regional flood elevation.
 - ii. If any part of the proposed development is in the floodway, it must be added to the base model to show the difference between existing and proposed conditions. The study must ensure that all coefficients remain the same as in the existing model, unless adequate justification based on standard accepted engineering practices is provided.
- 2. Zone AE Floodplains
 - a. Hydrology

If the proposed hydrology will change the existing study, the appropriate method to be used shall be based on ch. NR 116.07(3), Wis. Admin. Code, *Hydrologic Analysis: Determination of Regional Flood Discharge*.
 - b. Hydraulic model

The regional flood elevation shall be based on the standards in ch. NR 116.07(4), Wis. Admin. Code, *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:

 - i. Duplicate Effective Model

The effective model shall be reproduced to ensure correct transference of the model data and to allow integration of the revised data to provide a continuous FIS model upstream and downstream of the revised reach. If data from the effective model is available, models shall be generated that duplicate the FIS profiles and the elevations shown in the Floodway Data Table in the FIS report to within 0.1 foot.
 - ii. Corrected Effective Model.

The Corrected Effective Model shall not include any man-made physical changes since the effective model date but shall import the model into the most current version of HEC-RAS for Department review.
 - iii. Existing (Pre-Project Conditions) Model.

The Existing Model shall be required to support conclusions about the actual impacts of the project associated with the Revised (Post-Project) Model or to establish more up-to-date models on which to base the Revised (Post-Project) Model.
 - iv. Revised (Post-Project Conditions) Model.

The Revised (Post-Project Conditions) Model shall incorporate the Existing Model and any proposed changes to the topography caused by the proposed development. This model shall reflect proposed conditions.
 - v. All changes to the Duplicate Effective Model and subsequent models must be supported by certified topographic information, bridge plans, construction plans and survey notes.

- vi. Changes to the hydraulic models shall be limited to the stream reach for which the revision is being requested. Cross sections upstream and downstream of the revised reach shall be identical to those in the effective model and result in water surface elevations and top widths computed by the revised models matching those in the effective models upstream and downstream of the revised reach as required. The Effective Model shall not be truncated.

c. Mapping

Maps and associated engineering data shall be submitted to the Department for review which meet the following conditions:

- i. Consistency between the revised hydraulic models, the revised floodplain and floodway delineations, the revised flood profiles, topographic work map, annotated FIRMs and/or Flood Boundary Floodway Maps (FBFMs), construction plans, bridge plans.
- ii. Certified topographic map of suitable scale, contour interval, and a planimetric map showing the applicable items. If a digital version of the map is available, it may be submitted in order that the FIRM may be more easily revised.
- iii. Annotated FIRM panel showing the revised 1% and 0.2% annual chance floodplains and floodway boundaries.
- iv. If an annotated FIRM and/or FBFM and digital mapping data (GIS or CADD) are used then all supporting documentation or metadata must be included with the data submission along with the Universal Transverse Mercator (UTM) projection and State Plane Coordinate System in accordance with FEMA mapping specifications.
- v. The revised floodplain boundaries shall tie into the effective floodplain boundaries.
- vi. All cross sections from the effective model shall be labeled in accordance with the effective map and a cross section lookup table shall be included to relate to the model input numbering scheme.
- vii. Both the current and proposed floodways shall be shown on the map.
- viii. The stream centerline, or profile baseline used to measure stream distances in the model shall be visible on the map.

(d) EXPIRATION

All Conditional Use Permits issued under the authority of this ordinance shall expire no more than 180 days after issuance. The Conditional Use Permit may be extended for a maximum of 180 days for good and sufficient cause. If the permitted work is not started within 180 days of the permit date, the development must comply with any regulation, including any revision to the FIRM or FIS, that took effect after the permit date.

(3) CERTIFICATE OF COMPLIANCE

No land shall be occupied or used, and no building which is hereafter constructed, altered, added to, modified, repaired, rebuilt or replaced shall be occupied until a certificate of compliance is issued by the Administrator, except where no Conditional Use Permit is required, subject to the following provisions:

- (a) The certificate of compliance shall show that the building or premises or part thereof, and the proposed use, conform to the provisions of this ordinance;
- (b) Application for such certificate shall be concurrent with the application for a Conditional Use Permit;
- (c) If all ordinance provisions are met, the certificate of compliance shall be issued within 10 days after written notification that the permitted work is completed;
- (d) The applicant shall submit a certification signed by a registered professional engineer,

registered architect or registered land surveyor that the fill, lowest floor and floodproofing elevations are in compliance with the Conditional Use Permit issued. Floodproofing measures also require certification by a registered professional engineer or registered architect that floodproofing measures meet the requirements of s. 14.965.

- (f) Where applicable pursuant to s. 14.941(4), the applicant must submit a certification by a registered professional engineer or surveyor of the elevation of the bottom of the lowest horizontal structural member supporting the lowest floor (excluding pilings or columns), and an indication of whether the structure contains a basement.
 - (g) Where applicable pursuant to s. 14.941(4), the applicant must submit certifications by a registered professional engineer or architect that the structural design and methods of construction meet accepted standards of practice as required by s. 14.941(4).
- (4) **OTHER PERMITS**
The applicant must secure all necessary permits from federal, state, and local agencies, including, but not limited to those required by the U.S. Army Corps of Engineers under s. 404 of the Federal Water Pollution Control Act, Amendments of 1972, 33 U.S.C. 1344.

14.962 ZONING AGENCY

- (1) **The Plan Commission** shall:
- (a) oversee the functions of the office of the Administrator or their designee;
 - (b) review and either approve or deny Conditional Use Permits required under this ordinance; and
 - (c) review and advise the Governing body on all proposed amendments to this ordinance, maps, and text; and
 - (d) publish adequate notice pursuant to Ch. 985, Stats., specifying the date, time, place, and subject of the public hearing.
- (2) The Plan Commission shall not:
- (a) grant variances to the terms of the ordinance in place of action by the Zoning Board of Appeals; or
 - (b) amend the text or zoning maps in place of official action by the Governing body.

14.963 ZONING BOARD OF APPEALS

The Zoning Board of Appeals (Board), created under s. 62.23(7)(e), Stats., for cities or villages, is hereby authorized or shall be appointed to act for the purposes of this ordinance. The Board shall exercise the powers conferred by Wisconsin Statutes and adopt rules for the conduct of business. The Administrator or their designee may not be the secretary of the Board.

(1) **POWERS AND DUTIES**

The Zoning Board of Appeals shall:

- (a) Appeals - Hear and decide appeals where it is alleged there is an error in any order, requirement, decision, or determination made by an administrative official in the enforcement or administration of this ordinance.
- (b) Boundary Disputes - Hear and decide disputes concerning the district boundaries shown on the official floodplain zoning map; and
- (c) Variances - Hear and decide, upon appeal, variances from the ordinance standards.

(2) **APPEALS TO THE BOARD**

- (a) Appeals to the Board may be taken by any person aggrieved, or by any officer or department of the municipality affected by any decision of the Administrator or their designee, or other administrative officer. Such appeal shall be taken within 30 days unless otherwise provided by the rules of the Board, by filing with the Administrator or designee, and with the Board, a notice of appeal specifying the reasons for the appeal. The Administrator or designee shall transmit to the Board all records regarding the matter

appealed.

(b) **NOTICE AND HEARING FOR APPEALS INCLUDING VARIANCES**

1. Notice - The Board shall:
 - a. Fix a reasonable time for the hearing;
 - b. Publish adequate notice pursuant to Wisconsin Statutes, specifying the date, time, place and subject of the hearing;
 - c. Assure that notice shall be mailed to the parties in interest and the Department Regional office at least 10 days in advance of the hearing.
2. Hearing - Any party may appear in person or by agent. The Board shall:
 - a. Resolve boundary disputes according to s. 14.963(3).
 - b. Decide variance applications according to s. 14.963(4).
 - c. Decide appeals of Conditional Use Permit denials according to s. 14.964.

(c) **DECISION:** The final decision regarding the appeal or variance application shall:

1. Be made within a reasonable time;
2. Be sent to the Department Regional office within 10 days of the decision;
3. Be a written determination signed by the chairman or secretary of the Board;
4. State the specific facts which are the basis for the Board's decision;
5. Either affirm, reverse, vary or modify the order, requirement, decision or determination appealed, in whole or in part, dismiss the appeal for lack of jurisdiction or grant or deny the variance application;
6. Include the reasons for granting an appeal, describing the hardship demonstrated by the applicant in the case of a variance, clearly stated in the recorded minutes of the Board proceedings.

(3) **BOUNDARY DISPUTES**

The following procedure shall be used by the Board in hearing disputes concerning floodplain district boundaries:

- (a) If a floodplain district boundary is established by approximate or detailed floodplain studies, the flood elevations or profiles shall prevail in locating the boundary.
- (b) The person contesting the boundary location shall be given a reasonable opportunity to present arguments and technical evidence to the Board.
- (c) If the boundary is incorrectly mapped, the Board should inform the Plan Commission or the person contesting the boundary location to petition the governing body for a map amendment according to s. 14.970.

(4) **VARIANCE**

- (a) The Board may, upon appeal, grant a variance from the standards of this ordinance if an applicant convincingly demonstrates that:
 1. Literal enforcement of the ordinance provisions will cause unnecessary hardship;
 2. The hardship is due to adoption of the floodplain ordinance and unique property conditions, not common to adjacent lots or premises. In such case the ordinance or map must be amended;
 3. The variance is not contrary to the public interest; and
 4. The variance is consistent with the purpose of this ordinance in s. 14.903.
- (b) In addition to the criteria in par. (a), to qualify for a variance under FEMA regulations, the Board must find that the following criteria have been met:
 1. The variance shall not cause any increase in the regional flood elevation;
 2. The applicant has shown good and sufficient cause for issuance of the variance;
 3. Failure to grant the variance would result in exceptional hardship;
 4. Granting the variance will not result in additional threats to public safety, extraordinary expense, create a nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or ordinances;
 5. The variance granted is the minimum necessary, considering the flood hazard, to afford relief.

- (c) A variance shall not:
 - 1. Grant, extend or increase any use prohibited in the zoning district;
 - 2. Be granted for a hardship based solely on an economic gain or loss;
 - 3. Be granted for a hardship which is self-created;
 - 4. Damage the rights or property values of other persons in the area;
 - 5. Allow actions without the amendments to this ordinance or map(s) required in s. 14.971;
 - 6. Allow any alteration of an historic structure, including its use, which would preclude its continued designation as an historic structure.
- (d) When a floodplain variance is granted, the Board shall notify the applicant in writing that it may increase risks to life and property and flood insurance premiums could increase. A copy shall be maintained with the variance record.

14.964 TO REVIEW APPEALS OF CONDITIONAL USE PERMIT DENIALS

- (1) The Plan Commission (s. 14.962) or Zoning Board of Appeals (Board) shall review all data related to the appeal. This may include:
 - (a) Conditional Use Permit application data listed in s. 14.961(2).
 - (b) Floodway/floodfringe determination data in s. 14.941(4).
 - (c) Data listed in s. 14.923(1)(b) where the applicant has not submitted this information to the Administrator.
 - (d) Other data submitted with the application or submitted to the Board with the appeal.
- (2) For appeals of all denied Conditional Use Permits the Board shall:
 - (a) Follow the procedures of s. 14.963;
 - (b) Consider Plan Commission recommendations; and
 - (c) Either uphold the denial or grant the appeal.
- (3) For appeals concerning increases in regional flood elevation the Board shall:
 - (a) Uphold the denial where the Board agrees with the data showing an increase in flood elevation. Increases may only be allowed after amending the flood profile and map and all appropriate legal arrangements are made with all adversely affected property owners as per the requirements of s. 14.971; and
 - (b) Grant the appeal where the Board agrees that the data properly demonstrates that the project does not cause an increase provided no other reasons for denial exist.

14.965 FLOODPROOFING STANDARDS FOR NONCONFORMING STRUCTURES OR USES

- (1) No Conditional Use Permit or variance shall be issued for a non-residential structure designed to be watertight below the regional flood elevation until the applicant submits a plan certified by a registered professional engineer or architect that the floodproofing measures will protect the structure or development to the flood protection elevation and submits a FEMA Floodproofing Certificate. Floodproofing is not an alternative to the development standards in 14.910, 14.920, or 14.941.
- (2) For a structure designed to allow the entry of floodwaters, no Conditional Use Permit or variance shall be issued until the applicant submits a plan either:
 - (a) certified by a registered professional engineer or architect; or
 - (b) meets or exceeds the following standards:
 - 1. a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - 2. the bottom of all openings shall be no higher than one foot above grade; and
 - 3. openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters.
- (3) Floodproofing measures shall be designed to:
 - (a) Withstand flood pressures, depths, velocities, uplift and impact forces and other regional flood factors;
 - (b) Protect structures to the flood protection elevation;
 - (c) Anchor structures to foundations to resist flotation and lateral movement; and

- (d) Minimize or eliminate infiltration of flood waters;
- (e) Minimize or eliminate discharges into flood waters;
- (f) Placement of essential utilities to or above the flood protection elevation; and
- (g) If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 - 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;
 - 2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
 - 3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
 - 4. The use must be limited to parking, building access or limited storage.

14.966 PUBLIC INFORMATION

- (1) Place marks on structures to show the depth of inundation during the regional flood.
- (2) All maps, engineering data and regulations shall be available and widely distributed.
- (3) Real estate transfers should show what floodplain zoning district any real property is in.

14.970 AMENDMENTS

Obstructions or increases may only be permitted if amendments are made to this ordinance, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with s. 14.971.

- (1) In AE Zones with a mapped floodway, no obstructions or increases shall be permitted unless the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this ordinance, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with s. 14.971. Any such alterations must be reviewed and approved by FEMA and the DNR.
- (2) In A Zones increases equal to or greater than 1.0 foot may only be permitted if the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this ordinance, the official floodplain maps, floodway lines, and water surface profiles, in accordance with s. 14.971.

14.971 GENERAL

The Governing Body may change or supplement the floodplain zoning district boundaries and this ordinance in the manner outlined in s. 14.972 Actions which require an amendment to the ordinance and/or submittal of a Letter of Map Change (LOMC) include, but are not limited to, the following:

- (1) Any fill or floodway encroachment that obstructs flow causing any increase in the regional flood height;
- (2) Any change to the floodplain boundaries and/or watercourse alterations on the FIRM;
- (3) Any changes to any other officially adopted floodplain maps listed in s. 14.905(2)(b);
- (4) Any floodplain fill which raises the elevation of the filled area to a height at or above the flood protection elevation and is contiguous to land lying outside the floodplain;
- (5) Correction of discrepancies between the water surface profiles and floodplain maps;
- (6) Any upgrade to a floodplain zoning ordinance text required by s. NR 116.05, Wis. Adm. Code, or otherwise required by law, or for changes by the municipality; and

- (7) All channel relocations and changes to the maps to alter floodway lines or to remove an area from the floodway or the floodfringe that is based on a base flood elevation from a FIRM requires prior approval by FEMA.

14.972 PROCEDURES

Ordinance amendments may be made upon petition of any interested party according to the provisions of s. 62.23, Stats., for cities and villages., The petitions shall include all necessary data required by ss. 14.941(5) and 14.961(2). The Conditional Use Permit may be Conditionally Approved but will not be effective until a Letter of Map Revision is issued by FEMA for the proposed changes.

- (1) The proposed amendment shall be referred to the Plan Commission for a public hearing and recommendation to the governing body. The amendment and notice of public hearing shall be submitted to the Department Regional office for review prior to the hearing. The amendment procedure shall comply with the provisions of s. 62.23, Stats. for cities and villages or s. 59.69, Stats., for counties.
- (2) No amendments shall become effective until reviewed and approved by the Department.
- (3) All persons petitioning for a map amendment that obstructs flow causing an increase in the regional flood shall obtain flooding easements or other appropriate legal arrangements from all adversely affected property owners and notify local units of government before the amendment can be approved by the governing body.

14.980 ENFORCEMENT AND PENALTIES

Any violation of the provisions of this ordinance by any person shall be unlawful and shall be referred to the municipal attorney who shall expeditiously prosecute all such violators. A violator shall, upon conviction, forfeit to the municipality a penalty of not more than \$ 50.00 (fifty dollars), together with a taxable cost of such action. Each day of continued violation shall constitute a separate offense. Every violation of this ordinance is a public nuisance, and the creation may be enjoined and the maintenance may be abated by action at suit of the municipality, the state, or any citizen thereof pursuant to s. 87.30, Stats.

14.990 DEFINITIONS

Unless specifically defined, words and phrases in this ordinance shall have their common law meaning and shall be applied in accordance with their common usage. Words used in the present tense include the future, the singular number includes the plural and the plural number includes the singular. The word "may" is permissive; "shall" is mandatory and is not discretionary.

"A ZONES" Those areas shown on the Official Floodplain Zoning Map which would be inundated by the regional flood. These areas may be numbered or unnumbered A Zones. The A Zones may or may not be reflective of flood profiles, depending on the availability of data for a given area.

"AH ZONE" See "AREA OF SHALLOW FLOODING".

"AO ZONE" See "AREA OF SHALLOW FLOODING".

"ACCESSORY STRUCTURE OR USE" A facility, structure, building or use which is accessory or incidental to the principal use of a property, structure, or building. An accessory structure shall not be used for human habitation.

"ALTERATION" An enhancement, upgrading or substantial change or modifications other than an addition or repair to a dwelling or to electrical, plumbing, heating, ventilating, air conditioning and other systems within a structure.

"AREA OF SHALLOW FLOODING" A designated AO, AH, AR/AO, AR/AH, or VO zone on a

Municipality's Flood Insurance Rate Map (FIRM) with a 1 percent or greater annual chance of flooding to an average depth of 1 to 3 feet where a clearly defined channel does not exist, where the path of flooding is unpredictable, and where velocity flood may be evident. Such flooding is characterized by ponding or sheet flow.

"BASE FLOOD" Means the flood having a one percent chance of being equaled or exceeded in any given year, as published by FEMA as part of a FIS and depicted on a FIRM.

"BASEMENT" Any enclosed area of a building having its floor sub-grade, on all sides.

"BREAKAWAY WALL" A wall that is not part of the structural support of the building and is intended through its design and construction to collapse under specific lateral loading forces, without causing damage to the elevated portion of the building or supporting foundation system.

"BUILDING" See STRUCTURE.

"BULKHEAD LINE" A geographic line along a reach of navigable water that has been adopted by a municipal ordinance and approved by the Department pursuant to s. 30.11, Stats., and which allows limited filling between this bulkhead line and the original ordinary highwater mark, except where such filling is prohibited by the floodway provisions of this ordinance.

"CAMPGROUND" Any parcel of land which is designed, maintained, intended or used for the purpose of providing sites for nonpermanent overnight use by 4 or more camping units, or which is advertised or represented as a camping area.

"CAMPING UNIT" Any portable device, no more than 400 square feet in area, used as a temporary shelter, including but not limited to a camping trailer, motor home, bus, van, pick-up truck, tent or other mobile recreational vehicle that is fully licensed, if required, and ready for highway use.

"CERTIFICATE OF COMPLIANCE" A certification that the construction and the use of land or a building, the elevation of fill or the lowest floor of a structure is in compliance with all of the provisions of this ordinance.

"CHANNEL" A natural or artificial watercourse with definite bed and banks to confine and conduct normal flow of water.

"CRAWLWAYS" OR "CRAWL SPACE" An enclosed area below the first usable floor of a building, generally less than five feet in height, used for access to plumbing and electrical utilities.

"DECK" An unenclosed exterior structure that has no roof or sides, but has a permeable floor which allows the infiltration of precipitation.

"DEPARTMENT" or "DNR" The Wisconsin Department of Natural Resources.

"DEVELOPMENT" Any artificial change to improved or unimproved real estate, including, but not limited to, the construction of buildings, structures or accessory structures; the construction of additions or alterations to buildings, structures or accessory structures; the repair of any damaged structure or the improvement or renovation of any structure, regardless of percentage of damage or improvement; the placement of buildings or structures; subdivision layout and site preparation; mining, dredging, filling, grading, paving, excavation or drilling operations; the storage, deposition or extraction of materials or equipment; and the installation, repair or removal of public or private sewage disposal systems or water supply facilities.

"DRYLAND ACCESS" A vehicular access route which is above the regional flood elevation and which connects land located in the floodplain to land outside the floodplain, such as a road with its surface above regional flood elevation and wide enough for wheeled rescue and relief vehicles.

"ENCROACHMENT" Any fill, structure, equipment, building, use or development in the floodway.

"FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)" The federal agency that administers the National Flood Insurance Program.

"FLOOD INSURANCE RATE MAP (FIRM)" A map of a community on which the Federal Insurance Administration has delineated both the floodplain and the risk premium zones applicable to the community. This map can only be amended by the Federal Emergency Management Agency.

"FLOOD" or "FLOODING" A general and temporary condition of partial or complete inundation of normally dry land areas caused by one of the following conditions:

- The overflow or rise of inland waters;
- The rapid accumulation or runoff of surface waters from any source;
- The inundation caused by waves or currents of water exceeding anticipated cyclical levels along the shore of Lake Michigan or Lake Superior; or
- The sudden increase caused by an unusually high water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as a seiche, or by some similarly unusual event.

"FLOOD FREQUENCY" The probability of a flood occurrence which is determined from statistical analyses. The frequency of a particular flood event is usually expressed as occurring, on the average, once in a specified number of years or as a percent (%) chance of occurring in any given year.

"FLOODFRINGE" That portion of the floodplain outside of the floodway which is covered by flood waters during the regional flood and associated with standing water rather than flowing water.

"FLOOD HAZARD BOUNDARY MAP" A map designating approximate flood hazard areas. Flood hazard areas are designated as unnumbered A-Zones and do not contain floodway lines or regional flood elevations. This map forms the basis for both the regulatory and insurance aspects of the National Flood Insurance Program (NFIP) until superseded by a Flood Insurance Study and a Flood Insurance Rate Map.

"FLOOD INSURANCE STUDY (FIS)" A technical engineering examination, evaluation, and determination of the local flood hazard areas. It provides maps designating those areas affected by the regional flood and provides both flood insurance rate zones and base flood elevations and may provide floodway lines. The flood hazard areas are designated as numbered and unnumbered A-Zones. Flood Insurance Rate Maps, that accompany the Flood Insurance Study, form the basis for both the regulatory and the insurance aspects of the National Flood Insurance Program.

"FLOODPLAIN" Land which has been or may be covered by flood water during the regional flood. It includes the floodway and the floodfringe, and may include other designated floodplain areas for regulatory purposes.

"FLOODPLAIN ISLAND" A natural geologic land formation within the floodplain that is surrounded, but not covered, by floodwater during the regional flood.

"FLOODPLAIN MANAGEMENT" Policy and procedures to ensure wise use of floodplains, including mapping and engineering, mitigation, education, and administration and enforcement of floodplain regulations.

"FLOOD PROFILE" A graph or a longitudinal profile line showing the relationship of the water surface elevation of a flood event to locations of land surface elevations along a stream or river.

"FLOODPROOFING" Any combination of structural provisions, changes or adjustments to properties and structures, water and sanitary facilities and contents of buildings subject to flooding, for the purpose of

reducing or eliminating flood damage.

"FLOOD PROTECTION ELEVATION (FPE)" An elevation of two feet of freeboard above the Regional Flood Elevation. (Also see: FREEBOARD.)

"FLOOD STORAGE" Those floodplain areas where storage of floodwaters has been taken into account during analysis in reducing the regional flood discharge.

"FLOODWAY" The channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional flood discharge.

"FREEBOARD" A safety factor expressed in terms of a specified number of feet above a calculated flood level. Freeboard compensates for any factors that cause flood heights greater than those calculated, including ice jams, debris accumulation, wave action, obstruction of bridge openings and floodways, the effects of watershed urbanization, loss of flood storage areas due to development and aggregation of the river or stream bed.

"HABITABLE STRUCTURE" Any structure or portion thereof used or designed for human habitation.

"HEARING NOTICE" Publication or posting meeting the requirements of Ch. 985, Stats. For appeals, a Class 1 notice, published once at least one week (7 days) before the hearing, is required. For all zoning ordinances and amendments, a Class 2 notice, published twice, once each week consecutively, the last at least a week (7 days) before the hearing. Local ordinances or bylaws may require additional notice, exceeding these minimums.

"HIGH FLOOD DAMAGE POTENTIAL" Damage that could result from flooding that includes any danger to life or health or any significant economic loss to a structure or building and its contents.

"HIGHEST ADJACENT GRADE" The highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure.

"HISTORIC STRUCTURE" Any structure that is either:

- Listed individually in the National Register of Historic Places or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
- Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;
- Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or
- Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either by an approved state program, as determined by the Secretary of the Interior; or by the Secretary of the Interior in states without approved programs.

"INCREASE IN REGIONAL FLOOD HEIGHT" A calculated upward rise in the regional flood elevation, greater than 0.00 foot, based on a comparison of existing conditions and proposed conditions which is directly attributable to development in the floodplain but not attributable to manipulation of mathematical variables such as roughness factors, expansion and contraction coefficients and discharge.

"LAND USE" Any nonstructural use made of unimproved or improved real estate. (Also see DEVELOPMENT.)

"LOWEST ADJACENT GRADE" Elevation of the lowest ground surface that touches any of the exterior walls of a building.

“LOWEST FLOOR” The lowest floor of the lowest enclosed area (including basement).

“MAINTENANCE” The act or process of ordinary upkeep and repairs, including redecorating, refinishing, non-structural repairs, or the replacement of existing fixtures, systems or equipment with equivalent fixtures, systems or structures.

"MOBILE/MANUFACTURED HOME" A structure transportable in one or more sections, which is built on a permanent chassis and is designed to be used with or without a permanent foundation when connected to required utilities. The term "manufactured home" includes a mobile home but does not include a "mobile recreational vehicle."

“MOBILE/MANUFACTURED HOME PARK OR SUBDIVISION” A parcel (or contiguous parcels) of land, divided into two or more manufactured home lots for rent or sale.

"MANUFACTURED HOME PARK OR SUBDIVISION, EXISTING" A parcel of land, divided into two or more manufactured home lots for rent or sale, on which the construction of facilities for servicing the lots is completed before the effective date of this ordinance. At a minimum, this would include the installation of utilities, the construction of streets and either final site grading or the pouring of concrete pads.

"MOBILE/MANUFACTURED HOME PARK, EXPANSION TO EXISTING" The preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed. This includes installation of utilities, construction of streets and either final site grading, or the pouring of concrete pads.

"MOBILE RECREATIONAL VEHICLE" A vehicle which is built on a single chassis, 400 square feet or less when measured at the largest horizontal projection, designed to be self-propelled, carried or permanently towable by a licensed, light-duty vehicle, is licensed for highway use if registration is required and is designed primarily not for use as a permanent dwelling, but as temporary living quarters for recreational, camping, travel or seasonal use. Manufactured homes that are towed or carried onto a parcel of land, but do not remain capable of being towed or carried, including park model homes, do not fall within the definition of "mobile recreational vehicles."

“MODEL, CORRECTED EFFECTIVE” A hydraulic engineering model that corrects any errors that occur in the Duplicate Effective Model, adds any additional cross sections to the Duplicate Effective Model, or incorporates more detailed topographic information than that used in the current effective model.

“MODEL, DUPLICATE EFFECTIVE” A copy of the hydraulic analysis used in the effective FIS and referred to as the effective model.

“MODEL, EFFECTIVE” The hydraulic engineering model that was used to produce the current effective Flood Insurance Study.

“MODEL, EXISTING (PRE-PROJECT)” A modification of the Duplicate Effective Model or Corrected effective Model to reflect any man made modifications that have occurred within the floodplain since the date of the effective model but prior to the construction of the project for which the revision is being requested. If no modification has occurred since the date of the effective model, then this model would be identical to the Corrected Effective Model or Duplicate Effective Model.

"MODEL, REVISED (POST-PROJECT)" A modification of the Existing or Pre-Project Conditions Model, Duplicate Effective Model, or Corrected Effective Model to reflect revised or post-project conditions.

"MUNICIPALITY" or "MUNICIPAL" The county, city or village governmental units enacting, administering and enforcing this zoning ordinance.

"NAVD" or "NORTH AMERICAN VERTICAL DATUM" Elevations referenced to mean sea level datum, 1988 adjustment.

"NGVD" or "NATIONAL GEODETIC VERTICAL DATUM" Elevations referenced to mean sea level datum, 1929 adjustment.

"NEW CONSTRUCTION" for which the start of construction commenced on or after the effective date of floodplain zoning regulations adopted by this community and includes any subsequent improvements to such structures.

"NON-FLOOD DISASTER" A fire or an ice storm, tornado, windstorm, mudslide, or other destructive act of nature, but excludes a flood.

"NONCONFORMING STRUCTURE" An existing lawful structure or building which is not in conformity with the dimensional or structural requirements of this ordinance for the area of the floodplain which it occupies. (For example, an existing residential structure in the floodfringe district is a conforming use. However, if the lowest floor is lower than the flood protection elevation, the structure is nonconforming.)

"NONCONFORMING USE" An existing lawful use or accessory use of a structure or building which is not in conformity with the provisions of this ordinance for the area of the floodplain which it occupies. (Such as a residence in the floodway.)

"OBSTRUCTION TO FLOW" Any development which blocks the conveyance of floodwaters such that this development alone or together with any future development will cause an increase in regional flood height.

"OFFICIAL FLOODPLAIN ZONING MAP" That map, adopted and made part of this ordinance, as described in s. 14.905 (2), which has been approved by the Department and FEMA.

"OPEN SPACE USE" Those uses having a relatively low flood damage potential and not involving structures.

"ORDINARY HIGHWATER MARK" The point on the bank or shore up to which the presence and action of surface water is so continuous as to leave a distinctive mark such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation, or other easily recognized characteristic.

"PERSON" - An individual, or group of individuals, corporation, partnership, association, municipality or state agency.

"PRIVATE SEWAGE SYSTEM" A sewage treatment and disposal system serving one structure with a septic tank and soil absorption field located on the same parcel as the structure. It also means an alternative sewage system approved by the Department of Safety and Professional Services, including a substitute for the septic tank or soil absorption field, a holding tank, a system serving more than one structure or a system located on a different parcel than the structure.

"PUBLIC UTILITIES" Those utilities using underground or overhead transmission lines such as electric, telephone and telegraph, and distribution and collection systems such as water, sanitary sewer and storm sewer.

"REASONABLY SAFE FROM FLOODING" Means base flood waters will not inundate the land or damage structures to be removed from the floodplain and that any subsurface waters related to the base

flood will not damage existing or proposed buildings.

"REGIONAL FLOOD" - A flood determined to be representative of large floods known to have occurred in Wisconsin. A regional flood is a flood with a one percent chance of being equaled or exceeded in any given year, and if depicted on the FIRM, the RFE is equivalent to the BFE.

"REGIONAL FLOOD ELEVATION" OR "RFE" A flood elevation determined to be representative of large flood elevations known to have occurred in Wisconsin. A Regional Flood Elevation is a flood elevation with a one percent chance of being equaled or exceeded in any given year, and if depicted on the FIRM, the RFE is equivalent to the BFE.

"START OF CONSTRUCTION" The date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond initial excavation, or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading and filling, nor does it include the installation of streets and/or walkways, nor does it include excavation for a basement, footings, piers or foundations or the erection of temporary forms, nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For an alteration, the actual start of construction means the first alteration of any wall, ceiling, floor or other structural part of a building, whether or not that alteration affects the external dimensions of the building.

"STRUCTURE" Any manmade object with form, shape and utility, either permanently or temporarily attached to, placed upon or set into the ground, stream bed or lakebed, including, but not limited to, roofed and walled buildings, gas or liquid storage tanks, bridges, dams and culverts.

"SUBDIVISION" Has the meaning given in s. 236.02(12), Wis. Stats.

"SUBSTANTIAL DAMAGE" Damage of any origin sustained by a structure, whereby the cost of restoring the structure to its pre-damaged condition would equal or exceed 50 percent of the equalized assessed value of the structure before the damage occurred.

"SUBSTANTIAL IMPROVEMENT" Any repair, reconstruction, rehabilitation, addition or improvement of a building or structure, the cost of which equals or exceeds 50 percent of the equalized assessed value of the structure before the improvement or repair is started. If the structure has sustained substantial damage, any repairs are considered substantial improvement regardless of the work performed. The term does not include either any project for the improvement of a building required to correct existing health, sanitary or safety code violations identified by the building official and that are the minimum necessary to assure safe living conditions; or any alteration of a historic structure provided that the alteration will not preclude the structure's continued designation as a historic structure.

"UNNECESSARY HARDSHIP" Where special conditions affecting a particular property, which were not self-created, have made strict conformity with restrictions governing areas, setbacks, frontage, height or density unnecessarily burdensome or unreasonable in light of the purposes of the ordinance.

"VARIANCE" An authorization by the Zoning Board of Appeals for the construction or maintenance of a building or structure in a manner which is inconsistent with dimensional standards (not uses) contained in the floodplain zoning ordinance.

"VIOLATION" The failure of a structure or other development to be fully compliant with the floodplain zoning ordinance. A structure or other development without required permits, lowest floor elevation documentation, floodproofing certificates or required floodway encroachment calculations is presumed to be in violation until such time as that documentation is provided.

"WATERSHED" The entire region contributing runoff or surface water to a watercourse or body of water.

"WATER SURFACE PROFILE" A graphical representation showing the elevation of the water surface of a watercourse for each position along a reach of river or stream at a certain flood flow. A water surface profile of the regional flood is used in regulating floodplain areas.

"WELL" Means an excavation opening in the ground made by digging, boring, drilling, driving or other methods, to obtain groundwater regardless of its intended use.

SECTION 2. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 3. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2023.

VILLAGE OF SUSSEX

Anthony LeDonne, Village President

ATTEST:

Jennifer Moore, Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2023.

ORDINANCE NO. ____

AN ORDINANCE TO REPEAL AND RECREATE SUB SECTION
4.06(6)(A) REGARDING THE NUMBER OF DOGS ALLOWED
OF THE VILLAGE OF SUSSEX MUNICIPAL CODE.

WHEREAS, the Village of Sussex Plan Commission has initiated a municipal code amendment to the Village of Sussex to repeal and recreate Chapter 4 Licenses and Permits Section 4.06(6)(A) regarding the number of dogs allowed on any premise; and

WHEREAS, the Village Plan Commission reviewed a request from a resident and found that adjusting the limit from 2 to 3 dogs would be unlikely to cause any significant welfare issues; and

WHEREAS, the Village Board periodically reviews code sections for updates based upon requests from the public and to reflect modern times and practices; and

WHEREAS, the Village Board Members are committed to aligning the Village of Sussex Municipal Code with opportunities to support public desires without jeopardizing public safety or welfare.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1. Sub Section 4.06(6)(A) regarding number of dogs on any premise is hereby repealed and recreated to read as follows with the text addition in red and underlined:

- A. It shall be unlawful to keep more than ~~two (2)~~ three (3) dogs over the age of 5 months upon any premises within any district within the Village except ~~in a dog shelter or a kennel duly authorized by the Village~~ for animal boarding as defined and regulated in Chapter 17.0506(A)(6)(a).

SECTION 3. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 3. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2023.

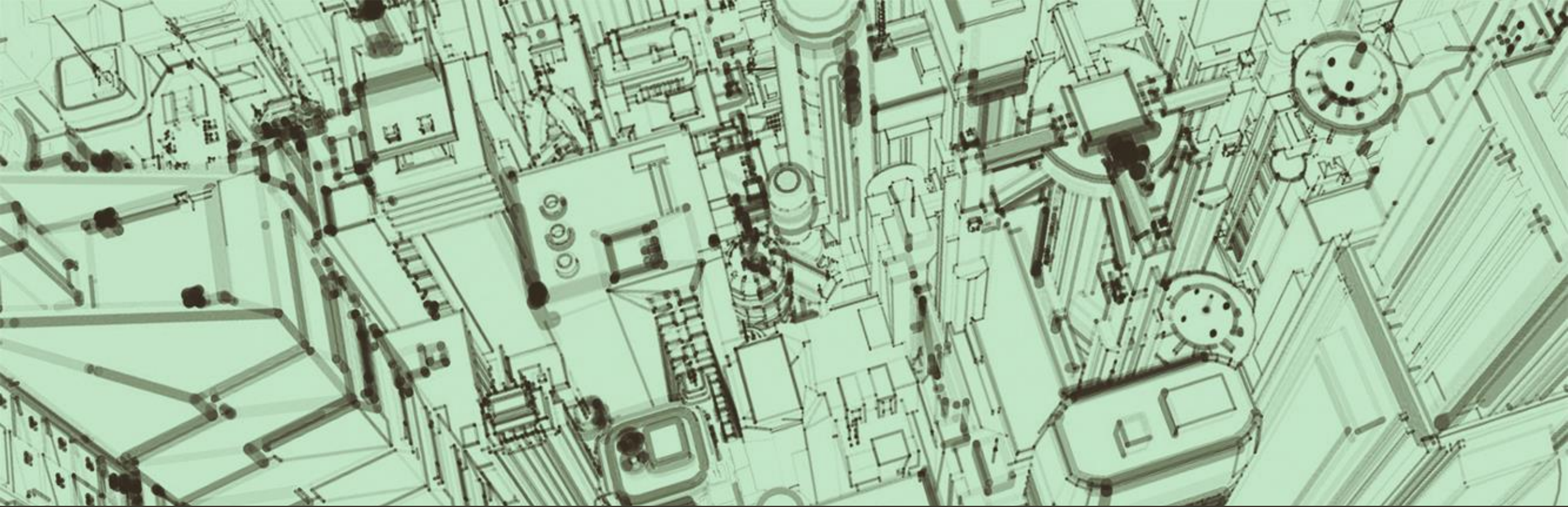
VILLAGE OF SUSSEX

Anthony LeDonne, Village President

ATTEST:

Jennifer Moore, Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2023.



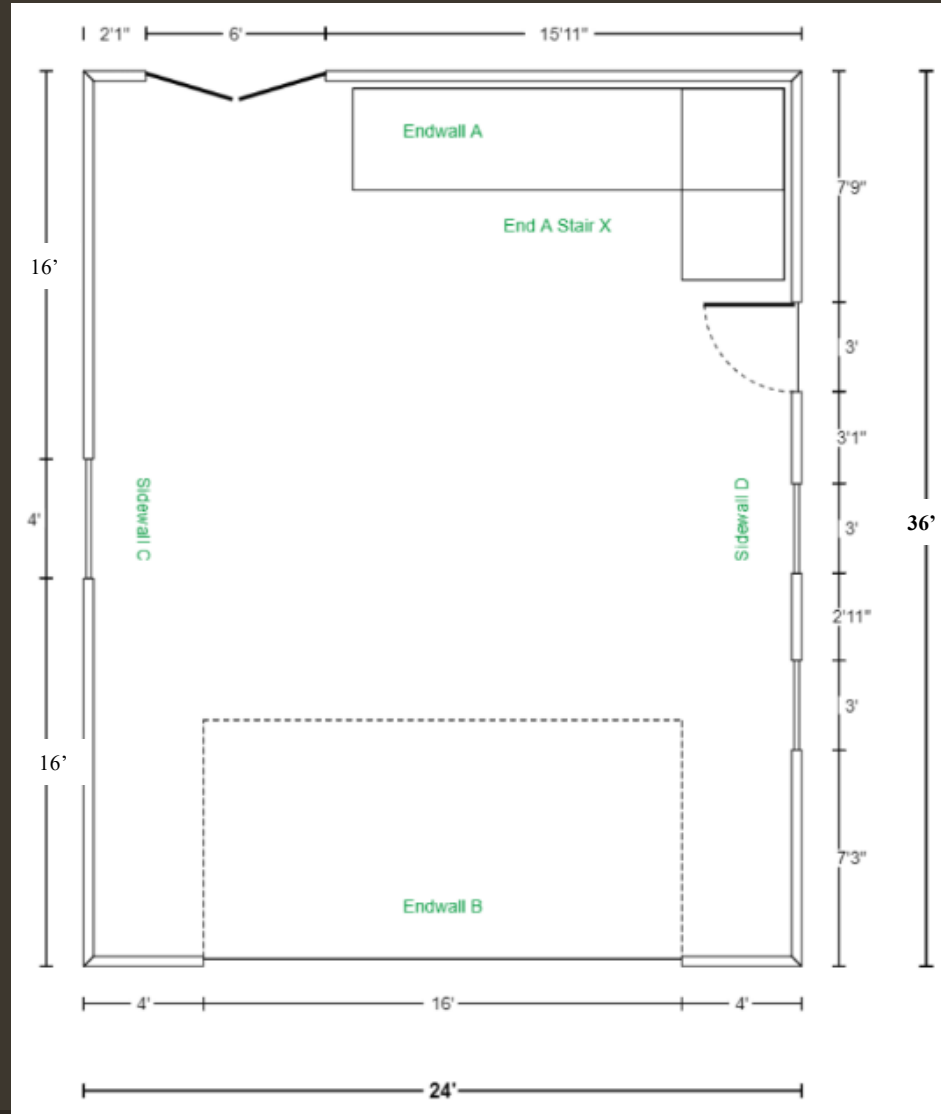
Evan Schienbein

W240N7449 Maple Ave. Sussex, WI

(262) 894-2459



Accessory Building Layout



Dimensions

Size: 24' x 36'

Sq Ft: 864

Ceiling Height: 17' (to match current house and have uniformity)

Foundation: Slab

Elevations

- Finishings will match siding/doors etc. of main house structure
- North facing wall to neighbors is 100% covered by 20'+ evergreen trees, cannot see structure



South (yard facing) End Wall



North (exterior facing) End Wall



Front End Wall



Rear End Wall

Survey Map

Total Lot Size: 55,833sqft

