



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, JUNE 20, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of May 16, 2023.
3. Consideration and possible action on Permitted Uses and Plans.
 - a. Discussion and possible action on a Plan of Operation for Servpro located at N63W22639 Main Street.
 - b. Discussion and possible action on a Plan of Operation for Papa John's Pizza located at W249N5245 Executive Dr. #204.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Reconvene a Public Hearing on a Conditional Use Order for an amendment to the 2020 Conditional Use Permit for a car and bike night at Sussex Bowl located at N64W24576 Main Street.
 - b. Discussion and possible action on an amendment to the 2020 Conditional Use Permit for a car and bike night at Sussex Bowl located at N64W24576 Main Street.
 - c. Public Hearing on a Conditional Use Permit for outdoor storage associated with the T-Mobile cell tower collocation on Freiheit Court.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. Discussion and possible action on a Non-Substantial Modification Determination for US Cellular antenna installation on a communications tower located at N64w24837 Freiheit Ct.
 - b. Discussion and possible action on a Site Plan for US Cellular antenna installation on a communications tower located at N64w24837 Freiheit Ct.
 - c. Consideration and possible action on an Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**DISCLAIMER- THE FOLLOWING ARE DRAFT MINUTES FROM
THE PLAN COMMISSION AND ARE
SUBJECT TO CHANGE UPON APPROVAL OF THE COMMISSION**

**VILLAGE OF SUSSEX
PLAN COMMISSION
6:30PM TUESDAY, May 16, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:30pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Commissioners Jim Muckerheide, Roger Johnson, Debbie Anderson, Trustee Greg Zoellick and Village President Anthony LeDonne

Members excused: Commissioners Mike Knapp and Mike Schulist

Others present: Community Development Director Gabe Gilbertson, Village Administrator Jeremy Smith, Assistant Village Administrator Kelsey McElroy-Anderson, Village Attorney John Macy, Deputy Clerk Jen Boehm, IT Coordinator Diane Bruns, applicants and members of the public.

A quorum of the Village Board was present at the meeting.

Consideration and possible action on the minutes on the Plan Commission meeting of March 21, 2023.

A motion by Johnson, seconded by Zoellick to approve the minutes of the Plan Commission meeting of April 18, 2023 as presented. Motion carried 5-0

Consideration and possible action on a Plan of Operation for Liliana's Fine Jewelry located at N64W24678 Main Street

A representative for Liliana's Fine Jewelry was present and available for questions.

A motion by Johnson, seconded by Anderson to approve the Plan of Operation for Liliana's Fine Jewelry per Conditional Use Standards. Motion carried 5-0

Consideration of a Conditional Use Permit for a reoccurring car and bike night at Sussex Bowl located at N64W24576 Main Street

A representative for Sussex Bowl, Beth Kjell was present and available for questions. She gave a brief review of the Plan of Operation. There were no questions or comments from the public.

A motion by LeDonne, seconded by Muckerheide to approve a Conditional Use Permit. Will reconvene the Public Hearing on June 20, 2023. Motion carried 5-0

Consideration of a Conditional Use Permit for outdoor storage in associated with the T-Mobile cell tower collocation on Freiheit Court

A motion by LeDonne, seconded by Zoellick to approve a Conditional Use Permit for outdoor

storage associated with the T-Mobile cell tower co-location on Freiheit Court. A public hearing is scheduled for June 20, 2023. Motion carried 5-0

Consideration and possible action on a detached garage in the B-4 Central Mixed Use Business District in accordance with Section 17.0619(l)(1) for the property located at N64W23602 Main Street

Motion by LeDonne, seconded by Anderson to approve a detached garage per the plan submitted at N64W23602 Main Street. Motion Carried 5-0

Consideration and possible action on a sidewalk requirement waiver in accordance with Section 18.0807 and a preliminary Condo Plat dividing ownership of the parcel identified by Tax Key No. 0231019 into two separate tax key numbers.

Property owner, Curt Rudzinski, N16W26555 Wild Oats Drive, was present and answered questions from the panel.

A motion by LeDonne, seconded by Zoellick to approve waiving the sidewalk requirement in accordance with Section 18.0807. Motion Carried 5-0

A motion by LeDonne, seconded by Zoellick to approve a Condo Plat dividing ownership of the parcel identified by Tax Key No. 0231019 into two separate tax key numbers subject to Exhibit A and conditions in Staff memo. Motion Carried 5-0

Public hearing and possible action on an auxiliary use exceeding the allowed 10 days in a calendar year at the Thirsty Duck in accordance with Section 17.0710(B)(C) Auxiliary Uses.

Owner, Dan Zierath, 975 Pinehurst Court #1A, Brookfield, was present and gave a brief review regarding parking and driving routes. There were no questions or comments from the public.

A motion by Johnson, seconded by Zoellick to close the public hearing. Motion carried 5-0

A motion by Johnson, seconded by Muckerheide to approve auxiliary use exceeding the allowed 10 days in a calendar year at the Thirsty Duck in accordance with Section 17.0710(B)(C) Auxiliary Uses subject to these four conditions:

1. The Thirsty Duck bike night shall only be on Tuesday nights for the months of May, June, and July.
2. Outdoor pre-recorded music is permitted from 5:00 pm until 8:00 pm.
3. Submit a security plan to the Village for review and approval by the Police and Fire Departments.
4. Outdoor alcohol consumption shall only occur on the dates and within the boundaries approved as part of the liquor license premise amendment.

Motion carried 5-0

Other Items for Future Discussion

None

Adjournment

A motion by LeDonne, seconded by Zoellick to adjourn the meeting at 7:05p.m. Motion carried 5-0

Respectfully submitted,
Jen Boehm
Deputy Clerk



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of June 20, 2023
DATE June 14, 2023

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. Minutes of the Plan Commission meeting of May 16, 2023.

03. Consideration and possible action on Permitted Uses and Site Plans:

A. Discussion and possible action on a Plan of Operation for Servpro located at N63W22639 Main Street.

This site is zoned M-1 Industrial. Servpro is a commercial and industrial cleaning operations that specializes in disaster remediation and is a permitted use under Section 17.0422(A)(8)(a) with accessory uses of the office permitted under Section 17.0422(B)(3). According to the Plan of Operation application, the hours of operation will be between 8:00 am and 5:00 pm Monday through Friday and on-call on Saturday and Sunday. There is approximately 1,000 square feet of office space with two employees and 4,000 square feet of warehousing space.

Parking code requires one stall per 250 sf and one stall per employee on the largest shift for the office portion of the building and one stall per 5,000 sf and one stall per employee on the largest shift for the warehouse portion of the building. The Code requires 13 stalls for the tenant space. The site has 78 parking stalls and 57 stalls are allocated to other users.

Policy Question:

1. Are there any concerns with the plan of operation?
 - a. It has been observed that Servpro is parking trailers at the multi-tenant commercial property across Main Street. Trailers and all vehicles associated with this business needs to be parked on the subject property.
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation: Staff recommends approval of the Plan of Operation for Servpro located at N63W22639 Main Street subject to the standard conditions of Exhibit A.

B. Discussion and possible action on a Plan of Operation for Papa John's Pizza located at W249N5245 Executive Dr. #204.

This site is zoned B-3 Highway Business. Papa John's provides carryout and delivery pizza services in the area and is a permitted use under Section 17.0418(A)(1)(c). The business will have approximately 40 part time employees with the hours of operation being Sunday through Thursday 10:00 am until 11:00 pm and Friday and Saturday from 10:00 am until 12:00 am.

The commercial complex has 170 parking stalls. The number of stalls meets the code requirement for shopping complex over 30,000 square feet to have five spaces per 1,000 square feet of leasable area. The site has sufficient parking for all users.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

2. Act on the Plan of operation

Staff Recommendation: Staff recommends approval of the Plan of Operation for Papa John's Pizza located at W249N5245 Executive Dr. #204. subject to the standard conditions of Exhibit A.

04. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans:

A. Reconvene a Public Hearing on a Conditional Use Order for an amendment to the 2020 Conditional Use Permit for a car and bike night at Sussex Bowl located at N64W24576 Main Street.

The subject property is zoned B-1 Neighborhood Business District. Sussex Bowl submitted an application to hold a car and bike night on Mondays beginning in May and going through September. The application states the event would be from 4:00 pm until 10:00 pm and would consist of live music from 5:00 pm until 8:00 pm with pre-recorded music from 8:00 pm until 10:00 pm.

Sussex Bowl has an existing conditional use permit for the Bowling Alley, outdoor operations that include volleyball, bag tournaments, and the outdoor bar. Since the proposed car and bike night would be in addition to those items and would change their plan of operation and site plan, an amendment to the conditional use permit is required.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the

Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

A public hearing was held at the May 16, 2023 Plan Commission meeting and no citizen comments were received.

The Petitioner spoke and requested the Plan Commission to approve the Conditional Use Permit and that they would adhere to the conditions placed on the Conditional Use Permit. Staff has prepared a Conditional Use document for consideration and that document is attached to this memo. The Conditional Use standards to be met are included in that document.

Additional Plan Commission conditions:

The Petitioner, Public and Plan Commission will have a chance to present evidence and discuss the Conditional Use Order.

Policy Questions:

1. Is there any further unanswered questions by the Plan Commission or any other items requiring a continuation of the Public Hearing?

Action:

1. Close the public hearing or continue the public hearing with specific information sought by the Petitioner/Public.

B. Discussion and possible action on an amendment to the 2020 Conditional Use Permit for a car and bike night at Sussex Bowl located at N64W24576 Main Street.

Staff has prepared a conditional use document for consideration at this meeting. The Plan Commission has heard testimony on the application for the car and bike night to occur on Tuesday nights at Sussex Bowl.

Policy Questions:

Has the Petitioner provided substantial evidence proving they meet the standards/regulations of the Ordinance, the conditions and standards of the Conditional Use Permit, and the other conditions as set forth by the Plan Commission?

If No, the deficiency will need to be detailed.

Has the Petitioner provided substantial evidence with regards to the following Standards/Regulations?

The Application is complete and consistent with 17.0502: Yes or No

The use(s) and plans are compliant with 17.0503 (Review of CU's): Yes or No

The use(s) and plans are compliant with 17.0200 (General Conditions): Yes or No

The uses(s) and plans are compliant with 17.0416 B-1 Neighborhood Business District: Yes or No

The uses(s) and plans are compliant with 17. 1000 (Site Plan Review): Yes or No

Has the Petitioner provided substantial evidence and adequately addressed the findings of the impact report per 17.0506.A. Yes or No

Has the Petitioner provided substantial evidence with regards to the Conditional Use Permit as follows:

A.3.A. Site Plan Standards compliance: Yes or No

A.3.B. Plan of Operation compliance: Yes or No

A.3.C. Various Plan(s) compliance: Yes or No

A.4.-15. CU condition compliance: Yes or No

B-L. Administrative CU Condition compliance: Yes or No

Action Items:

1. Act on the Conditional Use Permit and Plan of Operation.

Staff Recommendation: Staff recommends approval of the Conditional Use, Plan of Operation, and site plan for a Tuesday car and bike night for Sussex Bowl located at N64W24576 Main Street and a finding the use and structures meet the principals of 17.1002(A-H); subject to the standard conditions of Exhibit A.

C. Public Hearing on a Conditional Use Permit for outdoor storage in associated with the T-Mobile cell tower collocation on Freiheit Court.

The subject property is zoned B-2 Regional Business District. T-Mobile submitted plans to collocate on the Freiheit Court cell tower and at its March 21, 2023 Plan Commission meeting, the Board made the determination that the collocation was not substantial and approved a site plan for the installation of the ground equipment in association with the collocation.

The site plan was approved subject to the ground equipment being placed inside of an equipment shelter similar to the shelter that is currently there or submit for a conditional use permit for the outdoor storage in accordance with Section 17.0500(A)(11)(a) that states that outside storage maybe permitted with a conditional use permit for commercial uses in the B-2 District and that in all cases, outside storage shall be screened from all sides.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

Policy Question:

1. Are there any concerns with the Conditional Use or Plan of Operation?
2. Are there any concerns from the public hearing you want added in the CU document?

Action Items:

1. Direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order for the August 15, 2023 Plan Commission meeting.

Staff Recommendation: Staff recommends preparing the Conditional Use Order and reconvening the public hearing at the August 15, 2023 Plan Commission meeting.

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items:

A. Discussion and possible action on a Non-Substantial Modification Determination for US Cellular antenna installation on a communications tower located at N64w24837 Freiheit Ct.

The subject property is zoned B-2 Regional Business District. Plans were submitted on behalf of US Cellular to add 6 new antenna to their existing antenna array to the cell tower located at the end of Freiheit Ct. The applicant has submitted responses of their determination of a not-substantial increase according to the Wisconsin State Statutes. Their responses are attached.

Wisconsin State Statutes classifies a substantial modification that does any of the following:

1. Increases the overall height of the structure by more than 20 feet for structures with an overall height of 200 feet or less.
2. For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10% or more.
3. Measured at the level of the appurtenance added to the structure as a result of the modifications, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation.
4. Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet.

The existing cell tower is 120 feet tall, and the proposed collocation is not increasing the height of the tower. The proposed antenna is not increasing the width of the support structure by more than 20 feet. The equipment compound area is not changing.

Policy Questions:

1. Are the proposed amendments to the site plan considered not substantial?

Action Item:

1. Section 17.0509(D)(2)(e) states that the Plan Commission shall make a decision on the application to determine if the modifications are not substantial.

Staff Recommendation:

Staff recommends the Plan Commission make the determination that the proposed additional antenna to the existing array for US Cellular on the cell tower located at N64W24837 Freiheit Court are not substantial.

B. Discussion and possible action on a Site Plan for US Cellular antenna installation on a communications tower located at N64w24837 Freiheit Ct.

Section 17.0206 states that no structure shall be located, erected, moved, reconstructed, extended, enlarged, or structurally altered until after the owner or his agent has secured a building permit from the building inspector. Section 17.1001 states that the Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, utilization of landscaping and open space, parking areas, driveway locations, loading and unloading, highways access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation in the following districts Q-1, M-1, I-1, OP-1, BP-1, B-4, B-3, B-2, B-1, RM-1, and SFRD-3. The subject property is located in the B-2 Regional Business District.

The application states that US Cellular is installing 6 antennas, 1 surge protector, and one 1 ¼” hybrid cable to their existing antenna array on the subject tower. The cable will be routed from the existing building through the existing ice bridge and up the tower to their existing antenna array where the 6 new antenna will be installed.

Policy Questions:

1. Are there any concerns with the Site Plan?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Item:

1. Act on the Site Plan.

Staff Recommendation:

Staff recommends the Plan Commission approve the site plan for US Cellular to install 6 new antennae, 1 surge protector, and necessary cable on the communications tower located at N64w24837 Freiheit Ct.

C. Consideration and possible action on an Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village.

Section 4.06(6)(A) states that it shall be unlawful to keep more than two dogs over the age of 5 months upon any premises within any district within the Village. Surrounding communities typically allowed for three dogs with the option to have more with a special permit. Staff is recommending the section of the Code be amended to allow for 3 dogs. A proposed ordinance and text language is attached for review.

Policy Question:

1. Are there any concerns with the Ordinance?
 - a. The following communities were reviewed for how they regulated the number of dogs:
 - i. Pewaukee: 2 dogs. Additional dogs with a permit.
 - ii. Hartland: 5 animals with no more than two of each breed.
 - iii. Delafield: 3 dogs. Additional dogs with a permit.
 - iv. Oconomowoc: 3 dogs.

Action Items:

1. Act on the Ordinance.

Staff Recommendation:

Staff recommends the Plan Commission recommend to the Village Board to approve the Ordinance to repeal and recreate Section 4.06(6)(A) regarding the number of dogs over the age of 5 months kept upon any premise within the Village.

6. **Other Items for future discussion.**
7. **Adjournment.**



Project Name Servpro

Tax Key # 84-2109103

0242.013

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: Servpro's Plan of Operation

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Ryan Kaun cell Phone # (262) 880-8800
E-mail: rkaun@servpropewaukeesussex.com

For office use only:

Met with staff on: _____

Paid fees on: 5/8/23

To be on the Plan Commission Agenda for: 6/20/23

Original forms to the following:

Plan of Operation to Jeremy 5/8/23

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____

PD 5/8/23

CHECK NO.

10667

66



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # 84-2109103

Zoning: _____

Address of Tenant Space: N63 W22639 Main Street
Sussex WI 53089

1. Name of Business:

RJ Restoration LLC DBA. Servpro of Pewaukee and Sussex
Business

N63 W22639 Main Street Sussex, WI 53089 (262) 696-6336
Address City, State, Zip Phone #

rkraun@servpropewaukeesussex.com
Fax # Email address

2. Business owner contact information:

Ryan Kraun
Contact

N63 W22639 Maint Street Sussex, WI 53089 (262) 696-6336
Address City, State, Zip Phone #

rkraun@servpropewaukeesussex.com
Fax # Email address

3. Building/Land owner contact information:

Sussex Crossings LLC (Mark Heinert)
Contact

540 W22690 Sommers Hill Dr. Waukesha, WI 53189 (414) 841-5378
Address City, State, Zip Phone #

markheinert@yahoo.com
Fax # Email address

4. Number of Employees/Shifts:

8

Employees

1

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X		
8AM-5PM	8AM-5PM	8AM-5PM	8AM-5PM	8AM-5PM	on-call	on-call

6. Is this an extension of an existing operation? NO

7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. Reference attached sheet.

8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? NO Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____

If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? None

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? NO If yes, explain: _____

11. Dimension of area to be occupied 125'8" x 39'9" Total square footage 4,943

If applicable list square footage according to 1st floor 4,943 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:

Total Number of Parking Spaces 9 Number of spaces needed per code 9

Number of spaces allocated for employee parking 9

Dimensions of parking lot 39'9" x 10" Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?

One sign on top of Building above entrance Door
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Ryan Kaun
Name
Franchise owner
Title or Position

05/04/2023
Date

I am aware and approve of the business to be operating in the building owned by Sussex Crossing LLC.

Mark Heinert
Name
Building Owner
Title or Position

05/04/2023
Date



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Sussex Crossings LLC
540W 22690 Sommers Hills Dr. Waukesha, WI 53189

Business Name: RJ Restoration LLC, DBA Servpro of Pewaukee
and Sussex

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV

[Signature]
Signature of Property Owner and /or Authorized Agent

05/04/2023
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: RJ Restoration LLC DBA servpro of Renauke

Address: N63W 22639 Main Street, Sussex, WI 53089

Owner/Operator: Ryan Kaun - Tennant

Standard Industrial Classification #: N/A

How many people do you employ? 8

What are your businesses hours of work? 8AM-5PM M-F

Who is responsible for water quality? (List job titles)

N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Just use of Restrooms

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Just Employees using Bathrooms

Please list each product your business produces. (Include type, amount and rate of production):

Service Business

What are the constituents and characteristics of your wastewater?

Bathrooms

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: RJ Restoration LLC, DBA Servpro of Pewaukee and Sussex
Business Address: N 63 W 22639 Main Street, Sussex WI 53089
Business Phone #: (262) 696-6336
Business Email: rkaun@servpropewaukeesussex.com

Business Emergency Contacts

Name and Phone #: Ryan Kaun (262) 880-8800
Name and Phone #: Johan van Niekerk (615) 414-3420
Name and Phone #: Michael Dowden (262) 880-1043
Building Owner Name: Mark Heinert
Building Owner Email: markheinert@yahoo.com

Building Owner Emergency Contacts

Name and Phone #: Mark Heinert (414) 841-5378
Name and Phone #: John Gnas (262) 617-4404

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☒ No ☐
same Locks

What SERVPRO® Franchise Professionals Can Do for You.*



Fire, Smoke and Soot Cleanup and Restoration

Pretesting helps SERVPRO® Franchise Professionals determine what type of fire has taken place. Knowing the types of smoke and their behavior patterns are vital to proper restoration.



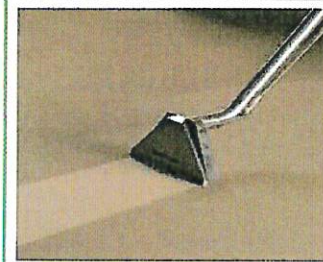
Air Duct and HVAC Cleaning

Franchise Professionals can inspect your HVAC system and ductwork. Cleaning services can be provided to help restore peak energy efficiency, eliminate offensive odors and improve indoor air quality.



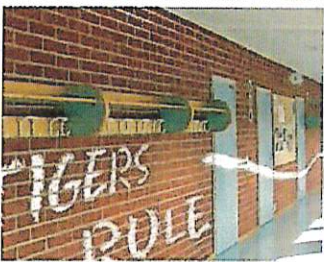
Water Removal and Dehumidification

Franchise Professionals identify the source and type of water, which determines the proper course of action. Drying equipment controls temperature and humidity, minimizing secondary damage.



Carpet and Hard Floor Cleaning and Care

Franchise Professionals use the latest IICRC** training as well as state-of-the-art equipment to remove entrapped soils from deep within your carpet's pile and backings.



Crime Scene, Biohazard and Vandalism Cleanup

Franchise Technicians are trained to safely and effectively clean biohazardous substances and prepare waste for proper disposal according to OSHA, EPA and state and local health regulations.



Stain Removal, Stain Resistance Applications

Using IICRC standards for carpet as a guide, Franchise Professionals will show you what cleaning option would be best for your carpet's level of soiling and explain the benefits of soil protection.



Mold Mitigation and Remediation

SERVPRO® Franchise Professionals work to control and remediate mold contaminants while protecting your health and safety.



Odor Identification and Deodorization

Franchise Professionals will find the source of the odor and determine the best methods to neutralize and eliminate it.



Contents Claim Inventory Service

Accurate inventory helps keep costs low and reduces job completion time. Franchise Professionals can provide an itemized, area-by-area loss inventory.



Upholstery and Drapes: Wet or Dry Cleaning Methods

Fabrics are inspected and tested to determine the safest and most effective cleaning method.



Project Name Papa John's Pizzeria
 Tax Key # SUXV0278999069

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<u> X </u> Plan of Operation fee	\$175.00
<u> </u> Conditional Use fee (if necessary)	\$210.00
<u> </u> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Valentina Ignatyeva Phone # 772-618-4860

E-mail: valentina.nunnco@gmail.com

For office use only:

Met with staff on: _____
 Paid fees on: 5/31/23 CH# 1096
 To be on the Plan Commission Agenda for: _____
 Original forms to the following:
 Plan of Operation to Jeremy _____
 Service reimbursement _____
 Emergency Contact to Sheriff Dept _____
 Wastewater Permit to WWTP _____
 Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? No If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # SUXV0278999069

Zoning: B3 w/ PD Overlay

Address of Tenant Space: W249 N5245 Executive Dr. #204 Sussex, WI 53089

1. Name of Business:

Papa John's Pizza

Business

W249 N5245 Executive Dr. #204

Sussex, WI 53089

Address

City, State, Zip

Phone #

Fax #

Email address

2. Business owner contact information:

Papa John's International, Inc.

Contact

788 Circle 75 Parkway

Atlanta, GA 30339

941-592-5324

Address

City, State, Zip

Phone #

mary_downing@papajohns.com

Fax #

Email address

3. Building/Land owner contact information:

SUSSEX MALL INC

Contact

16800 W GREENFIELD AVE

BROOKFIELD, WI 53005-6803

Address

City, State, Zip

Phone #

Fax #

Email address

4. Number of Employees/Shifts: 12-14

Employees

2

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
11 AM	11 AM	11 AM	11 AM	11 AM	11 AM	10 AM
11 PM	11 PM	11 PM	11 PM	12 PM	12 PM	11 PM

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. attached
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? NA
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: _____
11. Dimension of area to be occupied 1350 sf Total square footage 1350 sf
If applicable list square footage according to 1st floor 1350 sf 2nd floor NA

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 167 Number of spaces needed per code _____
Number of spaces allocated for employee parking NA
Dimensions of parking lot NA Is parking lot paved? yes

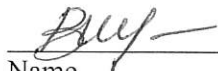
13. Signage: What type of signage are you proposing for your business?

2 wall signs (1 per frontage)

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.


Name _____
Authorized Agent for Papa John's _____
Title or Position _____

5/30/23
Date _____

I am aware and approve of the business to be operating in the building owned by Sussex Mall Inc.

 Magsood Ahmad
Name _____
5/20/23 1:08:45 AM GMT

5/20/23
Date _____

Title or Position



RE: Papa John's – Corporate Business Plan

ADDRESS: W249 N5245 Executive Dr. #204
Sussex, WI 53089

Papa John's International, Inc. plans on providing carry out and deliver pizza services in the area. We use only precooked refrigerated products for our pizzas, that are delivered to each site based on volume of store sales. The refrigerated products (never frozen) are then used on site per customer order. We will employ approximately 40 part time team members from the local community. We plan on preparing an average of 250 pizzas a day, while operating on the following schedule: Sun-Thurs 10am-11pm, and Fri-Sat 10am-12am. Trash services will be shared with the other tenants and coordinated with the property owner.

Sincerely,

J. P. Striepling

Jennifer P. Striepling
Vice President of Design & Construction
Papa John's International
813-451-0859
Jennifer_striepling@papajohns.com

Products Sold at Corporate Locations

2Liter Pepsi products
20 Oz Pepsi products
Brownie
Cinnamon Pull Apart
Cookie Pizza
Boneless Chicken Wings
Cool Ranch Doritos Chips
Bone-in Wings
12 Inch original crust
10 Inch original crust
14 Inch original crust pizza
16 Inch original crust pizza
Gluten Free pizza
NY Style Crust pizza
Shaqaroni
Garlic Parmesan sauce
Stuffed Crust 14" pizza
Thin Crust pizza
Banana Peppers
Anchovies
Blue Cheese Dressing
BBQ Sauce Cup
Buffalo Sauce Cup
Cream Cheese Icing Cup
Crushed Red Pepper
Pepperoncinis
Garlic Parm Cup
Garlic Sauce Cup
Honey Mustard Sauce Cup
Jalapeno Peppers
Marzetti Lemon Pepper Sauce
Marzetti Special Zesty Dipping Sauce
Pizza Sauce Cups
Ranch Dressing
8pc Chicken Parm Papa Bites
8pc Jalapeno Papa Bites
8pc Oreo Papa Bites
8pc Supreme Papa Bites
Bacon Cheesesticks
Cheesesticks
Mini Garlic Knots
Garlic Parmesan Cheesesticks

Papa Bowls

Papadias

Pre-cut, washed vegetables for pizzas

Pre-cooked meats for pizzas



Project Name Sussex Bowl
Tax Key # 231.999.012

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: PAID 3/13/23 CHECK NO. 13568

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Beth Kjell Cell 608 575 8786
E-mail: Beth@sussexbowl.com Phone # 262-246-6808

For office use only:

Met with staff on: _____
Paid fees on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? Yes

Tax Key # 231.999.012

Zoning: B-2 NEIGHBORHOOD BUSINESS

Address of Tenant Space: N64 W24576 Main St

1. Name of Business: Sussex Bowl

Business Address: N64 W24576 Main St Sussex WI 53089 Phone # 262-246-6808

City, State, Zip: WI 53089

Email address: Dan@Sussexbowl.com

Fax #

2. Business owner contact information:

Contact: Stephen Hoehner

Address: N80W22910 PLAINVIEW RD SUSSEX, WI 53089

City, State, Zip: WI 53089

Phone #: 262-719-2189

Email address: Stephen@Sussexbowl.com

Fax #

3. Building/Land owner contact information:

Contact: Kim Starz-Nicholas

Address: 9235 N 60th St Brown Deer, WI 53223

City, State, Zip: WI 53223

Phone #: 414-333-9014

Email address: N64W24576 MAIN ST SUSSEX, WI 53089

Fax #

4. Number of Employees/Shifts:

40

Employees

Varies daily

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
9AM-2AM	9AM-2AM	9AM-2AM	9AM-2AM	9AM-2AM	8AM-2AM	8AM-2AM

6. Is this an extension of an existing operation? yes
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? Cat/Bike Show weekly on Monday / Live Music or DJ
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? yes If yes, explain: Music shall play for 3 hrs (6-9, 5-8 or 5³⁰-8³⁰)
11. Dimension of area to be occupied _____ Total square footage _____

If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 166 / 4 Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

New sign info provided - awaiting approval.
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Stephen Hoehnen
Name
President
Title or Position

3-12-23
Date

I am aware and approve of the business to be operating in the building owned by Kim Stare-Nicholas.

Stephen Hoehnen
Name
President
Title or Position

3-12-23
Date



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Sussex Bowl
Business Address: N64 W24576 Main St Sussex WI 53089
Business Phone #: 262-246-6808
Business Email: Stephen@sussexbowl.com

Business Emergency Contacts

Name and Phone #: Stephen Hoehnen
Name and Phone #: Cassie Hoehnen
Name and Phone #: _____

Building Owner Name: Kim Starz-Nicholas
Building Owner Email: BOLANES@SPCGLOBAL.NET

Building Owner Emergency Contacts

Name and Phone #: Lee Nicholas 414-750-3867
Name and Phone #: KIM STARZ-NICHOLAS 414-333-9014

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☒ No



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Sussex Bowl

Address: N64 W24576 Main St Sussex WI 53089

Owner/Operator: Stephen Hochman

Standard Industrial Classification #: N/A

How many people do you employ? 40+

What are your businesses hours of work? Sunday - Saturday 8AM - 2AM

Who is responsible for water quality? (List job titles)
N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates (Include any daily, monthly or seasonal variations):
N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

N/A

Please list each product your business produces. (Include type, amount and rate of production):

N/A

What are the constituents and characteristics of your wastewater?

N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Same as below;

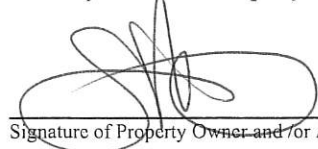
Business Name: Sussex Bowl

Name of Owner and Address of the Property involved in the Request (if different from above):

Stephen Hoehnen

N64W24576 Main St Sussex WI 53089

Tax Key No. of the Property involved in the Request: SUXV _____



Signature of Property Owner and/or Authorized Agent

5-12-23

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests participating in cruise in will enter off Main Street and follow route around to park accordingly in spots (1 car or truck 1 spot, 2 bikes 1 spot) directed by SB employees dressed in bright staff/security shirts .
- Our parking Lot will be monitored at 4pm to accommodate cruise in guests by SB volunteers/employees at entrance, exit and directing motorized participants & guests to appropriate parking. A SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot. Permissions have been given from Property Manager & tenants.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1st - May 5th.
- Cruise In Event shall run Every Monday starting May 8th through August 28th from 4pm - 10pm. (Current permissions for 5/8, 5/22, Live music or DJ will be available & on stage from 5pm-8pm.
 - Additional Temporary beer/soda stand outside of building a possibility. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. (1st year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building or from volleyball area.

April 10, 2023

Village of Sussex License Committee

Revised Extension of Premise

Sussex Bowl Monday Night Outdoor Pistons & Pins Events May through September

Our current License allows the sale of alcoholic beverages to be sold inside of Sussex Bowl & beverages can be consumed outside in our volleyball courts, bags area & front patio area.

1. We would like to expand the area to include the entire parking lot for our Monday Night events to run from 4pm-10pm. All guests will be wrist banded to show proper ID has been shown for consumption of alcoholic beverages. There will be alcoholic beverages served from the Volleyball bar area bar, inside bar and possibly a smaller mobile beer station. The outside bars will be closed by no later than 10:00pm unless noted to Village Hall.
2. We will have live music or a DJ performing in the volleyball area from 5pm - 8pm. Within the volleyball area the speakers will be monitored and modified as need be with a decibel meter within village guidelines. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.
3. There will be a one-way entrance into Sussex Bowl on Main Street & an exit onto Pewaukee St monitored & directed by staff at Sussex Bowl.
4. Other parking available to guests will be on Pewaukee Rd, and we have made arrangements for parking at the Wessex Centre with the tenants and have received permission from Baceline (Property Management) after they close.

Thank you for your time and consideration of our plan. We look forward to bringing more awareness to the youth of the area of great machinery shown throughout the summer season and contributing to a variety of charities throughout the years. Any questions please feel free to contact Stephen Hoehnen 262-719-2189 or Beth Kjell 608-575-8786

Sincerely,

Sussex Bowl Impact Report for Sussex Bowl's Pistons & Pins Cruise in 2023

Traffic – Should not be disrupted as we will have a dedicated entrance & exit from 4pm – 10pm

Parking – will be limited to one side of Pewaukee Road. We will be responsible for temporarily blocking off one side of the street parking sided by Fire Dept. / Wessex tenants have signed off on acknowledgement paperwork that we will be using their lot for overflow. Parking would continue as normal for the rest of Pewaukee Road. We've made an inquiry with our insurance agent about adding Wessex (Baceline Group) to our Certificate of Insurance for Mondays.

1. Noise – We will maintain whatever level decibel the village allows by utilizing a decibel meter as needed. Live music or DJ shall cease at 8:00pm. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.

Odor – We do not anticipate any odor out of the ordinary to occur.

Safety – Large orange cones will mark crossing from Wessex (this will be a process to see where heavy volume occurs) Our staff will be in bright colored shirts, so guests or village personnel know who to talk to for questions.

Crime – We do not anticipate any crime related activity.

Hours of Operation – The outside area will be operating from 4pm (2/3pm set up) till 10pm.

Health & Sanitation – We will have (2) port potties on site along with multiple trash & recycling stations. We have (3) full bathroom facilities inside the bowling center with hand washing stations in each available for all guests.

Property Maintenance – We maintain our own property and will pick up all debris in Wessex Lot on Monday's when shows occur throughout the cruise in year (May – August)

Any questions or concerns, feel free to contact me at 608-575-8786

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested

person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0416 B-1 Neighborhood Business District

17.0416 B-1 NEIGHBORHOOD BUSINESS DISTRICT

The B-1 Business District is intended to provide for individual or small groups of retail and customer service establishments serving primarily the convenience of a local neighborhood, and the character, appearance, and operation of which are compatible with the character of the surrounding area.

A. Permitted Uses

1. Accommodations and Food Service
 - (a) Bed and breakfast establishments
 - (b) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
 - (c) Food service contractors and caterers
2. Arts, Entertainment, and Recreation Services
 - (a) Promoter, agent, artists offices/studio

3. Educational, Health Services, and Social Services
 - (a) Fine arts and language schools and studios
 - (b) Automobile driving school
 - (c) General medical services
 - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
 - (a) Financial service institutions, excluding drive through
 - (b) Financial investment, insurance offices, and similar financial products
 - (c) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
 - (d) Office equipment rental and leasing
5. General Services
 - (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
 - (b) Barber, beauty, nail salons, spa treatment services
 - (c) Personal care and weight loss services
 - (d) Funeral home and funeral services
 - (e) General business offices
6. Information Services
 - (a) Motion picture and video production
7. Professional, Technical, Scientific, and Administrative Services
 - (a) Legal, notaries, and title services
 - (b) Accountants, tax preparation, payroll, and other accounting services
 - (c) Architects, landscape architects, engineering, surveying services
 - (d) Interior, industrial, graphic, and fashion design services
 - (e) Consulting/professional services, advertising, management, HR, marketing, IT.
 - (f) Research and development facilities excluding industrial types
 - (g) Translation and interpretation services
 - (h) Employment placement and provider services
 - (i) Private investigators, locksmiths, security, and armored car services
 - (j) Janitorial services
8. Retail Trade
 - (a) Furniture, flooring, and home furnishing stores

- (b) Appliances, electronics, camera, office supply and copying stores
- (c) Home improvement and hardware stores
- (d) Grocery, convenience, and specialty food stores/markets
- (e) Liquor/packaged beverage and tobacco stores
- (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
- (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
- (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
- (i) Gift shops, florists, variety stores, antiques, used merchandise
- (j) Pet and pet supply stores
- (k) Art dealers/store

9. Manufacturing/Assembly

- (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.

10. Public Administration and Government Services

- (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.

11. Transportation and Warehousing

- (a) U.S. postal service
- (b) Courier, delivery, postal service businesses

B. Permitted Accessory Uses

- 1. Garages for storage of vehicles used in conjunction with the operation of business.
- 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 3. Residential quarters for the owner or proprietor, located in the same building as the business.
- 4. Efficiency and one-bedroom residential apartments on a non ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
- 5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- 6. Roof-mounted, solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

- 1. Lots shall be a minimum of 5,000 square feet in area and shall not be less than 60 feet in width.

2. Individual business sites in the B-1 Business District shall provide sufficient area for the principal building and its accessory buildings, off-street parking and loading areas, and required yards. There is no required minimum site width.
 3. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
- E. Building Height and Area
1. No principal building or parts of a principal building shall exceed 30 feet in height.
 2. The maximum square footage of the principal building shall not exceed 30,000 square feet in size.
- F. Setback and Yards
1. There shall be a minimum building setback of 25 feet from the right-of-way of all streets.
 2. No separation shall be required between business, service or commercial uses. No structure shall be closer than 15 feet to a side lot line.
 3. There shall be a rear yard of not less than 15 feet.
 4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.
- G. Erosion Control
1. See Chapter 14 of the Municipal Code of the Village.
- H. Development Design Guidelines
1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- I. Plans and Specifications to be submitted to Plan Commission
1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report

along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

2. Arts, Entertainment, and Recreation: Petitioners for conditional uses in the Arts, Entertainment, and Recreation section below must prove if the use involves the discharge of weapons that the building and site design have been established to both prevent any bullet, arrow, or other item from leaving the subject property and prevent anyone unauthorized; from access to where they may be impacted by the discharge of the weapon(s).
 - a) Archery Ranges, bathhouses, beaches, boating, camps, conservatories, driving ranges, firearm ranges, golf courses, ice boating, marinas, polo fields, riding academies, and stadiums in the A-1 district provided that the lot area is not less than three (3) acres and all structures are not less than 50 feet from any district boundary.
 - b) Music/theater halls, museums, historical sites, zoological and botanical gardens in the B-1, B-3, and A-1 districts.
 - c) Commercial Recreation Facilities, such as arcades, bowling alleys, dance halls, driving ranges, gymnasiums, lodges, miniature golf facilities, physical fitness and recreational sports facilities, pool and billiard halls, racetracks, rifle ranges, tennis courts, volley ball courts, Turkish baths, swimming pools, and skating rinks, are conditional uses and may be permitted in the B-1,

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.
3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along

the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-ofway in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

2023
VILLAGE OF SUSSEX ORDER
GRANTING A CONDITIONAL USE AND PRESCRIBING
CONDITIONS FOR NICSTAR LLC D/B/A SUSSEX BOWL
TO ALLOW CERTAIN USES AS DESCRIBED HEREIN
IN THE VILLAGE OF SUSSEX

WHEREAS, an application has been filed by Stephen Hoehnen, President of Sussex Bowl Inc. on the subject property (hereinafter collectively “Petitioners”); and

WHEREAS, the Petitioner is requesting a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for property at SUXV0231999012 N64W24576 Main Street in the Village of Sussex, Wisconsin, all as described on **Exhibit A** attached hereto and incorporated herein (hereinafter “Subject Property”); and

WHEREAS, upon referral of the application by the Village Clerk, the Plan Commission for the Village of Sussex determined that the application met all requirements as set forth in Section 17.0502 and scheduled a public hearing thereon as soon as practical; and

WHEREAS, upon publication of the required “Notice of Public Hearing” and mailing of said “Notice of Public Hearing” to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on May 16, 2023 and June 20, 2023 as required by Section 17.0505 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Plan Commission has followed the review procedures of Section 17.0503 by reviewing the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation; and

WHEREAS, the Subject Property is zoned B-1 Neighborhood Business District; and

WHEREAS, the recreational facility such as a bowling alley is a conditional use in accordance with Section 17.0506 A(2)(c) and the request to amend the conditional uses authorized the subject property to include: Volleyball Courts, dance hall, bowling alley with pro shop, restaurant, arcade, babysitting, cocktail lounge, flea market and to allow additional outside use for bags tournament area, outdoor bar, and a Tuesday car and bike night; and

WHEREAS, the Plan Commission for the Village of Sussex finds that the petitioner’s proposed conditional use, if said use is carried out in strict compliance with the conditions described herein, is not adverse to the public health, safety, or welfare; it is not in conflict with the spirit or intent of the Village of Sussex Zoning Ordinance; and it is not otherwise detrimental to the community and particularly the surrounding neighborhood; and

WHEREAS, the Plan Commission for the Village of Sussex, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other

similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a conditional use permit for the Subject Property is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by the Petitioners for recreational facility such as a bowling alley and other outdoor uses; volleyball courts; bags tournament area and outdoor bar as well as permitted and accessory uses set forth in Section 17.0416 B-1 Neighborhood Business District District and auxiliary uses as set forth in Section 17.0710 if approved as part of a Plan of Operation and site plan; and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use is granted for the Petitioner for the above for the above enumerated uses, incorporating the findings as set forth above and subject to the following conditions:
 1. Presentation Compliance. The recreational facility such as a bowling alley and other outdoor uses; volleyball courts; bags tournament area and outdoor bar is approved herein on the Subject Property, and the use thereof, shall be used in substantial conformity with the presentation at the Public Hearings before the Plan Commission held on February 18, 2020 and March 17, 2020.
 2. Subject Property. This conditional use permit issued to the Petitioners, shall be limited to the property described in **Exhibit A** attached hereto and incorporated herein and to the site plan presented at public hearing.
 3. Plans. The Petitioners are required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Village Clerk for the Village of Sussex in order for this CU to be in effect. The Petitioner shall be entitled to amend or change any plan contemplated herein subject to the specific language of the Conditional use and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial amendment or change in any plan contemplated herein as solely determined by the Plan Commission. If the Plan Commission for the Village of Sussex feels, in its sole discretion, that the amendment or change to any plan contemplated herein is substantial, the amendment or change will require a new permit and all Village procedures in place at the time must be followed.
 - A. Site Plan. The Petitioners shall maintain the existing site plan, which shall be attached hereto and incorporated herein as **Exhibit A-1**.
 - B. Plan of Operation. The Petitioners shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meetings. Once approved the plan of operation shall be attached hereto and incorporated herein as **Exhibit B**.

- C. Traffic, Access, Loading, and Parking Plans. The Petitioner shall comply with the existing traffic parking, loading, and egress plan for the subject property on file with the Village Clerk.
- D. Lighting Plan. The Petitioner shall maintain the existing lighting plan for the Subject Property on file with the Village Clerk
- E. Signage Plan. The Petitioner must submit a signage plan for the subject property on file with the Village Clerk.
- F. Public Improvements. There are no current public improvements required at this time.
- G. Sewer, Water, Stormwater and Erosion Control Plans. The Petitioner shall comply with the specific sewer, water, stormwater, and erosion control plans on file with the Village Clerk.
- H. Fence, Landscaping, Berm, and Open Space Utilization Plan. The Petitioner shall comply with the specific Fence, Landscaping, Berm, and Open Space Utilization Plan for the Subject Property shall be attached hereto and incorporated herein as **Exhibit C**.
- I. Architectural and Building Plan. The Petitioner shall comply with the specific Architectural and Building Plan for the Subject Property on file with the Village Clerk.
- J. Outdoor Storage and Uses Plan. No outdoor storage is permitted. The outdoor uses approved are the volleyball courts, outdoor bar, bags tournament area, and a Tuesday car and bike night, and any area approved with an outdoor establishment permit. If the Petitioner wishes to have additional outdoor uses they must seek approval from the Plan Commission without a new public hearing unless the Plan Commission determines a public hearing is necessary.
 - i. The activities approved for the car and bike night shall be permitted on Tuesdays for the months of May, June, July, and August and have a set up time of 4:00 pm, an activity start time of 5:00 pm, and an end time of 10:00 pm. Live music shall be permitted between 5:00 pm and 8:00pm. This is in accordance with the plan of operation incorporated herein as **Exhibit D**.
 - ii. The Tuesday car and bike night shall take place in accordance with the approved Site Plan incorporated herein as **Exhibit E**.
 - iii. The car and bike night incorporates overflow parking with the use of the Wessex Shopping Center and the parking agreement is incorporated herein as **Exhibit F**. If the parking agreement between the establishments is to change, those changes will need to be reviewed by the Plan Commission.
 - iv. The owner is responsible to maintain a safe and secure event and abide by any rules and regulations of the Wisconsin Alcohol Beverage and Tobacco Laws.

- v. The owner must submit a Safety and Security Plan to the Fire Department and Police Department for their review and approval prior to the start of the event each year. This plan shall be kept on file with Village Staff.
 - vi. Modifications to time, date, and location on the subject property with respect to the car and bike night may be approved by the Plan Commission without a new public hearing unless the Plan Commission determines the proposed changes would have an undue hardship on the welfare and safety of the public, at which time the Plan Commission may require a new public hearing.
 - vii. The Petitioner acknowledges that the Plan Commission in granting these outdoor uses in near proximity to residential uses reserves the right to review the Outdoor Use section of the Conditional Use Permit on an annual basis to address complaints about the outdoor use that the Plan Commission deems are of a continuous or significant nature to ensure the welfare and safety of the public. If said reviews occur adjustments may be required to the location, timing, extent and or other factors of the outdoor uses to address the complaints raised by the Public to the satisfaction of the Plan Commission.
4. Adult-Oriented Materials. No adult-oriented materials or pornographic videotapes, magazines, or gift items will be sold or rented from the subject facility.
 5. Licenses. The Petitioner shall be required to obtain any and all required licenses and permits from the Village, County, State, and Federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.
 6. Laws. The Petitioner shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
 7. Building and Fire Inspection. The Petitioner is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.
 8. Aesthetics. The Petitioner is required to properly maintain the Subject Property at all times and in full compliance with the Village Property Maintenance Code, Section 9.07 of the Village of Sussex Code all to the satisfaction of the Plan Commission for the Village of Sussex.
 9. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property.
 10. Temporary Use or Activity. No temporary use or special activity or event shall be permitted without prior approval of the Plan Commission of the Village of Sussex and the same must be in compliance with all ordinance, rules, and regulations of the Village of Sussex and all necessary permits must be obtained except for as allowed by Outdoor Establishment Permit under Chapter 4 or Auxiliary Use under Section 17.0710.

11. Fees and Expenses. The Petitioner, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the Petitioner with copies of all itemized invoices.
 12. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the Petitioner.
 13. Complaints. In the event the Petitioner receives any complaints with regard to the operation authorized by this conditional use, the Petitioner shall respond to such complaints in writing within a reasonable time not to exceed two weeks from the date of the complaint and shall provide a copy of the written response to the Sussex Village Administrator within the same period of time. If the complaint was made in writing, the copy provided to the Village Administrator shall include a copy of the complaint.
 14. No Nuisance. The Village reserves the right to rescind its approval of this conditional use permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Petitioner is given an opportunity to be heard on the matter and, if so rescinded the Petitioner and Subject Property shall thereupon be immediately subject to the Village of Sussex Zoning Ordinances , as applicable, regarding the use of the Subject Property as though no conditional use permit was granted.
 15. Subject to Acceptance. Subject to the Owner approving in writing the issuance of the same and Petitioner acknowledging in writing that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Petitioner will therefore need to re-commence the application process.
 16. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate
- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.
- D. This conditional use hereby authorized shall be confined to the Subject Property described, without extension or expansion other than as noted herein, and shall not vary from the purposes

herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.

- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the Petitioner be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized herein, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Plan Commission, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed.
- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- I. This conditional use permit shall be effective for an initial term that ends five years from the date of January 1 of the year the conditional use is approved. During the final year of the 5 year term of the CU the Village Administrator or designee shall examine the record to determine if concerns about the operation have been raised in writing by the public, a governmental body or official, or anyone else, and shall also review the site and the adjoining area for compliance with the conditions of the CU. If based upon that review the use of the property is compatible with the surrounding areas and the Petitioner is in substantial compliance with all terms of this conditional use agreement, then, in that event, the Conditional Use can be automatically renewed for another 5 year term. If based upon that review the Village Administrator finds concerns about compliance with the conditions of the Conditional Use, the Petitioner shall be brought back before the Plan Commission for consideration of the renewal. The Petitioner shall have the responsibility to apply for the renewal by January 30th of the final year of the term of the CU. Failure of Petitioner to apply for the renewal as provided herein shall be deemed a violation of the conditions of the conditional use and may serve as a basis for termination of the conditional use permit. The Plan Commission for the Village of Sussex may add additional conditions at any time.
 - 1. Where the changing character of the surrounding area causes the original conditional use or subsequent approved amendments thereto to no longer be compatible with the surrounding area, or for similar cause, based upon consideration for the public welfare, the conditional use order and any subsequent approved amendments or changes may be terminated by action of the Plan Commission of the Village of Sussex. Such use shall thereafter be classified as a legal nonconforming use as it was permitted to exist on the day it was terminated.

2. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes, the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.
 3. This conditional use may be reviewed annually. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.
- J. Upon acceptance by Petitioner of this conditional use permit, all prior conditional use permits granted to the Subject Property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.
- L. If any paragraph or phrase of this conditional use order is declared by a Court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific paragraph or phrase thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of this order. The remainder of the order shall remain in full force and effect.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the Petitioner.

Approved this _____ day of _____, 2023 BY THE PLAN COMMISSION FOR THE VILLAGE OF SUSSEX

Anthony LeDonne
Village President

Jennifer Moore
Village Clerk

PETITIONER ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.

Dated this _____ day of _____, 2023

Stephen Hoehnen, President of Sussex Bowl Inc.

This conditional use was drafted by Jeremy Smith, Village Administrator off of a model by Attorney John P. Macy ARENZ, MOLTER, MACY & RIFFLE, S.C., Village Attorneys for the Village of Sussex.

EXHIBIT D

Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests participating in cruise in will enter off Main Street and follow route around to park accordingly in spots (1 car or truck 1 spot, 2 bikes 1 spot) directed by SB employees dressed in bright staff/security shirts .
- Our parking Lot will be monitored at 4pm to accommodate cruise in guests by SB volunteers/employees at entrance, exit and directing motorized participants & guests to appropriate parking. A SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot. Permissions have been given from Property Manager & tenants.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1st - May 5th.
- Cruise In Event shall run Every Monday starting May 8th through August 28th from 4pm - 10pm. (Current permissions for 5/8, 5/22, Live music or DJ will be available & on stage from 5pm-8pm.
 - Additional Temporary beer/soda stand outside of building a possibility. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. (1st year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building or from volleyball area.

EXHIBIT D

April 10, 2023

Village of Sussex License Committee

Revised Extension of Premise

Sussex Bowl Monday Night Outdoor Pistons & Pins Events May through September

Our current License allows the sale of alcoholic beverages to be sold inside of Sussex Bowl & beverages can be consumed outside in our volleyball courts, bags area & front patio area.

1. We would like to expand the area to include the entire parking lot for our Monday Night events to run from 4pm-10pm. All guests will be wrist banded to show proper ID has been shown for consumption of alcoholic beverages. There will be alcoholic beverages served from the Volleyball bar area bar, inside bar and possibly a smaller mobile beer station. The outside bars will be closed by no later than 10:00pm unless noted to Village Hall.
2. We will have live music or a DJ performing in the volleyball area from 5pm - 8pm. Within the volleyball area the speakers will be monitored and modified as need be with a decibel meter within village guidelines. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.
3. There will be a one-way entrance into Sussex Bowl on Main Street & an exit onto Pewaukee St monitored & directed by staff at Sussex Bowl.
4. Other parking available to guests will be on Pewaukee Rd, and we have made arrangements for parking at the Wessex Centre with the tenants and have received permission from Baceline (Property Management) after they close.

Thank you for your time and consideration of our plan. We look forward to bringing more awareness to the youth of the area of great machinery shown throughout the summer season and contributing to a variety of charities throughout the years. Any questions please feel free to contact Stephen Hoehnen 262-719-2189 or Beth Kjell 608-575-8786

Sincerely,

EXHIBIT D

Sussex Bowl Impact Report for Sussex Bowl's Pistons & Pins Cruise in 2023

Traffic - Should not be disrupted as we will have a dedicated entrance & exit from 4pm - 10pm

Parking - will be limited to one side of Pewaukee Road. We will be responsible for temporarily blocking off one side of the street parking sited by Fire Dept. / Wessex tenants have signed off on acknowledgement paperwork that we will be using their lot for overflow. Parking would continue as normal for the rest of Pewaukee Road. We've made an inquiry with our insurance agent about adding Wessex (Baceline Group) to our Certificate of Insurance for Mondays.

1. Noise - We will maintain whatever level decibel the village allows by utilizing a decibel meter as needed. Live music or DJ shall cease at 8:00pm. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.

Odor - We do not anticipate any odor out of the ordinary to occur.

Safety - Large orange cones will mark crossing from Wessex (this will be a process to see where heavy volume occurs) Our staff will be in bright colored shirts, so guests or village personnel know who to talk to for questions.

Crime - We do not anticipate any crime related activity.

Hours of Operation - The outside area will be operating from 4pm (2/3pm set up) till 10pm.

Health & Sanitation - We will have (2) port potties on site along with multiple trash & recycling stations. We have (3) full bathroom facilities inside the bowling center with hand washing stations in each available for all guests.

Property Maintenance - We maintain our own property and will pick up all debris in Wessex Lot on Monday's when shows occur throughout the cruise in year (May - August)

Any questions or concerns, feel free to contact me at 608-575-8786



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/18/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER		CONTACT NAME: Lisa Proffitt	
R & R Insurance Services, Inc		PHONE (A/C, No, Ext): (262) 574-7000	FAX (A/C, No): (262) 574-7080
N14 W23900 Stone Ridge Drive		E-MAIL ADDRESS: Lisa.Proffitt@rrins.com	
Waukesha	WI 53188	INSURER(S) AFFORDING COVERAGE	
INSURED		INSURER A: Secura Insurance	NAIC # 22543
Nicstar LLC		INSURER B: Society Insurance	15261
4715 W Bradley Rd		INSURER C:	
Waukesha		INSURER D:	
WI 53223		INSURER E:	
		INSURER F:	

COVERAGES

CERTIFICATE NUMBER: 22/23 Liab

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:			CP3290481 CGE1037 1301	7/18/2022	7/18/2023	EACH OCCURRENCE \$ 1,000,00 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 200,00 MED EXP (Any one person) \$ 1,00 PERSONAL & ADV INJURY \$ 1,000,00 GENERAL AGGREGATE \$ 2,000,00 PRODUCTS - COMP/OP AGG \$ 2,000,00 Voluntary Property Damage \$ 2,50
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> Hired Phy Dmg <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			CA20018392 CA2048 1013 CA0449 1116 CA0444 1013	7/18/2022	7/18/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,00 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Underinsured motorist combined sir \$ 1,000,00
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0			CU3290483	7/18/2022	7/18/2023	EACH OCCURRENCE \$ 1,000,00 AGGREGATE \$ 1,000,00
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N Y	N/A	WC3299469	7/18/2022	7/18/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,00 E.L. DISEASE - EA EMPLOYEE \$ 100,00 E.L. DISEASE - POLICY LIMIT \$ 500,00

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Wessex Centre (Baseline Group Inc) is Additional Insured on the General Liability per written contract.

Kim Starz-Nicholas and Lee Nicholas are excluded from the Workers Compensation.

CERTIFICATE HOLDER

CANCELLATION

Wessex Centre
Baseline Group Inc
NCA 204570 Main Street

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through the end of August. We will be responsible for the cleanup of any debris left from the night. We will have an attendant in your lot to assure the agreed upon area of your parking is kept available for your guests from 4pm till 9pm. Clean up will be from 9pm till finished but no later than 10pm. Thank you for your consideration in this matter.

Signature Amy Kelly
Unit 7- Attitude Dance Company
Date April 18th 2023

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Amy Kelly - Attitude Dance Company


Unit 7

Date April 16th 2023

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature 

Unit #1 EX-T REALTY RESORTS

Date ~~2000~~ 4-6-03



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Cery

Unit 2 AFJ

Date 04/06/23



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Mark J. Mat First State Mortgage

Unit 5

Date 4-6-23

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Randy Ratter

Unit Cindy Vance Agency (Farmers Insurance)

Date 4/6/23

EXHIBIT F

This agreement acknowledges that Sussex Bowl will name Wessex Centre (Baceline Group Inc.) as an Additional Insured on the General Liability as evidenced by the certificate of insurance requested below. For the business year of 2023 from May through August.

Event(s): Coverage on Monday Nights when Pistons & Pins events Start on May 8, 2023, through August 28, 2023. We will have a lot attendant available while this event is in place to assure Family Strong Sussex & Attitude Dance Company's parking spots are maintained for their customers per their request from 4pm – 9pm. (Clean up will take place after 9pm)

This agreement is effective immediately upon signature of this document and will be rereviewed by all parties before July 2023 when the Village of Sussex also reviews the plans for Sussex Bowl's car shows. Sussex Bowl will do its best to work with the neighboring businesses in the Wessex Centre to ensure that their business operations are not effected or impacted in any negative way, and request any feedback be provided in writing to either Sussex Bowl or Baceline Group Inc to ensure that proper adjustments are made if and when they are needed.

Map attached to email for reference

Please email Beth@sussexbowl.com the completed certificate at your earliest convenience. If you require additional information or assistance, please contact Beth at 262-246-6808.


Sussex Bowl Inc dba Name Sussex Bowl

Address N64 W24576 Main Street

City Sussex

State WI

Zip

Signature:  Date _____

Wessex Centre (Baceline Group Inc)

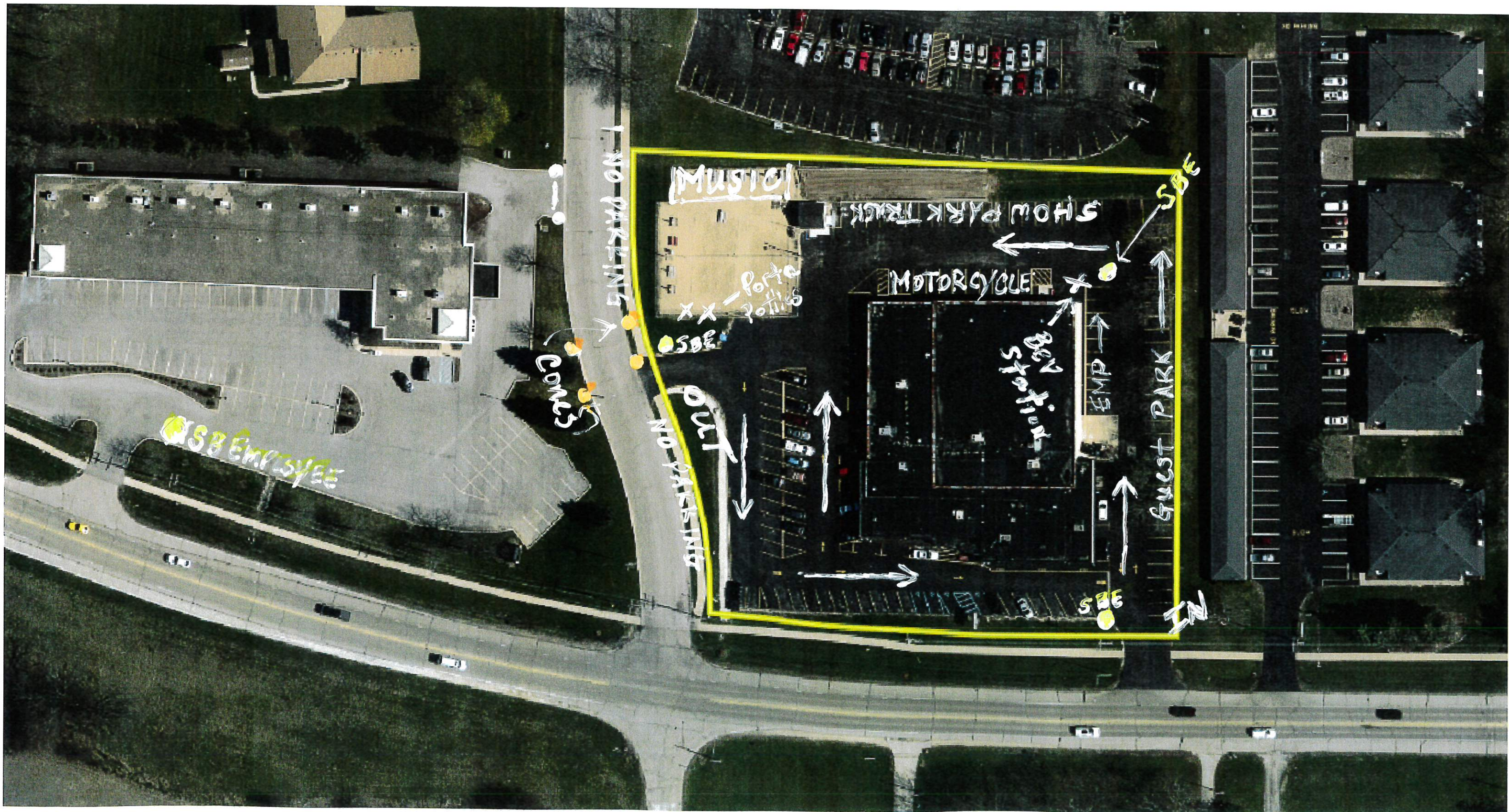
Address

City

State

Zip

Signature: Jessica Werner as agent for Wessex Baceline, LLC Date: 4/13/2023





Project Name Sussex Bowl
Tax Key # 231.999.012

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: PAID 3/13/23 CHECK NO. 13568

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Beth Kjell Cell 608 575 8786
E-mail: Beth@sussexbowl.com Phone # 262-246-6808

For office use only:

Met with staff on: _____
Paid fees on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? Yes

Tax Key # 231.999.012

Zoning: B-2 NEIGHBORHOOD BUSINESS

Address of Tenant Space: N64 W24576 Main St

1. Name of Business: Sussex Bowl

Business Address: N64 W24576 Main St Sussex WI 53089 City, State, Zip
 Phone # 262-246-6808
 Email address: Dan@Sussexbowl.com

2. Business owner contact information:

Contact: Stephen Hoehner
 Address: N80W22910 PLAINVIEW RD SUSSEX, WI 53089 City, State, Zip
 Phone # 262-719-2189
 Email address: Stephen@Sussexbowl.com

3. Building/Land owner contact information:

Contact: KIM STASZ-Nicholas
 Address: 9235 N 60th St Brown Deer, WI 53223 City, State, Zip
 Phone # 414-333-9014
 Email address: N64W24576 MAIN ST SUSSEX, WI 53089

4. Number of Employees/Shifts:

40 Employees Varies daily Shifts

5. Days of Operation:

Put an X in box that applies:
 Hours Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
9Am-2Am	9Am-2Am	9Am-2Am	9Am-2Am	9Am-2Am	8Am-2Am	8Am-2Am

6. Is this an extension of an existing operation? yes
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? Cat/Bike Show weekly on Monday / Live Music or DJ
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? yes If yes, explain: Music shall play for 3 hrs (6-9, 5-8 or 5³⁰-8³⁰)
11. Dimension of area to be occupied _____ Total square footage _____

If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 166 / 4 Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?
New sign info provided - awaiting approval.
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Stephen Hoehnen
Name
President
Title or Position

3-12-23
Date

I am aware and approve of the business to be operating in the building owned by Kim Stare-Nicholas.

Stephen Hoehnen
Name
President
Title or Position

3-12-23
Date



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Sussex Bowl
Business Address: N64 W24576 Main St Sussex WI 53089
Business Phone #: 262-246-6808
Business Email: Stephen@sussexbowl.com

Business Emergency Contacts

Name and Phone #: Stephen Hoehnen
Name and Phone #: Cassie Hoehnen
Name and Phone #: _____

Building Owner Name: Kim Starz-Nicholas
Building Owner Email: BOLANES@SPCGLOBAL.NFT

Building Owner Emergency Contacts

Name and Phone #: Lee Nicholas 414-750-3867
Name and Phone #: KIM STARZ-NICHOLAS 414-333-9014

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☒ No



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Sussex Bowl

Address: N64 W24576 Main St Sussex WI 53089

Owner/Operator: Stephen Hochman

Standard Industrial Classification #: N/A

How many people do you employ? 40+

What are your businesses hours of work? Sunday - Saturday 8AM - 2AM

Who is responsible for water quality? (List job titles)
N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates (Include any daily, monthly or seasonal variations):
N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

N/A

Please list each product your business produces. (Include type, amount and rate of production):

N/A

What are the constituents and characteristics of your wastewater?

N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Same as below;

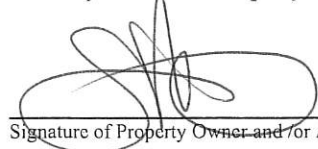
Business Name: Sussex Bowl

Name of Owner and Address of the Property involved in the Request (if different from above):

Stephen Hoehnen

N64W24576 Main St Sussex WI 53089

Tax Key No. of the Property involved in the Request: SUXV _____



Signature of Property Owner and/or Authorized Agent

5-12-23

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests participating in cruise in will enter off Main Street and follow route around to park accordingly in spots (1 car or truck 1 spot, 2 bikes 1 spot) directed by SB employees dressed in bright staff/security shirts .
- Our parking Lot will be monitored at 4pm to accommodate cruise in guests by SB volunteers/employees at entrance, exit and directing motorized participants & guests to appropriate parking. A SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot. Permissions have been given from Property Manager & tenants.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1st - May 5th.
- Cruise In Event shall run Every Monday starting May 8th through August 28th from 4pm - 10pm. (Current permissions for 5/8, 5/22, Live music or DJ will be available & on stage from 5pm-8pm.
 - Additional Temporary beer/soda stand outside of building a possibility. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. (1st year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building or from volleyball area.

April 10, 2023

Village of Sussex License Committee

Revised Extension of Premise

Sussex Bowl Monday Night Outdoor Pistons & Pins Events May through September

Our current License allows the sale of alcoholic beverages to be sold inside of Sussex Bowl & beverages can be consumed outside in our volleyball courts, bags area & front patio area.

1. We would like to expand the area to include the entire parking lot for our Monday Night events to run from 4pm-10pm. All guests will be wrist banded to show proper ID has been shown for consumption of alcoholic beverages. There will be alcoholic beverages served from the Volleyball bar area bar, inside bar and possibly a smaller mobile beer station. The outside bars will be closed by no later than 10:00pm unless noted to Village Hall.
2. We will have live music or a DJ performing in the volleyball area from 5pm - 8pm. Within the volleyball area the speakers will be monitored and modified as need be with a decibel meter within village guidelines. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.
3. There will be a one-way entrance into Sussex Bowl on Main Street & an exit onto Pewaukee St monitored & directed by staff at Sussex Bowl.
4. Other parking available to guests will be on Pewaukee Rd, and we have made arrangements for parking at the Wessex Centre with the tenants and have received permission from Baceline (Property Management) after they close.

Thank you for your time and consideration of our plan. We look forward to bringing more awareness to the youth of the area of great machinery shown throughout the summer season and contributing to a variety of charities throughout the years. Any questions please feel free to contact Stephen Hoehnen 262-719-2189 or Beth Kjell 608-575-8786

Sincerely,

Sussex Bowl Impact Report for Sussex Bowl's Pistons & Pins Cruise in 2023

Traffic - Should not be disrupted as we will have a dedicated entrance & exit from 4pm - 10pm

Parking - will be limited to one side of Pewaukee Road. We will be responsible for temporarily blocking off one side of the street parking sited by Fire Dept. / Wessex tenants have signed off on acknowledgement paperwork that we will be using their lot for overflow. Parking would continue as normal for the rest of Pewaukee Road. We've made an inquiry with our insurance agent about adding Wessex (Baceline Group) to our Certificate of Insurance for Mondays.

1. Noise - We will maintain whatever level decibel the village allows by utilizing a decibel meter as needed. Live music or DJ shall cease at 8:00pm. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.

Odor - We do not anticipate any odor out of the ordinary to occur.

Safety - Large orange cones will mark crossing from Wessex (this will be a process to see where heavy volume occurs) Our staff will be in bright colored shirts, so guests or village personnel know who to talk to for questions.

Crime - We do not anticipate any crime related activity.

Hours of Operation - The outside area will be operating from 4pm (2/3pm set up) till 10pm.

Health & Sanitation - We will have (2) port potties on site along with multiple trash & recycling stations. We have (3) full bathroom facilities inside the bowling center with hand washing stations in each available for all guests.

Property Maintenance - We maintain our own property and will pick up all debris in Wessex Lot on Monday's when shows occur throughout the cruise in year (May - August)

Any questions or concerns, feel free to contact me at 608-575-8786

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested

person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0416 B-1 Neighborhood Business District

17.0416 B-1 NEIGHBORHOOD BUSINESS DISTRICT

The B-1 Business District is intended to provide for individual or small groups of retail and customer service establishments serving primarily the convenience of a local neighborhood, and the character, appearance, and operation of which are compatible with the character of the surrounding area.

A. Permitted Uses

1. Accommodations and Food Service
 - (a) Bed and breakfast establishments
 - (b) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
 - (c) Food service contractors and caterers
2. Arts, Entertainment, and Recreation Services
 - (a) Promoter, agent, artists offices/studio

3. Educational, Health Services, and Social Services
 - (a) Fine arts and language schools and studios
 - (b) Automobile driving school
 - (c) General medical services
 - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
 - (a) Financial service institutions, excluding drive through
 - (b) Financial investment, insurance offices, and similar financial products
 - (c) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
 - (d) Office equipment rental and leasing
5. General Services
 - (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
 - (b) Barber, beauty, nail salons, spa treatment services
 - (c) Personal care and weight loss services
 - (d) Funeral home and funeral services
 - (e) General business offices
6. Information Services
 - (a) Motion picture and video production
7. Professional, Technical, Scientific, and Administrative Services
 - (a) Legal, notaries, and title services
 - (b) Accountants, tax preparation, payroll, and other accounting services
 - (c) Architects, landscape architects, engineering, surveying services
 - (d) Interior, industrial, graphic, and fashion design services
 - (e) Consulting/professional services, advertising, management, HR, marketing, IT.
 - (f) Research and development facilities excluding industrial types
 - (g) Translation and interpretation services
 - (h) Employment placement and provider services
 - (i) Private investigators, locksmiths, security, and armored car services
 - (j) Janitorial services
8. Retail Trade
 - (a) Furniture, flooring, and home furnishing stores

- (b) Appliances, electronics, camera, office supply and copying stores
- (c) Home improvement and hardware stores
- (d) Grocery, convenience, and specialty food stores/markets
- (e) Liquor/packaged beverage and tobacco stores
- (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
- (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
- (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
- (i) Gift shops, florists, variety stores, antiques, used merchandise
- (j) Pet and pet supply stores
- (k) Art dealers/store

9. Manufacturing/Assembly

- (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.

10. Public Administration and Government Services

- (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.

11. Transportation and Warehousing

- (a) U.S. postal service
- (b) Courier, delivery, postal service businesses

B. Permitted Accessory Uses

- 1. Garages for storage of vehicles used in conjunction with the operation of business.
- 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 3. Residential quarters for the owner or proprietor, located in the same building as the business.
- 4. Efficiency and one-bedroom residential apartments on a non ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
- 5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- 6. Roof-mounted, solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

- 1. Lots shall be a minimum of 5,000 square feet in area and shall not be less than 60 feet in width.

2. Individual business sites in the B-1 Business District shall provide sufficient area for the principal building and its accessory buildings, off-street parking and loading areas, and required yards. There is no required minimum site width.
 3. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
- E. Building Height and Area
1. No principal building or parts of a principal building shall exceed 30 feet in height.
 2. The maximum square footage of the principal building shall not exceed 30,000 square feet in size.
- F. Setback and Yards
1. There shall be a minimum building setback of 25 feet from the right-of-way of all streets.
 2. No separation shall be required between business, service or commercial uses. No structure shall be closer than 15 feet to a side lot line.
 3. There shall be a rear yard of not less than 15 feet.
 4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.
- G. Erosion Control
1. See Chapter 14 of the Municipal Code of the Village.
- H. Development Design Guidelines
1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- I. Plans and Specifications to be submitted to Plan Commission
1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report

along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

2. Arts, Entertainment, and Recreation: Petitioners for conditional uses in the Arts, Entertainment, and Recreation section below must prove if the use involves the discharge of weapons that the building and site design have been established to both prevent any bullet, arrow, or other item from leaving the subject property and prevent anyone unauthorized; from access to where they may be impacted by the discharge of the weapon(s).
 - a) Archery Ranges, bathhouses, beaches, boating, camps, conservatories, driving ranges, firearm ranges, golf courses, ice boating, marinas, polo fields, riding academies, and stadiums in the A-1 district provided that the lot area is not less than three (3) acres and all structures are not less than 50 feet from any district boundary.
 - b) Music/theater halls, museums, historical sites, zoological and botanical gardens in the B-1, B-3, and A-1 districts.
 - c) Commercial Recreation Facilities, such as arcades, bowling alleys, dance halls, driving ranges, gymnasiums, lodges, miniature golf facilities, physical fitness and recreational sports facilities, pool and billiard halls, racetracks, rifle ranges, tennis courts, volley ball courts, Turkish baths, swimming pools, and skating rinks, are conditional uses and may be permitted in the B-1,

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.
3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along

the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

2023
VILLAGE OF SUSSEX ORDER
GRANTING A CONDITIONAL USE AND PRESCRIBING
CONDITIONS FOR NICSTAR LLC D/B/A SUSSEX BOWL
TO ALLOW CERTAIN USES AS DESCRIBED HEREIN
IN THE VILLAGE OF SUSSEX

WHEREAS, an application has been filed by Stephen Hoehnen, President of Sussex Bowl Inc. on the subject property (hereinafter collectively “Petitioners”); and

WHEREAS, the Petitioner is requesting a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for property at SUXV0231999012 N64W24576 Main Street in the Village of Sussex, Wisconsin, all as described on **Exhibit A** attached hereto and incorporated herein (hereinafter “Subject Property”); and

WHEREAS, upon referral of the application by the Village Clerk, the Plan Commission for the Village of Sussex determined that the application met all requirements as set forth in Section 17.0502 and scheduled a public hearing thereon as soon as practical; and

WHEREAS, upon publication of the required “Notice of Public Hearing” and mailing of said “Notice of Public Hearing” to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on May 16, 2023 and June 20, 2023 as required by Section 17.0505 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Plan Commission has followed the review procedures of Section 17.0503 by reviewing the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation; and

WHEREAS, the Subject Property is zoned B-1 Neighborhood Business District; and

WHEREAS, the recreational facility such as a bowling alley is a conditional use in accordance with Section 17.0506 A(2)(c) and the request to amend the conditional uses authorized the subject property to include: Volleyball Courts, dance hall, bowling alley with pro shop, restaurant, arcade, babysitting, cocktail lounge, flea market and to allow additional outside use for bags tournament area, outdoor bar, and a Tuesday car and bike night; and

WHEREAS, the Plan Commission for the Village of Sussex finds that the petitioner’s proposed conditional use, if said use is carried out in strict compliance with the conditions described herein, is not adverse to the public health, safety, or welfare; it is not in conflict with the spirit or intent of the Village of Sussex Zoning Ordinance; and it is not otherwise detrimental to the community and particularly the surrounding neighborhood; and

WHEREAS, the Plan Commission for the Village of Sussex, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other

similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a conditional use permit for the Subject Property is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by the Petitioners for recreational facility such as a bowling alley and other outdoor uses; volleyball courts; bags tournament area and outdoor bar as well as permitted and accessory uses set forth in Section 17.0416 B-1 Neighborhood Business District District and auxiliary uses as set forth in Section 17.0710 if approved as part of a Plan of Operation and site plan; and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use is granted for the Petitioner for the above for the above enumerated uses, incorporating the findings as set forth above and subject to the following conditions:
 1. Presentation Compliance. The recreational facility such as a bowling alley and other outdoor uses; volleyball courts; bags tournament area and outdoor bar is approved herein on the Subject Property, and the use thereof, shall be used in substantial conformity with the presentation at the Public Hearings before the Plan Commission held on February 18, 2020 and March 17, 2020.
 2. Subject Property. This conditional use permit issued to the Petitioners, shall be limited to the property described in **Exhibit A** attached hereto and incorporated herein and to the site plan presented at public hearing.
 3. Plans. The Petitioners are required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Village Clerk for the Village of Sussex in order for this CU to be in effect. The Petitioner shall be entitled to amend or change any plan contemplated herein subject to the specific language of the Conditional use and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial amendment or change in any plan contemplated herein as solely determined by the Plan Commission. If the Plan Commission for the Village of Sussex feels, in its sole discretion, that the amendment or change to any plan contemplated herein is substantial, the amendment or change will require a new permit and all Village procedures in place at the time must be followed.
 - A. Site Plan. The Petitioners shall maintain the existing site plan, which shall be attached hereto and incorporated herein as **Exhibit A-1**.
 - B. Plan of Operation. The Petitioners shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meetings. Once approved the plan of operation shall be attached hereto and incorporated herein as **Exhibit B**.

- C. Traffic, Access, Loading, and Parking Plans. The Petitioner shall comply with the existing traffic parking, loading, and egress plan for the subject property on file with the Village Clerk.
- D. Lighting Plan. The Petitioner shall maintain the existing lighting plan for the Subject Property on file with the Village Clerk
- E. Signage Plan. The Petitioner must submit a signage plan for the subject property on file with the Village Clerk.
- F. Public Improvements. There are no current public improvements required at this time.
- G. Sewer, Water, Stormwater and Erosion Control Plans. The Petitioner shall comply with the specific sewer, water, stormwater, and erosion control plans on file with the Village Clerk.
- H. Fence, Landscaping, Berm, and Open Space Utilization Plan. The Petitioner shall comply with the specific Fence, Landscaping, Berm, and Open Space Utilization Plan for the Subject Property shall be attached hereto and incorporated herein as **Exhibit C**.
- I. Architectural and Building Plan. The Petitioner shall comply with the specific Architectural and Building Plan for the Subject Property on file with the Village Clerk.
- J. Outdoor Storage and Uses Plan. No outdoor storage is permitted. The outdoor uses approved are the volleyball courts, outdoor bar, bags tournament area, and a Tuesday car and bike night, and any area approved with an outdoor establishment permit. If the Petitioner wishes to have additional outdoor uses they must seek approval from the Plan Commission without a new public hearing unless the Plan Commission determines a public hearing is necessary.
 - i. The activities approved for the car and bike night shall be permitted on Tuesdays for the months of May, June, July, and August and have a set up time of 4:00 pm, an activity start time of 5:00 pm, and an end time of 10:00 pm. Live music shall be permitted between 5:00 pm and 8:00pm. This is in accordance with the plan of operation incorporated herein as **Exhibit D**.
 - ii. The Tuesday car and bike night shall take place in accordance with the approved Site Plan incorporated herein as **Exhibit E**.
 - iii. The car and bike night incorporates overflow parking with the use of the Wessex Shopping Center and the parking agreement is incorporated herein as **Exhibit F**. If the parking agreement between the establishments is to change, those changes will need to be reviewed by the Plan Commission.
 - iv. The owner is responsible to maintain a safe and secure event and abide by any rules and regulations of the Wisconsin Alcohol Beverage and Tobacco Laws.

- v. The owner must submit a Safety and Security Plan to the Fire Department and Police Department for their review and approval prior to the start of the event each year. This plan shall be kept on file with Village Staff.
 - vi. Modifications to time, date, and location on the subject property with respect to the car and bike night may be approved by the Plan Commission without a new public hearing unless the Plan Commission determines the proposed changes would have an undue hardship on the welfare and safety of the public, at which time the Plan Commission may require a new public hearing.
 - vii. The Petitioner acknowledges that the Plan Commission in granting these outdoor uses in near proximity to residential uses reserves the right to review the Outdoor Use section of the Conditional Use Permit on an annual basis to address complaints about the outdoor use that the Plan Commission deems are of a continuous or significant nature to ensure the welfare and safety of the public. If said reviews occur adjustments may be required to the location, timing, extent and or other factors of the outdoor uses to address the complaints raised by the Public to the satisfaction of the Plan Commission.
4. Adult-Oriented Materials. No adult-oriented materials or pornographic videotapes, magazines, or gift items will be sold or rented from the subject facility.
 5. Licenses. The Petitioner shall be required to obtain any and all required licenses and permits from the Village, County, State, and Federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.
 6. Laws. The Petitioner shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
 7. Building and Fire Inspection. The Petitioner is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.
 8. Aesthetics. The Petitioner is required to properly maintain the Subject Property at all times and in full compliance with the Village Property Maintenance Code, Section 9.07 of the Village of Sussex Code all to the satisfaction of the Plan Commission for the Village of Sussex.
 9. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property.
 10. Temporary Use or Activity. No temporary use or special activity or event shall be permitted without prior approval of the Plan Commission of the Village of Sussex and the same must be in compliance with all ordinance, rules, and regulations of the Village of Sussex and all necessary permits must be obtained except for as allowed by Outdoor Establishment Permit under Chapter 4 or Auxiliary Use under Section 17.0710.

11. Fees and Expenses. The Petitioner, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the Petitioner with copies of all itemized invoices.
 12. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the Petitioner.
 13. Complaints. In the event the Petitioner receives any complaints with regard to the operation authorized by this conditional use, the Petitioner shall respond to such complaints in writing within a reasonable time not to exceed two weeks from the date of the complaint and shall provide a copy of the written response to the Sussex Village Administrator within the same period of time. If the complaint was made in writing, the copy provided to the Village Administrator shall include a copy of the complaint.
 14. No Nuisance. The Village reserves the right to rescind its approval of this conditional use permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Petitioner is given an opportunity to be heard on the matter and, if so rescinded the Petitioner and Subject Property shall thereupon be immediately subject to the Village of Sussex Zoning Ordinances , as applicable, regarding the use of the Subject Property as though no conditional use permit was granted.
 15. Subject to Acceptance. Subject to the Owner approving in writing the issuance of the same and Petitioner acknowledging in writing that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Petitioner will therefore need to re-commence the application process.
 16. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate
- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.
- D. This conditional use hereby authorized shall be confined to the Subject Property described, without extension or expansion other than as noted herein, and shall not vary from the purposes

herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.

- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the Petitioner be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized herein, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Plan Commission, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed.
- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- I. This conditional use permit shall be effective for an initial term that ends five years from the date of January 1 of the year the conditional use is approved. During the final year of the 5 year term of the CU the Village Administrator or designee shall examine the record to determine if concerns about the operation have been raised in writing by the public, a governmental body or official, or anyone else, and shall also review the site and the adjoining area for compliance with the conditions of the CU. If based upon that review the use of the property is compatible with the surrounding areas and the Petitioner is in substantial compliance with all terms of this conditional use agreement, then, in that event, the Conditional Use can be automatically renewed for another 5 year term. If based upon that review the Village Administrator finds concerns about compliance with the conditions of the Conditional Use, the Petitioner shall be brought back before the Plan Commission for consideration of the renewal. The Petitioner shall have the responsibility to apply for the renewal by January 30th of the final year of the term of the CU. Failure of Petitioner to apply for the renewal as provided herein shall be deemed a violation of the conditions of the conditional use and may serve as a basis for termination of the conditional use permit. The Plan Commission for the Village of Sussex may add additional conditions at any time.
 - 1. Where the changing character of the surrounding area causes the original conditional use or subsequent approved amendments thereto to no longer be compatible with the surrounding area, or for similar cause, based upon consideration for the public welfare, the conditional use order and any subsequent approved amendments or changes may be terminated by action of the Plan Commission of the Village of Sussex. Such use shall thereafter be classified as a legal nonconforming use as it was permitted to exist on the day it was terminated.

2. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes, the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.
 3. This conditional use may be reviewed annually. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.
- J. Upon acceptance by Petitioner of this conditional use permit, all prior conditional use permits granted to the Subject Property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.
- L. If any paragraph or phrase of this conditional use order is declared by a Court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific paragraph or phrase thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of this order. The remainder of the order shall remain in full force and effect.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the Petitioner.

Approved this _____ day of _____, 2023 BY THE PLAN COMMISSION FOR THE VILLAGE OF SUSSEX

Anthony LeDonne
Village President

Jennifer Moore
Village Clerk

PETITIONER ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.

Dated this _____ day of _____, 2023

Stephen Hoehnen, President of Sussex Bowl Inc.

This conditional use was drafted by Jeremy Smith, Village Administrator off of a model by Attorney John P. Macy ARENZ, MOLTER, MACY & RIFFLE, S.C., Village Attorneys for the Village of Sussex.

EXHIBIT D

Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests participating in cruise in will enter off Main Street and follow route around to park accordingly in spots (1 car or truck 1 spot, 2 bikes 1 spot) directed by SB employees dressed in bright staff/security shirts .
- Our parking Lot will be monitored at 4pm to accommodate cruise in guests by SB volunteers/employees at entrance, exit and directing motorized participants & guests to appropriate parking. A SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot. Permissions have been given from Property Manager & tenants.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1st - May 5th.
- Cruise In Event shall run Every Monday starting May 8th through August 28th from 4pm - 10pm. (Current permissions for 5/8, 5/22, Live music or DJ will be available & on stage from 5pm-8pm.
 - Additional Temporary beer/soda stand outside of building a possibility. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. (1st year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building or from volleyball area.

EXHIBIT D

April 10, 2023

Village of Sussex License Committee

Revised Extension of Premise

Sussex Bowl Monday Night Outdoor Pistons & Pins Events May through September

Our current License allows the sale of alcoholic beverages to be sold inside of Sussex Bowl & beverages can be consumed outside in our volleyball courts, bags area & front patio area.

1. We would like to expand the area to include the entire parking lot for our Monday Night events to run from 4pm-10pm. All guests will be wrist banded to show proper ID has been shown for consumption of alcoholic beverages. There will be alcoholic beverages served from the Volleyball bar area bar, inside bar and possibly a smaller mobile beer station. The outside bars will be closed by no later than 10:00pm unless noted to Village Hall.
2. We will have live music or a DJ performing in the volleyball area from 5pm - 8pm. Within the volleyball area the speakers will be monitored and modified as need be with a decibel meter within village guidelines. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.
3. There will be a one-way entrance into Sussex Bowl on Main Street & an exit onto Pewaukee St monitored & directed by staff at Sussex Bowl.
4. Other parking available to guests will be on Pewaukee Rd, and we have made arrangements for parking at the Wessex Centre with the tenants and have received permission from Baceline (Property Management) after they close.

Thank you for your time and consideration of our plan. We look forward to bringing more awareness to the youth of the area of great machinery shown throughout the summer season and contributing to a variety of charities throughout the years. Any questions please feel free to contact Stephen Hoehnen 262-719-2189 or Beth Kjell 608-575-8786

Sincerely,

EXHIBIT D

Sussex Bowl Impact Report for Sussex Bowl's Pistons & Pins Cruise in 2023

Traffic - Should not be disrupted as we will have a dedicated entrance & exit from 4pm - 10pm

Parking - will be limited to one side of Pewaukee Road. We will be responsible for temporarily blocking off one side of the street parking sited by Fire Dept. / Wessex tenants have signed off on acknowledgement paperwork that we will be using their lot for overflow. Parking would continue as normal for the rest of Pewaukee Road. We've made an inquiry with our insurance agent about adding Wessex (Baceline Group) to our Certificate of Insurance for Mondays.

1. Noise - We will maintain whatever level decibel the village allows by utilizing a decibel meter as needed. Live music or DJ shall cease at 8:00pm. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.

Odor - We do not anticipate any odor out of the ordinary to occur.

Safety - Large orange cones will mark crossing from Wessex (this will be a process to see where heavy volume occurs) Our staff will be in bright colored shirts, so guests or village personnel know who to talk to for questions.

Crime - We do not anticipate any crime related activity.

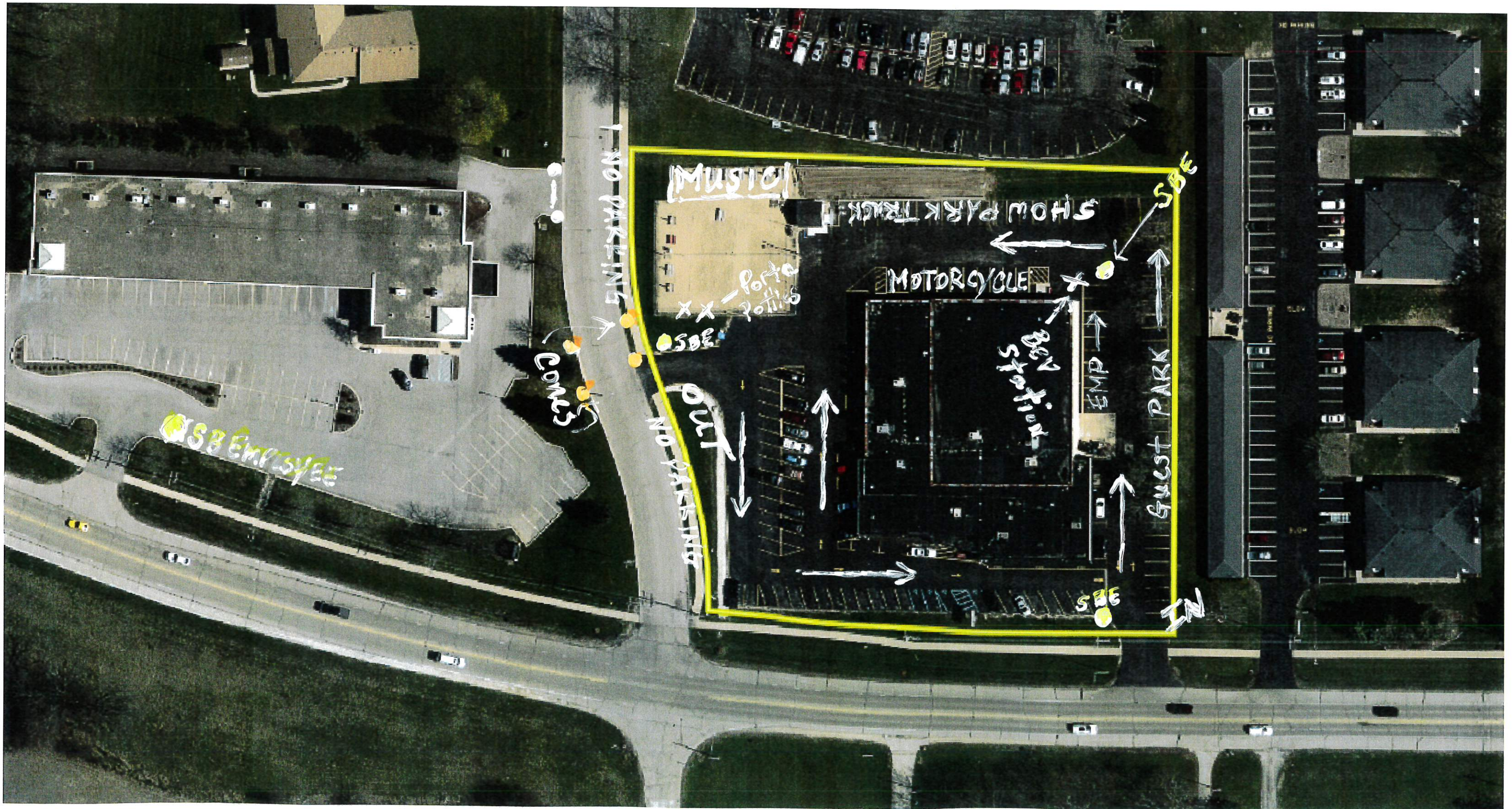
Hours of Operation - The outside area will be operating from 4pm (2/3pm set up) till 10pm.

Health & Sanitation - We will have (2) port potties on site along with multiple trash & recycling stations. We have (3) full bathroom facilities inside the bowling center with hand washing stations in each available for all guests.

Property Maintenance - We maintain our own property and will pick up all debris in Wessex Lot on Monday's when shows occur throughout the cruise in year (May - August)

Any questions or concerns, feel free to contact me at 608-575-8786

EXHIBIT E





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/18/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER		CONTACT NAME: Lisa Proffitt	
R & R Insurance Services, Inc		PHONE (A/C, No, Ext): (262) 574-7000	FAX (A/C, No): (262) 574-7080
N14 W23900 Stone Ridge Drive		E-MAIL ADDRESS: Lisa.Proffitt@rrins.com	
Waukesha	WI 53188	INSURER(S) AFFORDING COVERAGE	
INSURED		INSURER A: Secura Insurance	NAIC # 22543
Nicstar LLC		INSURER B: Society Insurance	15261
4715 W Bradley Rd		INSURER C:	
Waukesha		INSURER D:	
WI 53223		INSURER E:	
		INSURER F:	

COVERAGES

CERTIFICATE NUMBER: 22/23 Liab

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:			CP3290481 CGE1037 1301	7/18/2022	7/18/2023	EACH OCCURRENCE \$ 1,000,00 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 200,00 MED EXP (Any one person) \$ 1,00 PERSONAL & ADV INJURY \$ 1,000,00 GENERAL AGGREGATE \$ 2,000,00 PRODUCTS - COMP/OP AGG \$ 2,000,00 Voluntary Property Damage \$ 2,50
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input checked="" type="checkbox"/> Hired Phy Dmg			CA20018392 CA2048 1013 CA0449 1116 CA0444 1013	7/18/2022	7/18/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,00 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Underinsured motorist combined sir \$ 1,000,00
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0			CU3290483	7/18/2022	7/18/2023	EACH OCCURRENCE \$ 1,000,00 AGGREGATE \$ 1,000,00
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N Y	N/A	WC3299469	7/18/2022	7/18/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,00 E.L. DISEASE - EA EMPLOYEE \$ 100,00 E.L. DISEASE - POLICY LIMIT \$ 500,00

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Wessex Centre (Baseline Group Inc) is Additional Insured on the General Liability per written contract.

Kim Starz-Nicholas and Lee Nicholas are excluded from the Workers Compensation.

CERTIFICATE HOLDER

CANCELLATION

Wessex Centre
Baseline Group Inc
NCA 204570 Main Street

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through the end of August. We will be responsible for the cleanup of any debris left from the night. We will have an attendant in your lot to assure the agreed upon area of your parking is kept available for your guests from 4pm till 9pm. Clean up will be from 9pm till finished but no later than 10pm. Thank you for your consideration in this matter.

Signature Amy Kelly
Unit 7- Attitude Dance Company
Date April 18th 2023

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Amy Kelly - Attitude Dance Company


Unit 7

Date April 16th 2023

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature 

Unit #1 EX-T REALTY RESORTS

Date ~~2000~~ 4-6-03



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Cery

Unit 2 AFJ

Date 04/06/23



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Mark J. Mat First State Mortgage

Unit 5

Date 4-6-23

EXHIBIT F



Sussex Bowl is requesting your permission to utilize your parking lot located at N64W24678 Main St. Sussex WI 53089 for additional overflow parking on Mondays starting in May and going through September. We will be responsible for the cleanup of any debris left from the night. Thank you for your consideration in this matter.

Signature Randy Ratter

Unit Cindy Vance Agency (Farmers Insurance)

Date 4/6/23

EXHIBIT F

This agreement acknowledges that Sussex Bowl will name Wessex Centre (Baceline Group Inc.) as an Additional Insured on the General Liability as evidenced by the certificate of insurance requested below. For the business year of 2023 from May through August.

Event(s): Coverage on Monday Nights when Pistons & Pins events Start on May 8, 2023, through August 28, 2023. We will have a lot attendant available while this event is in place to assure Family Strong Sussex & Attitude Dance Company's parking spots are maintained for their customers per their request from 4pm – 9pm. (Clean up will take place after 9pm)

This agreement is effective immediately upon signature of this document and will be rereviewed by all parties before July 2023 when the Village of Sussex also reviews the plans for Sussex Bowl's car shows. Sussex Bowl will do its best to work with the neighboring businesses in the Wessex Centre to ensure that their business operations are not effected or impacted in any negative way, and request any feedback be provided in writing to either Sussex Bowl or Baceline Group Inc to ensure that proper adjustments are made if and when they are needed.

Map attached to email for reference

Please email Beth@sussexbowl.com the completed certificate at your earliest convenience. If you require additional information or assistance, please contact Beth at 262-246-6808.


Sussex Bowl Inc dba Name Sussex Bowl

Address N64 W24576 Main Street

City Sussex

State Wi

Zip

Signature:  Date _____

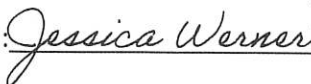
Wessex Centre (Baceline Group Inc)

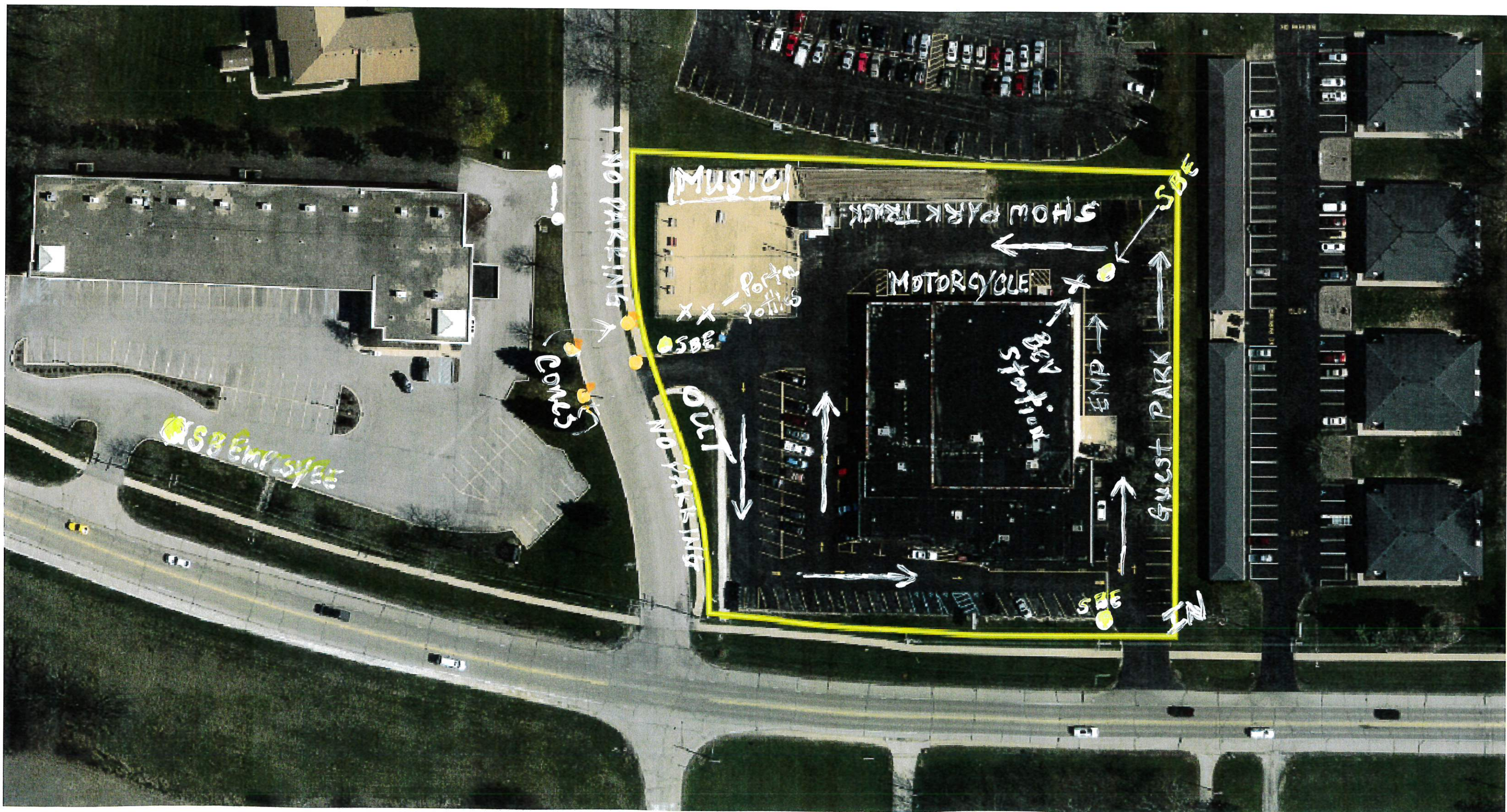
Address

City

State

Zip

Signature:  as agent for Wessex Baceline, LLC Date: 4/13/2023





Project Name T-Mobile ML89143A-NSD

Tax Key #

SUXV0231989007

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile, 708-359-7638; kfahey@insite-inc.com.

Phone # _____

E-mail: _____

For office use only:

Met with staff on: _____

Paid fees on: _____

To be on the Plan Commission Agenda for: _____

Original forms to the following:

Plan of Operation to Jeremy _____

Service reimbursement _____

Emergency Contact to Sheriff Dept _____

Wastewater Permit to WWTP _____

Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. N/A
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
If yes, explain: _____
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking: ^{N/A}
Total Number of Parking Spaces _____ Number of spaces needed per code _____
Number of spaces allocated for employee parking _____
Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Name

Date

Title or Position

I am aware and approve of the business to be operating in the building
owned by _____.

Name

Date

Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Karol Fahey
Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business
Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☐ No ☒

T-Mobile®

stick together®

T-Mobile®

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

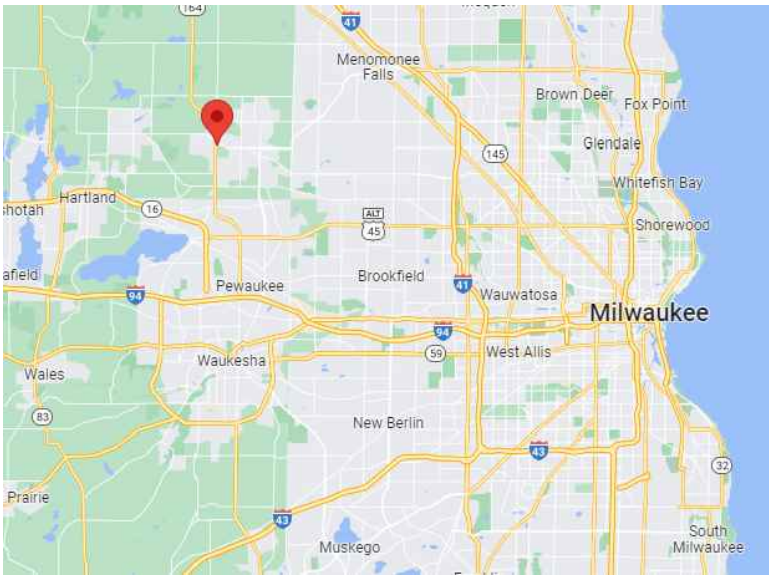
SHEET TITLE

TITLE SHEET

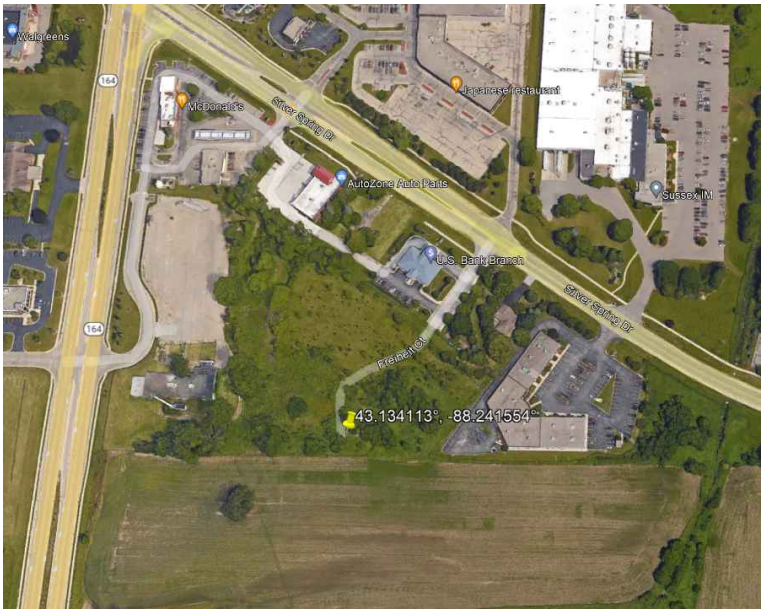
SHEET NUMBER

T-1

VICINITY MAP



LOCATION MAP



NOTES TO GENERAL CONTRACTOR:

GC SHALL VERIFY ALL EXISTING PLANS, DIMENSIONS & CONDITIONS ON JOB SITE.
GC SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY
DISCREPANCIES PRIOR TO CONSTRUCTION.
GC SHALL COMPLY WITH OSHA SAFETY REQUIREMENTS AT ALL TIME DURING SITE
CONSTRUCTION.
G.C SHALL HAVE THE SITE MANNED WITH A CREW AND SUPERVISOR DURING
CONSTRUCTION.
G.C. SHALL CONFIRM WITH T-MOBILE CONSTRUCTION MANAGER AND A&E FIRM FOR THE
MOST RECENT SET OF DRAWINGS AND STRUCTURAL ANALYSIS PRIOR TO BIDDING ON
SITE.

PROJECT INFORMATION

T-MOBILE SITE NUMBER: ML89143A
T-MOBILE SITE NAME: USCC - 784760
SITE TYPE: MONOPOLE
PROJECT TYPE: NSD - COVERAGE

SITE ADDRESS:

FREIHEIT CT.
Tax Key No: SUXV0231989007

JURISDICTION: VILLAGE OF SUSSEX
COUNTY: WAUKESHA

SITE COORDINATES:

LATITUDE NORTH: 43.134113°
LONGITUDE WEST: -88.241554°

SCOPE OF WORK

BASED ON RFDS DATED: 1/24/2023
THE SCOPE OF WORK CONSISTS OF:

ANTENNA LEVEL:

- (3) NEW ANTENNAS TO BE INSTALLED
- (3) NEW AHFIG RRU's TO BE INSTALLED
- (3) NEW AHLOA RRU's TO BE INSTALLED
- (1) NEW HCS 2.0 PENDANT TO BE INSTALLED
- (1) NEW ANTENNA PLATFORM WITH KICKER BRACE KIT

GROUND LEVEL:

- INSTALL A NEW 10'X10' STEEL PLATFORM WITH CANOPY ABOVE
- INSTALL A NEW ICE BRIDGE
- INSTALL A NEW DELTA SITE SUPPORT CABINET (HPL3)
- VERIFY WITH FINAL RFDS FOR NEW RAN EQUIPMENT
TO BE INSTALLED INSIDE HPL3 CABINET.
- INSTALL A NEW DELTA BATTERY BACKUP CABINET (LB3)
- INSTALL A NEW PPC CABINET
- INSTALL A NEW CIENA
- INSTALL (1) NEW HCS 2.0 TOWER JUNCTION BOX
- INSTALL (1) NEW HCS 2.0 TRUNK

GENERAL CONTRACTOR NOTES:

- OBTAIN CURRENT RFDS WITHIN 48 HRS. PRIOR TO CONSTRUCTION
- FOLLOW PORT MATRIX PER RF CONFIGURATION
- FOLLOW CURRENT T-MOBILE STANDARDS AND OPERATING
PROCEDURES
- RETURN ALL UNUSED NEW AND USED EQUIPMENT/MATERIALS TO
WAREHOUSE IN THE SAME CONDITIONS WHEN IT WAS REMOVED
- PROVIDE CLOSEOUT DOCUMENT WITHIN 72 HRS AFTER SITE
COMPLETION
- CLOSE OPEN PERMITS AFTER SITE COMPLETION

APPLICABLE CODES:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
AS AMENDED BY THE STATE OF WISCONSIN

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND
INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS
OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING
AUTHORITIES. NOTHING IN THESE PLANS IS TO BE
CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE
LATEST EDITIONS OF THE ADOPTED CODES:

APPLICANT:

T-Mobile®

T-MOBILE USA,
1400 OPUS PLACE
DOWNERS GROVE, IL 60515

CONTACT:
CONSTRUCTION MANAGER: CHRISTOPHER LYTL
PH: 815-641 5714
EMAIL: CHRIS.LYTLE@T-MOBILE.COM

A&E FIRM:

WESTIN
Engineering Consultants, Ltd.

650 CHASE AVE.
ELK GROVE VILLAGE, IL 60007
EMAIL: A&E@WESTINENGINEERING.COM
PHONE: 773-551 9814

SITE ACQUISITION:

Insite inc.
Real Estate Consulting Services

18660 MIDWEST ROAD, SUITE 140
OAKBROOK TERRACE, IL 60161
CONTACT : RAY SHINKLE
PH: 773-960 8781



Know what's below.
Call before you dig.
www.call811.com

ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
ADA ACCESS REQUIREMENTS ARE NOT REQUIRED.
THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND
WILL NOT PRODUCE ANY SEWAGE.

SHEET INDEX

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	△△
C-1	OVERALL SITE PLAN	△△
C-2	ENLARGED SITE PLAN	△△
C-3	TOWER ELEVATION & ANTENNA PLAN	△
C-4	UTILITY H-FRAME & UTILITY LIGHT DETAILS	
C-5	ICE BRIDGE & TOWER JUNCTION BOXES H-FRAME DETAILS	△
E-1	PROPOSED UTILITY SITE PLAN AND NOTES	△△
E-2	UTILITIES CONDUITS SCHEDULE & NOTES	
E-3	UTILITIES DIAGRAM & ELECTRICAL PANEL SCHEDULE	△
RF-1	ANTENNA AND CABLE SCHEDULE	△
RF-2	SYSTEM CONNECTION DIAGRAM	△
RF-3	TOWER J. BOX & PENDANT SPECS & WIRING DIAGRAM	
RF-4	POWER BOOSTER WIRING DIAGRAM	
SP-1	NEW ANTENNAS & RRUs MFR. SPECS	△
SP-2	NEW HPL3 DELTA CABINET MFR. SPECS	
SP-3	NEW LB3 DELTA BATTERY CABINET MFR. SPECS	
SP-4	NEW PPC CABINET MFR. SPECS	
SP-5	NEW EQUIPMENT PLATFORM MFR. SPECS	
SP-5.1 & 5.2	NEW EQUIPMENT PLATFORM ACCESSORIES MFR. SPECS	
SP-6 & 7	NEW ANTENNA PLATFORM & KICKER BRACE MFR. SPECS	△
GR-1,2,3	GROUNDING PLAN, RISER DIAGRAM, DETAILS AND NOTES	
GN-1 & 2	GENERAL NOTES AND SPECIFICATIONS	

APPROVALS

T-MOBILE OPS _____
R.F OPS _____
R.F ENGINEER _____
SITE ACQUISITION _____
CONSTRUCTION _____
LAND LORD _____

PARENT PARCEL DESCRIPTION:

Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin

LEASE AREA DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin containing 2,400 square feet (0.055 acres) of land and being described by:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet to the point of beginning; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence N89°-45'-23"E 40.00 feet; thence S00°-14'-37"E 60.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

30' WIDE UTILITY AND INGRESS/EGRESS EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 12,352 square feet (0.284 acres) of land and being Fifteen (15) feet each side of and parallel to the following described line:

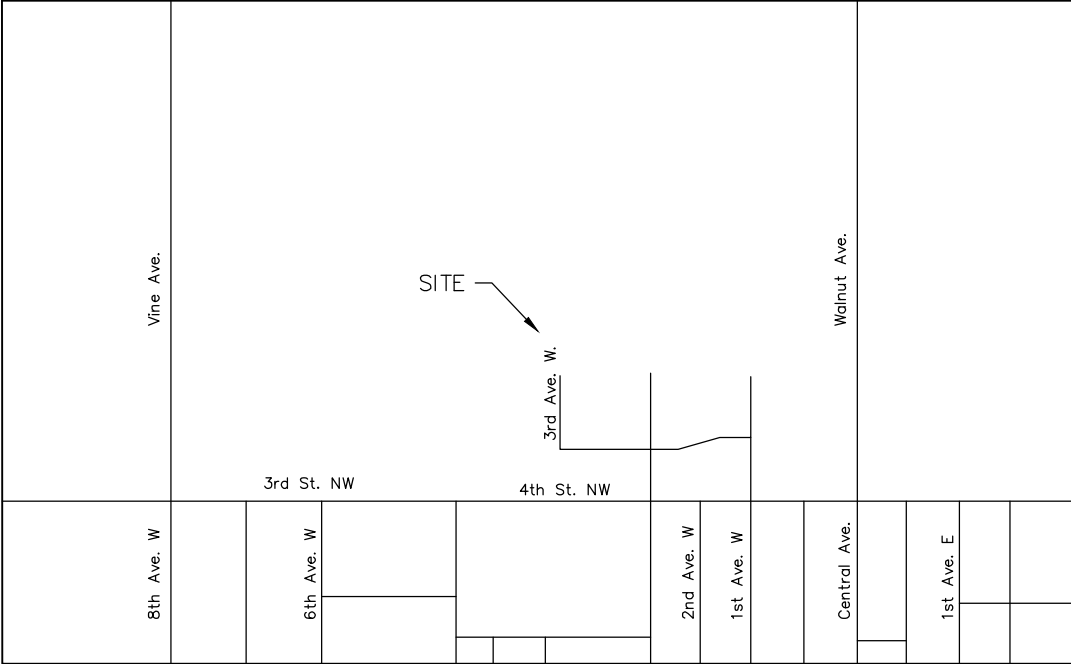
Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence S89°-45'-23"W 15.00 feet to the point of beginning; thence N25°-48'-57"W 12.32 feet; thence N18°-13'-25"E 99.03 feet; thence N67°-22'-26"E 151.41 feet; thence N33°-59'-38"E 65.05 feet to a point on the South line of Prospect Drive and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said South line of Prospect Drive. Also from said point of beginning; thence S00°-14'-37"E 83.91 feet to the point of termination.

10' WIDE UTILITY EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 5,934 square feet (0.136 acres) of land and being Five (5) feet each side of and parallel to the following described line:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 24; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 35.00 feet to the point of beginning; thence S00°-14'-37"E 18.89 feet; thence S89°-45'-23"W 574.48 feet to a point on the East line of Prospect Circle and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said East line of Prospect Circle.

VICINITY MAP

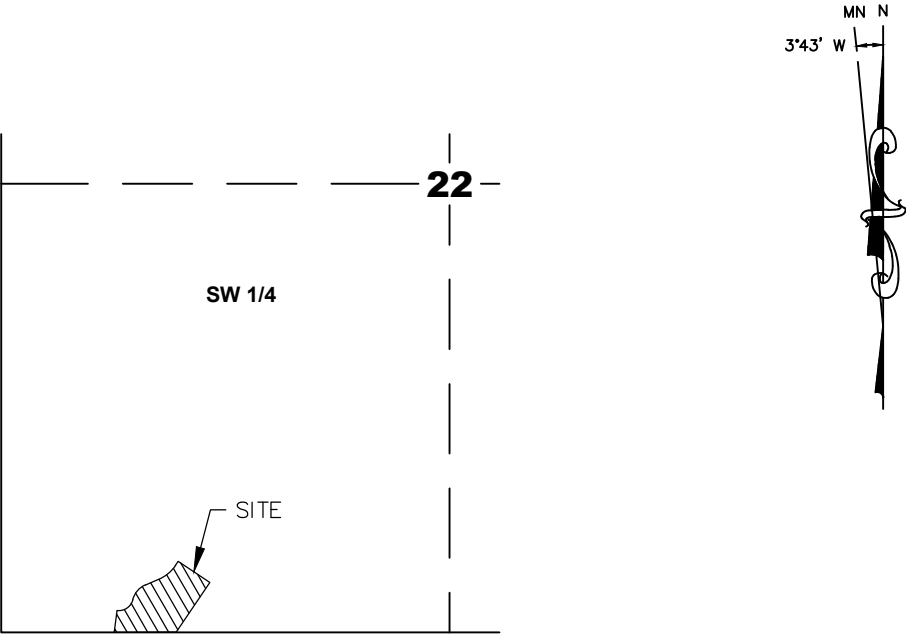


SURVEYORS NOTES

- 1.) Generally located in Wisconsin State Plane Coordinate System, South Zone (NAD-83).
- 2.) Not a survey of the parent parcel shown, but to be used only for the purposes shown hereon.
- 3.) The Utility locations shown hereon were determined by observed above ground evidence only. The surveyor was not provided with above ground markings to determine any subsurface locations, and makes no guarantee that the underground utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. This surveyor has not physically located the underground utilities.

Zoning Information: Commercial

Flood Information:
Property falls within a Zone "X" area determined to be inside a 0.2% chance of annual flood hazard, based upon FEMA Flood Rate Map No. 55133C0088G, with an effective date of November 5, 2014.



T. 8 N, R. 19 E
PARENT PARCEL DETAIL

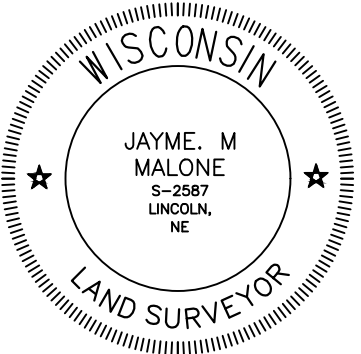
Surveyor's Certificate

To: Tower Engineering Professionals; and WFG National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as the land surveyor registered in the State of Wisconsin the Relative Positional Accuracy of this survey does not exceed that which is specified therein. The field work was completed on 06.27.2021.

Jayme M. Malone
Kansas LS 1113
Date of Plat or Map: 07.02.2021
Date of Last Revision: 07.02.2021

Survey Performed By:
Husker Surveying
4535 Normal Blvd., Suite 101
Lincoln, NE 68506



Prepared for:

U.S. Cellular

3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By: 6723

HUSKER SURVEYING

4535 Normal Blvd. Ste #101
Lincoln, Ne 68506
(402)423-5222
(402)423-5211
www.huskersurveying.com

Site Information:

SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

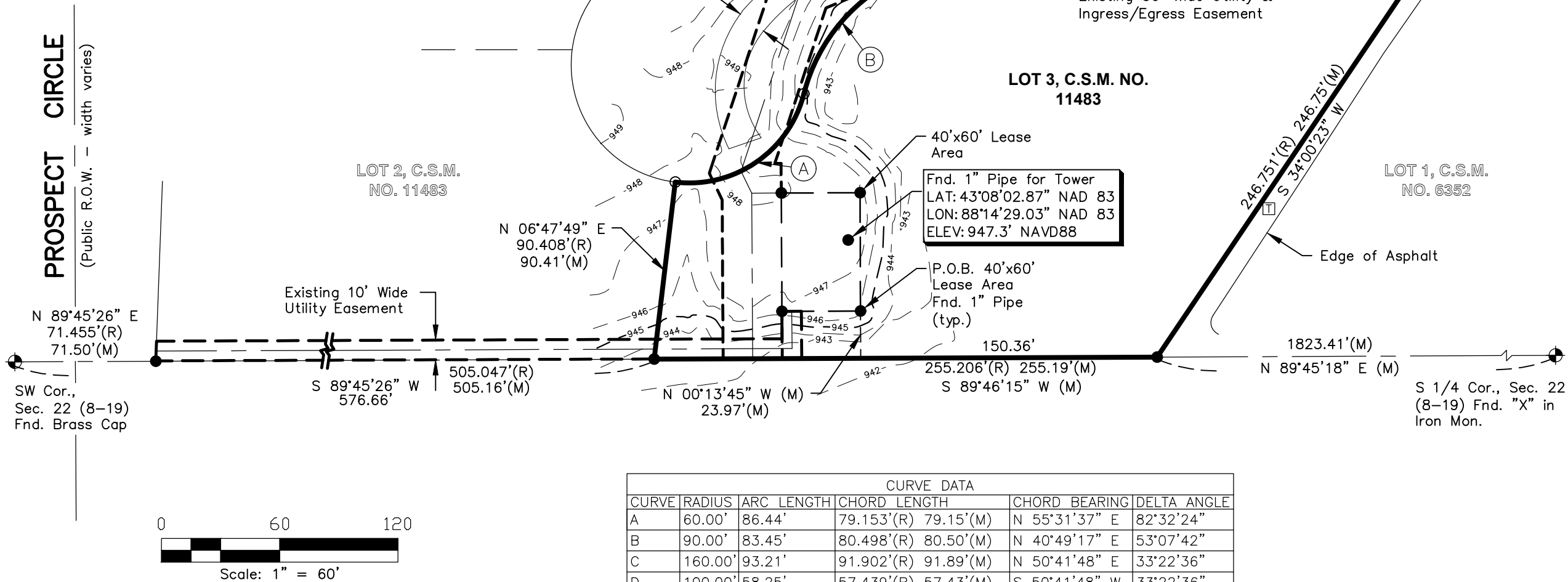
WISCONSIN PLS #S-2587
Jayme M. Malone

LEASE SITE & EASEMENT EXHIBIT 1 of 3

Date of Survey: 06.27.2021		
Revision	Date	
Preliminary	07.06.21	PD

LEGEND

- = Cor. Fnd. 1" Pipe
(Unless otherwise noted.)
- = Cor. Set #5 Rebar
Rebar
- ⊕ = Section Corner
- Ⓚ = Benchmark
- (M) = Meas. Dist.
- (P) = Plat Dist.
- (D) = Deed Dist.
- (R) = Record Dist.
- P.O.B. = Point of Beginning
- P.O.R. = Point of Reference
- ⊙ = Power Pole
- = Guy Wire
- Ⓜ = Telephone Pedestal
- Ⓜ = Manhole
- ⊙ = Fire Hydrant
- ⊕ = Valve
- = Catch Basin



Prepared for:

U.S. Cellular

3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By:

6723



Site Information:

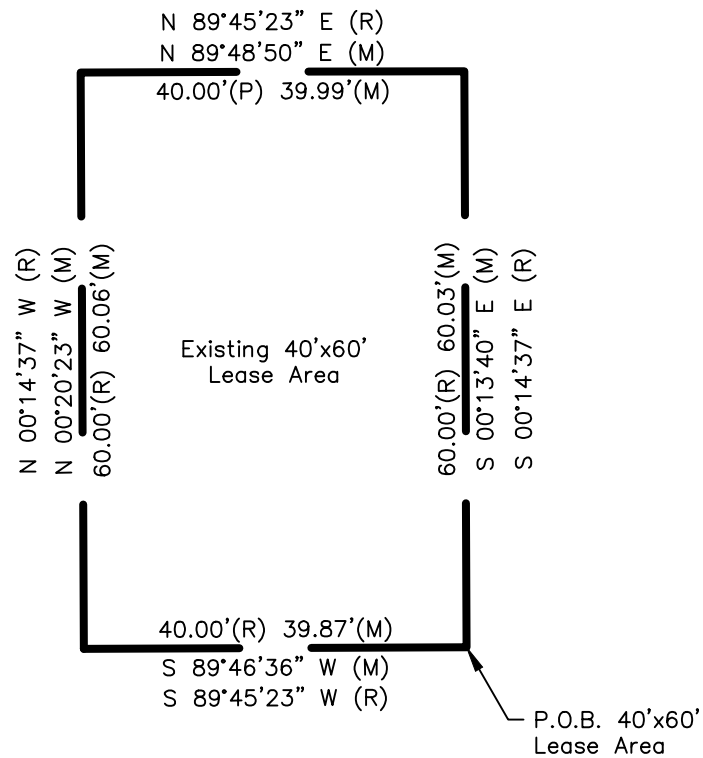
SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

**LEASE SITE &
EASEMENT EXHIBIT
2 of 3**

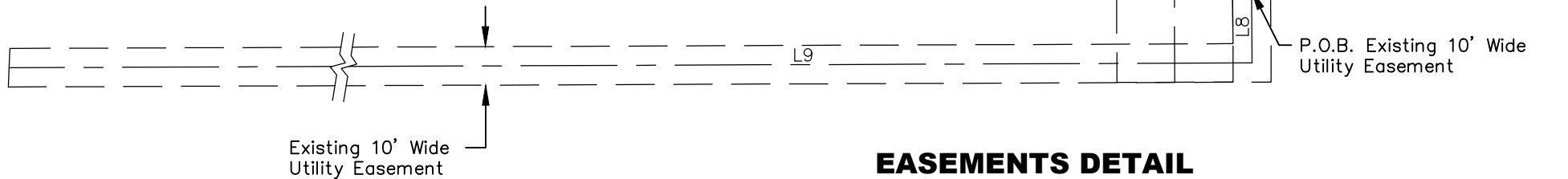
Date of Survey:	06.27.2021
Revision	Date
Preliminary	07.06.21 PD



LEASE AREA DETAIL

Scale: 1"=20'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 89°45'23" W (R) S 89°48'50" W (M)	15.00'(R&M)
L2	N 25°48'57" W (R) N 25°45'08" W (M)	12.32'(R&M)
L3	N 18°13'25" E (R&M)	99.03''(R&M)
L4	N 67°22'26" E (R&M)	151.41'(R&M)
L5	N 33°59'38" E (R&M)	65.05'(R) 64.85'(M)
L6	S 00°14'37" E (R) S 00°20'23" E (M)	83.91'(R&M)
L7	S 89°45'23" W (R) S 89°46'36" W (M)	35.00'(R) 34.87'(M)
L8	S 00°14'37" E (R) S 00°20'23" E (M)	18.89'(R&M)
L9	S 89°45'23" W (R&M)	574.48'(R) 574.99'(M)




EASEMENTS DETAIL

Scale: 1"=40'



Prepared for:



3806 THIRLANE ROAD NW
ROANOKE, VA 24019

Prepared for:



326 TRYON ROAD
RALEIGH, NC 27603
(919) 661-6351

Surveyed By:



6723

HUSKER SURVEYING

4535 Normal Blvd. Ste #101
Lincoln, Ne 68506
(402) 423-5202
(402) 423-5211
www.huskersurveying.com

Site Information:

SITE NAME:
SUSSEX II

PEWAUKEE, WI
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587
Jayme M. Malone

LEASE SITE &
EASEMENT EXHIBIT
3 of 3

Date of Survey:	06.27.2021	
Revision	Date	
Preliminary	07.06.21	PD

CONSTRUCTION NOTES:

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING ARE GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING SHALL BE HAND DUG.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY NEW SERVICE HAS BEEN APPLIED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.
- DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.
- COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION
- ALL CLEAN SOIL MAY BE USED ON SITE UNLESS OTHERWISE NOTED IN THE REGULATORY COMMENTS OR BID DOCS.
- ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .
- ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
- PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
- ANY ACCIDENTS ON SITE MUST BE REPORTED TO THE T-MOBILE MANAGER IMMEDIATELY AFTER ATTENDING TO THE PERSON(S) NEEDS AND ADMINISTERING FIRST AIDE IF NEEDED.
- GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGEMENT TEAM.
- PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.
- ALL CONDUITS MUST BE PROPERLY INSTALLED AND SEALED TO PREVENT FREEZING AND DAMAGE
- GC SHALL USE 3/4" PLYWOOD AROUND AREAS OF EGRESS/INGRESSS TO CONSTRUCTION SITE IN ORDER TO PROTECT GRASSY AREAS FROM DAMAGE FROM EXCAVATIONS AND CONCRETE WORK.
- GC TO REPAIR GRASSY AREAS TO LIKE CONDITION USING SOD AND SHALL WATER TO SATURATION ONCE WEEKLY UNTIL NEW GRASS SOD IS ESTABLISHED. MINIMUM OF 4 WATERING.

NOTES:

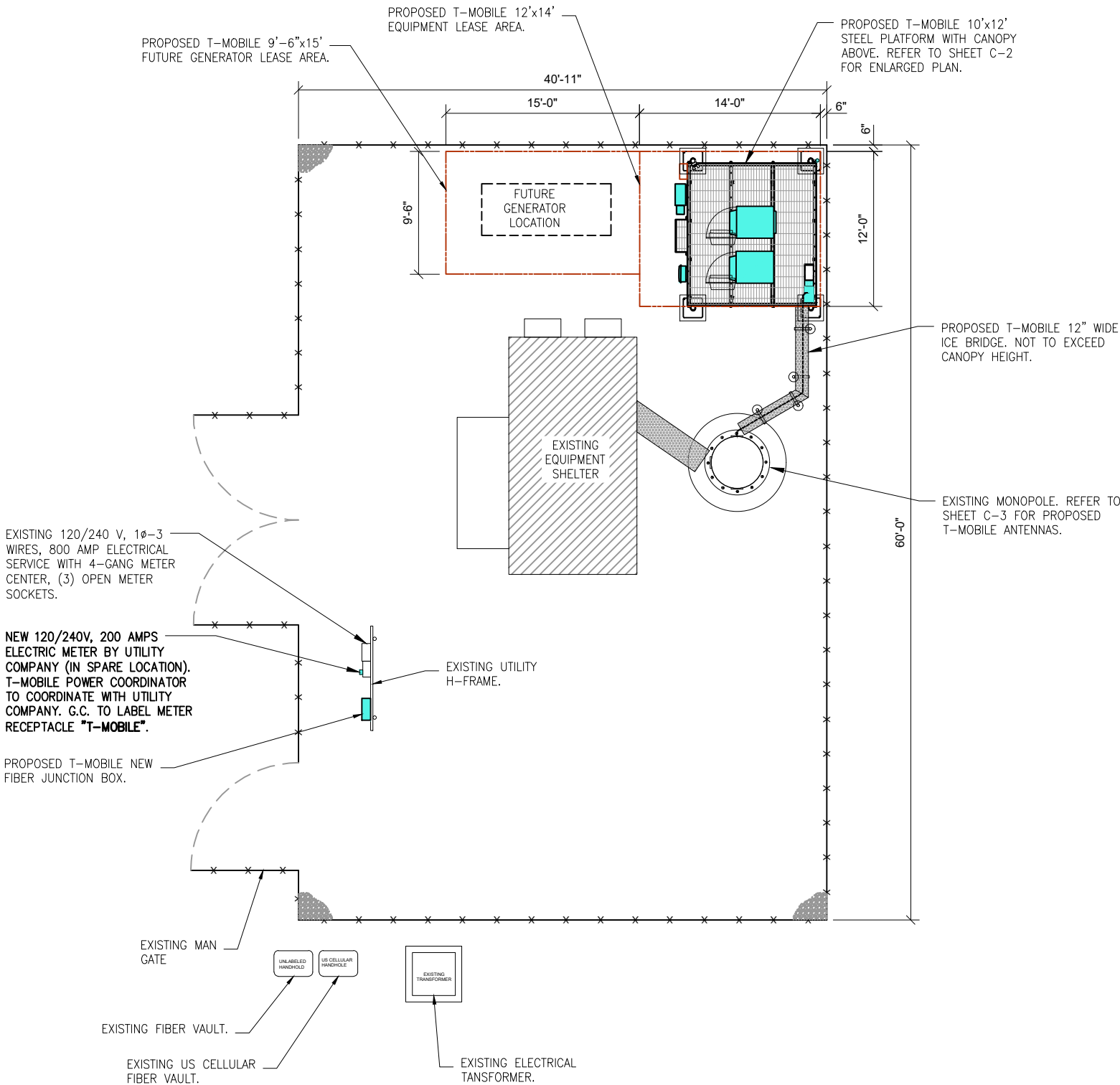
- G.C. MUST RETURN THE SITE TO PRE-CONSTRUCTION CONDITION AFTER CONSTRUCTION COMPLETE.
- HAND DIG IS REQUIRED WITHIN THE COMPOUND TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES.

NOTES:

- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING EQUIPMENT TO BE RELOCATED
- EXISTING EQUIPMENT TO BE REMOVED
- PROPOSED EQUIPMENT TO BE INSTALLED



1

OVERALL SITE PLAN

SCALE: N.T.S

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

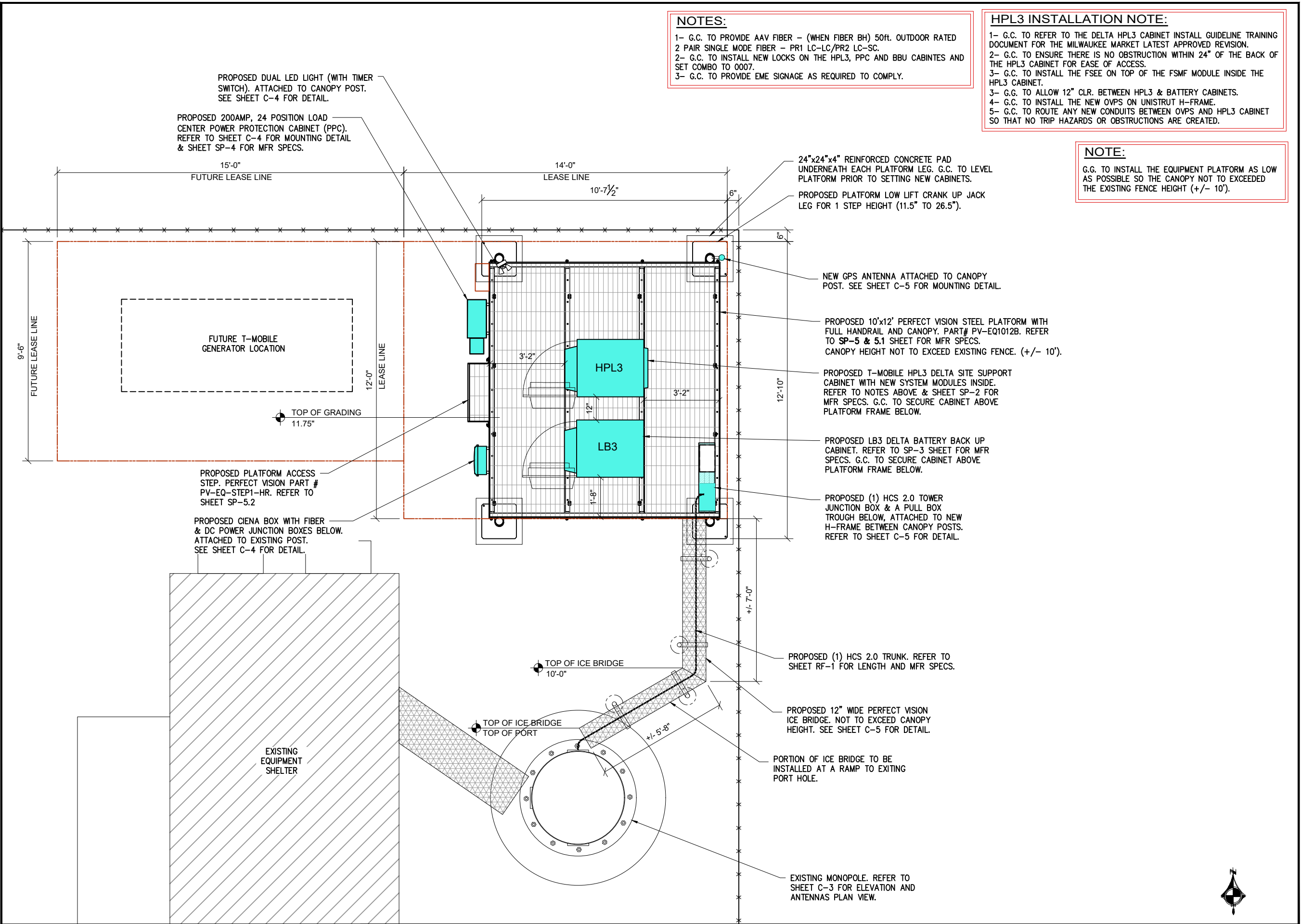
APPROVED BY: RA

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

C-1



T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23

WISCONSIN

RASHID AHMED

E-26737

ELGIN, ILLINOIS

PROFESSIONAL ENGINEER

EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

ENLARGED EQUIPMENT PLAN

SHEET NUMBER

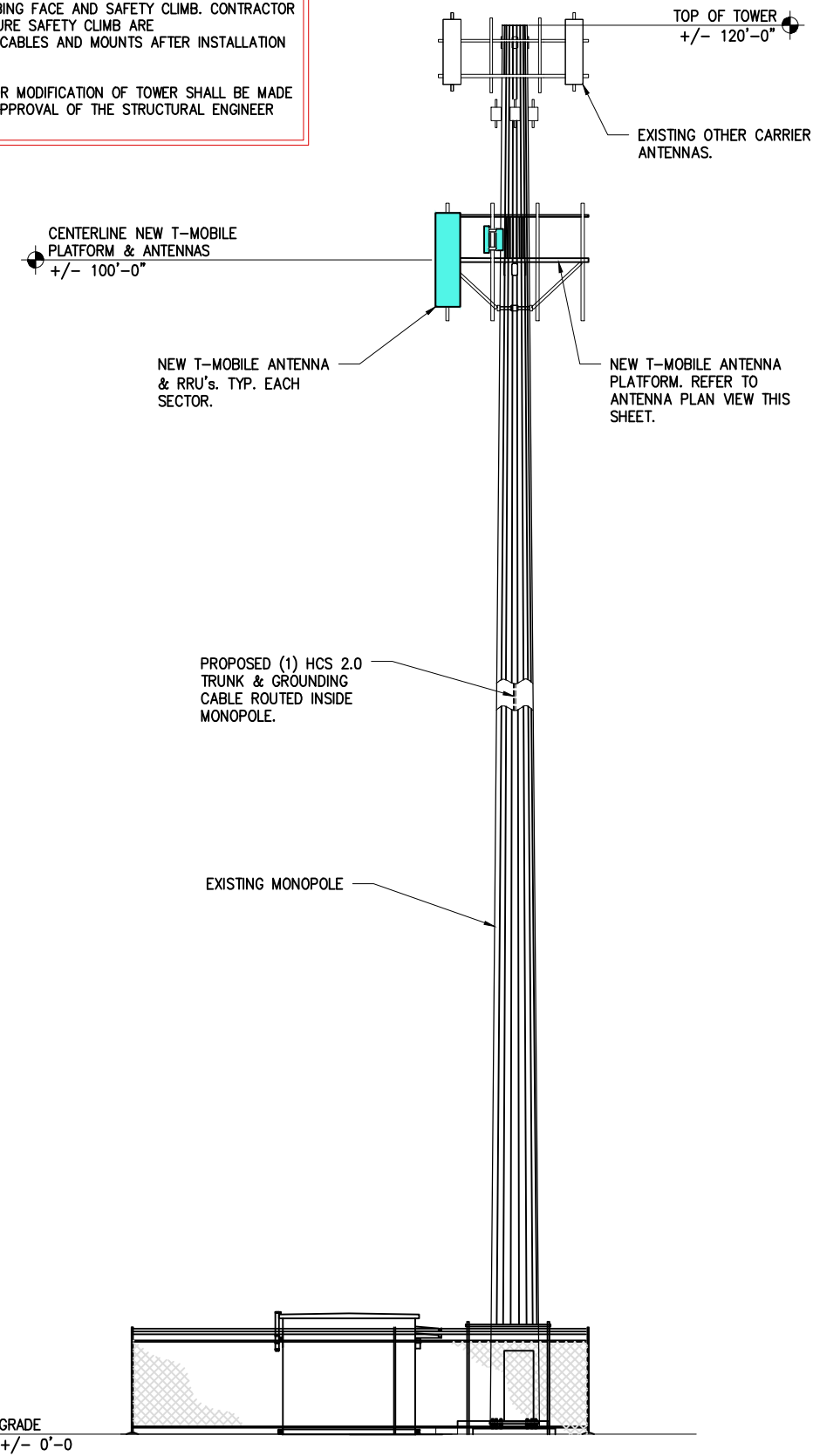
C-2

STRUCTURAL NOTE:

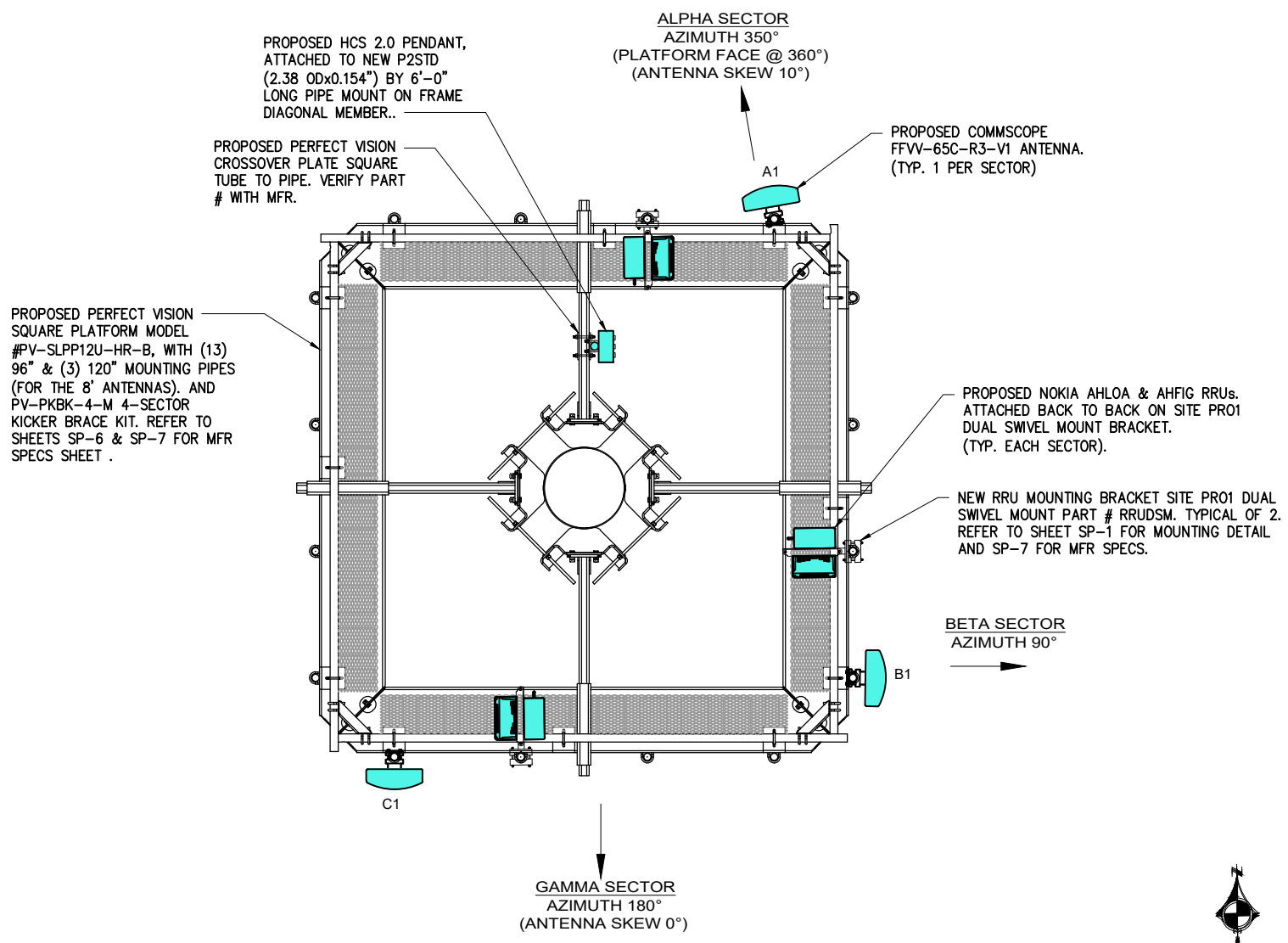
1- G.C. TO REFER TO LATEST TOWER STRUCTURAL ANALYSIS BY TOWER OWNER AND REVISED MOUNT ANALYSIS BY WESTIN ENGINEERING CONSULTANTS, LTD. DATED 04/05/2023 PRIOR TO CONSTRUCTION STARTS.

2- ALL NEW INSTALLED EQUIPMENT MUST NOT INTERFERE WITH THE CLIMBING FACE AND SAFETY CLIMB. CONTRACTOR SHALL MAKE SURE SAFETY CLIMB ARE 100% FREE OF CABLES AND MOUNTS AFTER INSTALLATION IS COMPLETE.

NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER

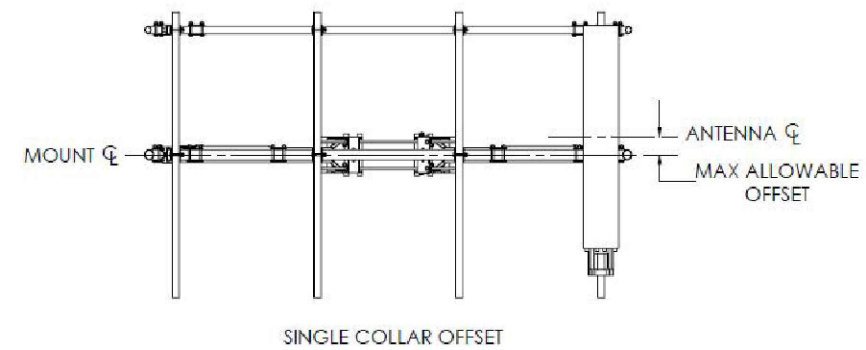


1 TOWER ELEVATION
SCALE: N.T.S.



2 ANTENNA PLAN VIEW
SCALE: N.T.S.

NOTE:
6" MAXIMUM ALLOWABLE OFFSET BTW. ANTENNA C.L. & MOUNT C.L.



3 ANTENNA CENTER LINE DETAIL
SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER			
ML89143A			
SITE NAME			
USCC - 784760			
SITE ADDRESS			
FREIHEIT CT.			
TAX KEY NO: SUXV0231989007			
REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23

WISCONSIN

RASHID AHMED
E-26737
ELGIN, ILLINOIS

PROFESSIONAL ENGINEER

EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE

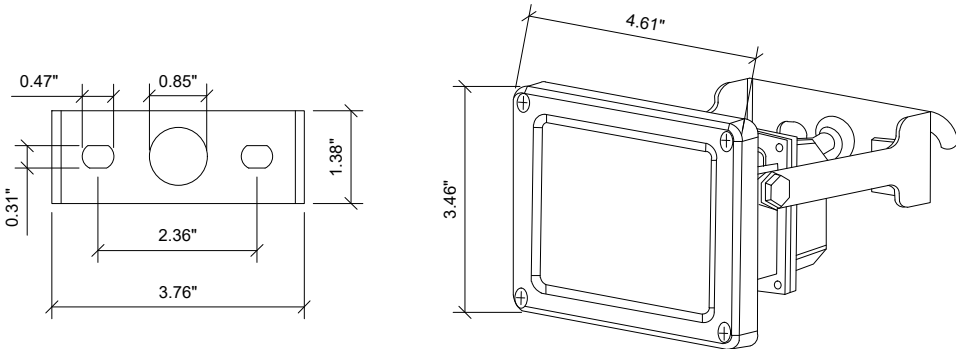
ELEVATION AND ANTENNAS PLAN VIEW

SHEET NUMBER

C-3

NOTES:

- (1) SIGMA TWO GANG CLEAR COVER, EXTRA DUTY WITH LOCKABLE ENCLOSURE.
- (1) INTERMATIC 60 MINUTE MECHANICAL TIMER, FF60MC.
- (1) CAST ALUMINUM, 2 GANG WEATHERPROOF FS BOX, NO LUGS, DEEP BOX. APPLETON FS-2-75A OR HUBBELL-KILLARK 2FS-1.
- USE BACK OF GANG BOX FOR ENTRY INTO PPC, SEAL FLUSH AGAINST PPC WITH GASKETING MATERIAL, AND/OR SEAL EXTERIOR PERIMETER WITH SILICONE BEAD TO PREVENT WATER INTRUSION.
- (1) GFCI 15 AMP LEVITON WEATHER RESISTANT GFWT1-HGT WITH SELF-TEST FEATURE (SEE [HTTP://WWW.LEVITON.COM/EN/PRODUCTS/GFCIS-AND-AFCIS/GFCI-RECEPTACLES/WEATHERRESISTANT-DUPLEX-FOR-ALTERNATES](http://www.leviton.com/en/products/gfcis-and-afcis/gfci-receptacles/weatherresistant-duplex-for-alternates)), 2-POLE, 3-WIRE, 15AMP, 125 VOLT, 5-15R NEMA, WALL BOX MOUNT, LIGHT ALMOND, HEAVY DUTY, COMMERCIAL GRADE. NOTE: NO RESIDENTIAL GRADE GFCI ALLOWED.
- (2) OUTDOOR FLOOD LIGHTS, RATED INITIAL LUMENS > 1,260 EACH FLOOD. [HTTP://WWW.MAXLITE.COM/PRODUCTS/SMALL-FLOOD-LIGHTS/FLS15U50B](http://www.maxlite.com/products/small-flood-lights/fls15u50b) OR EQUIVALENT MAXLITE MODEL FLS15U50B/N, @ 1,235 LUMENS.
- TYPICAL INSTALLATION, REGARDLESS OF PPC STYLE OR TYPE OR EXISTING OUTLETS.
- LIGHT TIMER ON 15A CIRCUIT, LIGHT CONTROLLED BY COUNTDOWN TIMER. GFCI ON SEPARATE 15A CIRCUIT.
- IF PPC HAS EXISTING INTERIOR MOUNTED GFCI, IT TOO SHALL BE WIRED FOR SERVICE.
- EQUIVALENT MEETING SERVICE REQUIREMENTS, OR BETTER, EQUIPMENT MAY BE SUBSTITUTED AND INSTALLED WITH PRIOR T-MOBILE PM OR CM APPROVAL.



SAMPLE INSTALATION

1 LIGHT DETAIL (MAXLITE PART# FLS15U50B)
SCALE: N.T.S.

NOTE:

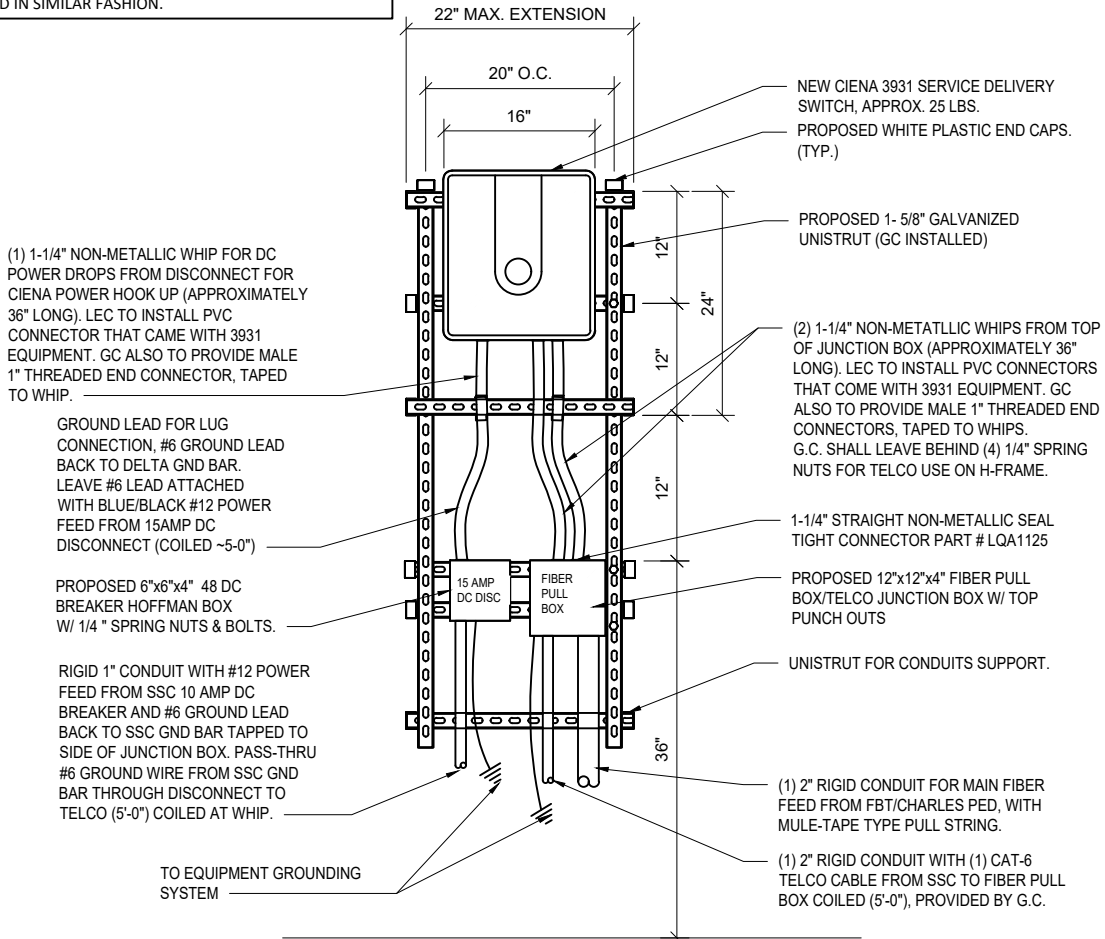
G.C. TO PROVIDE A SET OF 1/4" SPRING NUTS IN BAG FOR AT&T USE FOR CIENA. IF THIS IS A RAC24 G.C. TO BE PROVIDED CABINET AND SHALL MOUNT IN LIKE LOCATION AND IN SIMILAR FASHION.

ABBREVIATIONS:

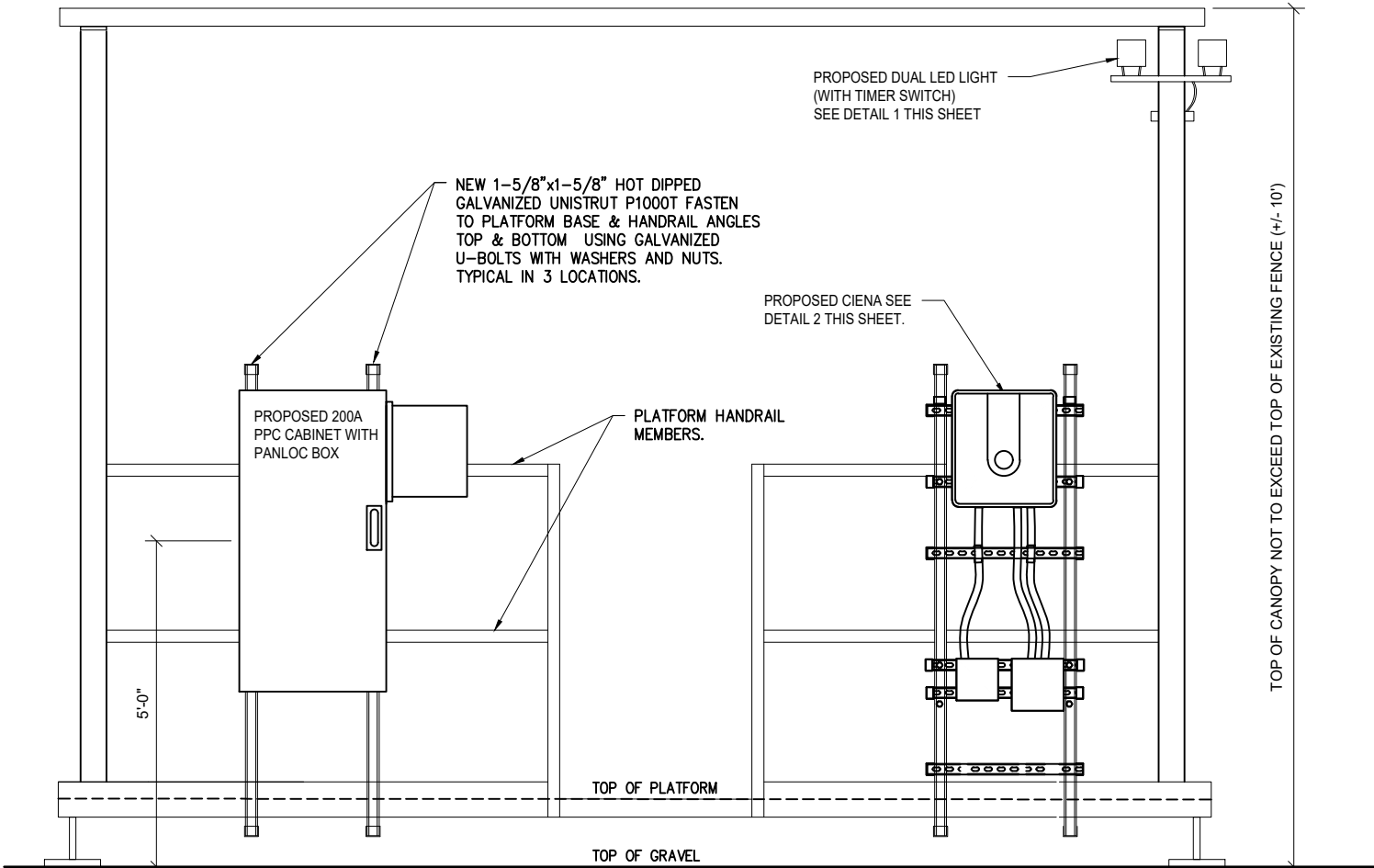
G.C. : GENERAL CONTRACTOR
LEC : LOCAL EXCHANGE CARRIER

NOTE:

ALL UNISTRUT, FASTENERS, HARDWARE, ETC, ARE TO BE EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL.
G.C. IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



2 CIENA DETAIL
SCALE: N.T.S.



3 UTILITY H-FRAME DETAIL
SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

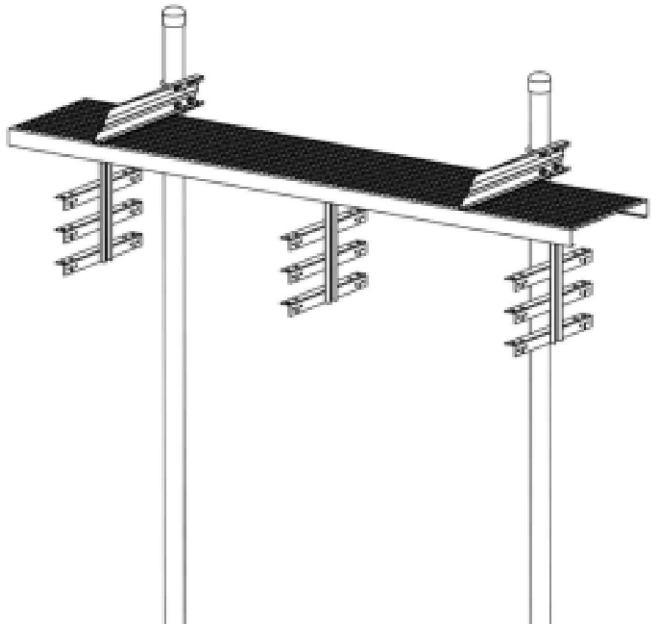
APPROVED BY: RA

SHEET TITLE

SITE
DETAILS

SHEET NUMBER

C-4

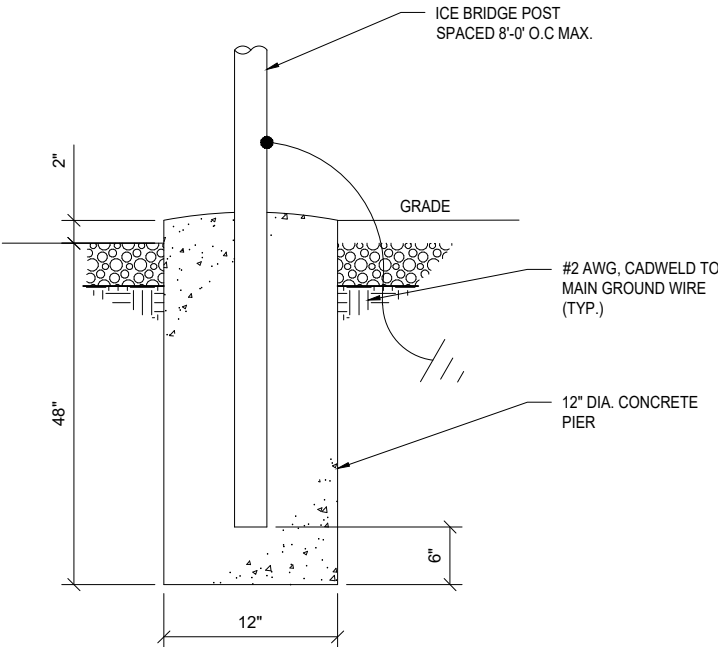


GENERAL SPECIFICATIONS

Product Type	Waveguide Bridge
Includes	Grip strut, support brackets, posts, trapeze kits, pipe caps
Material Type	Hot-dip galvanized, minimum A36 Steel, 14 gauge galvanized grip strut
Package Quantity	Kit of 1

MECHANICAL CHARACTERISTICS

Length	120 in
Width	12 in
Height	174 in
Weight	330 lb



1 ICE BRIDGE DETAIL
SCALE: N.T.S.

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO PLATFORM BASE & HANDRAIL ANGLES TOP & BOTTOM USING GALVANIZED U-BOLTS WITH WASHERS AND NUTS. TYPICAL IN 3 LOCATIONS. TYPICAL 2 PER TJB

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO VERTICAL UNISTRUT. G.C. TO PROVIDE AS NEEDED.

PLATFORM HANDRAIL MEMBERS.

HCS 2.0 TOWER J. BOX

10"x10"x36" NEMA 3R LARGE PULL BOX

TOP OF PLATFORM

TOP OF GRAVEL

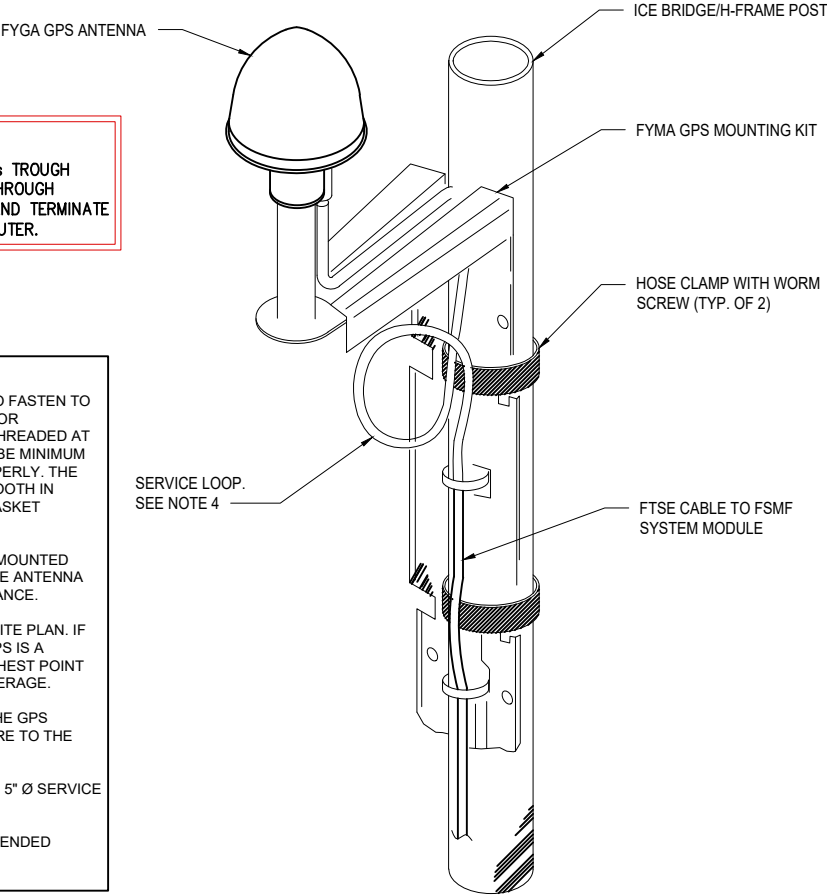
TOP OF CANOPY NOT TO EXCEED TOP OF EXISTING FENCE (+/- 10')

- (1) NEW 3" RIGID CONDUIT FOR FIBER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.
- (1) NEW 3" RIGID CONDUIT FOR DC POWER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.

2 HCS 2.0 TOWER JUNCTION BOX H-FRAME DETAIL
SCALE: N.T.S.

NOTE:
G.C. TO ROUTE GPS CABLE BACK TO OVPs TROUGH PULL BOX, ROUTE WITH FIBER JUMPERS THROUGH THE 3" RMC CONDUIT TO HPL3 CABINET AND TERMINATE INSIDE THE CABINET AT THE CSR IXR ROUTER.

- NOTES:**
1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIA. SCH 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE MINIMUM OF 18 INCHES IN LENGTH TO FUNCTION PROPERLY. THE CUT PIPE END SHALL BE DEBARRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.
 2. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" LEVEL FOR MAXIMUM PERFORMANCE.
 3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE BRIDGE ENSURE THAT GPS IS A MINIMUM OF 10' ABOVE GRADE ON THE FURTHEST POINT FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.
 4. GENERAL CONTRACTOR SHALL ENSURE THE GPS ANTENNA HAS THE REQUIRED FULL EXPOSURE TO THE SOUTHERN HEMISPHERE/HORIZON.
 4. GENERAL CONTRACTOR TO PROVIDE 4" TO 5" Ø SERVICE LOOP.
 5. GC TO ENSURE THAT GPS ANTENNA IS EXTENDED ABOVE CANOPY.



3 FYGA GPS ANTENNA DETAIL
SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

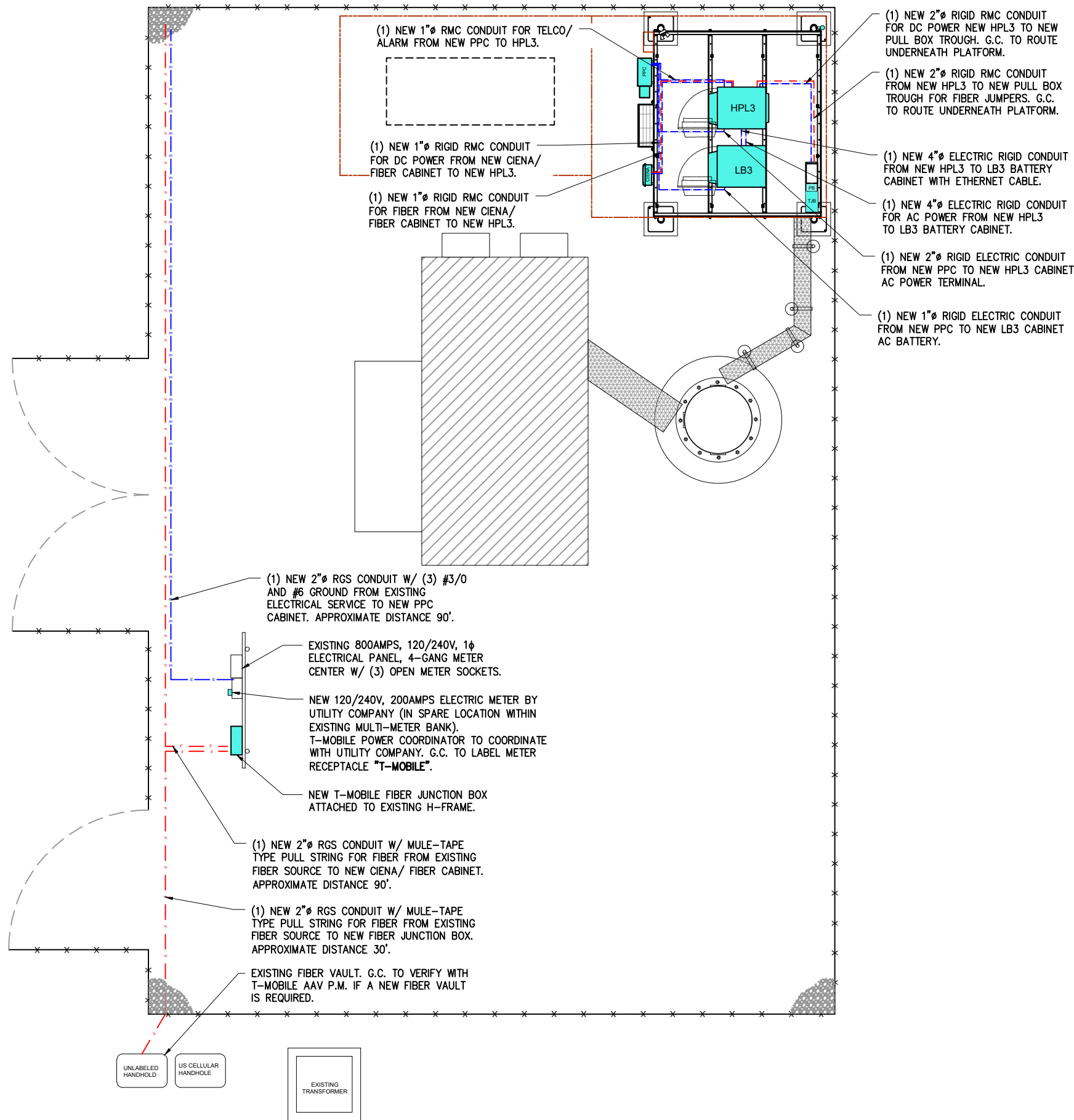
APPROVED BY: RA

SHEET TITLE

SITE
DETAILS

SHEET NUMBER

C-5



NOTES:

1. CONTRACTOR SHALL COORDINATE METER SOCKET LOCATION AND TYPE WITH POWER COMPANY.
2. CONTRACTOR SHALL INSTALL CONDUIT AND WIRE TO THE BTS SITE. COIL WIRES, SEAL CONDUIT WIRE ENDS FROM MOISTURE INFILTRATION. LEAVE WIRE TO TERMINATE AT RADIO CABINET PANEL, (MINIMUM OF 10 FEET).
3. COPPER GROUND WIRE SHALL BE BONDED TO SITE GROUNDING SYSTEM.
4. UNDERGROUND CONDUITS SHALL TRANSITION FROM PVC TO RIGID THROUGH THE SWEEP AND REMAIN RIGID INTO PANELS.
5. CONTRACTOR MAY MODIFY KNOCKOUT HOLES IN EQUIPMENT CABINETS TO ACCOMMODATE THE REQUIRED CONDUIT SIZES.
6. COORDINATE WITH RADIO CABINET MFG REQUIREMENTS FOR SIZE & NUMBER OF CONDUITS.
7. THE MINI- PPC IS SHIPPED IN TWO SECTIONS TO BE BOLTED TOGETHER ON SITE. THE COMBINED WEIGHT IS APPROX. 300 LBS.
8. SURGE PROTECTION IN TELCO CHAMBER IS REQUIRED ON ALL SITES WITH EXTERNAL. ALARM POINT MONITORING. NORTHERN TECHNOLOGIES INC DLP-43 DATA LINE PROTECTOR SHALL BE USED.
9. SERVICE POWER SHALL BE (120/240VAC, 200A, 1Ø, 3W) OR (120/208VAC, 200A, 3Ø, 4W)
10. 200A METER BASE SHALL BE INSTALLED WHERE IT IS ACCESSIBLE FOR READOUT. THE NUMBER OF JAWS IN THE METER SOCKET AND THEIR ARRANGEMENT DEPENDS ON THE VOLTAGE SERVICE. COORDINATE WITH POWER COMPANY
11. CABLE SIZES SHALL BE ADJUSTED TO COMPENSATE FOR VOLTAGE DROP IF LONGER THAN 180FT. VERIFY CONDUIT SIZE WHEN CHANGING CABLE SIZE.
12. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY PPC MANUFACTURER.
13. ADDRESS SHALL BE POSTED BELOW THE METER
14. ANY 120 VOLT OUTLET LOCATED ON THE PPC SHALL HAVE GFCI PROTECTION PER NEC SECTION 210-8.
15. CONTRACTOR TO SUPPLY AVAILABLE FAULT CURRENT CALCULATIONS AT THE SERVICE EQUIPMENT LINE TERMINATION POINT; AS WELL AS IMPEDANCE VALUE AND SIZE OF SERVICE CONDUCTORS. ALL SERVICE AND BRANCH PANELS SHALL BE RATED FOR THE AVAILABLE FAULT CURRENT. DISTANCE AND CONDUCTOR SIZES MUST BE FURNISHED TO INSPECTOR.
16. EMERGENCY AND BATTERY BACKED UP EXIT LIGHTING CIRCUITS SHALL BE MARKED SPECIFICALLY IN THE ELECTRICAL PANEL AS SUCH. (NEC 700.12.E). THE FIRE DEPARTMENT WILL BE TESTING THESE DEVICES EVERY SIX MONTH DURING BUSINESS HOURS BY SHUTTING THESE CIRCUITS (KEEP CRITICAL LOADS OFF THESE CIRCUITS). IF THE PRIMARY SOURCE OF ILLUMINATION IS HID, THE EMERGENCY LIGHTS SHALL BE REQUIRED TO OPERATE UNTIL NORMAL ILLUMINATION IS RESTORED. (NEC 700.16).
17. CONTRACTOR SHOULD ENSURE THAT ANY GENERATOR SUPPLYING THIS SITE SHOULD HAVE THE GROUND TO NEUTRAL STRAP REMOVED AS THIS IS A 2 POLE TRANSFER SWITCH WITH A SOLID NEUTRAL.

CONDUITS AND WIRING

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.

COORDINATION WITH UTILITY COMPANY

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANIES FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

PROPOSED UTILITY
SITE PLAN AND NOTES

SHEET NUMBER

E-1

1 PROPOSED UTILITY EQUIPMENT PLAN VIEW
SCALE: 1/4" = 1'-0"

UTILITY CONDUITS SCHEDULE						
NO.	FROM	TO	WIRES	GROUND	CONDUIT SIZE	FUNCTION
①	PPC CABINET	HPL3 SITE SUPPORT CABINET	(2) 3/0 & (1) #4 NEUTRAL	(1) 3/0	2" RCM	AC POWER FEEDER
②	PPC CABINET	HPL3 SITE SUPPORT CABINET	(1) PAIR OF BELDEN 27916A #16 AWG	N/A	1" RCM	ALARM
③	CIENA DELIVERY SWITCH	HPL3 SITE SUPPORT CABINET	40' SM FIBER	N/A	1" RCM	FIBER TO SSC
④	HPL3 SITE SUPPORT CABINET	CIENA POWER J. BOX	(2) #12	(1) #6	1" RCM	DC POWER
⑤	HPL3 SITE SUPPORT CABINET	OVP/ FIBER J. BOX	(3) PAIRS OF #2	N/A	2" RCM	DC POWER
⑥	HPL3 SITE SUPPORT CABINET	OVP/ FIBER J. BOX	30' FIBER JUMPERS	N/A	2" RCM	FIBER TO SSC
⑦	HPL3 SITE SUPPORT CABINET	LB3 BATTERY CABINET	(2) CAT-5 CABLES	N/A	4" RCM	BATTERY ALRAM
⑧	HPL3 SITE SUPPORT CABINET	LB3 BATTERY CABINET	(2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12	N/A	4" RCM	DC POWER

CONDUITS USE CASES			
CONDUIT TYPE	USE CASE	LOCATION	USE CASE EXAMPLE
RIGID	AC POWER	ABOVE GROUND	ABOVE GROUND PPC TO SSC
PVC	AC POWER	UNDER GORUND	UNDERGROUND PPC TO SSC OR BACK HAUL TRANSPORT HUB TO SSC
LFMC	AC, DC, COMM	MAX 6' PER RUN, ABOVE GROUND ONLY	TIGHT LOCATION BTW HUB AND CONDUIT, BUT NOT TO BE USED WHERE IT CAN BE STEPPED ON
EMTT	INDOOR AC, DC, COMM	INDOORS NOT EXPOSED TO THE OUTDOOR ENVIRONMENT (MUST BE DRY)	PPC TO JUNCTION BOX
LFNC	GROUND WIRE	CONCEALING AND PROTECTING BTCW RISERS ONLY	GROUNDING TO MGB OR SSC

CONDUIT NOTES:

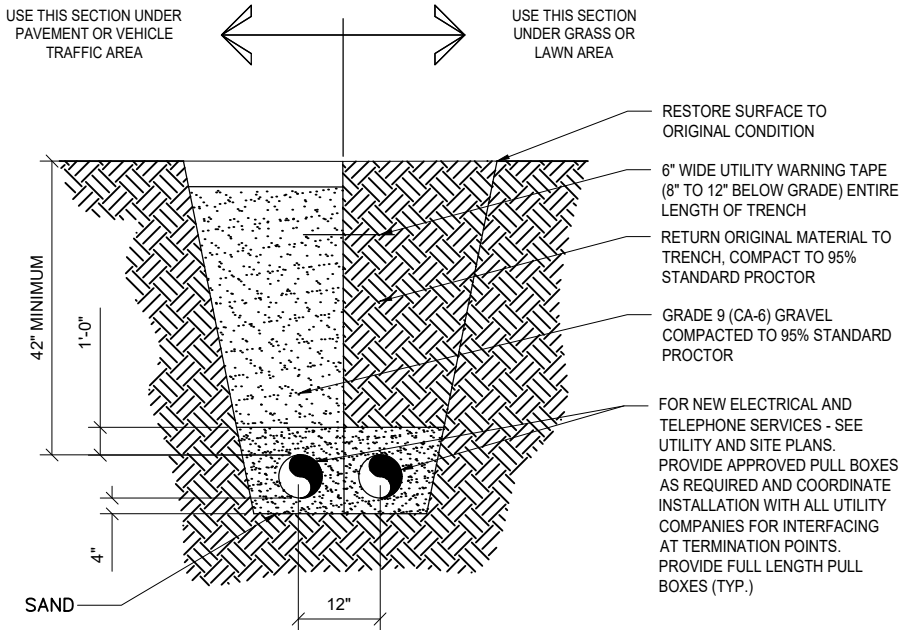
1. CONTRACTOR TO PRIVATELY LOCATE ALL EXISTING UNDERGROUND CONDUITS AND GROUND RING WITHIN CONSTRUCTION AREA PRIOR TO TO ANY EXCAVATION AND HAND DIG WHEN CRITICAL AREAS.
2. CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS. ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS
3. ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)
4. ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.
5. ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.
6. SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT
7. ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".
8. IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS
9. EMT IS ONLY ALLOWED INDOOR.
10. CONTRACTOR TO PROPERLY SEALED AND WEATHERPROOF ALL CONDUITS AND TANK PENETRATIONS THAT ARE NO LONGER BEING USED.

CONDUIT NOTES:

- A- ALL FIBER AND COMMUNICATION CABLES MUST BE IN THEIR OWN CONDUIT UNLESS SPECIFICALLY STATED TO DO OTHERWISE
- B- ALL CONDUIT MUST BE PROPERLY SECURED, AND WEATHER PROOFED TO PREVENT CABINET/CABLE DAMAGE/WATER INGRESS.
- C- NO LB CONDUIT BODIES ARE TO BE USED BETWEEN THE HPL3 AND BATTERY CABINETS.
- D- ALL EXPOSED CONDUIT THREADS OR CUT EDGES ARE TO BE COATED WITH COLD GALVANIZING SPRAY.
- E- FLEXIBLE CONDUIT IS MAX 6' LENGTH, ONLY IN TIGHT LOCATIONS. NOT TO BE USED AS A RIGID CONDUIT REPLACEMENT.
- F. ALL CONDUITS (OTHER THAN COVP POWER / FIBER) ARE TO BE BURIED WHEN APPLICABLE.
- ALL DARK CONDUITS ARE TO BE FULLY REMOVED AND PORT HOLES PROPERLY CAPPED AS NEEDED.
- G. ANY TIME A DUCT BACK OR PORT IS ALTERED, IT NEEDS TO PE PROPERLY SEALED WITH A PORT BOOT. EXPANDING FOAM IS NOT ALLOWED.

NOTES:

- 1- G.C. SHALL MAKE SURE TO PROPERLY INSTALL & WIRE THE OVP's PER MANUFACTURER SPECIFICATION.
- HCS 1.0 SHALL EQUIPPED WITH (4) SETS OF 2#6 AWG WIRES (BLUE & BLACK INSULATED), PROTECTED BY A 200A DC BREAKER INSIDE THE HPL3 POWER SYSTEM.
- HCS 2.0 SHALL EQUIPPED WITH (3) SETS OF 2#2 AWG WIRES (BLUE & BLACK INSULATED), EACH PROTECTED BY A 100A DC BREAKER (TOTAL OF 3 100A BREAKERS) INSIDE THE HPL3 POWER SYSTEM.
- IF TOWER J. BOX REQUIRES VOLTAGE BOOSTER, THE CIRCUITS SHALL BE FED FROM VOLTAGE BOOSTER OUTPUT TERMINAL. REFER TO SHEET RF-4 FOR BOOSTER WIRING DIAGRAM.
- 2- G.G. TO KEEP FUTURE GROWTH AREA CLEAR FROM CONDUITS AND OR EQUIPMENT.



T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER			
ML89143A			
SITE NAME			
USCC - 784760			
SITE ADDRESS			
FREIHEIT CT. TAX KEY NO: SUXV0231989007			
REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

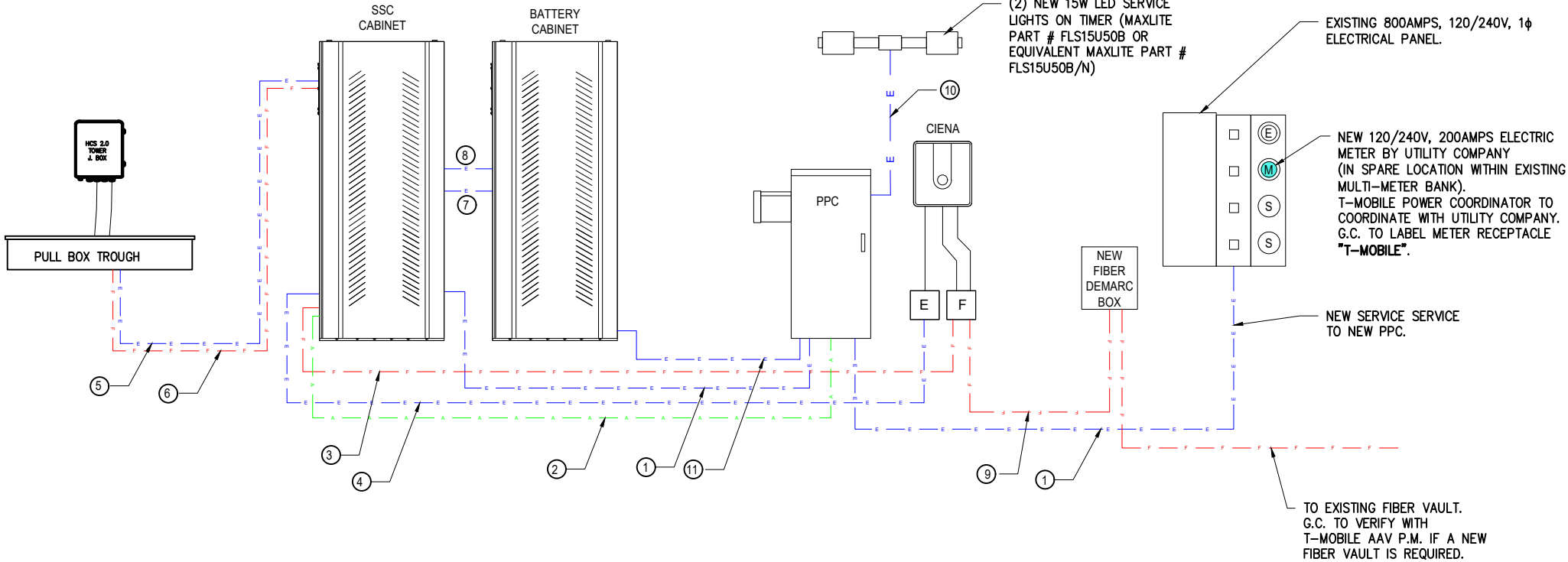
APPROVED BY: RA

SHEET TITLE
UTILITY CONDUITS
SCHEDULE AND NOTES

SHEET NUMBER
E-2

SYMBOL LEGEND:

- 2" RMC FOR AC POWER WITH (2) 3/0 & (1) #4 NEUTRAL AND (1) 3/0 GROUND
- 1" RMC FOR TELCO ALARM WITH (1) PAIR OF BELDEN 27916A #16 AWG
- 1" RMC FOR FIBER WITH 40' SM FIBER.
- 1" RMC FOR DC POWER WITH (2) #12 & (1) #6 GROUND
- 3" RMC FOR DC POWER WITH (3) PAIRS OF #2
- 3" RMC FOR FIBER WITH FIBER JUMPERS
- 4" RMC FOR BATTERY ALARM WITH (2) CAT-5 CABLES
- 4" RMC FOR DC POWER WITH (2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12
- 2" RMC FOR NEW FIBER SERVICE
- 3/4" RMC WITH #6 AWG WIRES FOR LIGHT
- 1"Ø RMC FROM PPC TO LB3 CABINET AC BATTERY



FIBER CONNECTION SOURCE TO BE CONFIRMED WITH T-MOBILE PRIOR TO CONSTRUCTION START

1 UTILITIES DIAGRAM
SCALE: N.T.S

T-MOBILE SITE NUMBER: VOLTAGE: MAIN BREAKER: MOUNT: ENCLOSURE TYPE: PANEL STATUS:				240V/120 200AMP H-FRAME NEMA 3R NEW				MODEL: PHASE: BUSS RATING: NEUTRAL BAR: N TO GROUND BOND: INTERNAL TVSS:				POWER TRANSFER CABINET OR APPROVED EQUAL 1 WIRE: 3 200AMPS AIC: 22,000 YES GROUND BAR: YES YES			
CKT	LOAD DESCRIPTION	BREAKER AMPS	BREAKER POLES	BREAKER STATUS	SERVICE LOAD VA	USAGE FACTOR	PHASE A VA	PHASE B VA	USAGE FACTOR	SERVICE LOAD VA	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION	CKT
1	SURGE APPROX	30	2	ON	400	1.25	1000		1.25	4200	ON	4	200	HP SITE SUPPORT CABINET	2
3				ON		1.25		10500							4
5	SERVICE LIGHT	20	1	ON	500	1	500								6
7				ON		0	0	10500							8
9				N/A	0	0	0		0	0	N/A				10
11				N/A	0	0	0	0	0	0	N/A				12
13				N/A	0	0	0		0	0	N/A				14
15				N/A	0	0	0		0	0	N/A				16
17				N/A	0	0		0	0	0	N/A				18
19				N/A	0	0	0		0	0	N/A				20
21				N/A	0	0	0	0	0	0	N/A				22
23				N/A	0	0	0		0	0	N/A				24
							1500	21000	VA			TOTAL KVA	22500		
												AMPS	93.75		

CONTRACTOR NOTES - PPC:

- FURNISH & INSTALL ALL CIRCUIT BREAKERS PER PANEL SCHEDULE
- LABEL CIRCUIT BREAKER W/ PERMANENT PLASTIC LABELS NOTING FUNCTION OF BREAKER
- REPLACE MISSING COMPARTMENT ACCESS SCREWS LOST DURING INSTALLATION
- VERIFY ENCLOSURE IS RODENT-PROOF AFTER INSTALLATION OF CABINET AND CONDUITS
- FACTORY INSTALLED NEUTRAL-GROUNDING BOND JUMPER INSIDE THE PPC SHALL BE REMOVED

2 ELECTRICAL PANEL SCHEDULE
SCALE: N.T.S

T-MOBILE ELECTRICAL SCOPE OF WORK:

1. CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS. ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS

2. ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)

3. ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.

4. ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.

5. 3/4" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO NSN SYSTEM MODULES FOR POWER DELIVERY.

6. 1" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR POWER DELIVERY.

7. 2" CONDUIT IS TO BE RUN FROM 12X12X4 HOFFMAN BOX TO COVP FOR POWER DELIVERY.

8. 1" CONDUIT IS TO BE RUN FROM THE 6X6X4 HOFFMAN TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR ETHERNET DELIVERY.

9. 3/4" CONDUIT IS TO BE UTILIZED TO DELIVER ETHERNET FROM CSR TO NSN SYSTEM MODULES.

10. SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT

11. 2" CONDUIT IS TO BE USED TO DELIVER POWER FROM PPC TO SSC.

12. 2" CONDUIT IS TO BE RUN TO BRING POWER FROM OUR SOURCE TO T-MOBILE METER.

13. 2" CONDUIT IS TO BE RUN FROM OUR METER TO OUR PPC (UNLESS LARGER THAN 3 AWG I.E. 300 OR 500 MCM IS REQUIRED DUE TO VOLTAGE DROP WITH A LONG RUN)

14. 2" CONDUIT IS TO BE RUN FROM FBT, CIENA, OR OTHER TELCO SOURCE TO T-MOBILE TELCO H-FRAME

15. ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".

16. IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS

17. EMT IS ONLY ALLOWED INDOOR.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN
Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

UTILITIES DIAGRAM &
ELECTRICAL PANEL
SCHEDULE

SHEET NUMBER

E-3

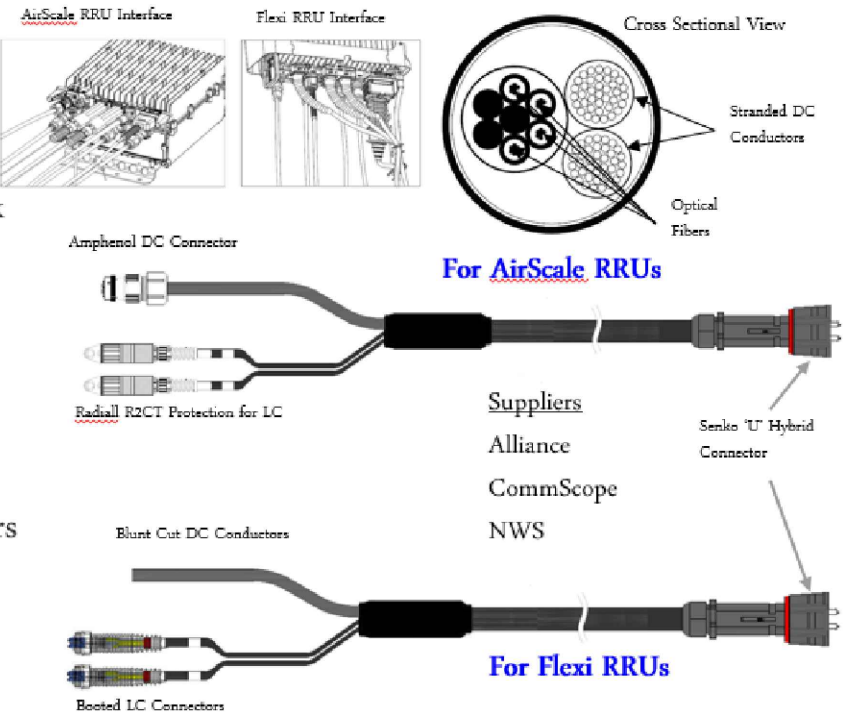
CUSTOM CONFIGURATION – TOWER TOP EQUIPMENT SCHEDULE													
ANTENNA SECTOR	ANTENNA MARK	ANTENNA MODEL #	TECHNOLOGY	ELECTRICAL TILT	MECHANICAL TILT	RAD CENTER	AZIMUTH	RRU MODEL	DIPLEXER MODEL	TOWER TOP COVP MODEL	RF JUMPERS	HYBRID JUMPERS	ESTIMATED MFR. HCS 2.0 TRUNK LENGTH (TO BE VERIFIED IN FIELD)
ALPHA	A1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	90°	AHLOA (P) AHFIG (P)	-	HCS 2.0 PENDANT A (P)	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	(1) 150' HCS 2.0 TRUNK A (P) (EXACT LENGTH TO BE FIELD VERIFY)
	A2	-	-	-	-			-	-	-	-	-	-
BETA	B1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	180°	AHLOA (P) AHFIG (P)	-	SHARED PENDANT A	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	SHARED HCS 2.0 TRUNK A
	B2	-	-	-	-			-	-	-	-	-	-
GAMMA	C1	FFVW-65C-R3-V1 (P)	L700/N600 L2100+1900/ UMTS 2100/ GSM1900	-	-	100'-0"	350°	AHLOA (P) AHFIG (P)	-	SHARED PENDANT A	(8) 15'/15' (P)	(2) 15' HCS 2.0 (P)	SHARED HCS 2.0 TRUNK A
	C2	-	-	-	-			-	-	-	-	-	-

NOTE: ANTENNAS PLACEMENT, ELCT. & MECH. TILT, AND RRU's TO BE VERIFIED WITH T-MOBILE C.M. PRIOR TO CONSTRUCTION STARTS

NOTE:
G.C. SHALL FIELD MEASURE AND DETERMINE THE EXACT REQUIRED NEW HCS 2.0 TRUNK LENGTH TO EACH SECTOR AND PROVIDE CABLES LENGTHS TO T-MOBILE CONSTRUCTION MANAGER TO ENSURE THE CORRECT LENTHS ARE CAPTURES ON THE FINAL RFDS AND T-MOBILE BILL OF MATERIAL (B.O.M).

1 ANTENNA SCHEDULE
SCALE: N.T.S.

- Outer diameter: 0.72"
- Weight: 0.34 lb/ft
- Operating Temp: -40 °C to +75 °C
- Connectorized for mating with tower top trunk cable breakout or roof top box
- DC and fiber interfaces versions for Nokia Airscale and Flexi RRUs
- Short (tower top 15') & long (roof top 20' - 250') Airscale versions available
- Also available with legacy booted LC connectors and blunt cut DC conductors for Flexi RRU applications



2 HYBRID JUMPER CABLE GENERAL SPECIFICATIONS
SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

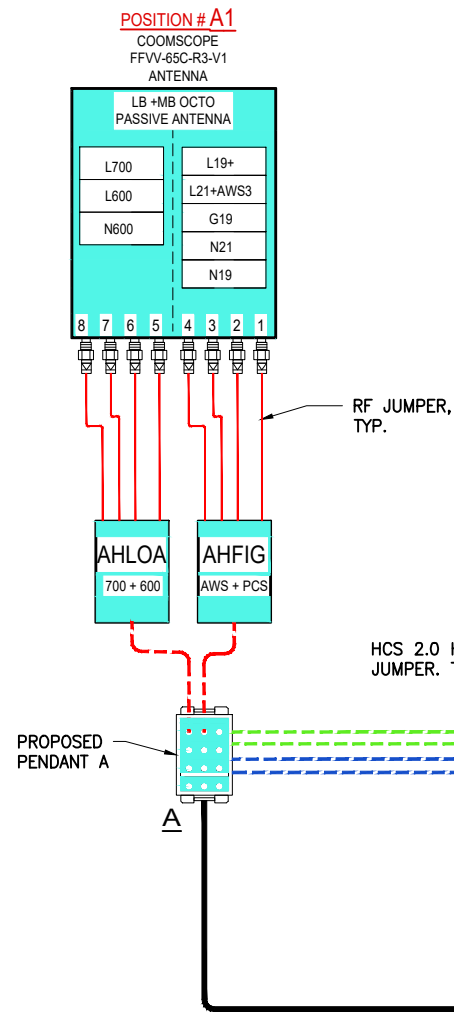
SHEET TITLE

ANTENNA AND CABLE
SCHEDULE

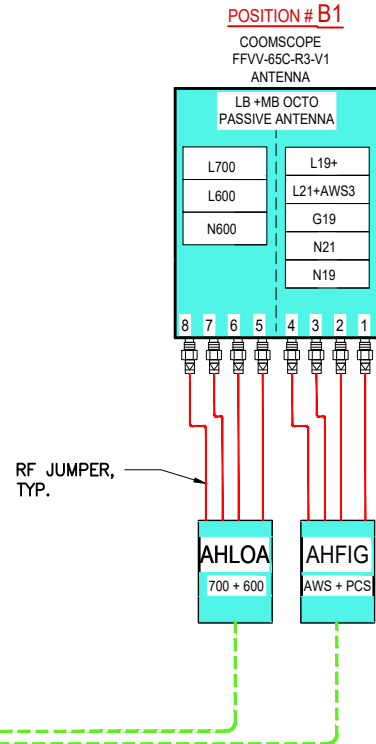
SHEET NUMBER

RF-1

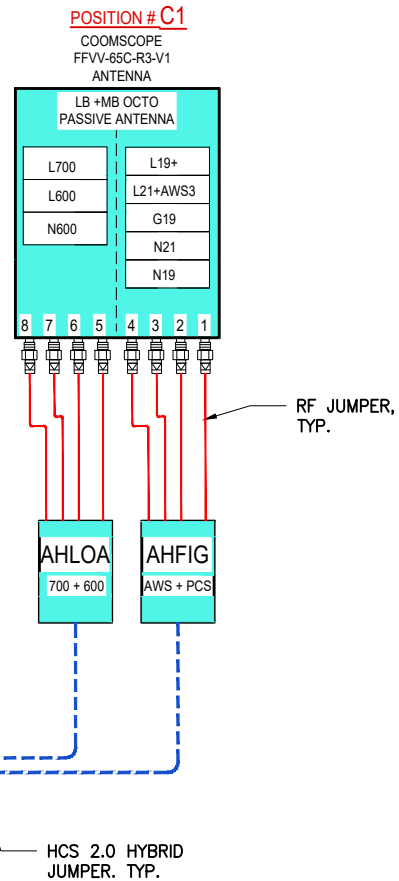
ALPHA SECTOR



BETA SECTOR



GAMMA SECTOR



AT ANTENNA LEVEL
AT EQUIPMENT PLATFORM LEVEL

NOTE:

G.C. TO REFER TO FINAL RFDS AND PORT MATRIX TO ENSURE ACCURATE EQUIPMENT CALLOUTS AND PLUMBING DIAGRAM.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
PROPOSED EQUIPMENT TO BE INSTALLED

LEGEND

- RF CABLING ALPHA
RF CABLING BETA
RF CABLING GAMMA
HCS 2.0 TRUNK
HCS 1.0 HYBRID CABLE (E)
HCS 2.0 HYBRID JUMPER ALPHA
HCS 2.0 HYBRID JUMPER BETA
HCS 2.0 HYBRID JUMPER GAMMA

PROPOSED HCS 2.0 TRUNK.

HCS 2.0 TJB

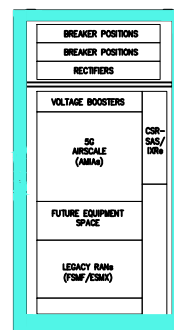
(FUTURE) HCS 2.0 TJB

PULL BOX TROUGH

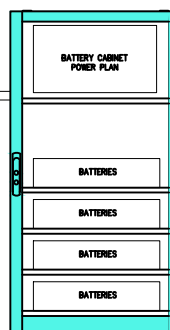
(1) NEW 3"Ø RIGID RMC CONDUIT FOR DC POWER FROM OVP's PULL BOX TO HPL3 CABINET.

(6) NEW BOTTOM FIBER JUMPERS ROUTED INSIDE (1) NEW 3"Ø RIGID RMC CONDUIT FROM OVP's PULL BOX TO HPL3 CABINET.

HPL3



LB3



PROPOSED FYGA ANTENNA

1

PROPOSED RF PLUMBING DIAGRAM

SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

SYSTEM CONNECTION
DIAGRAM

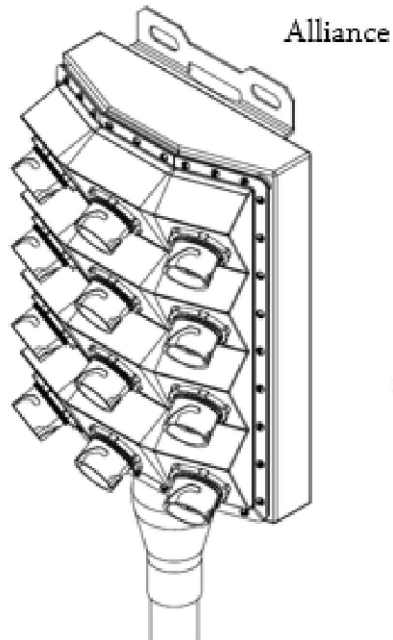
SHEET NUMBER

RF-2

NOTE:

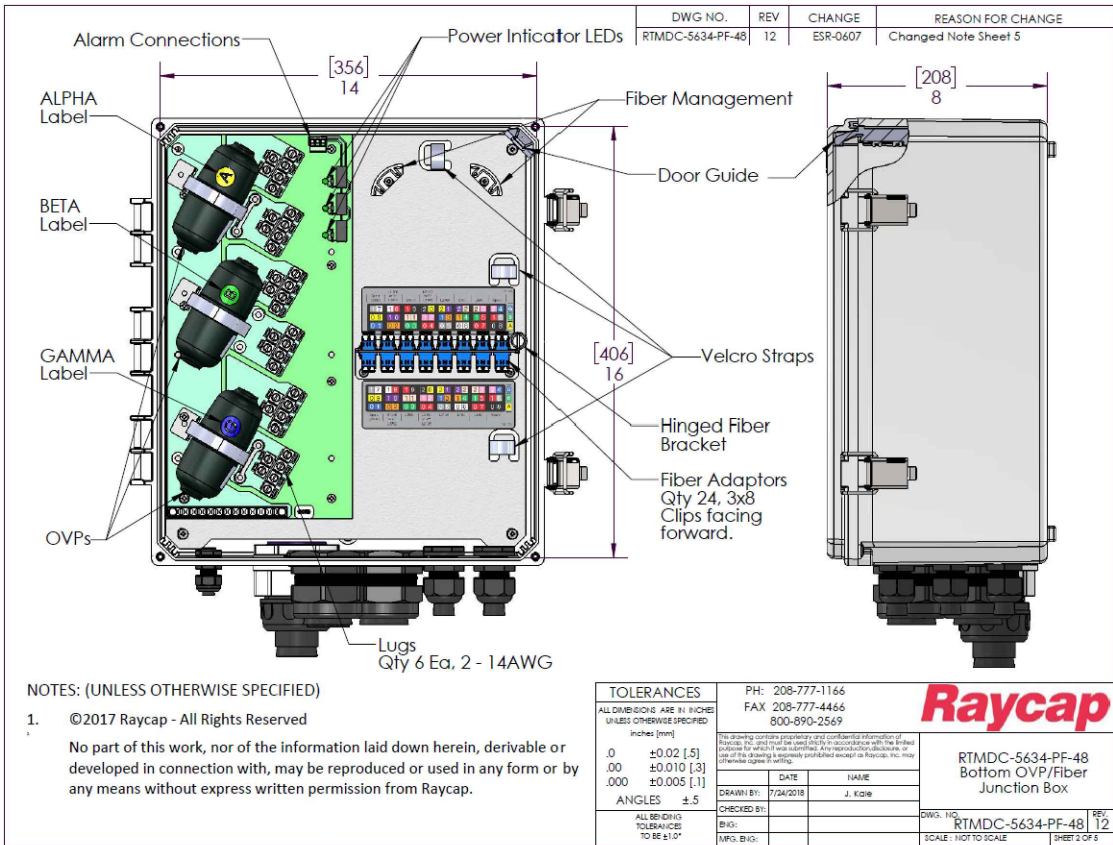
THE BREAKOUT BOX (PENDANT) IS PERMANENTLY ATTACHED TO THE TRUNK CABLE, IT IS NOT FIELD REMOVABLE/REPLACEABLE WITHOUT REPLACING THE ENTIRE TRUNK CABLE.

Dimensions, in.	9.3x14.9x5.8
in.	8
Weight	1.61 lb/ft
Port Interface	Senko U
Interface	
Hybrid Ports	12
Conductor	None
Termination	
Single Mode Fibers	48
Fibers	
Fiber Termination	LC pair
Termination	
Max RRU	12

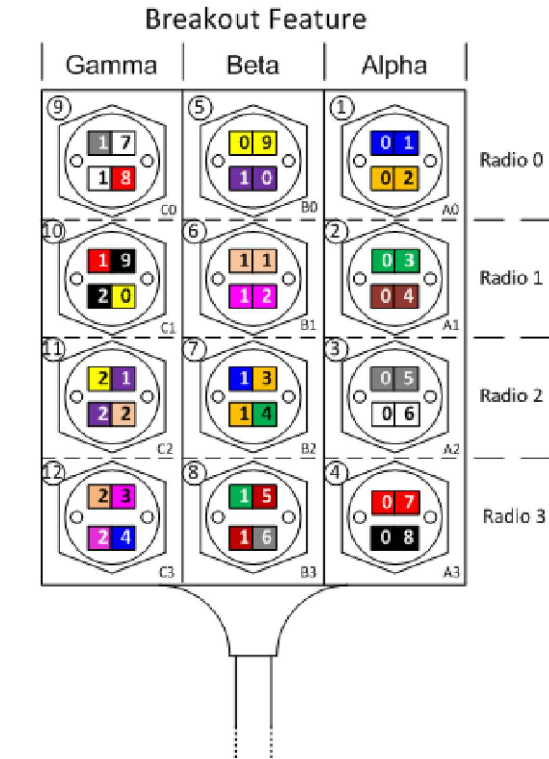


BREAKOUT BOX (PENDANT) WEIGHT: 3.59lbs

1 HCS 2.0 BREAKOUT BOX (PENDANT) SPECS
SCALE: N.T.S.



2 RAYCAP BOTTOM OVP SPECS
SCALE: N.T.S.



Bottom Junction Box Fiber Patch Panel

Radio 0		Radio 1		Radio 2		Radio 3	
Optical 1	Optical 2	Optical 1	Optical 2	Optical 1	Optical 2	Optical 1	Optical 2
1 7	1 8	1 9	2 0	2 1	2 2	2 3	2 4
0 9	1 0	1 1	1 2	1 3	1 4	1 5	1 6
0 1	0 2	0 3	0 4	0 5	0 6	0 7	0 8



3 TOWER JUNCTION BOX HYBRID PORTS COLOR CODE
SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

NEW EQUIPMENT MFR.
SPECS & CONNECTION
DIAGRAM

SHEET NUMBER

RF-3

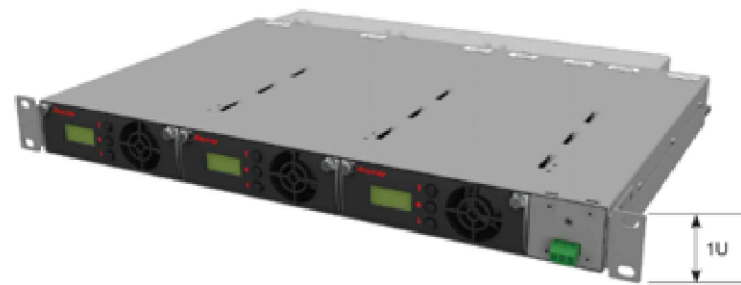


Figure 1 Raycap PowerPlus Voltage Booster (front view)

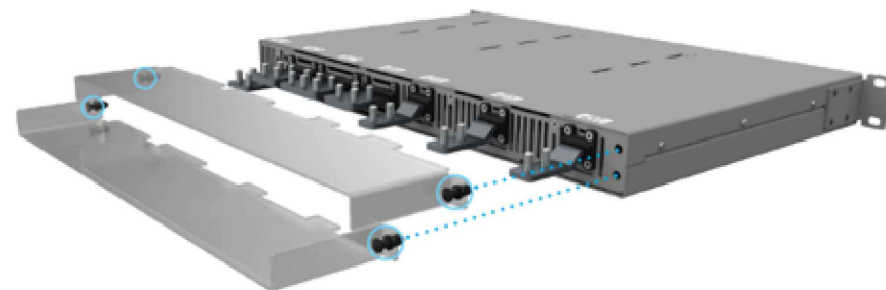
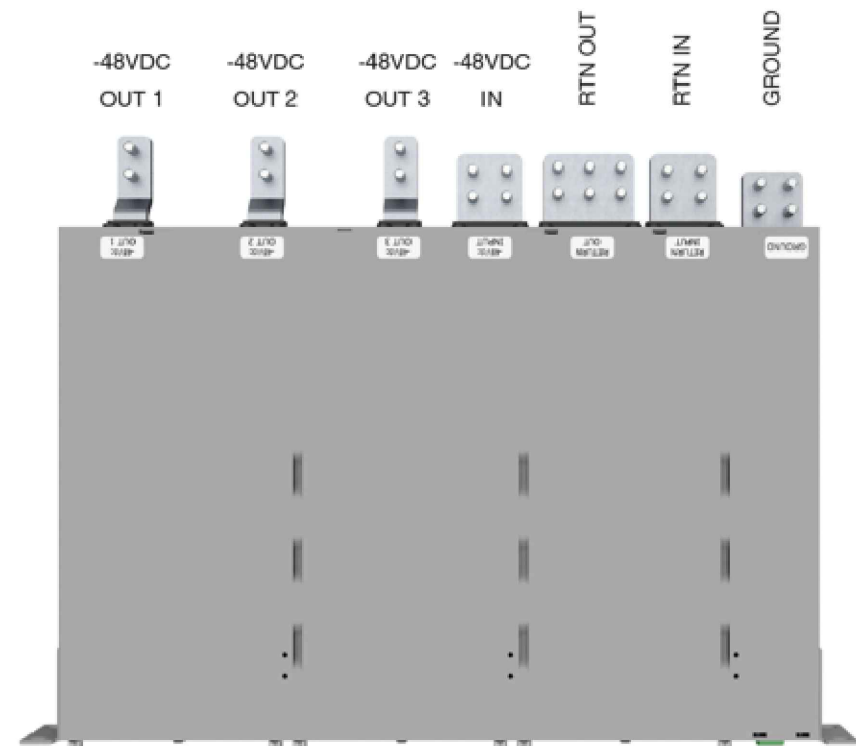


Figure 2 Raycap PowerPlus Voltage Booster (rear view; with touch guard)



3.2.2 Single Mode

For applications where the radios are fed power on a sector basis, i.e. HCS 2.0 tower and roof top, the PowerPlus shall be configured for Single Mode operation. Each output terminal pair feeds a sector in HCS 2.0.

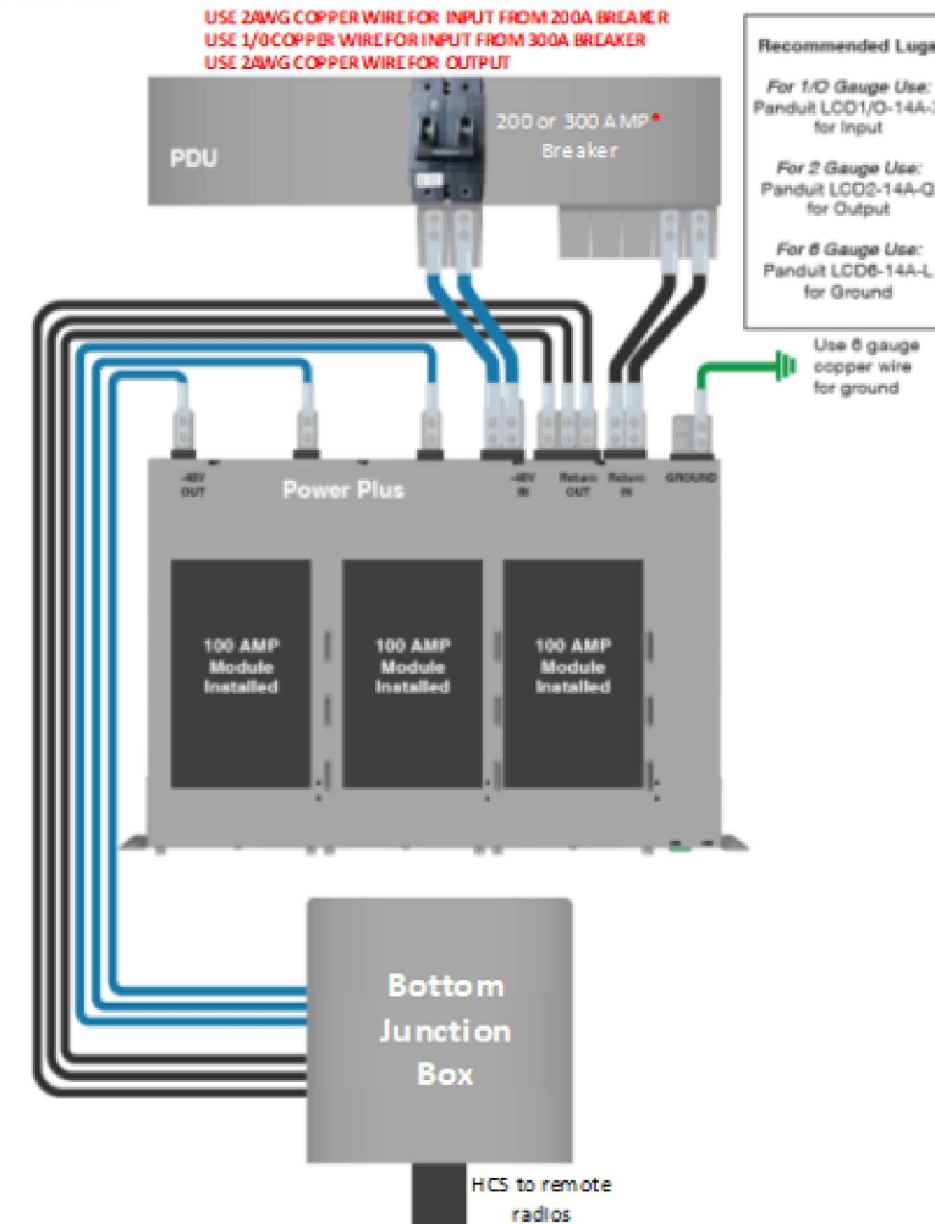


Figure 6 Single Mode Wiring (*300A solution under development for exceptional cases)

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

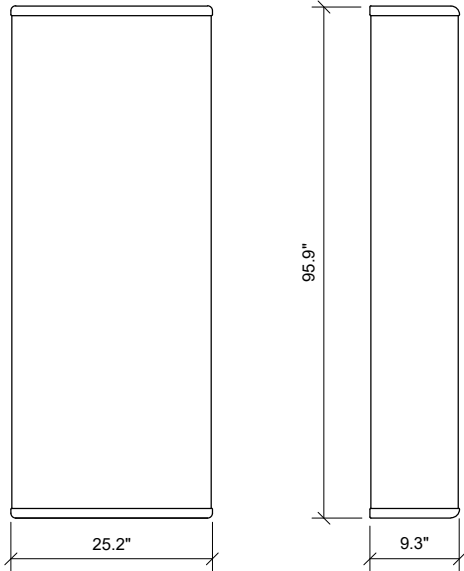
SHEET TITLE

RAYCAP POWERPLUS
VOLTAGE BOOSTER
MFR SPECS.

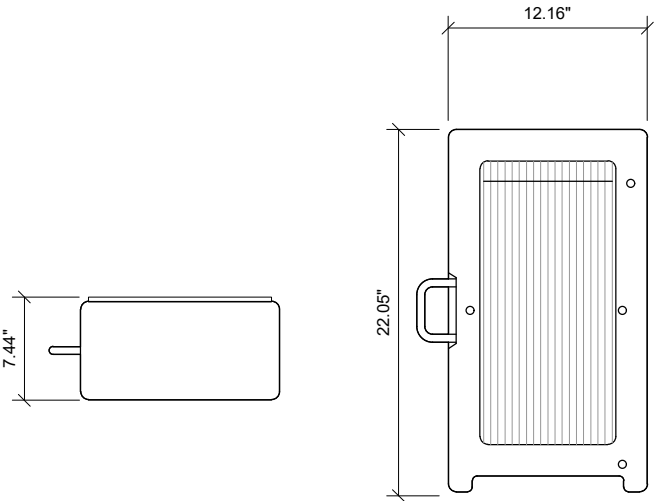
SHEET NUMBER

RF-4

MODEL #	COMMSCOPE/ FFVW-65C-R3-V1
DIMENSIONS (HxWxD)	95.9" x 25.2"x 9.3"
NET WEIGHT	124.6 lbs



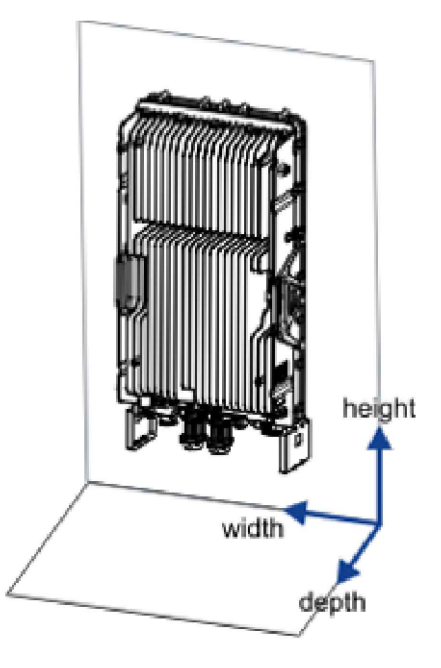
1 FFVW-65C-R3-V1 ANTENNA DETAIL
SCALE: N.T.S.



MODEL #	NOKIA AHLOA RRH
DIMENSIONS (HxWxD)	22.05" x 12.16"x 7.44"
NET WEIGHT	83.78lbs

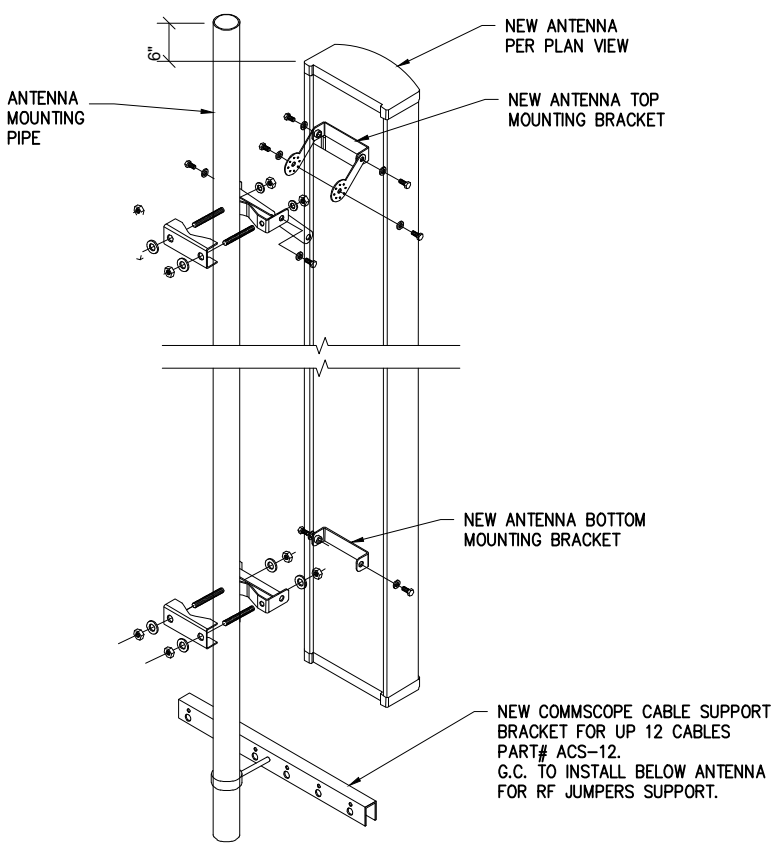
4 AHLOA RRH DETAIL
SCALE: N.T.S.

2 NOT USED
SCALE: N.T.S.

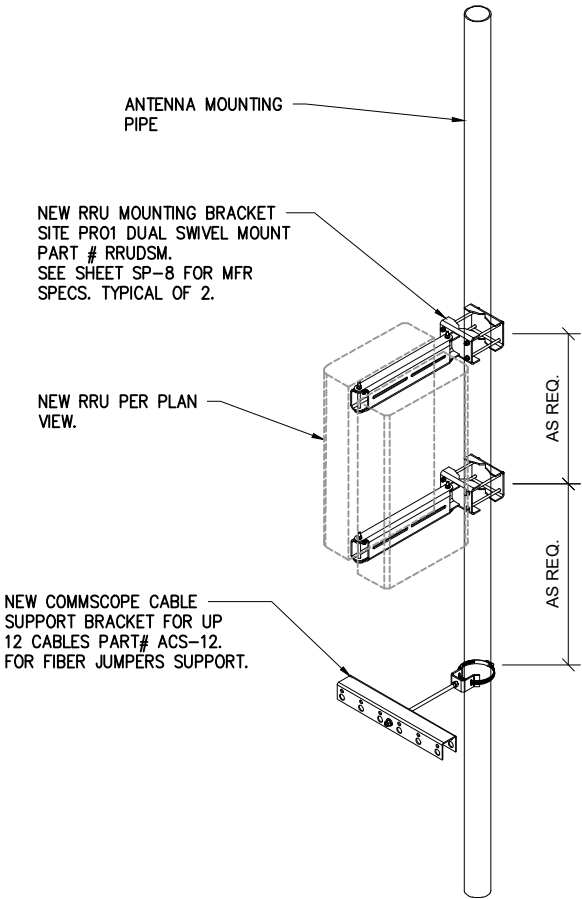


MODEL #	NOKIA AHFIG RRH
DIMENSIONS (HxWxD)	27.4" x 12.1"x 5.2"
NET WEIGHT (WITHOUT COVER)	70.5lbs

5 AHFIG RRH DETAIL
SCALE: N.T.S.



3 ANTENNA MOUNTING DETAIL.
SCALE: N.T.S.



6 RRU MOUNTING DETAIL
SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

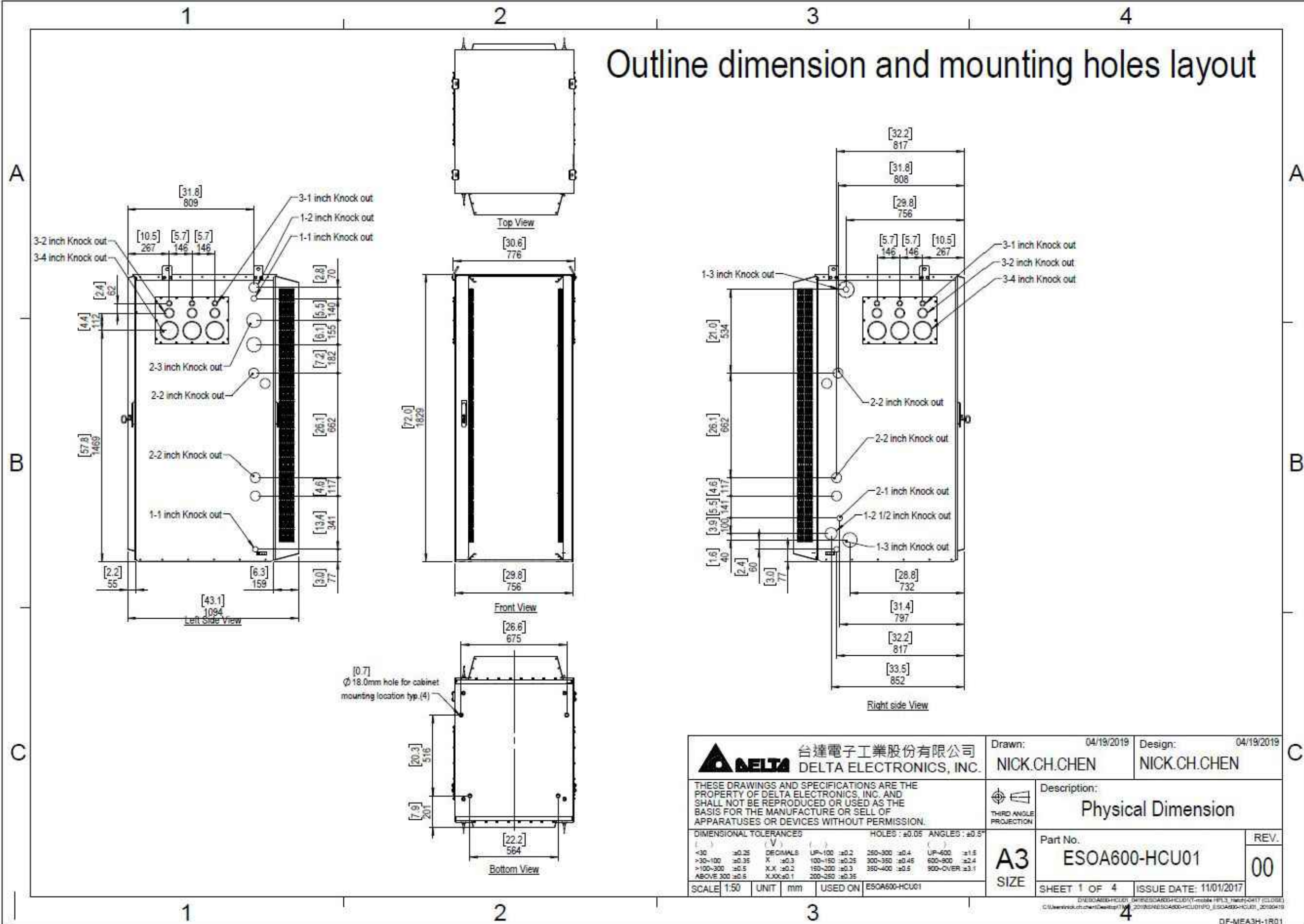
SHEET TITLE


EXISTING & NEW EQUIPMENT
SPECIFICATIONS

SHEET NUMBER

SP-1

Outline dimension and mounting holes layout




 台達電子工業股份有限公司 DELTA ELECTRONICS, INC.		Drawn: 04/19/2019 NICK.CH.CHEN	Design: 04/19/2019 NICK.CH.CHEN
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DELTA ELECTRONICS, INC. AND SHALL NOT BE REPRODUCED OR USED AS THE BASIS FOR THE MANUFACTURE OR SELL OF APPARATUS OR DEVICES WITHOUT PERMISSION.		Description: Physical Dimension	
DIMENSIONAL TOLERANCES () DECIMALS () FRACTIONS <30 ±0.25 X ±0.3 >30-100 ±0.35 X ±0.3 >100-200 ±0.5 X ±0.2 ABOVE 200 ±0.5 X ±0.1		HOLES: ±0.05 ANGLES: ±0.5° () DECIMALS () FRACTIONS UP-100 ±0.2 250-300 ±0.4 UP-600 ±1.5 100-150 ±0.25 300-350 ±0.45 600-900 ±2.4 150-200 ±0.3 350-400 ±0.5 900-OVER ±3.1	
SCALE: 1:50 UNIT: mm USED ON: ESOA600-HCU01		Part No. ESOA600-HCU01	
A3 SIZE		SHEET 1 OF 4 ISSUE DATE: 11/01/2017	
		REV. 00	

T-Mobile
1400 OPUS PLACE
Downers Grove, IL 60515
THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN
Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006
CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER ML89143A			
SITE NAME USCC - 784760			
SITE ADDRESS FREIHEIT CT. TAX KEY NO: SUXV0231989007			
REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23


RASHID AHMED
E-26737
ELGIN, ILLINOIS
PROFESSIONAL ENGINEER
EXP: 07/31/2024
DATE SIGNED: APRIL 05, 2023
I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE
HPL 3 DELTA POWER
CABINET MFR. SPECS

SHEET NUMBER
SP-2

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

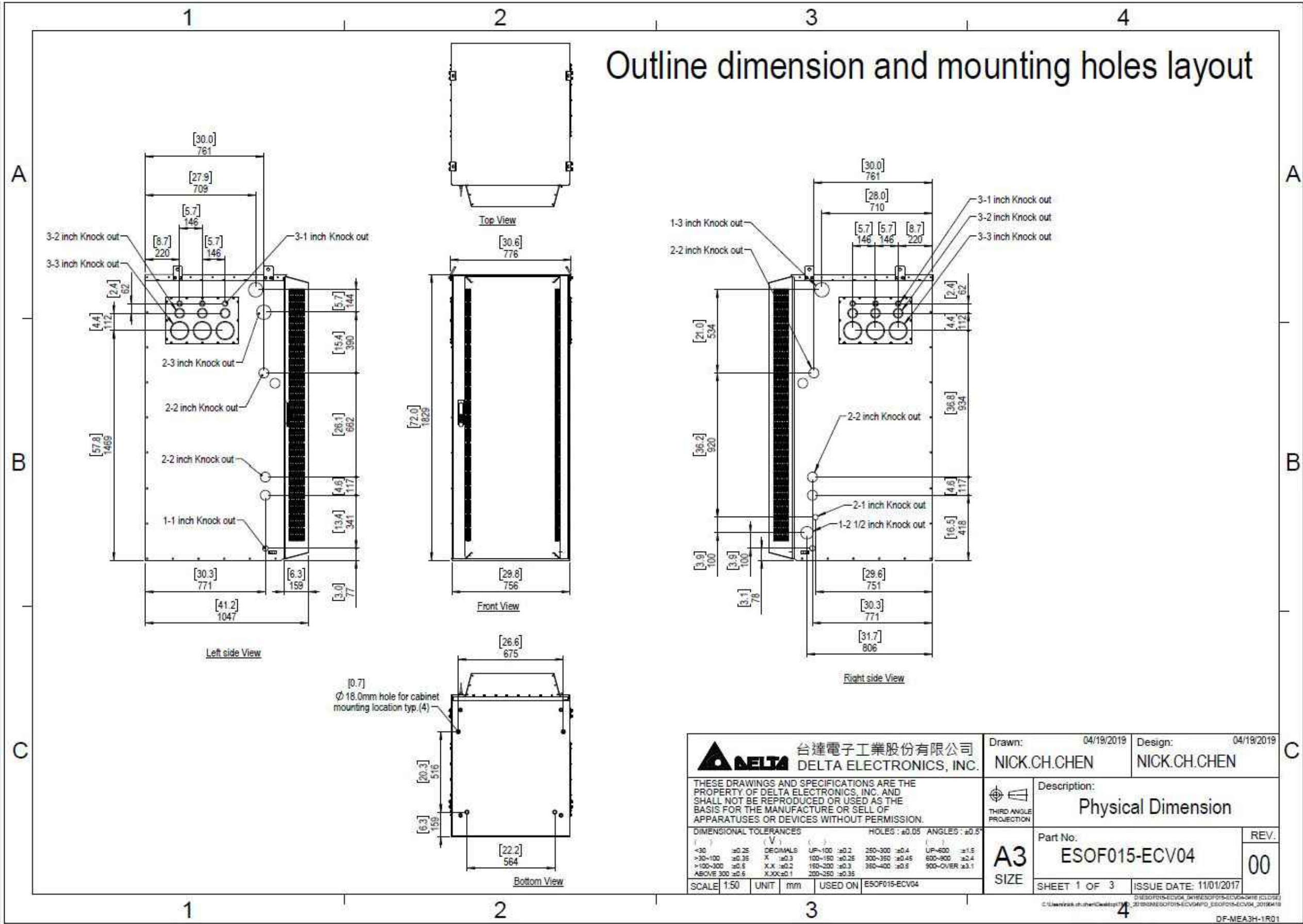
SHEET TITLE

LB3 BATTERY 3 BACK-UP
CABINET MFR. SPECS

SHEET NUMBER

SP-3

Outline dimension and mounting holes layout





Power Protection Cabinet (PPC) 200A

Product Features

- Single wall Aluminum enclosure
- Powder coated finish
- Pad lockable 3-point door latch
- Type 3R & IP55 rated
- Metal oxide varistor surge protection
- Camlok generator connection

www.deltaww.com

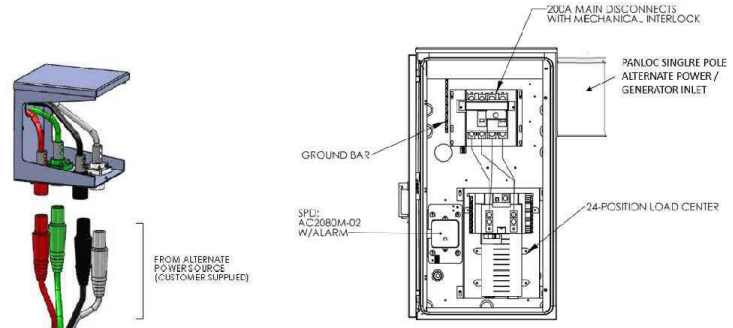


Smarter. Greener. Together.



Specifications

Model / Part Number	5811130508
1. General	
Construction	Single layer Aluminum enclosure, Type 3R
Dimensions (W x H x D)	20 x 39 x 10 inch excludes generator connections
Weight	71 lbs (without packaging)
Finish	Polyester Powder Paint
Door Latch	3-Point latching, pad lockable
	UL50 (Cabinet)
Safety	UL891 Dead Front Switchboard Listed Suitable for Use as Service Equipment (N-G Bonding kit included)
2. Environment	
Operating temperature	-40°C to +46°C (-40°F to 115°F)
Humidity (relative)	95%, non-condensing (Max.)
Protection class	Type 3R
3. AC Section	
Voltage	240/120 Single Phase (3 wire + Ground)
Current	200A
AIC Rating	Utility 65,000 Amps
	Generator Interface: Camlok Connections (Right Mount) Service Disconnect: Square D 200 Amp (65kAIC) Mechanical Slide Bar Interlock Load Center: Square D 200 Amp, QO Series, 24 Position Surge Protection Device (SPD) - 1 ea. AC2080M-02 Square D 30 Amp, 2-Pole Breaker for SPD Ground Bar Silkscreen Dead-Front Lift Off Style Captive Dead-Front Fasteners
Other features	
5. Ordering information	
PPC	5811130508 Power Pedestal Cabinet - 200A



GENERATOR INPUT

*Male Receptacle Twist Lock Panel Mount connectors (not included)

*All specifications are subject to change without prior notice.



EN_z20n8P21/ SY

Delta Group Website:
www.deltaww.com

Product Website:
www.deltapowersolutions.com

United States of America & Canada:
Delta Electronics (USA) Inc.
2925 E. Plano Parkway
Plano, TX (Texas) 75074

Sales and Orders:
DEUSTPS.Sales@deltaww.com
DEUSTPS.Orders@deltaww.com

Field Support:
1-877-DELTA-08 option 3
(877-335-8208 option 3)
DEUSTPS.Support@deltaww.com

Installation Services:
DEUSTPS.Services@deltaww.com

RMA:
DEUSTPS.RMA@deltaww.com

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

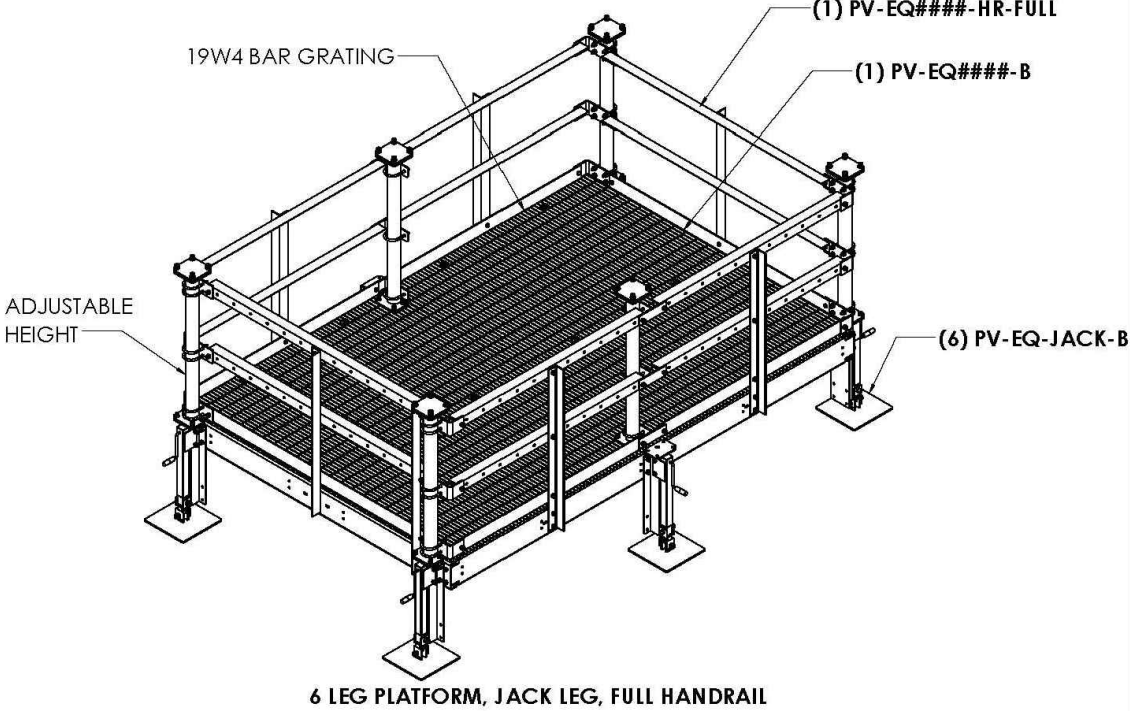
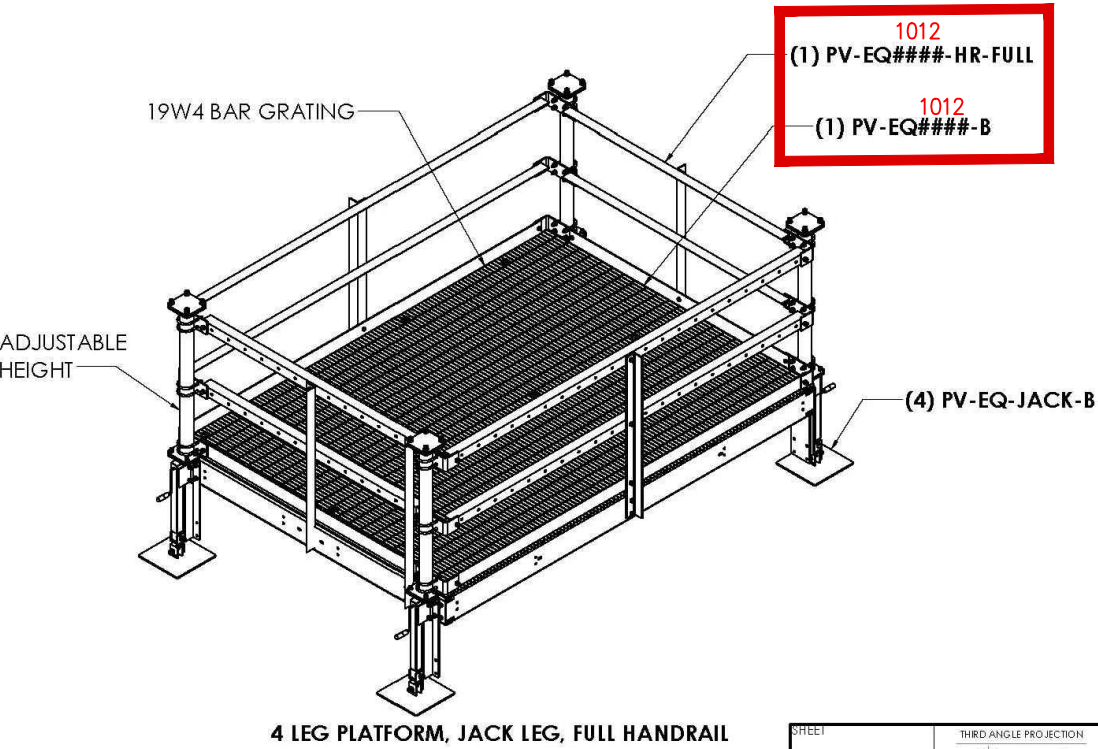
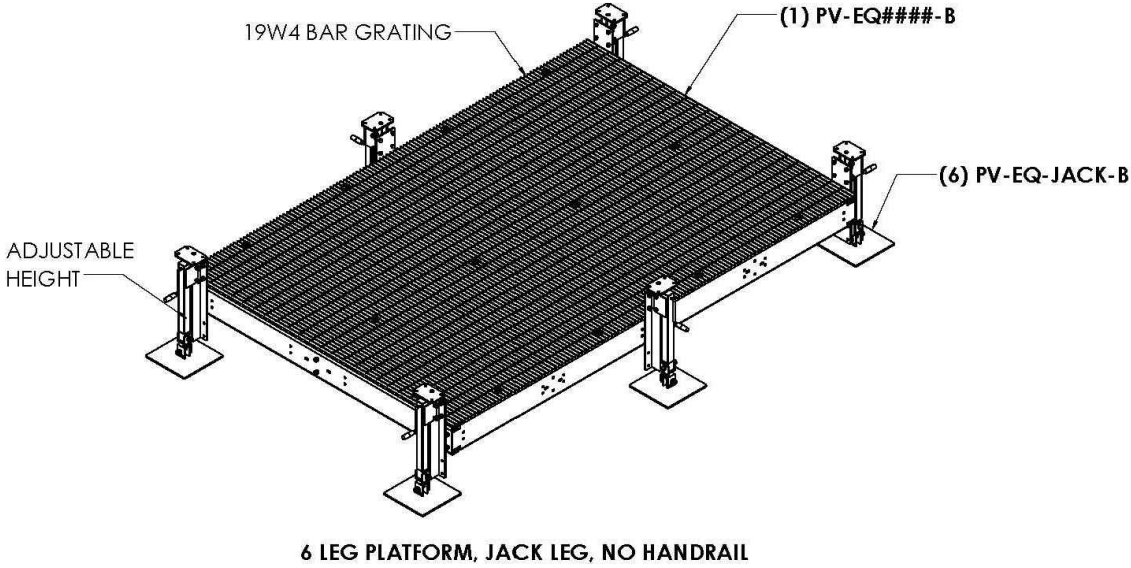
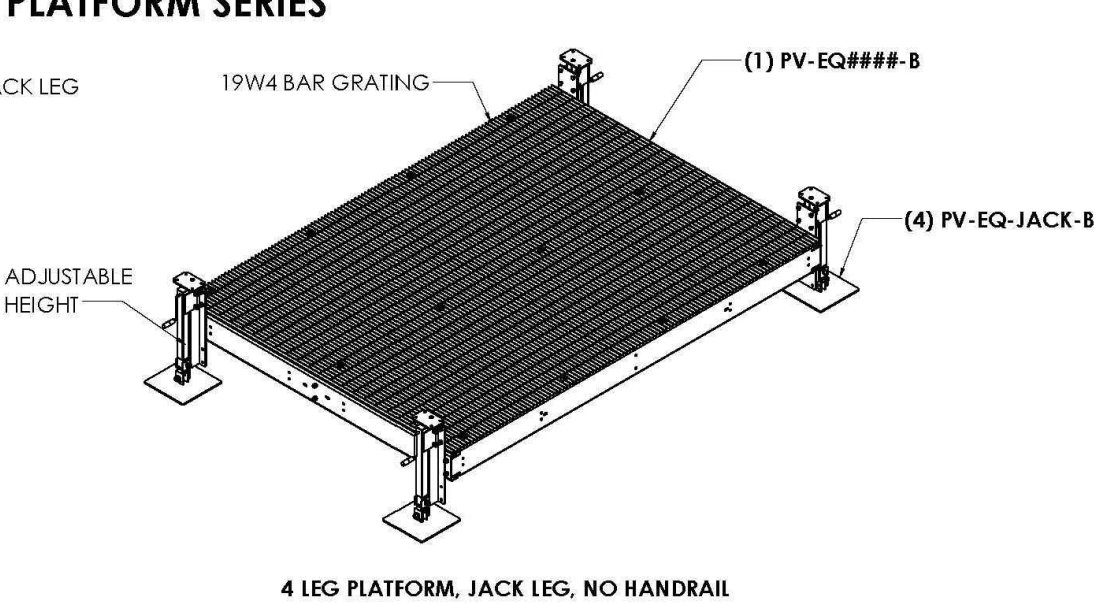
PPC CABINET SPECS
SHEETS

SHEET NUMBER

SP-4

EQUIPMENT PLATFORM SERIES

SERIES OVERVIEW: JACK LEG



NOTE: SEE PAGE 8 FOR ADJUSTMENT RANGES

SHEET		THIRD ANGLE PROJECTION	CATEGORY		REV	DATE	PERFECT VISION	
4 OF 12	5/5/2021	SCALE 1:40	07 Equipment Platforms & Canopies	01 Equipment Platforms & Canopies	6	11/18/19	EQUIPMENT PLATFORM AND CANOPY	
			PV-WC / PV-EQ Series	TYPE	5	2/15/18		
			DJN	BY	4	2/02/17	DOCUMENT NUMBER	
			SJS	CHECKED	3	1/25/17		
			APPROVED	STATUS	2	9/19/16	WCEQ-ENG-01-R6	
					REV	DATE		
							6	

C:\PV\Westin\Cardlog\SW Working Files\Engineering Details\

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PERFECTVISION MFG. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PERFECTVISION MFG IS PROHIBITED.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

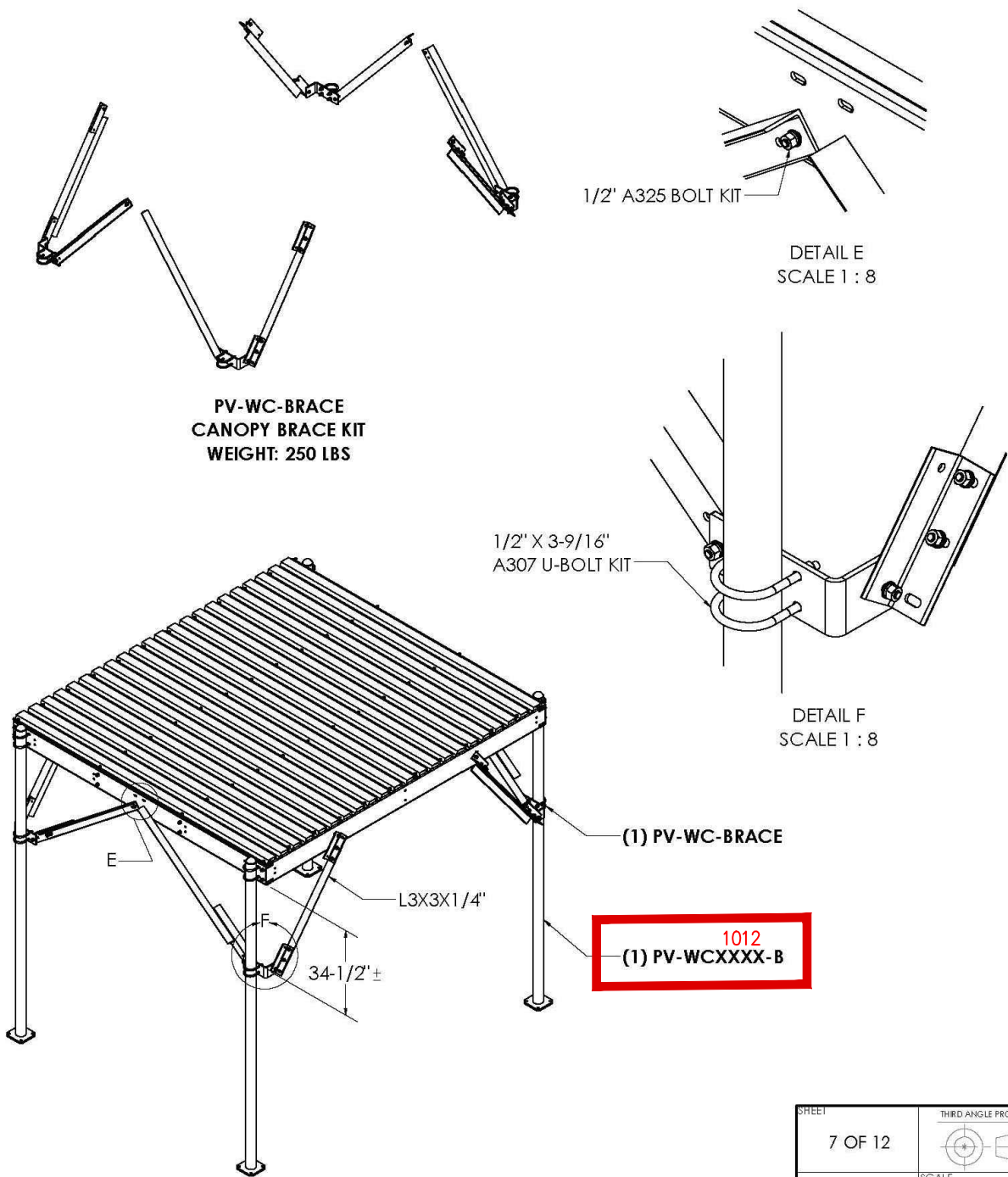
SHEET TITLE

EQUIPMENT PLATFORM
MFR. SPECS.

SHEET NUMBER

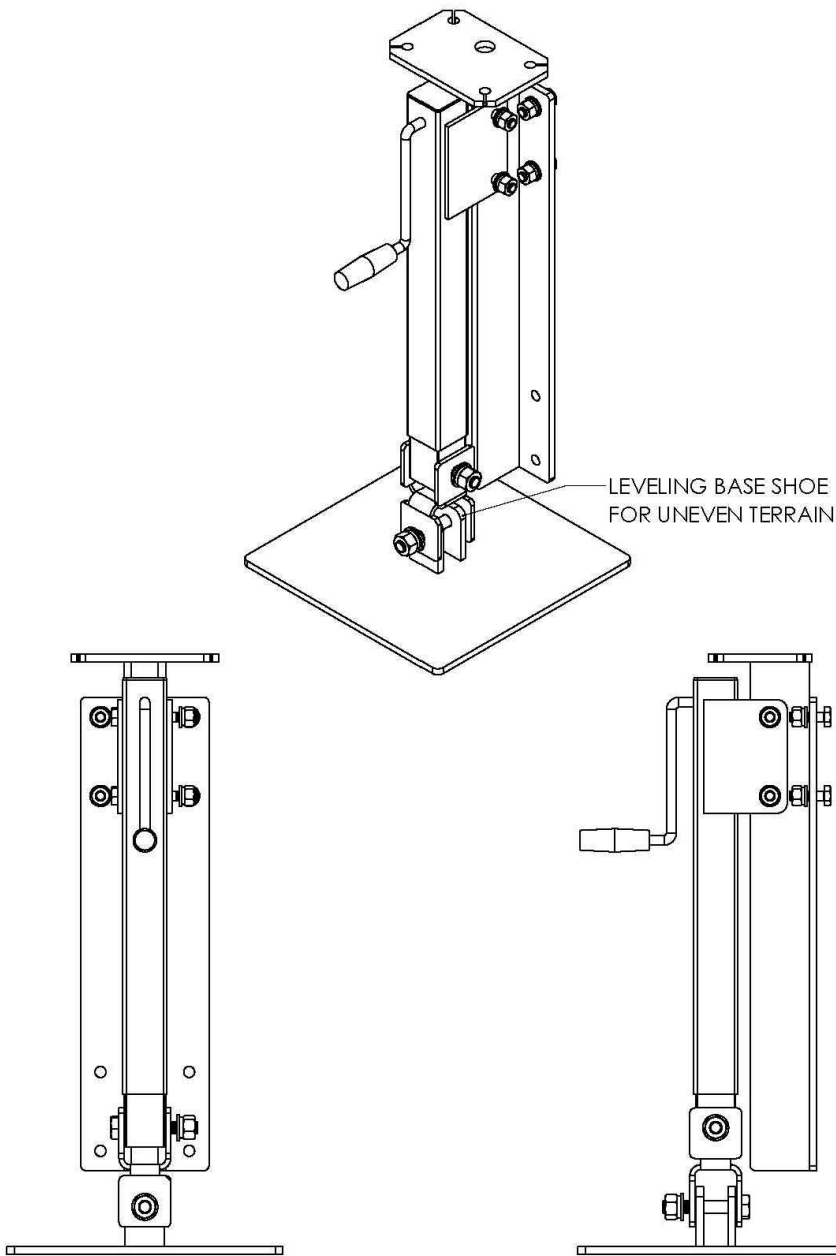
SP-5

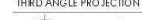

CANOPY CORNER BRACE



CANOPY WITH CORNER BRACING

CRANK UP JACK



SHEET 7 OF 12		THIRD ANGLE PROJECTION 		CATEGORY 07_Equipment Platforms & Canopies		6	ADDED DECK HEIGHT RANGE TABLE INFO	11/18/19		
				SERIES 01_Equipment Platforms & Canopies		5	UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEG	2/15/18		
5/5/2021		SCALE 1:45		TYPE PV-WC / PV-EQ Series		4	EQ USABLE AREA TABLE	2/02/17		
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"				BY DJN		3	ADDED PV-EQ-STEP	1/25/17	EQUIPMENT PLATFORM AND CANOPY	
				CHECKED SJS		2	UPDATED PV-WC-BRACE	9/19/16	DOCUMENT NUMBER	
				STATUS APPROVED		REV	DESCRIPTION	DATE	WCEQ-ENG-01-R6	
									REV 6	

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PERFECTVISION MFG. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PERFECTVISION MFG IS PROHIBITED.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

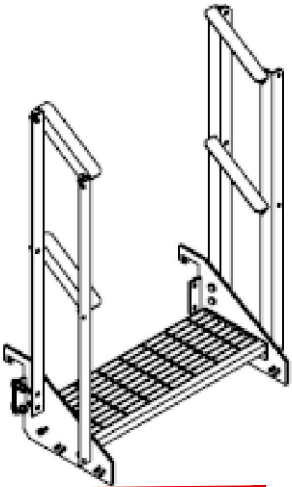
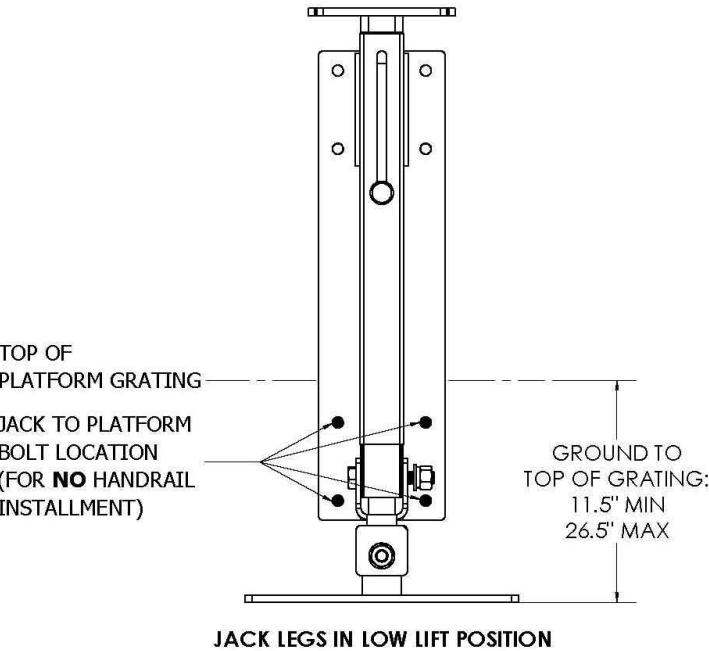
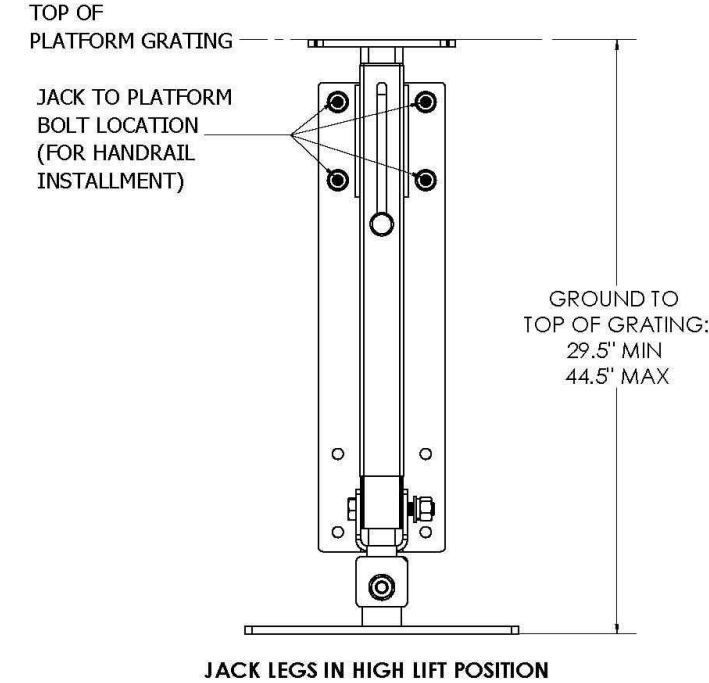
CANOPY MFR. SPECS.

SHEET NUMBER

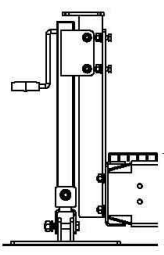
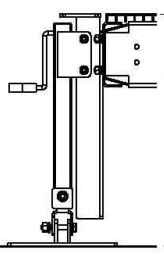
SP-5.1

1 CANOPY MFR. SPECS.
SCALE: N.T.S

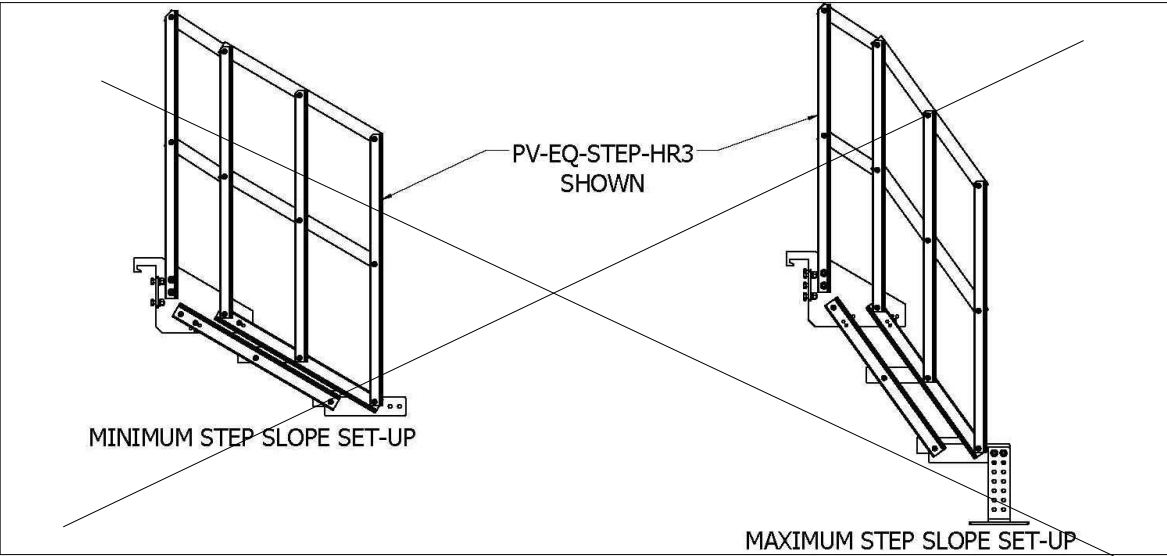
CRANK UP JACK CONT.




PV-EQ-STEP1-HR
WEIGHT: 120 LBS

TABLE 1: RECOMMENDED PLATFORM DECK HEIGHT IN ACCORDANCE WITH STEP KITS			
DECK HEIGHT RANGE (FROM GROUND TO TOP OF GRATING)	EQUIPMENT PLATFORM STEP KIT	 GROUND TO TOP OF GRATING: 11.5" MIN 26.5" MAX JACK - LOW LIFT	 GROUND TO TOP OF GRATING: 29.5" MIN 44.5" MAX JACK - HIGH LIFT
	PV-EQ-STEP-HR4 4 Step (with handrails)	-	29.75" TO 44.5"
	PV-EQ-STEP-HR3 3 Step (with handrails)	22.5" TO 26.5"	29.75" TO 43.5"
	PV-EQ-STEP-HR2 2 Step (with handrails)	15.25" TO 20.75"	-
	PV-EQ-STEP2 2 Step (no handrails)	-	-
	PV-EQ-STEP-HR1 1 Step (with handrails) PV-EQ-STEP1 1 Step (no handrails)	11.75"	-

ALL DECK HEIGHT RANGES LISTED IN TABLE 1 ABOVE ACCOUNT FOR STEP ADJUSTABILITY.
SEE PAGE 9 FOR MORE INFORMATION ON STEP KITS & STEP ANGLE ADJUSTMENT



8 OF 12		THIRD ANGLE PROJECTION		CATEGORY 07 Equipment Platforms & Canopies		6	ADDED DECK HEIGHT RANGE TABLE INFO	11/18/19		
5/5/2021		SCALE 1:45		SERIES 01 Equipment Platforms & Canopies		5	UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEGS	2/15/18		
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4", BEND ±2" ALL OTHERS: ±1/16"		TYPE PV-WC / PV-EQ Series		BY DJN		4	EQ USABLE AREA TABLE	2/02/17	EQUIPMENT PLATFORM AND CANOPY	
				CHECKED SJS		3	ADDED PV-EQ-STEP	1/25/17		
				STATUS APPROVED		2	UPDATED PV-WC-BRACE	9/19/16	DOCUMENT NUMBER	
						REV	DESCRIPTION	DATE	WCEQ-ENG-01-R6	
									6	

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PERFECTVISION MFG. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PERFECTVISION MFG IS PROHIBITED.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023
I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE

CANOPY MFR. SPECS.

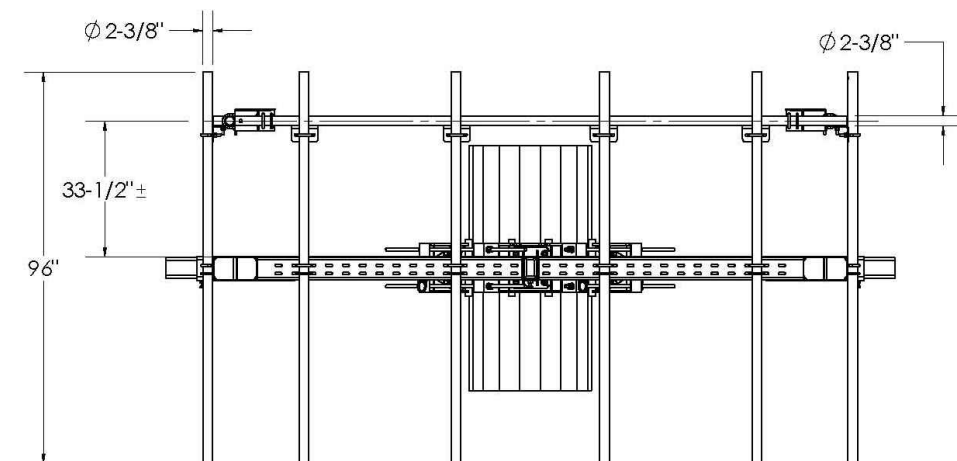
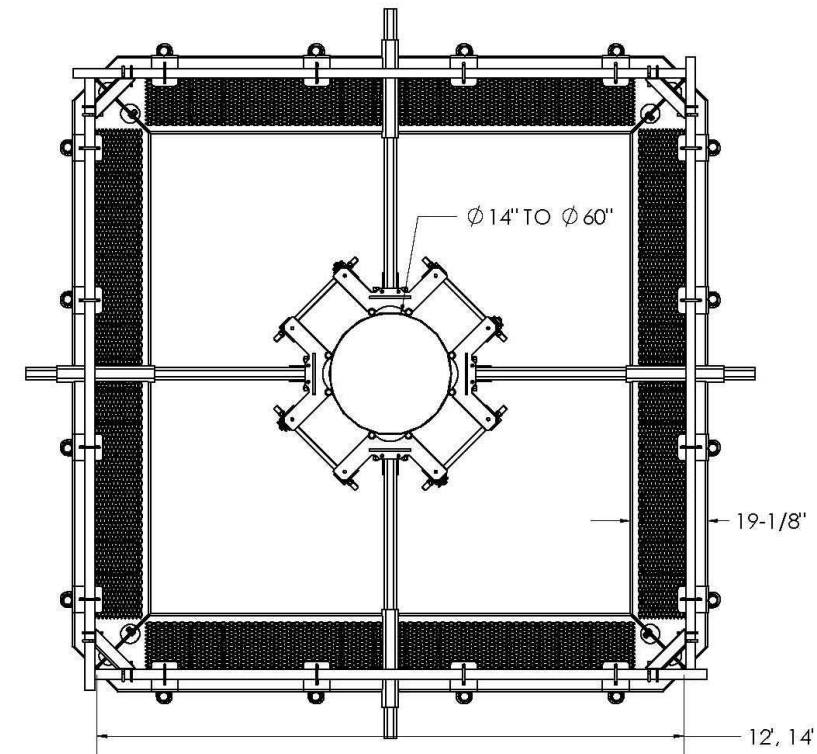
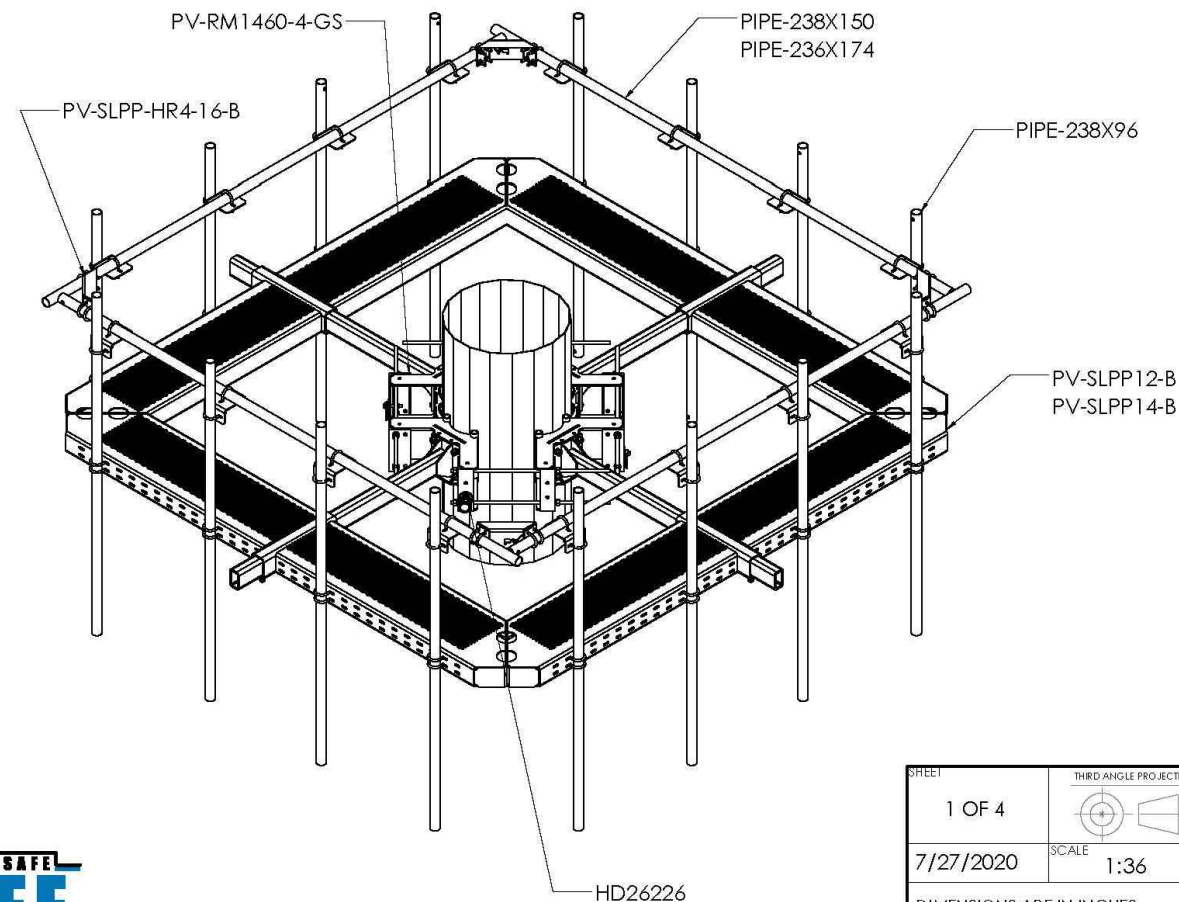
SHEET NUMBER

SP-5.2

L.I.F.E. MOUNT™ MONOPOLE SQUARE PLATFORM

Table 1: Platform Configurations

Part Number	Description	Weight (lbs)	Included Parts						
			PV-RM1460-4-GS	PV-SLPP12-B	PV-SLPP14-B	PV-SLPP-HR4-16-B	PIPE-238X96	PIPE-238X150	PIPE-238X174
PV-SLPP12U-B	L.I.F.E. Mount™ 4 Sector Platform, 12' Face, 14"-60" Pole	2511	1	1	-	-	-	-	4
PV-SLPP12U-HR-B	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole	3188	1	1	-	1	-	4	4
PV-SLPP12U-HR-12-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (12) Antenna Pipe	3539	1	1	-	1	12	4	4
PV-SLPP12U-HR-16-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (16) Antenna Pipe	3656	1	1	-	1	16	4	4
PV-SLPP14U-B	L.I.F.E. Mount™ 4 Sector Platform, 14' Face, 14"-60" Pole	2863	1	-	1	-	-	-	4
PV-SLPP14U-HR-B	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole	3217	1	-	1	1	-	-	4
PV-SLPP14U-HR-12-96	L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole, (12) Antenna Pipe	3569	1	-	1	1	12	-	4



CA:\PV\Steel\Catalog\SW Working Files\Engineering Details\



PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PERFECTVISION MFG. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PERFECTVISION MFG IS PROHIBITED.

SHEET	THIRD ANGLE PROJECTION	CATEGORY	5	KIT UPDATED WITH RM1460-GS COLLARS	6/09/20	PERFECTVISION SQUARE MONOPOLE PLATFORM DOCUMENT NUMBER SLPP-ENG-01-R5 REV 5
1 OF 4	SCALE 1:36	SERIES	4	UPDATE TO NEW TEMPLATE	4/30/20	
7/27/2020		TYPE	3	UPDATE TO KIT	8/03/19	
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"		BY	2	UPDATED TO 4 PIPES PER SECTOR	10/26/18	
		CHECKED	1	ADDED CLASSIFICATIONS	2/13/18	
		STATUS	REV	DESCRIPTION	DATE	
		APPROVED				

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

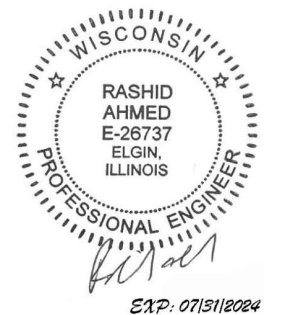
SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE

ANTENNA PLATFORM
MFR. SPECS.

SHEET NUMBER

SP-6

1 ANTENNA PLATFORM MFR. SPECS.
SCALE: N.T.S.

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

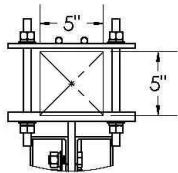
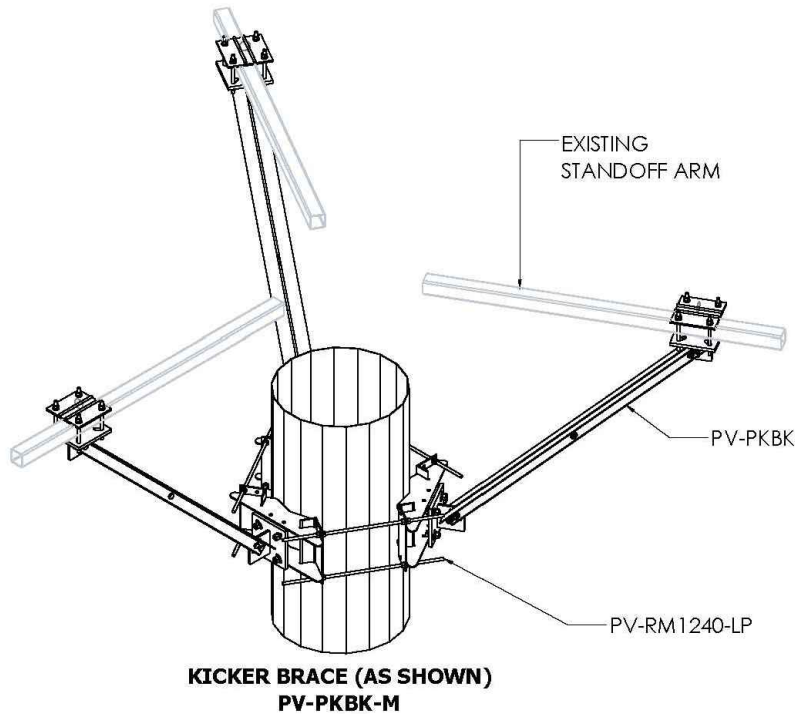
APPROVED BY: RA

SHEET TITLE
ANTENNA PLATFORM
KICKER BRACE
MFR. SPECS.

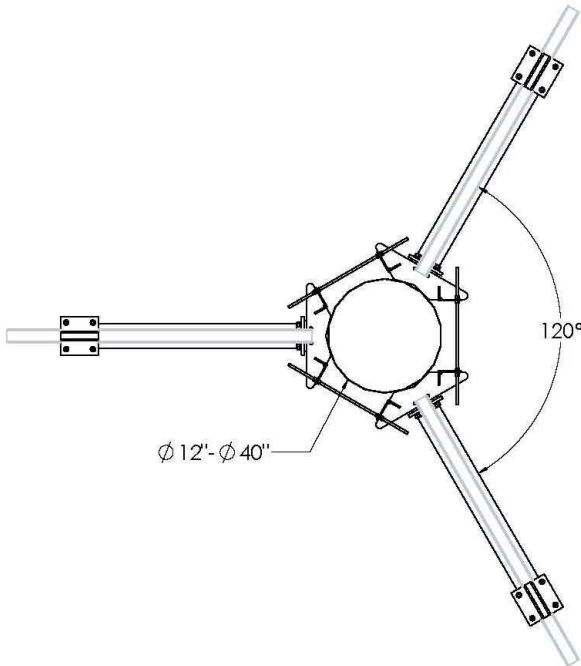
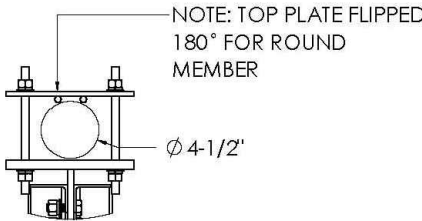
PKBK-ENG-01-R1
MONOPOLE KICKER BRACE KIT

Table 1: Monopole Kicker Brace Kit

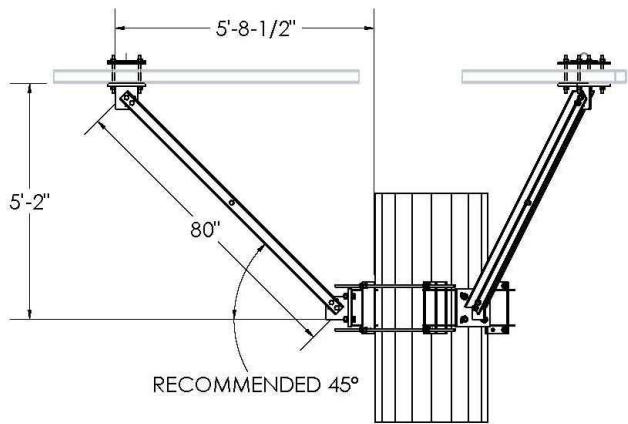
Part Number	Description	Weight (lbs)	Included Parts				
			PV-RM1240-LP	PV-RM3060	PV-RM1060-4	PV-PKBK	PV-PKBK-4
PV-PKBK-M	Brace Kit fits round Pipe OD up to 12"-40", 3 Sector	510	1	-	-	1	-
PV-PKBK-ML	Brace Kit fits round Pipe OD up to 30"-60", 3 Sector	695	-	1	-	1	-
PV-PKBK-4-M	Brace Kit fits round Pipe OD up to 10"-60", 4 Sector	903	-	-	1	-	1




ARM ATTACHMENT
CLAMPS TO RECT HSS UP TO 5"X5" & ROUND PIPE UP TO 4-1/2" OD



PV-PKBK-M
3-SECTOR KICKER BRACE



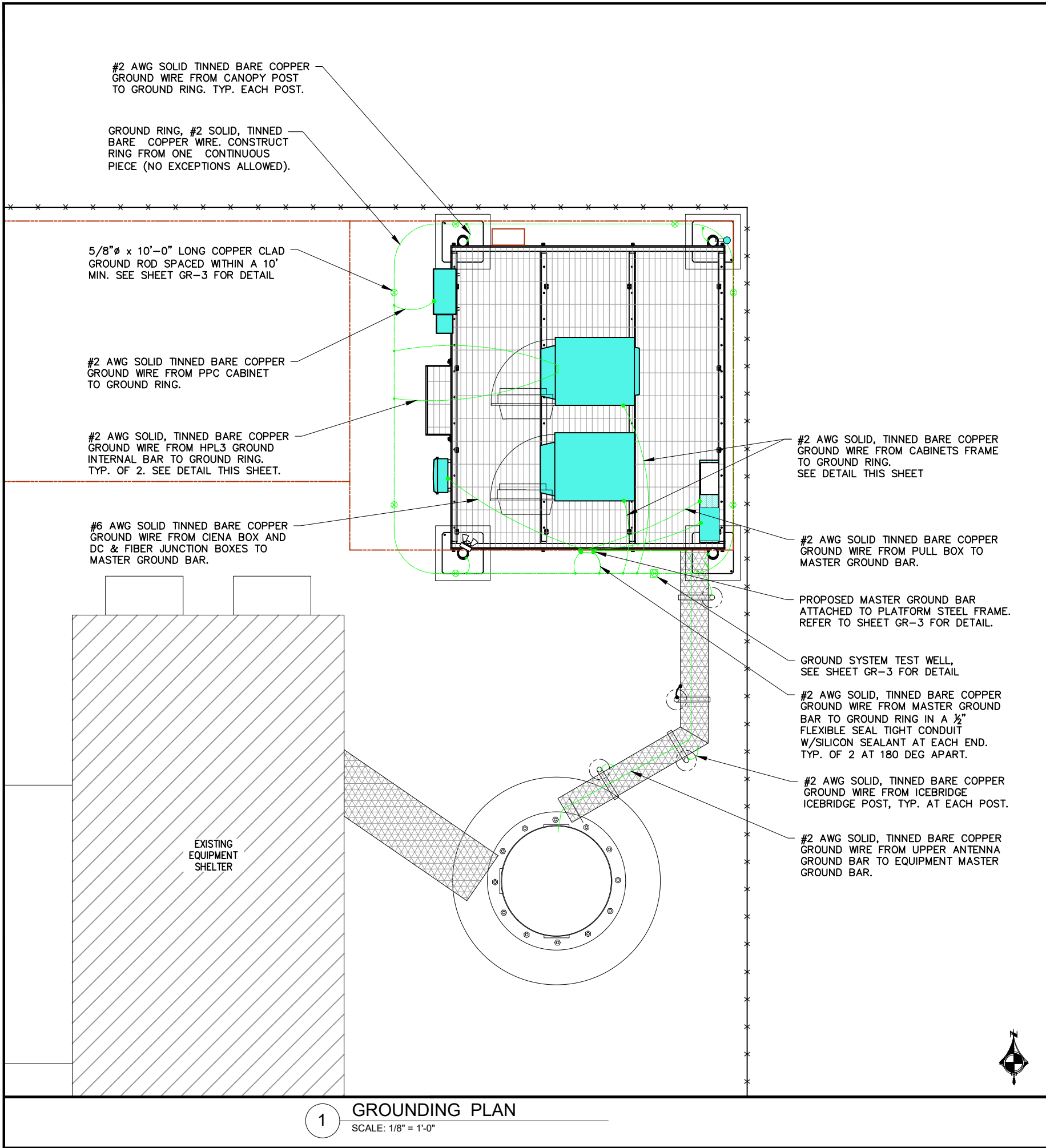
PV-PKBK-4-M
4-SECTOR KICKER BRACE

SHEET 1 OF 1				CATEGORY 02_Monopole		4							
				SERIES 04_Platform Reinforcement		3							
5/17/2018		SCALE 1:48		TYPE PV-PKBK_Monopole Platform Kicker		2							
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4", BEND ±2° ALL OTHERS: ±1/16"				BY INT		1		5/15/18		MONOPOLE KICKER BRACE KIT			
				CHECKED DJN		0		INITIAL RELEASE		DOCUMENT NUMBER		REV	
				STATUS APPROVED		REV		DESCRIPTION		DATE		PKBK-ENG-01-R1	

DIMENSIONS ARE IN INCHES
TOLERANCES U.N.O.
HOLES: +1/16", -1/32"
ANGULAR: PROFILE ±1/4°, BEND ±2°
ALL OTHERS: ±1/16"

C:\P\MSI\Steel\P\MSI Sales Catalog\SW Working Files\Engineering Details\

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PERFECTVISION MFG. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PERFECTVISION MFG IS PROHIBITED.



GROUNDING NOTES:

1. GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
2. GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE #2 AWG SOLID, TINNED BARE COPPER WIRE.
4. ALL BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELDS.
5. UNLESS PROVIDED W/ A FACTORY APPLIED LEAD, ALL CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYGROUND COMPRESSION LUGS OR EQUAL.
6. STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
8. ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
9. ALL MECHANICAL CONNECTIONS SHALL HAVE NOAX OR APPROVED EQUAL APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.

GROUNDING ELECTRODE SYSTEM

1. CONNECTIONS
ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE "CADWELD" PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEC. ALL CABLE TO GROUND RODS, GROUND OEDS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL CADWELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTIOXIDANT COMPOUND APPLIED TO CONNECTION.
4. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY T-MOBILE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.

Ground connections are to both external ground lug on the of the left and right sides of the cabinet.

LEFT RIGHT

Two hole lug with 1/4-20UNC

A ground conductor of 2AWG minimum cross section terminated with a double lug shall be used..

Double Lug Grounds are mandatory on AMIA's & Booster connections in cab or equipment rack. Single Lug Connections allowed for all other andillary equipment in cab or equipment rack.

2 GROUNDING NOTES
SCALE: N.T.S.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER
ML89143A

SITE NAME
USCC - 784760

SITE ADDRESS
FREIHEIT CT.
TAX KEY NO: SUXV0231989007

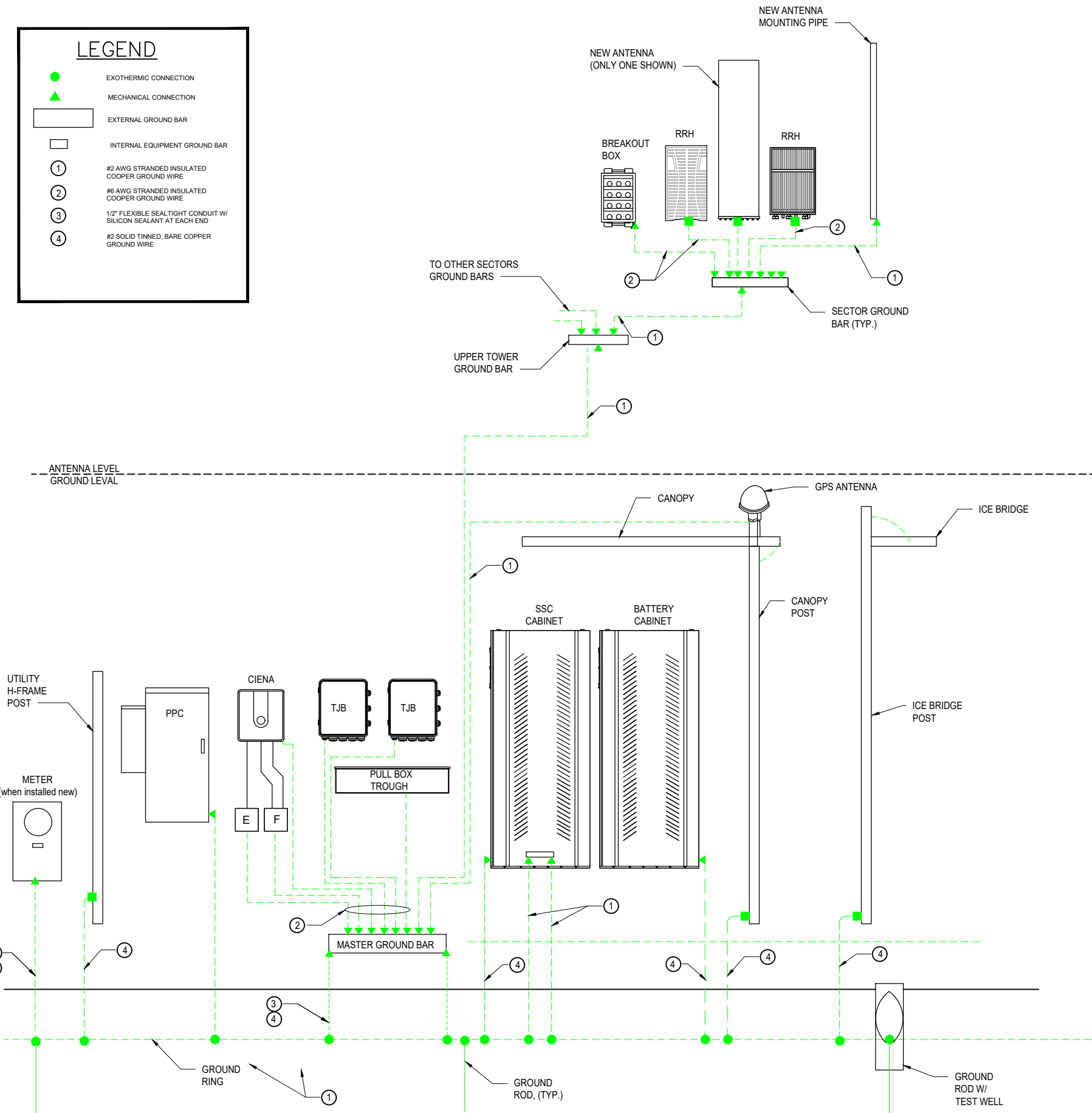
REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23

WISCONSIN
RASHID AHMED
E-26737
ELGIN, ILLINOIS
PROFESSIONAL ENGINEER
EXP: 07/31/2024
DATE SIGNED: APRIL 05, 2023
I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
GR-1



1 TYPICAL GROUNDING RISER DIAGRAM
SCALE: N.T.S

GENERAL NOTES:

1. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB.
2. IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE NOTE, SPECIFICATION OR CODE SHALL PREVAIL.
3. ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS & AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.
4. ELECTRICAL WORK SHALL INCLUDE, BUT NOT LIMITED TO, ALL LABOR MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUITS, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS OR AS REQUIRED BY CODE.
5. ALL WORK SHALL COMPLY WITH THE N.E.C. (NATIONAL ELECTRICAL CODE) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.
6. ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS & LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
7. ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO ORIGINAL OR BETTER CONDITION.
8. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, & FALL OF POTENTIAL GROUND TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO P. M. CLEAN SITE OF ALL DEBRIS RESULTING FROM WORK AND LEAVE IN A COMPLETE AND UNDAMAGED CONDITION.
9. LL BROCHURES, MANUALS, CATALOGS, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.

GROUNDING NOTES:

1. GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
2. GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE # 2 AWG SOLID, TINNED BARE COPPER WIRE.
4. ALL BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELDS.
5. UNLESS PROVIDED W/ A FACTORY APPLIED LEAD, ALL CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYGROUND COMPRESSION LUGS OR EQUAL.
6. STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
8. ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
9. ALL MECHANICAL CONNECTIONS SHALL HAVE NOAX OR APPROVED EQUAL APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE.
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

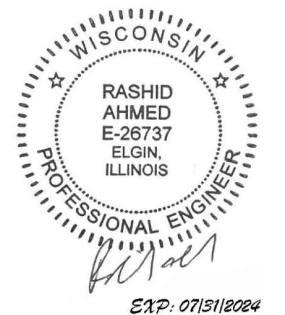
SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

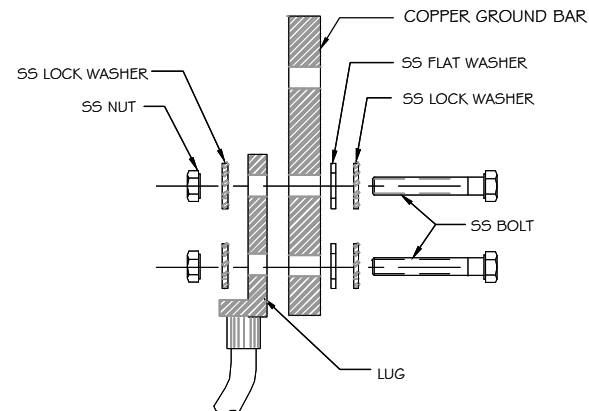
APPROVED BY: RA

SHEET TITLE

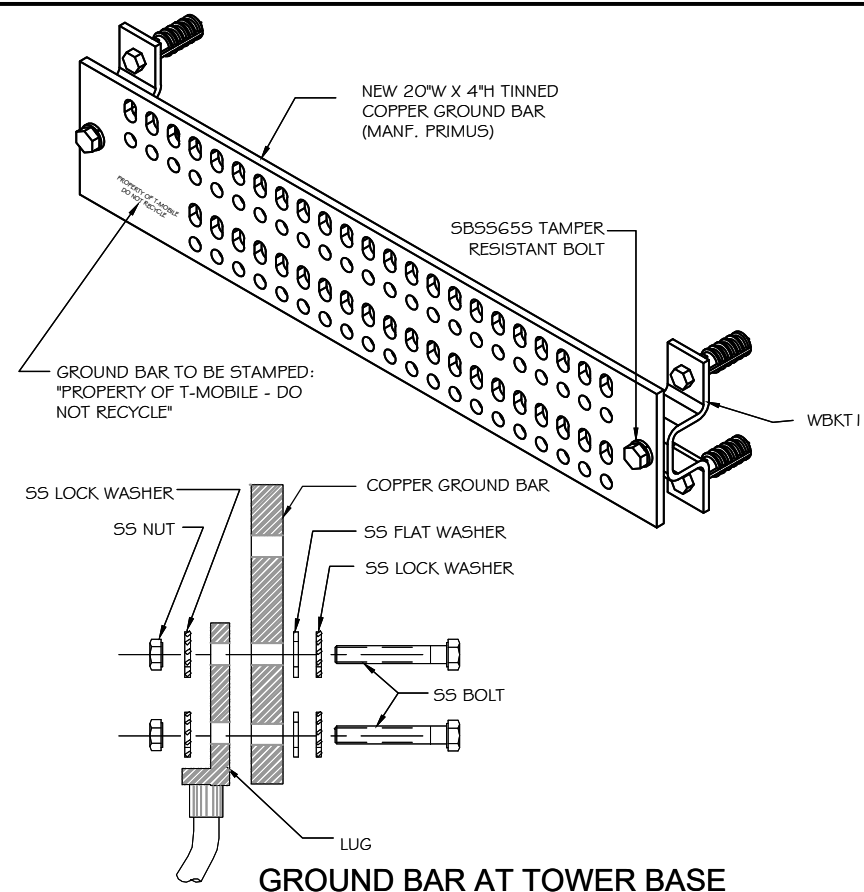
GROUNDING RISER
AND NOTES

SHEET NUMBER

GR-2



MASTER GROUND BAR



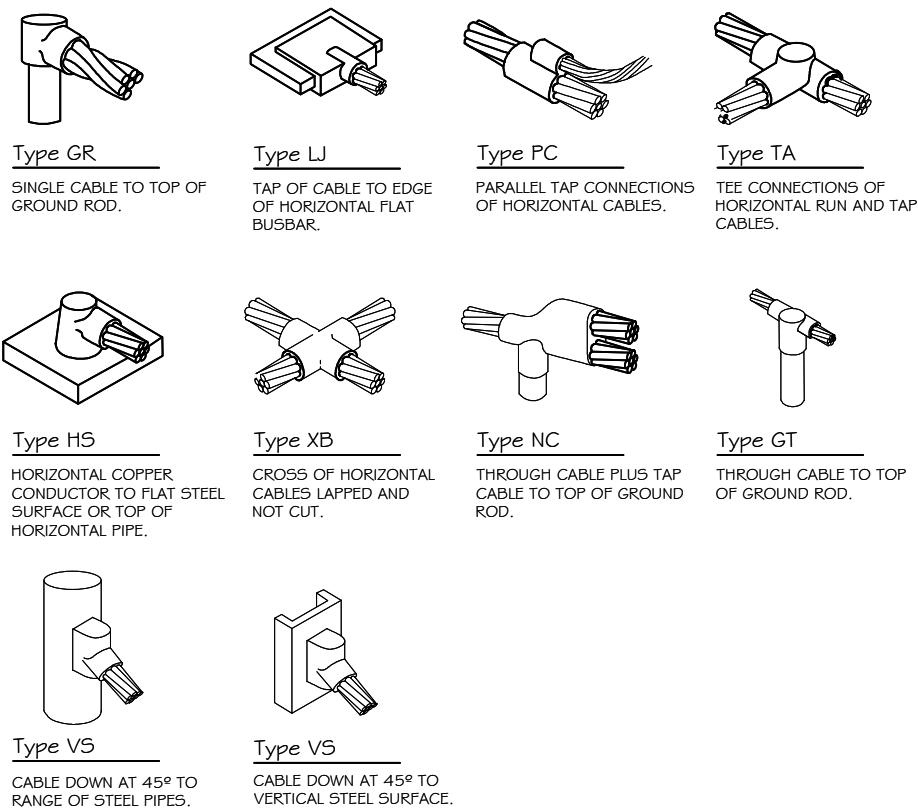
GROUND BAR AT TOWER BASE

NOTES:

1. TINNED COPPER GROUND BAR, 1/4" X 4" X 20" NEWTON INSTRUMENTS CO. CAT. NO. B-6142 OR APPROVED EQUAL; HOLE CENTERS TO MATCH NEM5 DOUBLE LUG CONFIGURATION
2. INSULATORS TO BE NEWTON CAT. NO. 3015-8 OR APPROVED EQUAL
3. 5/8" LOCK WASHERS; NEWTON CAT. NO. A-605G OR APPROVED EQUAL
4. 5/8" - 11 X 1" M.M.C.S. BOLTS; NEWTON CAT. NO. 301-2-1 OR APPROVED EQUAL
5. COAT ALL SURFACES WITH 'KOPER SHIELD' BEFORE MATING
6. ALL HARDWARE TO BE STAINLESS STEEL UNLESS OTHERWISE NOTED
7. NUTS TO FACE OUT

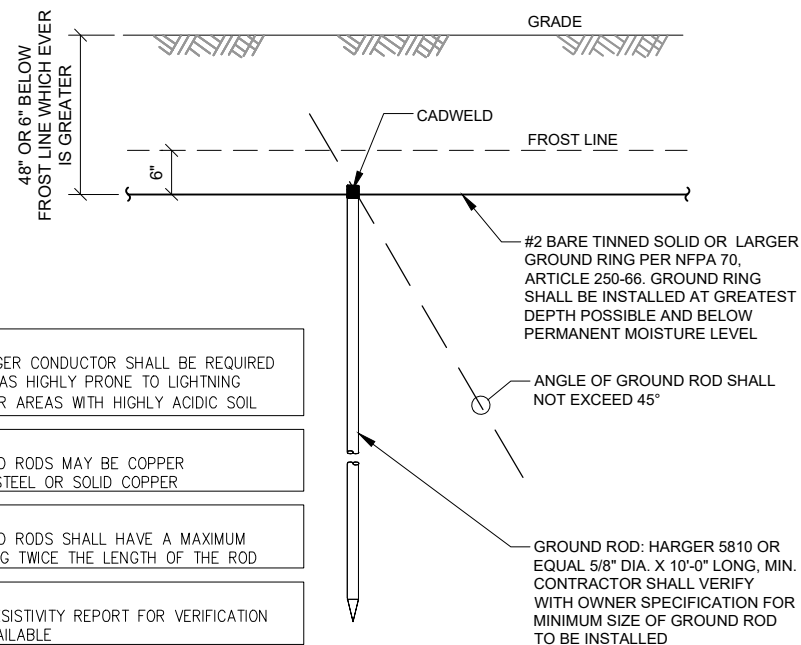
1 GROUND BAR DETAILS

SCALE: NTS



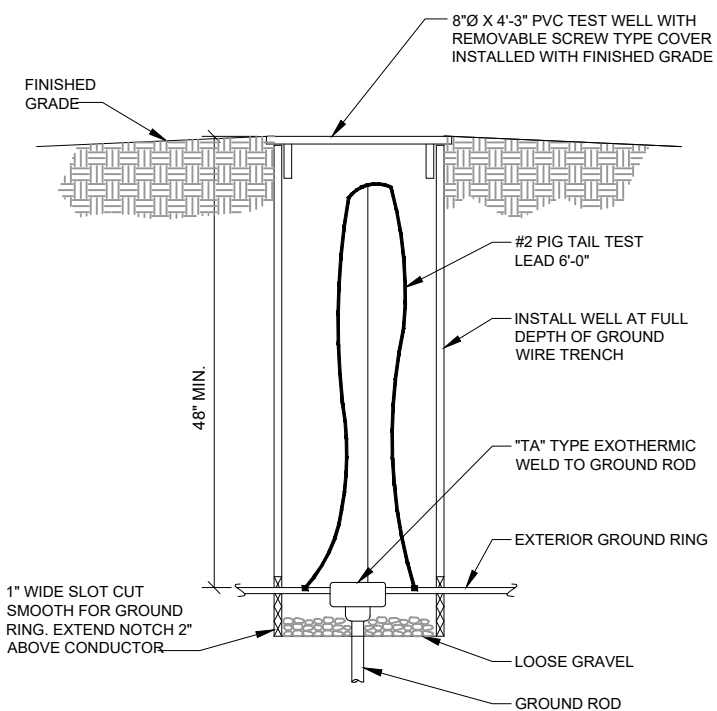
EXOTHERMIC WELD SCHEDULE

SCALE: NTS



GROUND ROD DETAIL

SCALE: NTS



TEST WELL DETAIL

SCALE: NTS

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
THE PROPERTY OF T-MOBILE
THE DOCUMENT AND INFORMATION SHALL
NOT BE REPRODUCED, USED OR DISCLOSED
WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF
T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA_____

SHEET TITLE

GROUNDING TYPICAL DETAILS

SHEET NUMBER

GR-3

PART 1 GENERAL

1.00 GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.

ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS. THE CONTRACTOR SHALL PROVIDE THE MATERIALS APPROVED BY THE FIRE MARSHALL FOR FILLING OR SEALING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM THE START OF THE PROJECT TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO ASSESS CONDITIONS THAT MAY ADVERSELY AFFECT THE WORK OR THE COST OF THE WORK. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION OF NEW PORTION OF THE WORK AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE A&E.

NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE A & E. ANY REFERENCE TO THE WORDS APPROVED OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES/SPECIFICATIONS:

- LATEST LOCAL JURISDICTIONAL BUILDING CODES.
- ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS
- AMERICAN CONCRETE INSTITUTE (ACI)
- AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
- ANSI/TIA – 222 – H
- UNIFORM BUILDING CODE (UBC)
- NATIONAL ELECTRICAL CODE (NEC) WITH ALL AMENDMENTS
- AMERICAN INSTITUTE FOR STEEL CONSTRUCTION OR SPECIFICATIONS (AISC)
- UFE SAFETY CODE NIFFA – 101
- FEDERAL AVIATION REGULATIONS

1.01 CARRIER REPRESENTATIVE

A. THE SITE DEVELOPMENT MANAGER (SDM) OR HIS DESIGNEE (INCLUDING BUT NOT LIMITED TO THE ARCHITECT/ ENGINEER, OR CONSTRUCTION MANAGER) SHALL SERVE AS THE SINGLE POINT OF CONTACT

B. BETWEEN THE CONTRACTOR AND OWNER, NOT WITHSTANDING THE REQUIREMENTS SPECIFIED HEREIN, THE SDM OR DESIGNATED REPRESENTATIVE IS EMPOWERED TO DIRECT THE CONTRACTOR TO VARY OR CHANGE FROM THE PLANS AND SPECIFICATIONS AS CIRCUMSTANCES OR CONDITIONS ARISE.

C. CONTRACTOR SHALL VERIFY ALL CHANGES ARE ACCEPTED BY THE ENGINEER OF RECORD.

1.02 INTENT

A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND COMPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.

B. THESE SPECIFICATIONS AND DESIGN DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS TO BE FURNISHED FOR THE CONSTRUCTION OF THE PROJECT.

C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS.D. THE PURPOSE OF THE SPECIFICATIONS IS

TO SUPPLEMENT THE INTENT OF THE DRAWINGS AND TO DESIGNATE A PROCEDURE, TYPE, OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. HOWEVER, NO CHANGES THAT ALTER THE CHARACTER INTENT OF THE DESIGN WILL BE MADE OR PERMITTED WITHOUT A CHANGE ORDER FROM THE OWNER.

1.03 CONFLICTS

A. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSION AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE SDM OR DESIGNATED REPRESENTATIVES FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH WORK IN THE AFFECTED AREAS.

B. THE CONTRACTOR SHALL NOTIFY A & E OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS AND NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AFTER THE START OF CONSTRUCTION THAT HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE A & E AND SHALL INCUR ANY7 EXPENSES REQUIRED TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE A & E.

C. THE CONTRACTOR, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING WHICH THE CONTRACTOR MIGHT NOT HAVE FULLY INFORMED HIMSELF PRIOR TO BIDDING.

D. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED WILL BE ACCEPTED AS A REASON FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL THE REQUIREMENTS OF THE CONTACT DOCUMENTS.

1.04 BIDDING PROCESS --- INSTRUCTIONS TO BIDDERS

A. CARRIER REQUESTS A FIRM LUMP SUM BID FOR ALL WORK DESCRIBED IN THE CONTRACT, AS INDICATED IN THESE CONSTRUCTION DRAWINGS/SPECIFICATIONS, APPARENT WITH FIELD VISIT, AND ACCORDING TO ANY OTHER AGREEMENTS AND DIRECTION.

B. BIDDER WILL GUARANTEE BIDS FOR 60 DAYS FROM BID DUE DATE. BIDS SHALL INCLUDE ALL APPLICABLE STATE AND FEDERAL TAXES.

C. PROPOSAL: (AS OUTLINED IN BID DOCUMENTS) IT IS UNDERSTOOD BY OWNER, THAT THE BIDDER IN SUBMITTING HIS BID, WARRANTS THAT HE HAS CAREFULLY EXAMINED THE SITE OF THE PROJECT TO ACQUAINT HIMSELF WITH:

1. SURROUNDING PROPERTIES.
2. MEANS OF APPROACH TO THE SITE.
3. CONDITIONS OF THE ACTUAL JOB SITE.
4. FACILITIES FOR DELIVERING, STORING, PLACING, HANDLING AND REMOVAL OF MATERIALS AND EQUIPMENT.
5. ANY AND ALL DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE EXECUTION OF ALL WORK IN ACCORD WITH THE CONTRACT DOCUMENTS.

1.05 CONTRACTS AND WARRANTIES

A. ABBREVIATED FORM OF AGREEMENT BETWEEN CARRIER REPRESENTATIVE AND CONTRACTOR MAY BE USED AND WILL BE EMPLOYED FOR CONTRACT PURPOSES.

B. UNLESS ARRANGED OTHERWISE, EACH CONTRACTOR IS RESPONSIBLE FOR FILING THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR OF RECORD, AND PROVIDE JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION.

C. A COPY OF THE APPROVED DRAWINGS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED DRAWINGS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF DRAWINGS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT DRAWINGS TO THE A & E AT THE CONCLUSION OF THE PROJECT, OR TO TMO, AS DIRECTED.

D. THE CONTRACTOR SHALL BE REIMBURSED, AT FACE VALUE, FOR THE AMOUNT OF ANY FEE PAID AS FOLLOWS:

1. PLAN REVIEW FEE.
 2. BUILDING PERMIT FEE.
 3. CONNECTIONS AND INSPECTION FEES.
- EACH CONTRACTOR IS RESPONSIBLE FOR APPLICATION &

1.06 STORAGE

A. DO NOT USE THE CARRIER EQUIPMENT SPACE FOR STORAGE OF TOOLS OR MATERIALS WITHOUT WRITTEN SDM APPROVAL.

B. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER THAT WILL NOT OBSTRUCT THE FLOW OF OTHER WORK. ANY EQUIPMENT OR MATERIAL STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE MANUFACTURER.

C. WHEN STORING MATERIALS ENSURE EVEN DISTRIBUTION OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OF SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.

1.07 PROTECTION

A. PROTECT FINISHED SURFACES, INCLUDING JAMBS AND WALLS USED AS PASSAGEWAYS THROUGH WHICH EQUIPMENT AND MATERIALS WILL PASS.

B. PROVIDE PROTECTION FOR EQUIPMENT ROOM SURFACES PRIOR TO ALLOWING EQUIPMENT OR MATERIAL TO BE MOVED OVER SUCH SURFACES.

C. MAINTAIN FINISHED SURFACES CLEAN, UNMARRED AND SUITABLY PROTECTED UNTIL JOB SITE IS ACCEPTED BY THE SDM.

D. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.

1.08 REPAIRS AND REPLACEMENTS

A. IN EVENT OF DAMAGES, THE CONTRACTOR SHALL NOTIFY OWNER SDM, THEN PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO OWNER.

B. ADDITIONAL TIME THAT IS REQUIRED TO SECURE REPLACEMENTS AND TO MAKE REPAIRS WILL NOT BE CONSIDERED BY OWNER TO JUSTIFY EXTENSION IN THE CONTRACT TIME FOR COMPLETION.

1.09 TEMPORARY FACILITIES

A. WATER: WATER IS NOT AVAILABLE TO THE CONTRACTORS ON SITE.

B. LIGHT, TELEPHONE AND POWER: LIGHT AND POWER ARE AVAILABLE ON SITE. IF NOT, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER (FOR THE OPERATION OF TOOLS, EQUIPMENT AND LIGHTING NECESSARY FOR FACILITY CONSTRUCTION), WATER AND TOILET FACILITIES. TELEPHONE: EACH CONTRACTOR TO PROVIDE HIS OWN TELEPHONE ACCESS IF REQUIRED. CONTRACTORS ARE NOT TO USE OWNER PHONES.

C. IF PERMANENT POWER IS COMPLETED, ALL CONTRACTORS MAY USE THE SERVICE CONNECTION FOR PRODUCTION WORK ONLY, PROVIDED THAT ELECTRICAL CORDS AND CONNECTIONS ARE FINISHED BY CONTRACTORS AND ARE DISCONNECTED AND PROPERLY STORED DURING NON-WORKING HOURS.

1.10 CLEAN UP

A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK, AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING, INCLUDING ALL TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK AREA CLEAN AND READY FOR USE EACH DAY.

B. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, DUST, SMUDGES, AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, SMUDGES AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

D. CONTRACTOR SHALL WASH AND WAX FLOOR PRIOR TO FINAL ACCEPTANCE FROM SDM. WAX SHALL BE THE ANTI-STATIC TYPE.

PAYMENT OF CONTRACTOR LICENSES & BONDS.1.11CHANGE ORDER PROCEDURE

A. CHANGE ORDER MAY BE INITIATED BY THE SDM, AND OR THE CONTRACTOR. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE SDM, SHALL PREPARE WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT IT TO THE SDM FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPES OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE SDM SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR

1.12 RELATED DOCUMENTS AND COORDINATION

A. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK EACH CONTRACTOR JUST REFERS ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

B. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES, AND FOR SUPERVISING, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.

1.13 SHOP DRAWINGS

A. CONTRACTOR TO SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS AND THROUGH THE GENERAL CONTRACT TO THE SDM FOR APPROVAL.

B. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD UNLESS SPECIFICALLY NOTED OTHERWISE; CONTRACTOR SHALL NOT FABRICATE STEEL UNTIL DRAWINGS HAVE BEEN ACCEPTED IN WRITING

C. ALL SHOP DRAWINGS TO BE REVISED, CHECKED AND CORRECTED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE SDM

1.14 PRODUCTS AND SUBSTITUTIONS

A. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBMISSION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED INPSECTIONS AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

B. ALL NECESSARY PRODUCT DATA AND CUT SHEETS SHOULD PROPERLY INDICATES AND DESCRIBE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE SDM, SUBMIT ACTUAL SAMPLES TO THE SDM FOR APPROVAL IN LIEU OF CUT SHEETS.

1.15 COMPLIACE

A. ALL MATERIALS, DESIGN AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES (SOME ARE LISTED HEREIN) ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. UPON THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE CARRIER WITH THE CERTIFICATES OF OCCUPANCY (IF REQUIRED), JOB SITE PERMITTED PLANS AND INSPECTION CARD WITH ALL FINAL INSPECTION SIGNATURES AND OTHER LEGAL DOCUMENTS TO VERIFY SUCH COMPLIANCES. WHERE NO CODES EXIST, THE WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE AND/OR THE SPECIFICATIONS HEREIN, WHICHEVER IS MORE STRINGENT AND A DOCUMENT STATEMENT SHALL BE FURNISHED TO THIS EFFECT.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH THE GOVERNING CODES AND TO NOTIFY THE SDM OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

C. REFERENCES TO ANY STANDARD OR CODE OF PRACTICES IN THIS SPECIFICATION SHALL BE DEEMED TO MEAN THE EDITION CURRENT AT THE TIME OF AWARD OF THE CONTRACT.

D. THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN IN THESE DRAWINGS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT TO MOBILITY, SIGHT OR HEARING, THEREFORE, PER THE APPLICABLE CODES; THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

E. THE CONTRACTOR SHALL COMPLY WITH ALL ZONING AND SITE ACQUISITION SPECIAL STIPULATIONS AS OUTLINED IN THE JOB SPECIFICATIONS, OR AS DIRECTED BY THE SDM.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

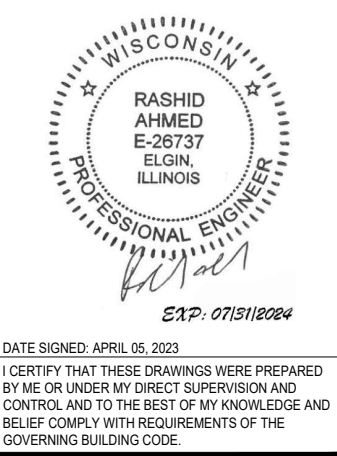
THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER			
ML89143A			
SITE NAME			
USCC - 784760			
SITE ADDRESS			
FREIHEIT CT. TAX KEY NO: SUXV0231989007			
REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE
GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER
GN-1

1.16 ADMINISTRATION

A. THE CONTRACTOR SHALL FURNISH TO THE SDM WITH THE NAME AND CONTACT TELEPHONE NUMBERS OF THE CARRIER APPROVED ON-SITE SUPERVISOR. ANY CHANGES IN SUPERVISION MUST BE REPORTED TO THE SDM IMMEDIATELY AND ARE SUBJECT TO CARRIER APPROVAL.

1.17 PERMIT AND LICENSES

A. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, STATE, AND/OR COUNTY CONSTRUCTION PERMITS AND LICENSES. COPIES OF ALL PERMITS SHALL BE SENT TO SDM. APPROVALS FROM RELEVANT PLANNING BOARD, ENVIRONMENTAL BOARDS, AND/OR OTHER COMMITTEE WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE APPLICATION FOR CONSTRUCTION PREMISES.

B. FAA APPROVAL WILL BE SUPPLIED BY OTHERS BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE ERECTING OF TOWER (IF APPLICABLE).

C. FOR CONSTRUCTION SCHEDULING REFER TO THE INSTRUCTIONS PROVIDED BY THE SDM ITEMS TO BE INCLUDED (WHEN APPLICABLE):

1. CLEARING AND GRUBBING
2. BUILDING PERMIT
3. SHELTER DELIVERY AND PLACEMENT
4. BUILDING FOUNDATION EXCAVATION
5. ACCESS ROAD
6. COMMERCIAL AC POWER
7. BUILDING FOUNDATION FORMING
8. INSPECTIONS
9. LANDSCAPING
10. GROUNDING SYSTEM
11. ANTENNA INSTALLATION

D. PRIOR TO COMMENCING THE WORK THE GENERAL CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES TO THE PROCESS. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE DESIGNATED REPRESENTATIVES OF EACH SUB-CONTRACTOR

E. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY & VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR QUESTIONS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION & INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED & CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO THE SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSES. CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE UNDERGROUND UTILITIES LOCATED & MARKED.

F. THE CONTRACTOR SHALL BE EQUIPPED WITH A MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A CELLULAR PHONE, AND BE AVAILABLE IN A REASONABLE AMOUNT OF TIME DURING CONSTRUCTION.

G. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY INCLUDING BUT NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE SITE CONSTRUCTION PERIOD. HE SHALL TAKE ALL REASONABLE PRECAUTIONS TO PLACE AND MAINTAIN BARRICADES, LAMPS, SIGN, AND ALL OTHER REQUIRED SAFETY MEANS.

CONSTRUCTION NOTES

1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
2. ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECTS KNOWLEDGE AS GATHER BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
3. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
4. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING WITHIN WATER TANK SITES OR ADJACENT TO EXISTING UNDERGROUND UTILITIES SHALL BE HAND DUG.
5. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

6. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.

7. DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.

8. EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.

9. COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWNGS LABELED "ISSUED FOR CONSTRUCTION

10. NO DUMPING SOILS ON SITE OR LEASE AREA, MUST BE HAULED OFF SITE.

11. ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .

12. ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.

13. PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.

14. ANY ACCIDENTS ON SITE MUST BE REPORTED TO CONTRACT OWNER WITHIN 2 HOURS OF EVENT.

15. GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGER AND TOWER OWNER.

16. PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.

GENERAL GRADING NOTES: (WHEN APPLICABLE)

1. CONTOURS AND SPOT ELEVATIONS SHOWN ARE ONLY CONTROLS AND THE PROFILES THEY FORM SHALL BE SMOOTH AND CONTINUOUS.
2. THE CONTRACTOR SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
3. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
4. DURING GRADING OPERATIONS AND PRIOR TO COMPLETION OF CONSTRUCTION, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND IMPROPER DRAINAGE.5. PRIOR TO THE START OF GRADING ALL EXISTING VEGETATION AND DEBRIS, INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE.
6. THE EXPOSED SOILS SHALL THEN BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES, BROUGHT TO PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY THE CURRENT UNIFORM BUILDING CODE.
7. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEP FOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
8. THE MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1.

9. CONTRACTOR SHALL MAKE SURE ALL SURVEY STAKING IS PRESERVED AND PROTECTED BY MEANS OF OFFSETS OR WORKING AROUND STAKES. CONTRACTOR SHALL BE RESPONSIBLE FOR REESTABLISHING STAKES IF THEY ARE DISTURBED BY HIRING THE ORIGINAL SURVEYOR10. TOP SOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGATATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIIVE ELEMENTS.

10. TEMPORARY SILT FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS AS SHOWN ON THESE DRAWINGS OR REQUIRED BY LOCAL CODES.

11. MINIMUM BUILDING PAD DRAINAGE SHALL BE 2%. DRAINAGE SHALL BE A MINIMUM OF 0.3' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES. THE MINIMUM SLOPE OF SWALES SHALL BE 0.50%.

12. IF ANY UNFORESEEN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING FURTHER.

13. ALL DEPRESSIONS WHERE WATER MAY POND WILL BE FILLED IN MADE EQUAL TO ADJACENT GRADES, CREATING A LARGER DRAINAGE SCHEME FOR THE SITE.

UTILITY SERVICE NOTES:

A. ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY; VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS WITH OWNER; PLACEMENT AND ROUTING OF ALL COMPONENTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

B. SERVICE EQUIPMENT SHALL HAVE A FAULT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. INSTALLATION SHALL BE FREE FROM ALL FAULTS AND GROUNDS.

C. ALL ELECTRICAL EQUIPMENT, CONDUITS, AND SUPPORT SHALL BE ABLE TO WITHSTAND 90 M.P.H. WIND SPEED; EXPOSURE C.

D. ALL ELECTRICAL EQUIPMENT SHALL HAVE A PERMANENTLY AFFIXED NEOPRENE PLASTIC LABEL – BLACK ON WHITE; LETTER HEIGHT SHALL BE ¼"; ALL NAMEPLATES TO BE FASTENED WITH (2) STAINLESS STEEL SCREWS, NOT ADHESIVE.

E. ALL WRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600V, COLOR CODED, #12 AWG MINIMUM UNLESS NOTED OTHERWISE.

CONDUIT NOTES:

F. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS, OR EXPOSED ON BUILDING EXTERIOR.

G. ELECTRICAL METALLIC TUBING SHALL BE U.L. LABEL; FITTING SHALL BE GLAND RING COMPRESSION TYPE.

H. CORING THROUGH FLOORS AND WALLS SHALL NOT BE DONE WITHOUT FINAL APPROVAL OF BUILDING OWNER OR OWNER REPRESENTATIVE.

I. CORING SHALL NOT BE PERFORMED DURING WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER.

J. CONCRETE CORING OR DRILLING SHALL BE PERFORMED FOLLOWING THE REVISED & UPDATED OSHA 29 CFR 1926.1153 COMPLIANCE FOR HAZARDOUS DUST, SILICA DUST, USING HEPA VDCS DRILLING TECHNIQUES.

GENERAL NOTES:

J. SUBMITTAL OF BID INDICATES CONTRACTOR IS FAMILIAR WITH ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED AS DETAILED AND OUTLINED IN THESE DRAWINGS

K. THE ELECTRICAL PORTION OF THESE DRAWINGS IS ONLY A PART OF THE OVERALL DESIGN. IT IS NECESSARY FOR THE ELECTRICIAN TO CONSIDER ALL ASPECTS OF THIS PROJECT WHEN BIDDING AND PLANNING THE WORK

L. IN THE EVENT OF A CONFLICTING DESIGN OR NOTATION, THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OR RESTRICTIVE METHOD UNTIL A CLARIFICATION IS MADE

M. ALL THINGS, WHICH IN THE OPINION OF THE CONTRACTOR ARE DEFICIENCIES, OMISSIONS, CONTRADICTIONS, OR AMBIGUITIES, IN THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE WORK PROCEEDS; ALL CLARIFICATIONS MUST BE RECEIVED IN WRITING IN ORDER FOE THE MATTER TO BE CONSIDERED RESOLVED

N. ELECTRICAL WORK SHALL INCLUDE BUT NOT LIMITED TO ALL MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL SYSTEMS INCLUDING LIGHTING, LOW VOLTAGE SYSTEMS, PANELS, POWER AND TELEPHONE DATA SERVICE, CONTROL WIRING, AND GROUNDING.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

REV.	SUBMITTAL	APPROVED	DATE
	Lease Exhibit	AE	05/23/22
A	PRELIM CD	AE	07/06/22
B	PRELIM CD	AE	08/09/22
0	FINAL CD	AE	08/22/22
1	REVISED CD	AE	11/09/22
2	REVISED CD	AE	1/17/23
3	REVISED CD	AE	4/05/23



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GENERAL NOTES AND SPECIFICATIONS

SHEET NUMBER

GN-2

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information

relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0417 B-2 Regional Business District

17.0417 B-2 REGIONAL BUSINESS DISTRICT

The B-2 Regional Business District is intended to provide for the orderly and appropriate development along the STH 164 Corridor, to provide services and retail for the community and surrounding region.

A. Permitted Uses

1. Accommodations and Food Service
 - (a) Hotels and motels
 - (b) Restaurants, snack stands. For a drive-through the Plan Commission must find that the vehicle stacking will not impact surrounding properties or any public roadway.
 - (c) Bars
 - (d) Food service contractors and caterers
2. Arts, Entertainment and Recreation Services
 - (a) Artists offices/studios
 - (b) Entertainment Facilities, such as arcades, bowling alleys, golf facilities, miniature golf facilities, pool and billiard halls, where the space of the use is under 30,000 square feet.
3. Educational, Health Services, and Social Services
 - (a) Fine arts and language schools and studios
 - (b) General medical services
 - (c) Business, secretarial, computer, training exam, cosmetology, barber and prep schools.
 - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
 - (a) Financial service institutions, for a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties.
 - (b) Financial investment, insurance offices, and similar financial products
 - (c) Real estate, appraisers, and developer offices
 - (d) Office equipment rental and leasing
 - (e) Rental Centers
5. General Services
 - (a) Barber, beauty, nail salons, spa treatment services
 - (b) Personal care and weight loss services
 - (c) Funeral home and funeral services
 - (d) Dry cleaning and laundry services (non-industrial)
 - (e) Travel and visitor services
6. Information Services
 - (a) Radio/TV/Cable network, stations, news syndicates excluding towers and dishes.
 - (b) Motion picture theaters excluding drive-in.
7. Retail Trade

- (a) Furniture, flooring, and home furnishing stores
 - (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, supermarkets, convenience, and specialty food stores/markets
 - (e) Liquor/packaged beverage and tobacco stores
 - (f) Pharmacy/drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing/shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
 - (l) Department stores, supercenters, warehouse clubs
 - (m) Vehicle parts sales, and vehicle maintenance if the use is less than 25% of the facility and is part of a larger retail operation.
 - 8. Public Administration and Government Services
 - (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
 - 9. Transportation and Warehousing
 - (a) Courier, delivery, postal service businesses
 - 10. Parking Lots
 - (a) Off street parking lots, excluding multi-level parking garages, are allowed without a primary structure if the Plan Commission finds that the parking lot is part of a larger commercial development where the master plan calls for a building to be placed on the site in the future, but the parking lot is necessary for the overall development and cross access and parking agreements are required by the Plan Commission.
 - 11. Housing
 - (a) Single-Family residential detached homes only if the use is constructed prior to January 1, 2010.
- B. Permitted Accessory Uses
- 1. Storage sheds for storage of ground maintenance equipment.
 - 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
 - 3. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- C. Conditional Uses
- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
 - 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508
- D. Lot Area and Width

1. Lots shall be a minimum of 12,500 square feet in area and shall not be less than 80 feet in width.
2. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
3. The requirements of Section (D)(2) above may be met in the district by including area from outlots that serve stormwater or other directly related purposes for the subject parcel, are owned in part by the parcel, and are reasonably expected to remain in open space for perpetuity as determined by the Administrator. If multiple lots are served by one or more outlot(s) in no case shall the greenspace area of the outlot(s) be counted more than once. Each lot which by this subsection is entitled to satisfy the requirements of Section D(2), in part, by land located on an outlot is entitled to use no more than the percentage of the qualifying outlot land that is equal to the percentage of the subject lot compared to the total area of the lands served by the outlot.

E. Building Height and Area

1. No principal building or parts of a principal building shall exceed 45 feet in height.
2. Buildings larger than 100,000 square feet in area shall have a deed restriction placed against the lot in a form approved by the Village to ensure the building, if it becomes vacant for more than 5 years to be removed from the site and the site returned to a buildable state.

F. Setback and Yards

1. There shall be a minimum setback of 40 ft. from the road right-of-way.
2. There shall be a rear yard of not less than 25 ft.
3. There shall be a sideyard on each side of the buildings of not less than 25 ft., except as follows.
4. The Plan Commission may reduce setbacks with-in this district outside of a Planned Development Overlay District if it finds that in granting the reduced setbacks:
 - (a) The Site is masterplanned and provides an efficient use of land,
 - (b) The health, welfare, and safety of the public is not jeopardized by the setback reduction.
 - (c) The setback change will encourage pedestrian interaction between buildings.
 - (d) The reduced setback serves to implement the Design Standards of the Village.
5. No building or structure shall be located closer than 15 ft. to an F-1 Floodway District, F-2 Floodplain Conservancy District, or a LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.

G. Erosion Control

1. See Chapter 14 of the Municipal Code of the Village.

H. Development Design Guidelines

1. The Village has established clear land use and design principals, as documented in the Village Development Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.

I. Plans and Specifications to be Submitted to Plan Commission

To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscapes plans.

1. Pedestrian and Vehicle Access.

(a) Property owners will provide cross access easements off-street where feasible.

(b) Where feasible and desirable, pedestrian cross access from adjacent building will be encouraged.

17.0506

CONDITIONAL USES

A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

11. Miscellaneous Items (Towers/Antenna and Outside Storage)

a) Commercial Use Outside Storage. Outside storage maybe permitted for commercial uses in the B-1, B-2, B-3, B-4, BP-1, and OP-1, districts. All outside storage areas shall be at least 100 feet from residential, park, and institutional districts located in the Village or adjacent community. In all cases, outside storage shall be screened from all sides. All screening plans are subject to Plan Commission review and approval. Screening shall be a permanent opaque wall matching the materials of the building and may include fencing as deemed appropriate by the Plan

Commission. The Plan Commission may allow vegetative screening in part or in whole, where it determines the vegetative screening shall provide sufficient and aesthetically pleasing screening and said screening is appropriate for the type of items being screened from view. The height of the wall necessary shall be sufficient to screen the product(s) in the outside storage area. The Plan Commission shall set the appropriate height of any fencing based upon the site conditions and the types of outdoor storage to be screened. Outside Storage shall not be construed to include the temporary or seasonal outdoor sales or services allowed as part of a Village approved outdoor sales and services permit.

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.



June 2, 2023

Sussex Civic Center
Attn: Gabe Gilbertson
N64W23760 Main Street
Sussex, WI 53089
262-246-5215

RE: Plan of Operation Application // US Cellular # 784760 / Sussex II @ N64W24837 Freiheit Court, Sussex, WI 53089

Dear Gabe:

Here is the information you requested to accompany my Application for Building Permit:

Project Narrative:

US Cellular owns an existing 120' monopole cellular communications tower located at N64W24837 Freiheit Court. For this project, US Cellular is seeking to install six (6) additional antennas, one (1) surge protector, and one (1) 1-1/4" hybrid cable to its existing cellular antenna array.

Substantial Modification Statute Questionnaire:

(s) "Substantial modification" means the modification of a mobile service support structure, including the mounting of an antenna on such a structure, that does any of the following:

1. For structures with an overall height of 200 feet or less, increases the overall height of the structure by more than 20 feet.

Not applicable (existing and proposed structure height is 120' AGL).

2. For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10 percent or more.

Not applicable (existing and proposed structure height is 120' AGL).

3. Measured at the level of the appurtenance added to the structure as a result of the modification, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation.

The proposed modifications will not increase the width of the support structure.

4. Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet

The proposed modifications will not increase the square footage of an existing equipment compound.

If you have any questions regarding the enclosed information, please contact me anytime via email (rob.mears@faulkandfoster.com) or on my cell @ 318-286-1772.

Thank you,

Rob Mears | Project Manager

Mobile 318.286.1772 | Fax 318.807.2705

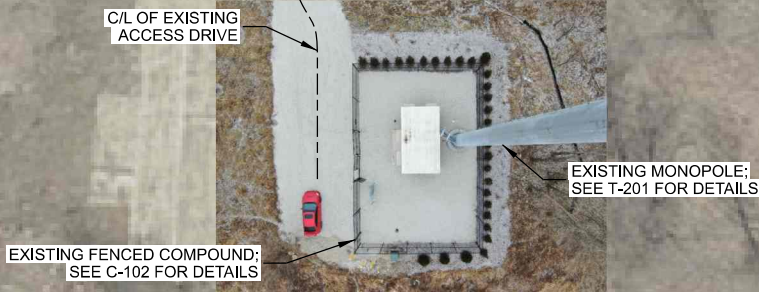
Faulk & Foster | www.faulkandfoster.com



NORTH

SILVER SPRING DR.

FREIHEIT CT.



- NOTES:
1. AERIAL IMAGERY FROM GOOGLE EARTH.
 2. NORTH ARROW SHOWN AS APPROXIMATE.
 3. SITE PHOTOS PROVIDED BY EDGE CONSULTING ENGINEERS, INC.
 4. NO SURVEY AVAILABLE. SITE LAYOUT BASED ON FIELD MEASUREMENTS AND SITE PHOTOS.

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

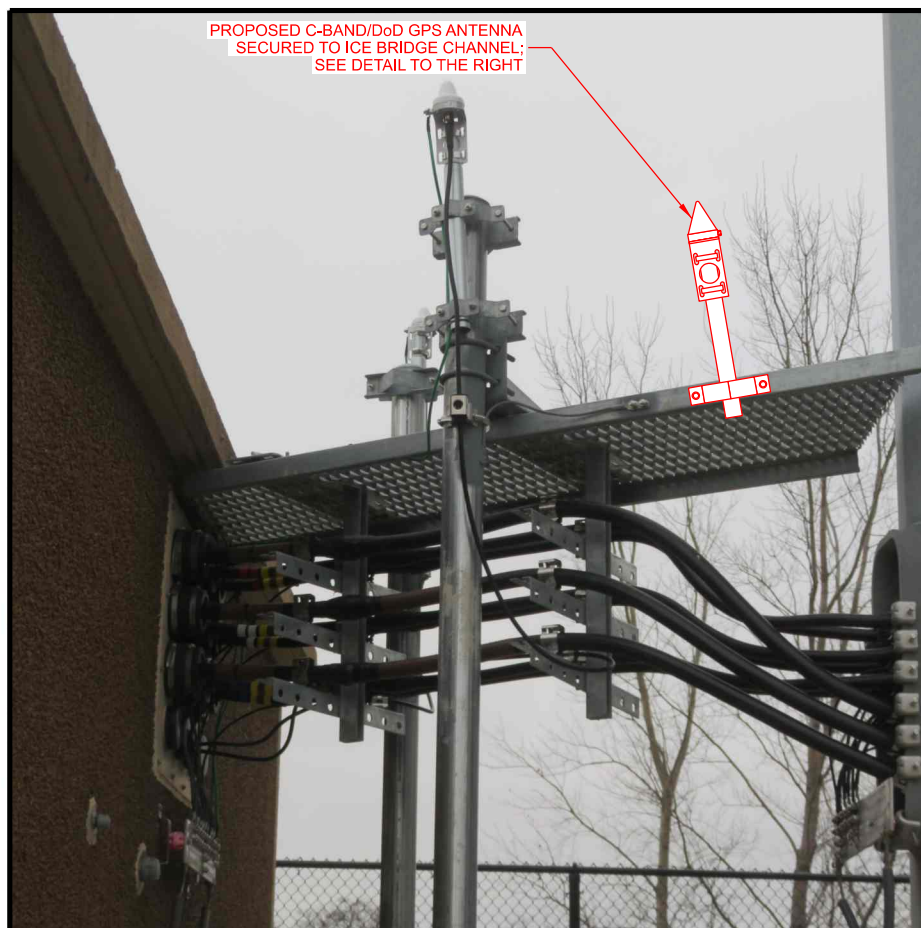
- APPROVED -
SEE C-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN
SET WAS PREPARED BY ME OR
UNDER MY DIRECT SUPERVISION
OTHER THAN THE EXCEPTIONS
NOTED IN THE SHEET INDEX, AND
THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE
STATE OF WISCONSIN.

SITE PLAN
SUSSEX II (784760)
SUSSEX, WISCONSIN

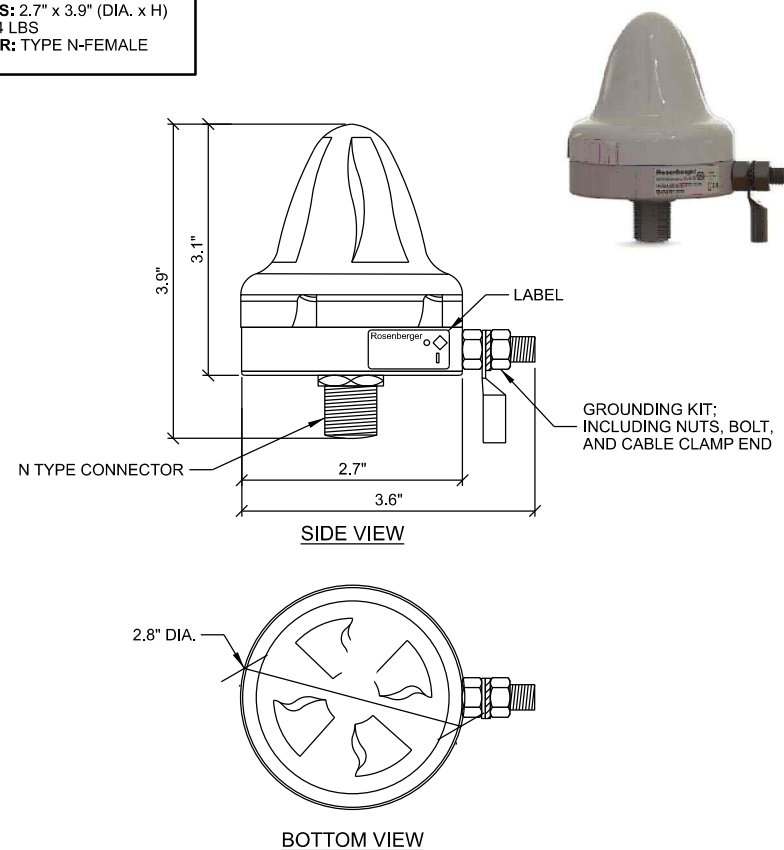
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY	PCM
PLOT DATE	5/17/2023
PROJECT NUMBER	35086
SET TYPE	FINAL
SHEET NUMBER	C-101

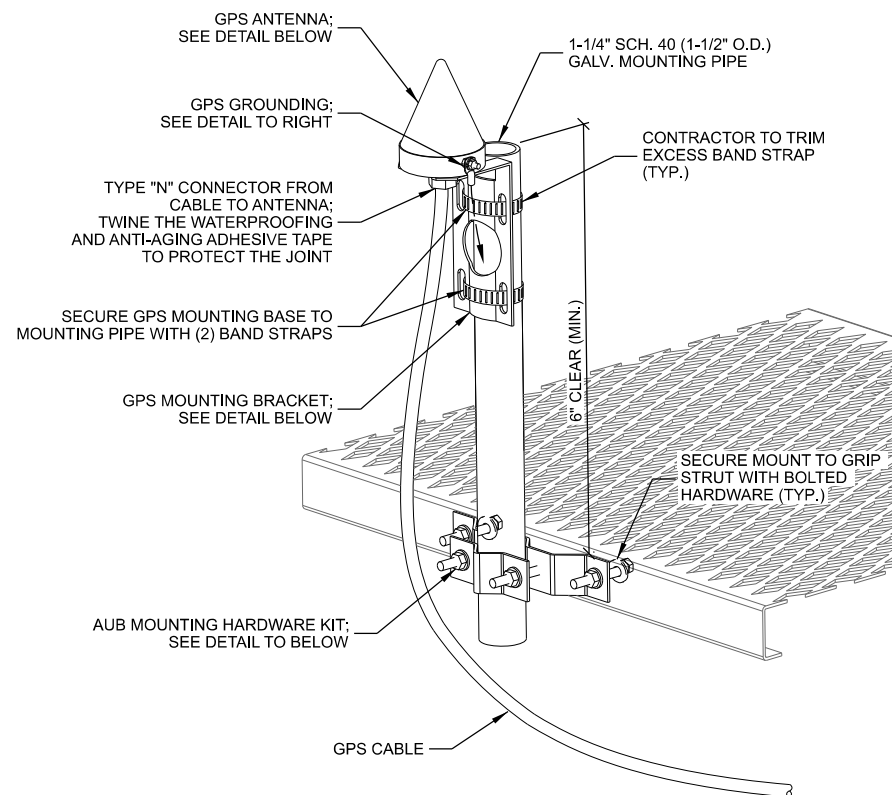


A PROPOSED GPS ANTENNA LOCATION

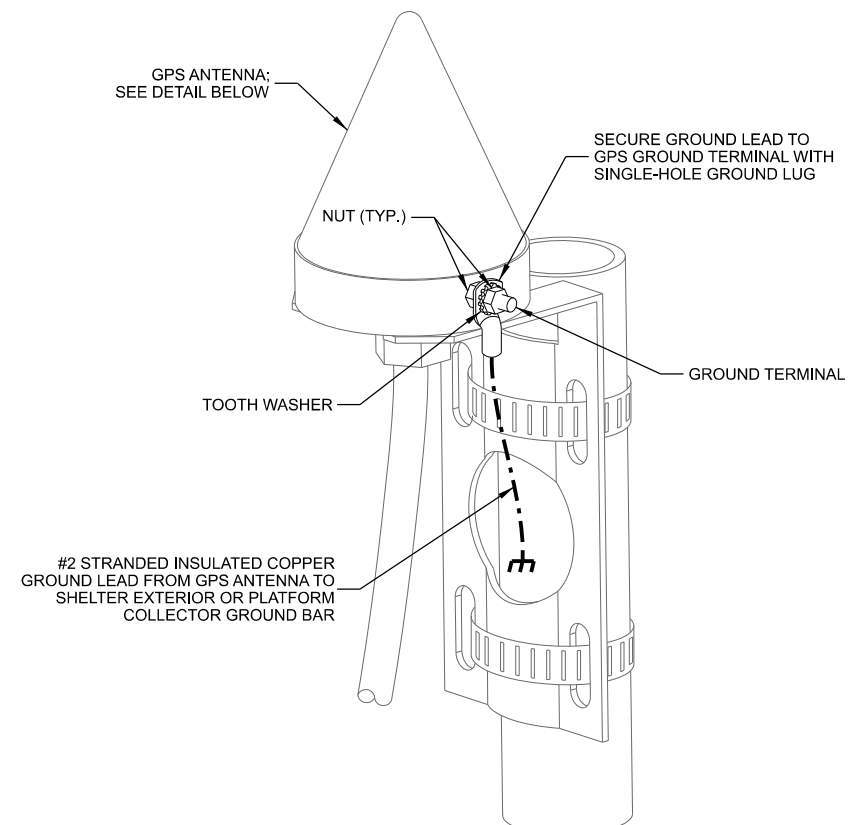
DIMENSIONS: 2.7" x 3.9" (DIA. x H)
WEIGHT: 0.4 LBS
CONNECTOR: TYPE N-FEMALE



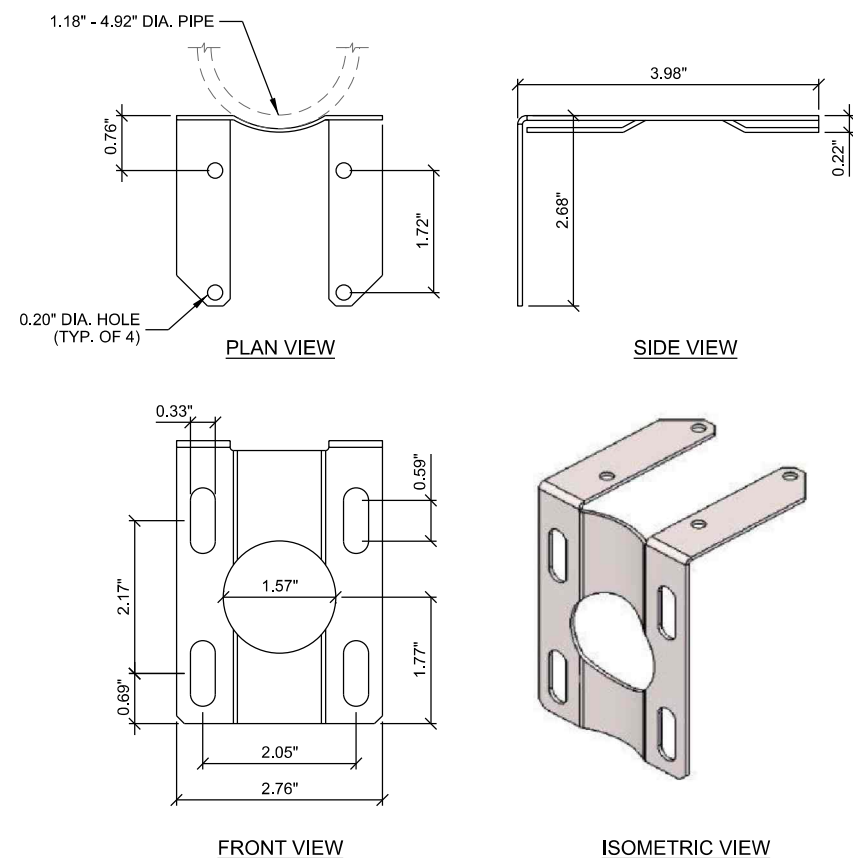
GPS ANTENNA



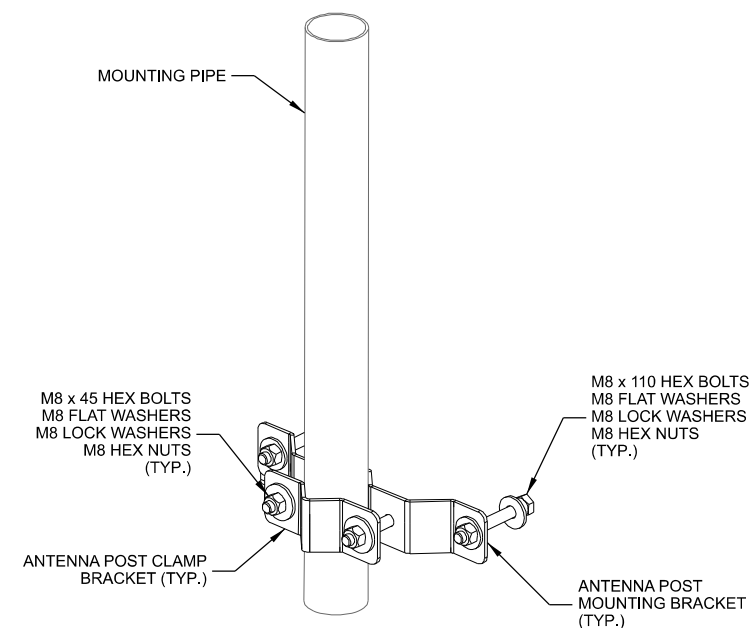
GPS ANTENNA MOUNTING



GPS GROUNDING



GPS MOUNTING BRACKET



NOTES:	
1.	ANCHOR FASTENERS TO MOUNT BRACKET KIT TO WALL MUST BE SELECTED ACCORDINGLY FOR WALL MATERIAL.
2.	WALL ANCHOR FASTENERS SUPPLIED BY GENERAL CONTRACTOR.
3.	PREFERRED INSTALLATION METHOD WITH (2) ANTENNA POST BRACKETS.

AUB MOUNTING HARDWARE KIT

CONSULTANT:



CLIENT:



ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

GPS DETAILS
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

<div style="border: 1px solid black; padding: 2px; width: 100px; height: 100px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 80px; height: 80px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 60px; height: 60px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 10px; height: 10px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 5px; height: 5px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 2px; height: 2px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 1px; height: 1px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.5px; height: 0.5px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.2px; height: 0.2px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.1px; height: 0.1px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.05px; height: 0.05px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.02px; height: 0.02px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.01px; height: 0.01px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.005px; height: 0.005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.002px; height: 0.002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.001px; height: 0.001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0005px; height: 0.0005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0002px; height: 0.0002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0001px; height: 0.0001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00005px; height: 0.00005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00002px; height: 0.00002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00001px; height: 0.00001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000005px; height: 0.000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000002px; height: 0.000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000001px; height: 0.000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000005px; height: 0.0000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000002px; height: 0.0000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000001px; height: 0.0000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000005px; height: 0.00000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000002px; height: 0.00000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000001px; height: 0.00000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000005px; height: 0.000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000002px; height: 0.000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000001px; height: 0.000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000005px; height: 0.0000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000002px; height: 0.0000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000001px; height: 0.0000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000005px; height: 0.00000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000002px; height: 0.00000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000001px; height: 0.00000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000005px; height: 0.000000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000002px; height: 0.000000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000001px; height: 0.000000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000000005px; height: 0.0000000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000000002px; height: 0.0000000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000000001px; height: 0.0000000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000000005px; height: 0.00000000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000000002px; height: 0.00000000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000000001px; height: 0.00000000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000000005px; height: 0.000000000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000000002px; height: 0.000000000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000000001px; height: 0.000000000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000000000005px; height: 0.0000000000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000000000002px; height: 0.0000000000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000000000001px; height: 0.0000000000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000000000005px; height: 0.00000000000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000000000002px; height: 0.00000000000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.00000000000000001px; height: 0.00000000000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000000000005px; height: 0.000000000000000005px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000000000002px; height: 0.000000000000000002px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.000000000000000001px; height: 0.000000000000000001px; display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; width: 0.0000000000000000005px; height: 0.0000000000000000005px; display: flex; align-items: center; justify-content: center;"> </div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div>
--

PLOT DATE	5/17/2023
-----------	-----------

PROJECT NUMBER	35086
-------------------	-------

SET TYPE	FINAL
-------------	-------

SHEET
NUMBER

(1) PROPOSED RAYCAP FIBER TRAY TO BE INSTALLED IN EXISTING AUX RACK; RAYCAP MODEL #: RTF-3001; GENERAL CONTRACTOR TO LABEL EACH WITH SPECIFIC BAND OF SERVICE; INSTALL IN HIGHEST AVAILABLE POSITION IN RACK

PROPOSED C-BAND/DoD GPS CABLE TO BE ROUTED FROM AUX RACK

(1) PROPOSED 1-1/4" EUPEN HYBRID CABLE
EXISTING 1-1/4" EUPEN CABLE;
(2) HYBRID
(1) POWER ONLY

EXISTING RAYCAP POWER DISTRIBUTION UNIT (PDU) SECURED TO SIDE OF POWER BAY RACK (TYP. OF 2)

PROPOSED DC POWER FEEDS TO RAYCAP POWER DISTRIBUTION UNIT (PDU); INSTALL CABLE MANAGEMENT SYSTEM AS NEEDED AT RACK

GENERAL CONTRACTOR REMOVE PROPOSED CABLE OUTER SHIELD TO COAX PORT TO EXPOSE INTERNAL CABLE FEEDS; INSTALL WITH 3" MIN. OVERLAP ON BOTH INNERDUCT AND COLD SHRINK

PROPOSED FIBER FEEDS TO RAYCAP FIBER TRAY; SECURE TO CABLE LADDER WITH CROSSED ZIP-TIES

CONTRACTOR TO USE EXISTING OVERHEAD CABLE TRAY FOR CABLE ROUTING

FUTURE BASEBAND UNIT (BBU) TO BE INSTALLED IN EXISTING AUX RACK BY ICI VENDOR

HVAC

HVAC

TELCO BOARD

GROUND BAR (TYP.)

AUX RACK

CDMA EQUIPMENT RACK

A/C PANEL

GENERATOR ROOM

A SHELTER INTERIOR LAYOUT
SCALE: 11" x 17" - 3/8" = 1'-0"
22" x 34" - 3/4" = 1'-0"

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

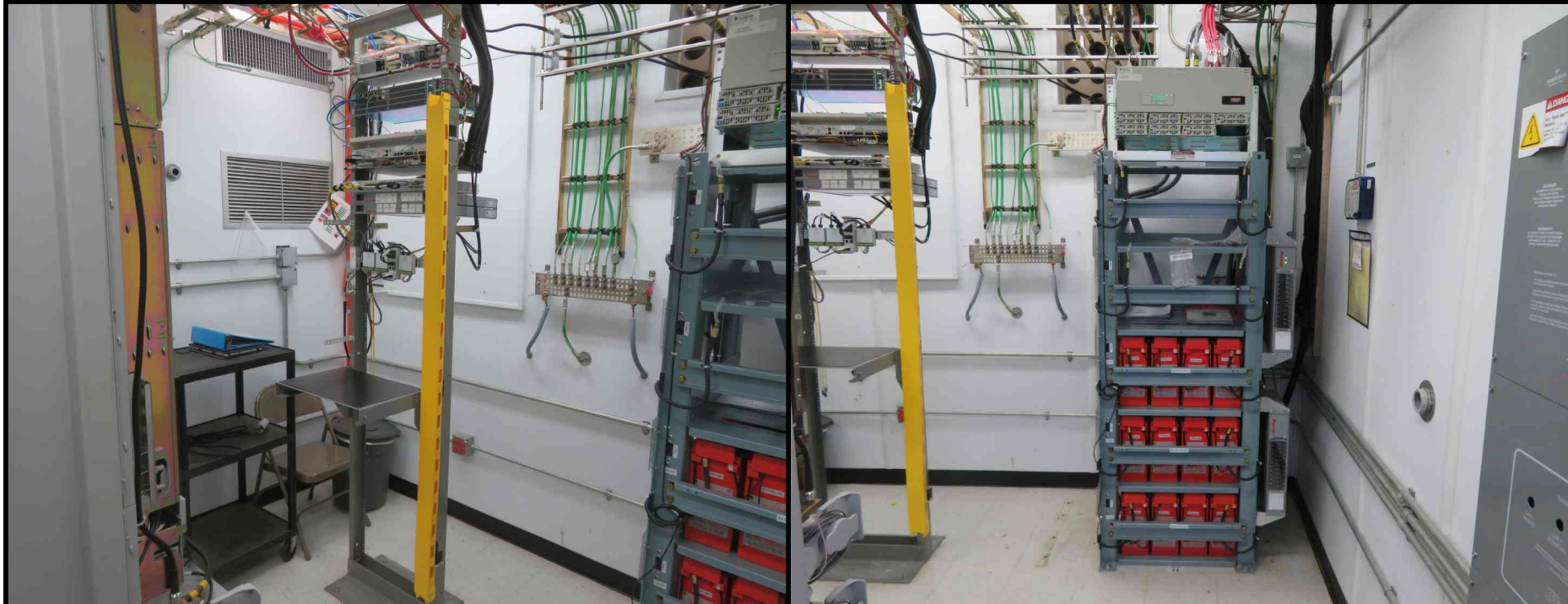
I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

**SHELTER INTERIOR PLAN
SUSSEX II (784760)
SUSSEX, WISCONSIN**

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY:	PCM
PLOT DATE:	5/17/2023
PROJECT NUMBER:	35086
SET TYPE:	FINAL
SHEET NUMBER:	A-101



B

EXISTING AUX EQUIPMENT RACK

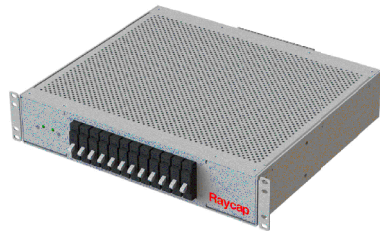
C

EXISTING POWER BAY RACK

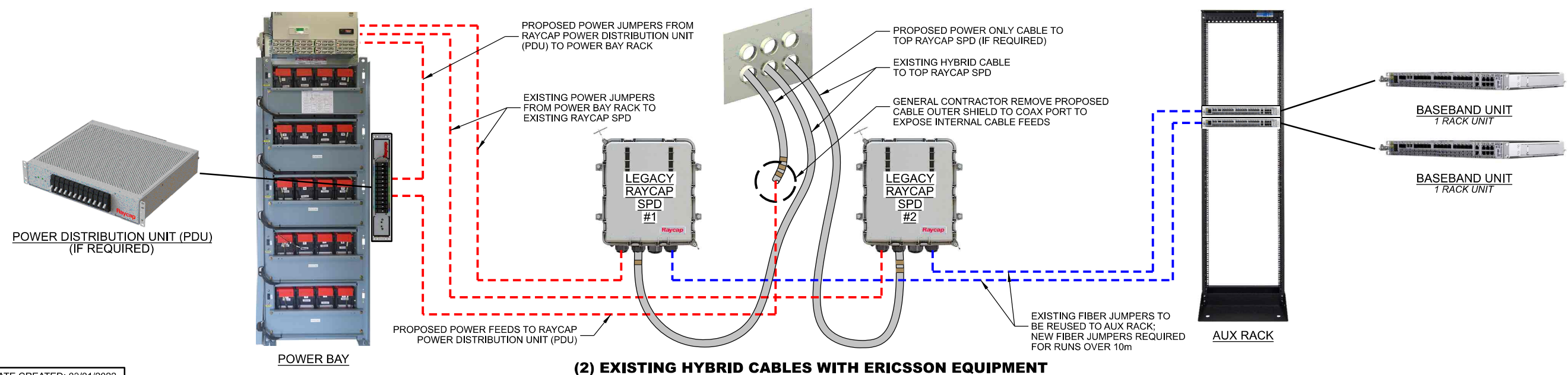
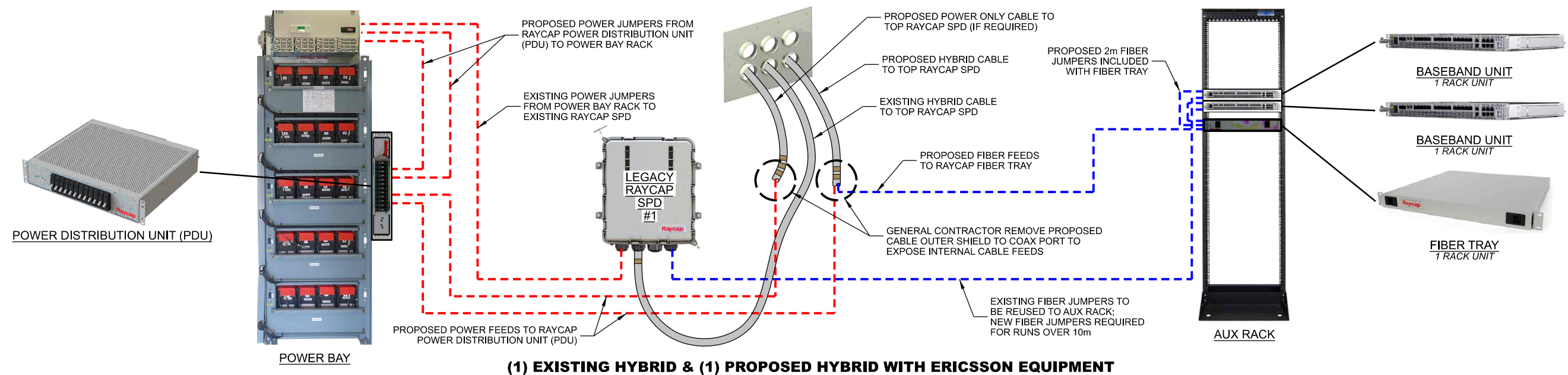
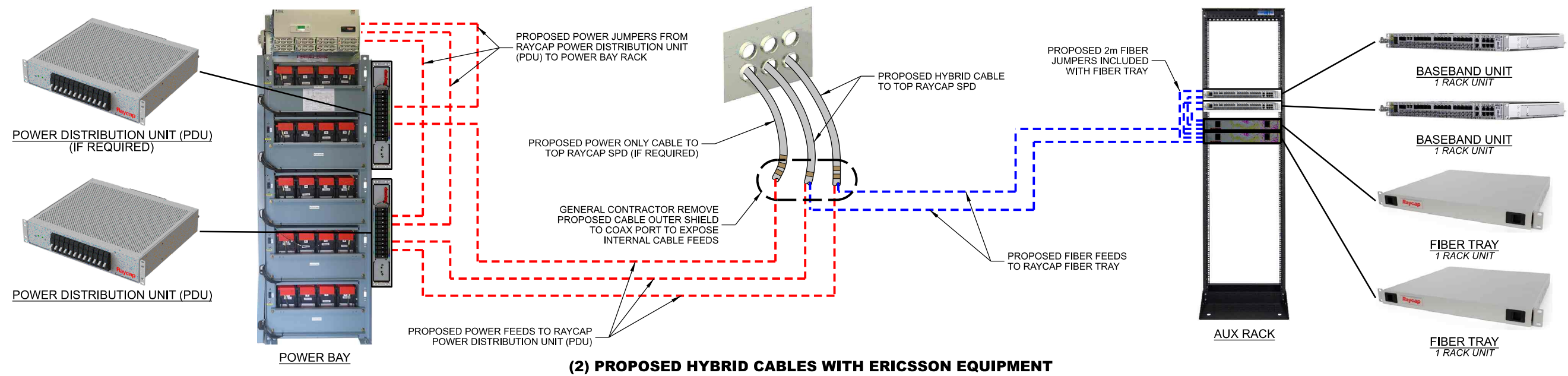
MANUFACTURER: RAYCAP
MODEL: RUSDC-1176-PDU-48 (BREAKERS NOT INCLUDED)
RUSDC-1176-PDU-48-AMCB-1240 (12 x 40A BREAKERS INCLUDED)
DIMENSIONS: 18.99" x 19.00" x 3.48" (D x W x H)
WEIGHT: 22 LBS (WITHOUT BREAKERS)

OPTIONAL ACCESSORIES
12 BREAKER KIT FOR ERICSSON RADIO SET: AMCB-48-1225-KIT
9 BREAKER KIT FOR NOKIA RADIO SET: AMCB-48-0640-0325-KIT
40A CIRCUIT BREAKER: AMCB-48-0140
25A CIRCUIT BREAKER: AMCB-48-0125
CABLE STORAGE: RTF-6601

2RU RACK MOUNTED DC SURGE SUPPRESSION AND POWER DISTRIBUTION SYSTEM FOR USE IN REMOTE RADIO HEAD (RRH) AND MULTI-CIRCUIT, DISTRIBUTED ANTENNA SYSTEMS.



D RAYCAP POWER DISTRIBUTION UNIT (PDU)



CONSULTANT:



624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:



U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

BLOCK DIAGRAM
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0
CHECKED BY	PCM	
PLOT DATE	5/17/2023	
PROJECT NUMBER	35086	
SET TYPE	FINAL	
SHEET NUMBER	A-501	

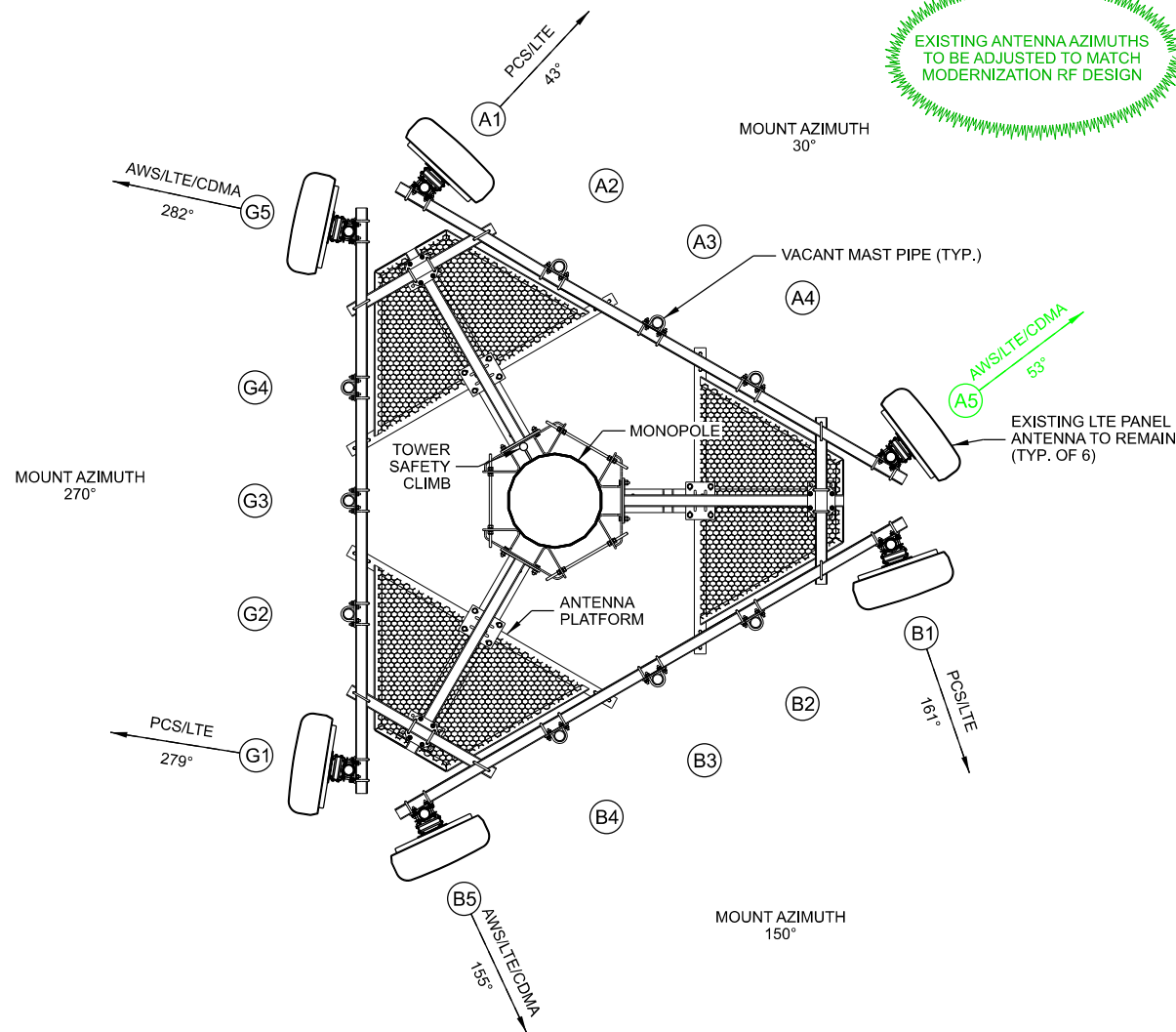


SITE ELEVATION
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0
CHECKED BY	PCM	
PLOT DATE	5/17/2023	
PROJECT NUMBER	35086	
SET TYPE	FINAL	
SHEET NUMBER	T-201	



NORTH



	Antenna Position	Technology	Antenna Model	Antenna Quantity	RAD Center	Azimuth	Surge Protector Qty.	B12/B71 Radio	Radio Qty.	B2/B66 Radio	Radio Qty.	B5 Radio	Radio Qty.	Cable Type	Cable Qty.
ALPHA	A1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	43°	1	RRU4449	1	RRU8843	1	-	-	1-1/4" Hybrid	1
	A2	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A3	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A4	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	53°	Shared	-	-	Shared	-	RRU4478	1	7/8" Coax	2
BETA	B1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	161°	1	RRU4449	1	RRU8843	1	-	-	1-1/4" Power	1
	B2	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B3	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B4	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	155°	Shared	-	-	Shared	-	RRU4478	1	7/8" Coax	2
GAMMA	G1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	279°	1	RRU4449	1	RRU8843	1	-	-	1-1/4" Hybrid	1
	G2	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G3	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G4	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	282°	Shared	-	-	Shared	-	RRU4478	1	7/8" Coax	2
Total:				6			3		3		3		3		9

NOTES:

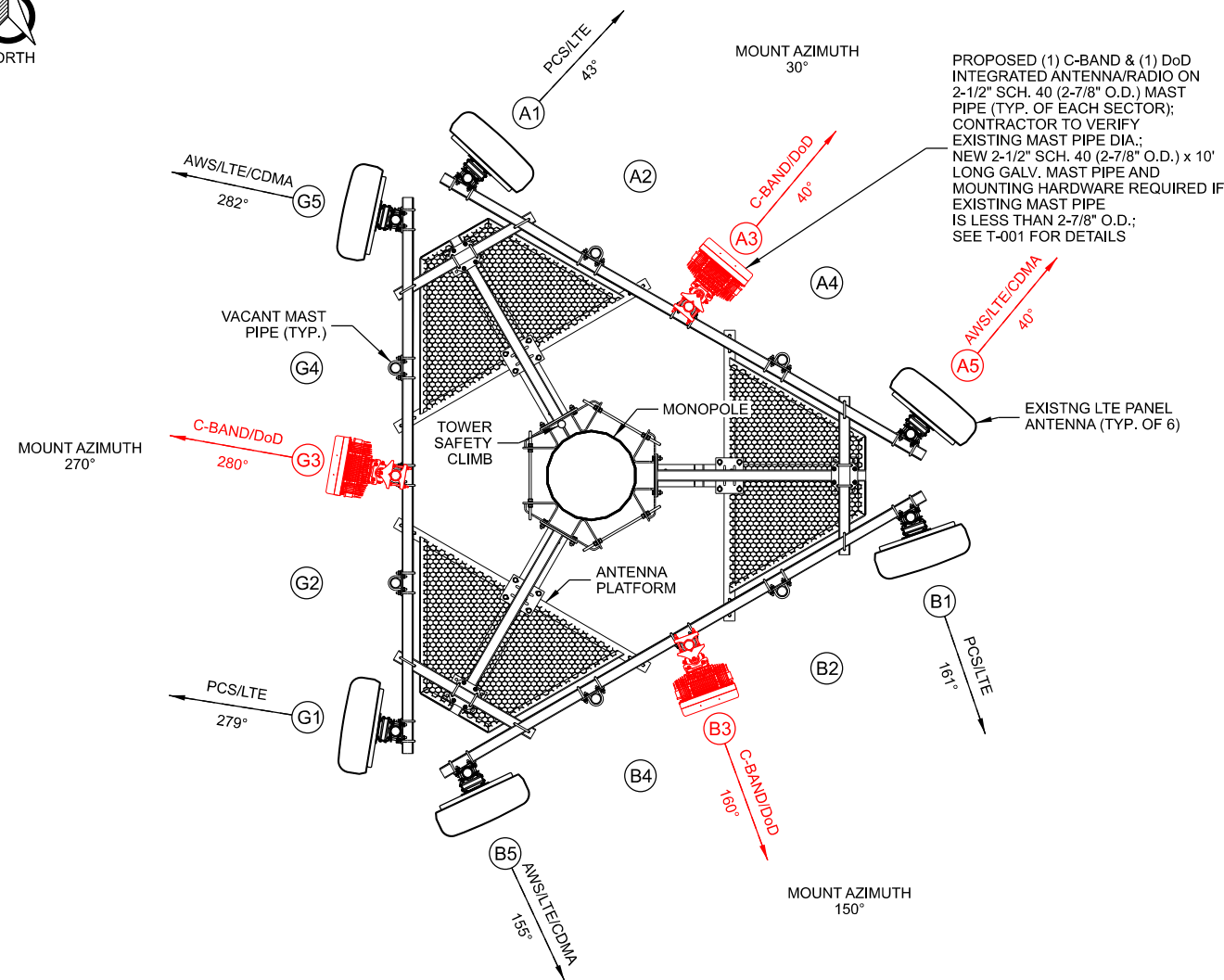
- ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.

A EXISTING ANTENNA LAYOUT

SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



NORTH



	Antenna Position	Technology	Antenna Model	Antenna Quantity	RAD Center	Azimuth	Surge Protector Qty.	B12/B71 Radio	Radio Qty.	B2/B66 Radio	Radio Qty.	B5 Radio	Radio Qty.	Highband Radio	Radio Qty.	Cable Type	Cable Qty.
ALPHA	A1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	43°	1	RRU4449	1	RRU8843	1	-	-	-	-	1-1/4" Hybrid	1
	A2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A3	C-BAND	Integrated Antenna/Radio	-	116.5'	40°	1	-	-	-	-	-	-	AIR6449	1	1-1/4" Hybrid	1
	A4	DoD	Integrated Antenna/Radio	-	111.5'	40°	Shared	-	-	-	-	-	-	AIR6419	1	Shared	-
	A5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	40°	Shared	-	-	Shared	-	RRU4478	1	-	-	7/8" Coax	2
BETA	B1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	161°	1	RRU4449	1	RRU8843	1	-	-	-	-	1-1/4" Power	1
	B2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B3	C-BAND	Integrated Antenna/Radio	-	116.5'	160°	Shared	-	-	-	-	-	-	AIR6449	1	Shared	-
	B4	DoD	Integrated Antenna/Radio	-	111.5'	160°	Shared	-	-	-	-	-	-	AIR6419	1	Shared	-
	B5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	155°	Shared	-	-	Shared	-	RRU4478	1	-	-	7/8" Coax	2
GAMMA	G1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	279°	1	RRU4449	1	RRU8843	1	-	-	-	-	1-1/4" Hybrid	1
	G2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G3	C-BAND	Integrated Antenna/Radio	-	116.5'	280°	Shared	-	-	-	-	-	-	AIR6449	1	Shared	-
	G4	DoD	Integrated Antenna/Radio	-	111.5'	280°	Shared	-	-	-	-	-	-	AIR6419	1	Shared	-
	G5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	282°	Shared	-	-	Shared	-	RRU4478	1	-	-	7/8" Coax	2
Total:				6			4		3		3		3		6		10

Black Text = Existing Red Text = Proposed

NOTES:

- ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.

B PROPOSED ANTENNA LAYOUT

SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE T-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN
SET WAS PREPARED BY ME OR
UNDER MY DIRECT SUPERVISION
OTHER THAN THE EXCEPTIONS
NOTED IN THE SHEET INDEX, AND
THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE
STATE OF WISCONSIN.

ANTENNA CONFIGURATION
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY:	PCM
PLOT DATE:	5/17/2023
PROJECT NUMBER:	35086
SET TYPE:	FINAL
SHEET NUMBER:	T-301



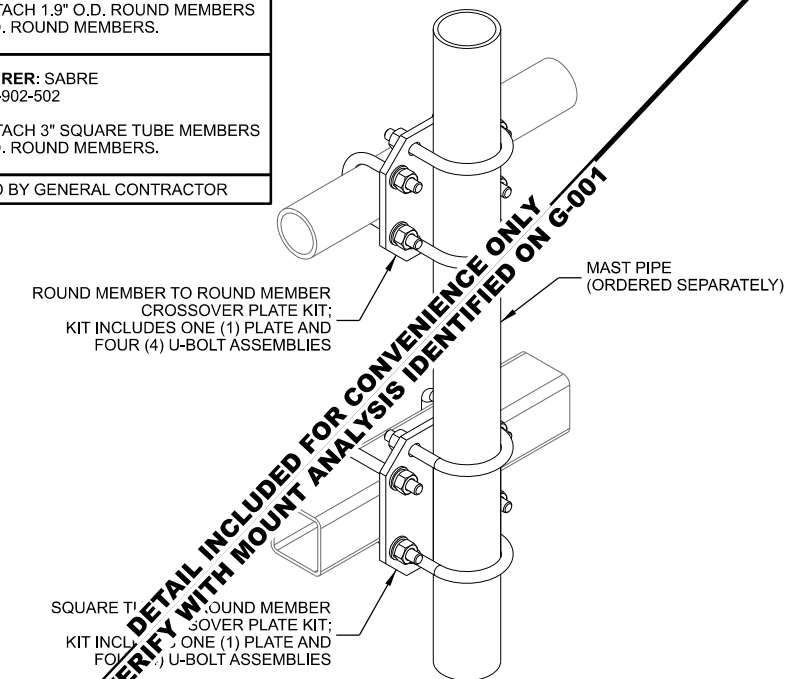
MANUFACTURER: SABRE
MODEL: C10-902-021

USED TO ATTACH 1.9" O.D. ROUND MEMBERS
TO 2-7/8" O.D. ROUND MEMBERS.

MANUFACTURER: SABRE
MODEL: C10-902-502

USED TO ATTACH 3" SQUARE TUBE MEMBERS
TO 2-7/8" O.D. ROUND MEMBERS.

SUPPLIED BY GENERAL CONTRACTOR



B Crossover Plate

MANUFACTURER: SITE PRO 1
MODEL: CWT8

DUAL PIPE MOUNT WITH 14" STANDOFF

ACCEPTS 2-3/8", 2-7/8", OR 3-1/2" O.D. PIPES (ORDER SEPARATELY)

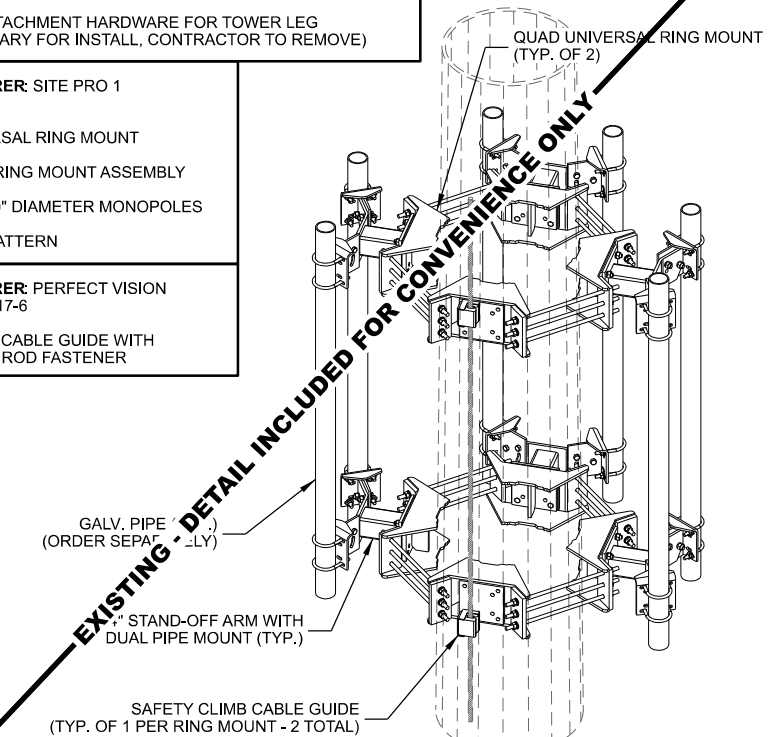
INCLUDES ATTACHMENT HARDWARE FOR TOWER LEG
(NOT NECESSARY FOR INSTALL, CONTRACTOR TO REMOVE)

MANUFACTURER: SITE PRO 1
MODEL: UQB4

QUAD UNIVERSAL RING MOUNT
FOUR SIDED RING MOUNT ASSEMBLY
FITS 12" TO 60" DIAMETER MONOPOLES
6" x 6" BOLT PATTERN

MANUFACTURER: PERFECT VISION
MODEL: 115-317-6

STUD MOUNT CABLE GUIDE WITH
6" THREADED ROD FASTENER



C DUAL STANDOFF QUAD COLLAR MOUNT

CONSULTANT:

 **Edge**
Consulting Engineers, Inc.

624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

 U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

INSTALLATION DETAILS

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY	PCM
PLOT DATE	5/17/2023
PROJECT NUMBER	35086
SET TYPE	FINAL
SHEET NUMBER	T-501

EUPEN CABLE LENGTH	
EXISTING HYBRID CABLE QUANTITY	2
EXISTING POWER CABLE QUANTITY	1
PROPOSED HYBRID CABLE QUANTITY	1
LENGTH FROM SHELTER SOURCE TO COAX PORT	20 FT
LENGTH ALONG ICE BRIDGE	10 FT
LENGTH FROM T.O.C. TO TOWER TOP RAYCAP SPD	115 FT
TOTAL LENGTH OF CABLE	145 FT
ROUNDED LENGTH **	150 FT
* 410' MAX = TYPICAL CABLE	
* 550' MAX = LOW INDUCTANCE CABLE	
** CABLE LENGTH TO BE ROUNDED UP TO NEAREST 50' LENGTH	

E// C-Band JUMPER CABLE INFO			
FIBER JUMPER: RAYCAP SPD TO ANTENNA/RADIO (C-Band)			
	QUANTITY	LENGTH	
ALPHA	1	32.8 FT	10 m
BETA	1	32.8 FT	10 m
GAMMA	1	32.8 FT	10 m
ALL SECTORS MUST HAVE THE SAME JUMPER LENGTHS			

E// DoD JUMPER CABLE INFO			
FIBER JUMPER: RAYCAP SPD TO ANTENNA/RADIO (DoD)			
	QUANTITY	LENGTH	
ALPHA	1	32.8 FT	10 m
BETA	1	32.8 FT	10 m
GAMMA	1	32.8 FT	10 m
ALL SECTORS MUST HAVE THE SAME JUMPER LENGTHS			

A HIGH BAND CABLE LENGTHS

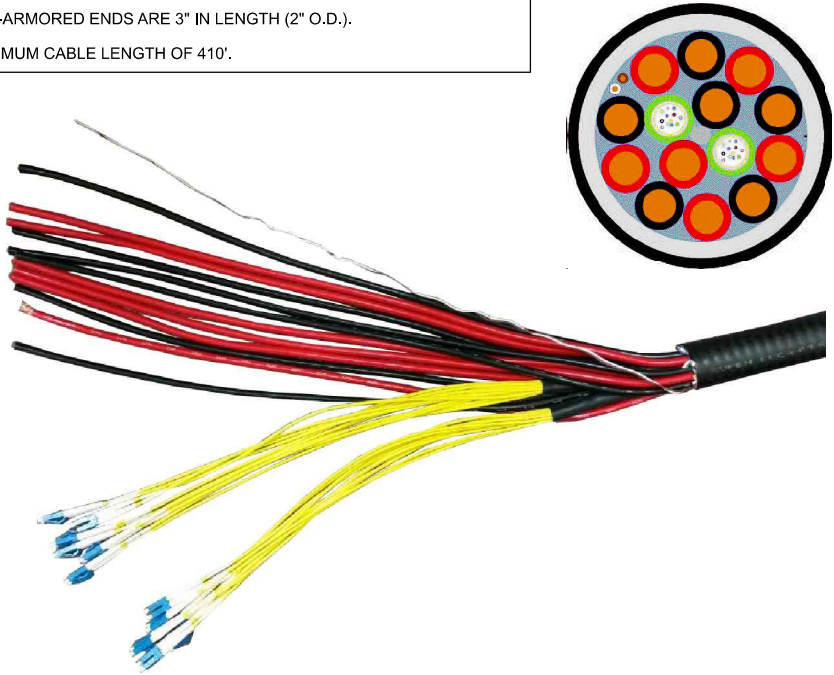
MANUFACTURER: EUPEN
MODEL: EUCAHYBRID 114-12AWG6
MINIMUM BENDING RADIUS: 360mm (14")
MAXIMUM PULLING STRENGTH: 150 daN
MAXIMUM HANGER SPACING: 1.0 m
APPROX. WEIGHT: 2300 kg/km (1.55 LB/FT)

1-1/4" HYBRID FIBER OPTIC CABLE WITH 48V ENERGY FEEDER IN CORRUGATED ALUMINUM SHIELDING WITH UV RESISTANT PE JACKET.

SHIPPED WITH 4' PROTECTED JACKET (2.25" O.D.) AT EACH END.

NON-ARMORED ENDS ARE 3" IN LENGTH (2" O.D.).

MAXIMUM CABLE LENGTH OF 410'.

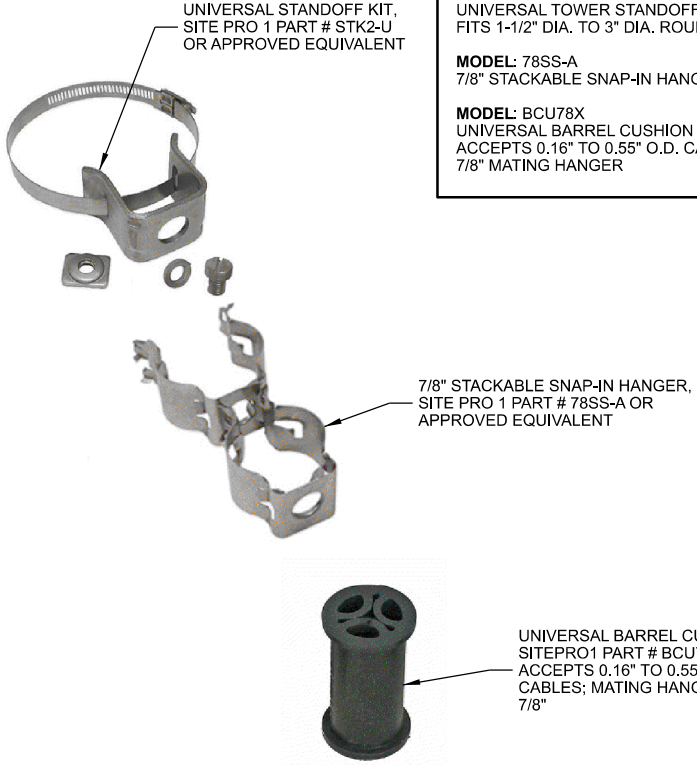


B EUPEN HYBRID CABLE

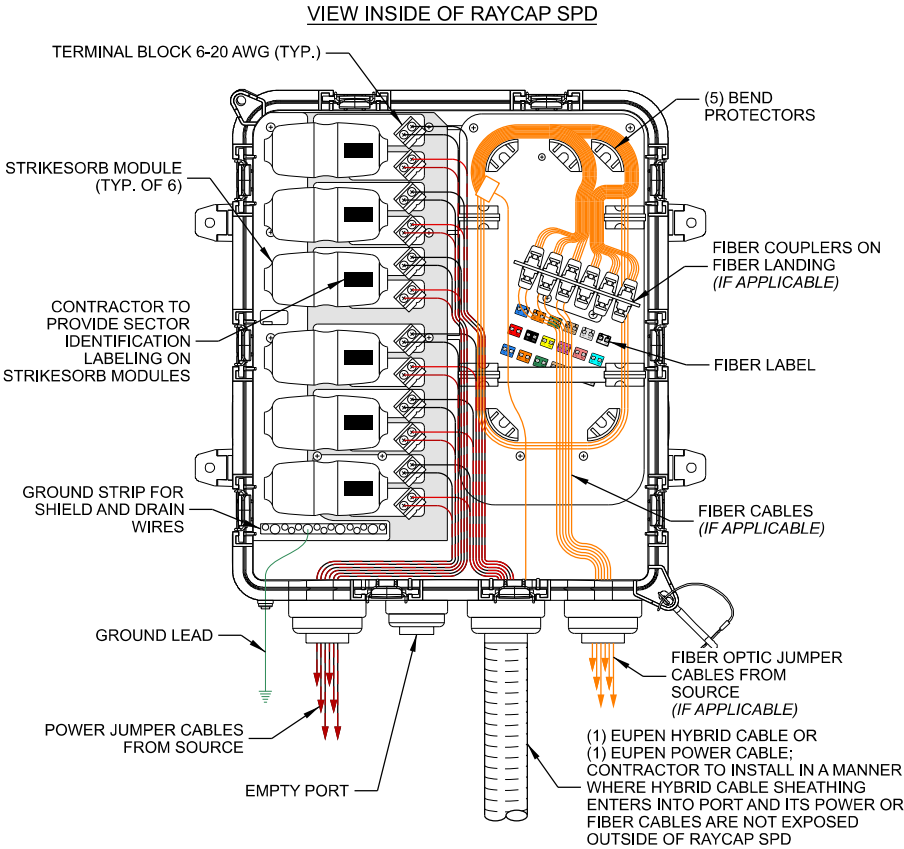
MANUFACTURER: SITE PRO 1
MODEL: STK2-U
UNIVERSAL TOWER STANDOFF KIT
FITS 1-1/2" DIA. TO 3" DIA. ROUND MEMBERS

MODEL: 78SS-A
7/8" STACKABLE SNAP-IN HANGER

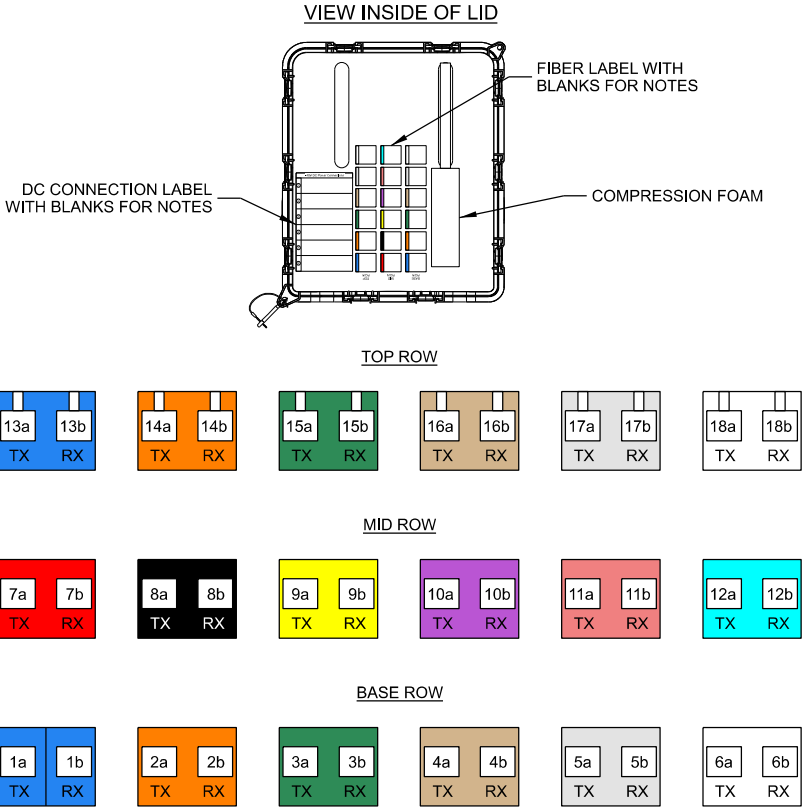
MODEL: BCU78X
UNIVERSAL BARREL CUSHION
ACCEPTS 0.16" TO 0.55" O.D. CABLES
7/8" MATING HANGER



C JUMPER ATTACHMENT



D RAYCAP SURGE PROTECTOR DEVICE (SPD) CABLING



E FIBER LABEL

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

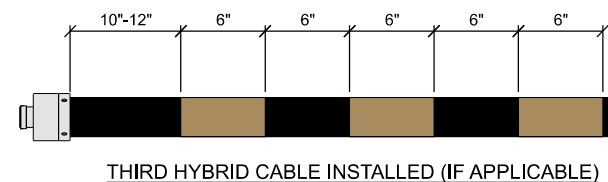
ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

CABLE DETAILS
SUSSEX II (784760)
SUSSEX, WISCONSIN

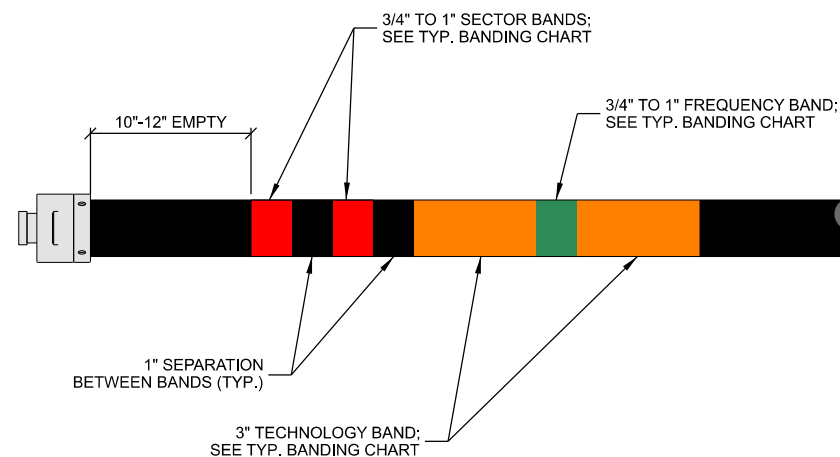
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0
CHECKED BY	PCM	
PLOT DATE	5/17/2023	
PROJECT NUMBER	35086	
SET TYPE	FINAL	
SHEET NUMBER	T-502	



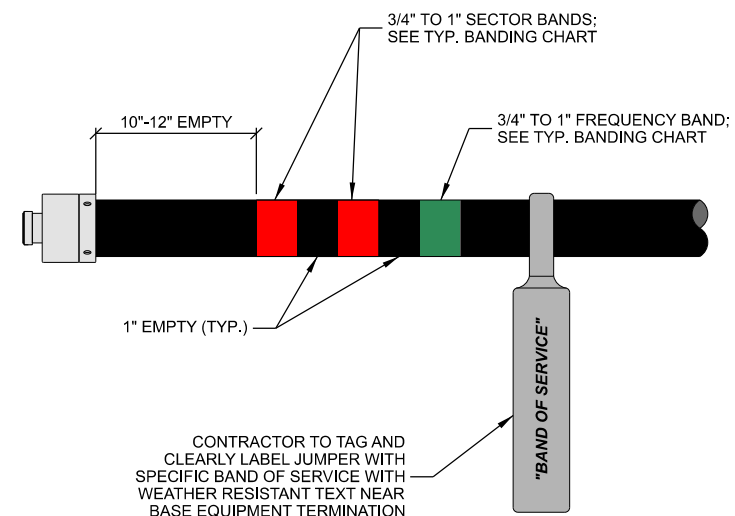
- NOTES:

1. AT THE TOP OF THE TOWER/BUILDING/WATER TOWER AND AT THE ENTRY POINT OF THE GROUND LEVEL JUNCTION BOX, HYBRID CABLES MUST BE BANDED IN ACCORDANCE TO THE ILLUSTRATION ABOVE.
2. REFER TO LATEST EDITION OF U.S. CELLULAR STANDARD: STD72 TO VERIFY CURRENT COLOR CODING

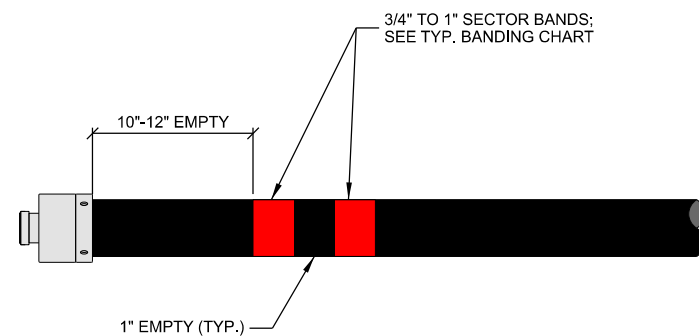
A TYP. HYBRID COLOR CODE



B TYP. COAX JUMPER BANDING



C TYP. POWER & FIBER JUMPER BANDING



D TYP. RET CABLE BANDING

RET SECTOR BAND			
SECTOR	ASSIGNED COLOR	LINE 1	LINE 2
ALPHA	RED	(1) RED BAND	(2) RED BANDS
BETA	WHITE	(1) WHITE BAND	(2) WHITE BANDS
GAMMA	BLUE	(1) BLUE BAND	(2) BLUE BANDS

SECTOR BAND (MOST COMMON CASE: SINGLE TECHNOLOGY WITHIN THE SECTOR)					
SECTOR	ASSIGNED COLOR	LINE 1	LINE 2	LINE 3	LINE 4
ALPHA	RED	(1) RED BAND	(2) RED BANDS	(3) RED BANDS	(4) RED BANDS
BETA	WHITE	(1) WHITE BAND	(2) WHITE BANDS	(3) WHITE BANDS	(4) WHITE BANDS
GAMMA	BLUE	(1) BLUE BAND	(2) BLUE BANDS	(3) BLUE BANDS	(4) BLUE BANDS
DELTA (IF APPLICABLE)	GREEN	(1) GREEN BAND	(2) GREEN BANDS	(3) GREEN BANDS	(4) GREEN BANDS
EPSILON (IF APPLICABLE)	VIOLET	(1) VIOLET BAND	(2) VIOLET BANDS	(3) VIOLET BANDS	(4) VIOLET BANDS
ZETA (IF APPLICABLE)	BROWN	(1) BROWN BAND	(2) BROWN BANDS	(3) BROWN BANDS	(4) BROWN BANDS

SECTOR BAND (EXCEPTION CASE: ALPHA SECTOR CDMA ON 1 & 4, LTE ON 2 & 3)					
SECTOR	ASSIGNED COLOR	LINE 1 (CDMA)	LINE 2 (LTE)	LINE 3 (LTE)	LINE 4 (CDMA)
ALPHA	RED	(1) RED BAND	(1) RED BAND	(2) RED BANDS	(2) RED BANDS

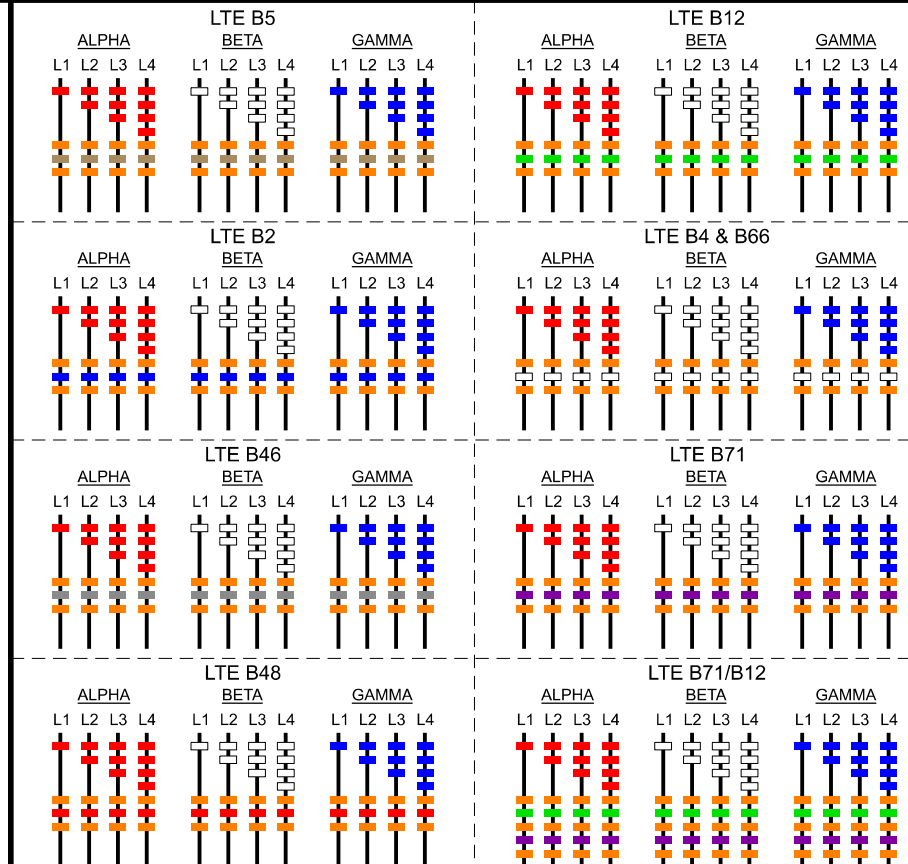
TECHNOLOGY BAND	
TECHNOLOGY	BANDING
CDMA	YELLOW
GSM	VIOLET
LTE	ORANGE

FREQUENCY BAND		
FREQUENCY	BAND	BANDING
600	B71	VIOLET
700	B12	GREEN
800/850	B5	BROWN
1900	B2	BLUE
2100	B4 & B66	WHITE
3500	B48 - CBRS	RED
5100	B46 - LAA	GREY

- NOTE:**

1. REFER TO LATEST EDITION OF U.S. CELLULAR STANDARD: STD72 TO VERIFY CURRENT COLOR CODING

E TYP. BANDING CHART



F TYP. COAX COLOR CODE STANDARD

CONSULTANT:



Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:



U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

CABLE BANDING DETAILS
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A

SBC	05/16/23	REV 0
-----	----------	-------

Site	Confidence	Notes

CHECKED	RCM	

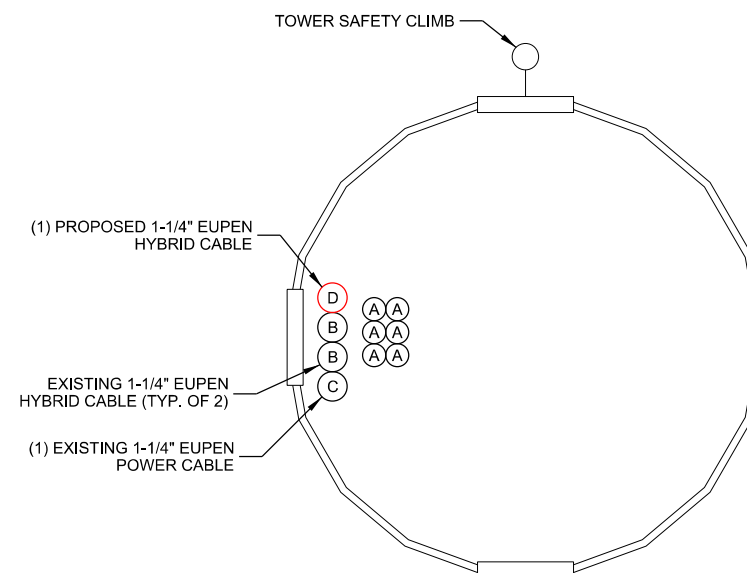
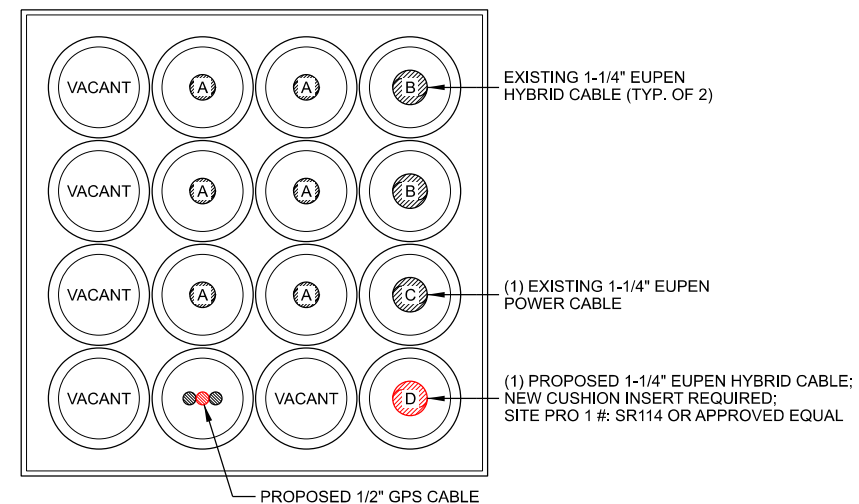
BY	FCM
PLOT	ENTRANCE

FILED DATE	5/17/2023
FILED	

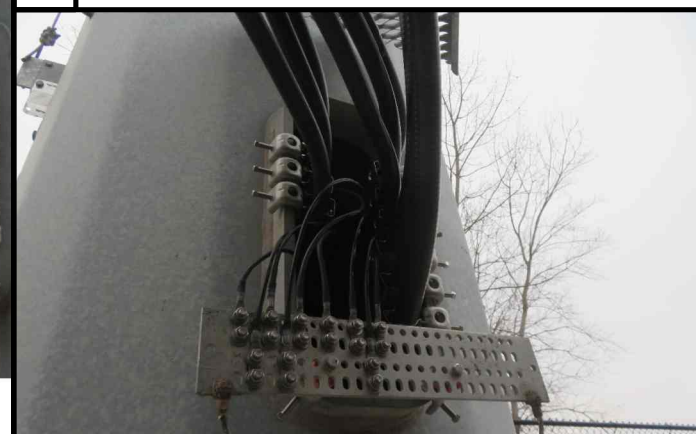
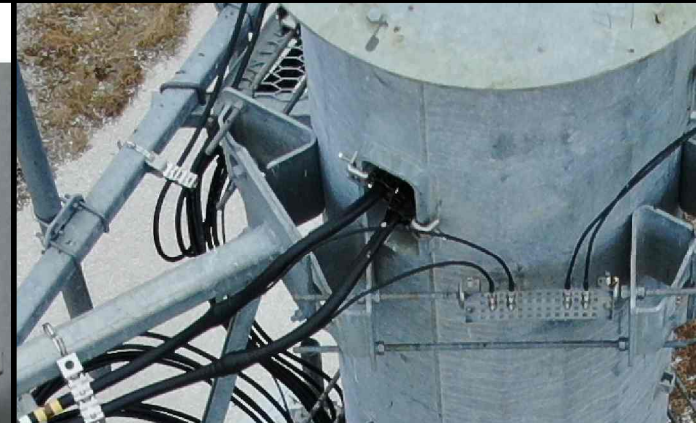
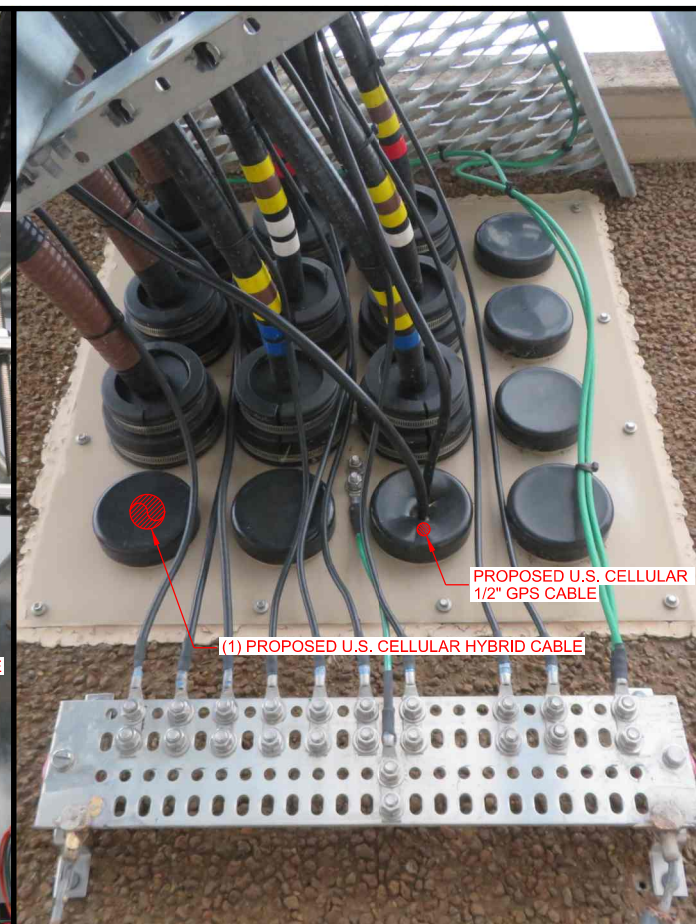
PROJECT NUMBER	35086
----------------	-------

SET TYPE	FINAL
----------	-------

SHEET
NUMBER



COAX SYMBOL	(#) SIZE	MOUNTING TYPE	CARRIER / OWNER	TECHNOLOGY	MOUNT HEIGHT
A	(6) 7/8"	TOWER INTERIOR	U.S. CELLULAR	CDMA	114'
B	(2) 1-1/4"	TOWER INTERIOR	U.S. CELLULAR	HYBRID	106'
C	(1) 1-1/4"	TOWER INTERIOR	U.S. CELLULAR	POWER	106'
D	(1) 1-1/4"	TOWER INTERIOR	U.S. CELLULAR	HYBRID	106'



CONSULTANT:



624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:



U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

CABLE ROUTING
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL •

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY

ED	PCM
----	-----

PLOT
DATE

5/17/2023

PROJECT
NUMBER

CT R	35086
---------	-------

SET TYPE	
----------	--

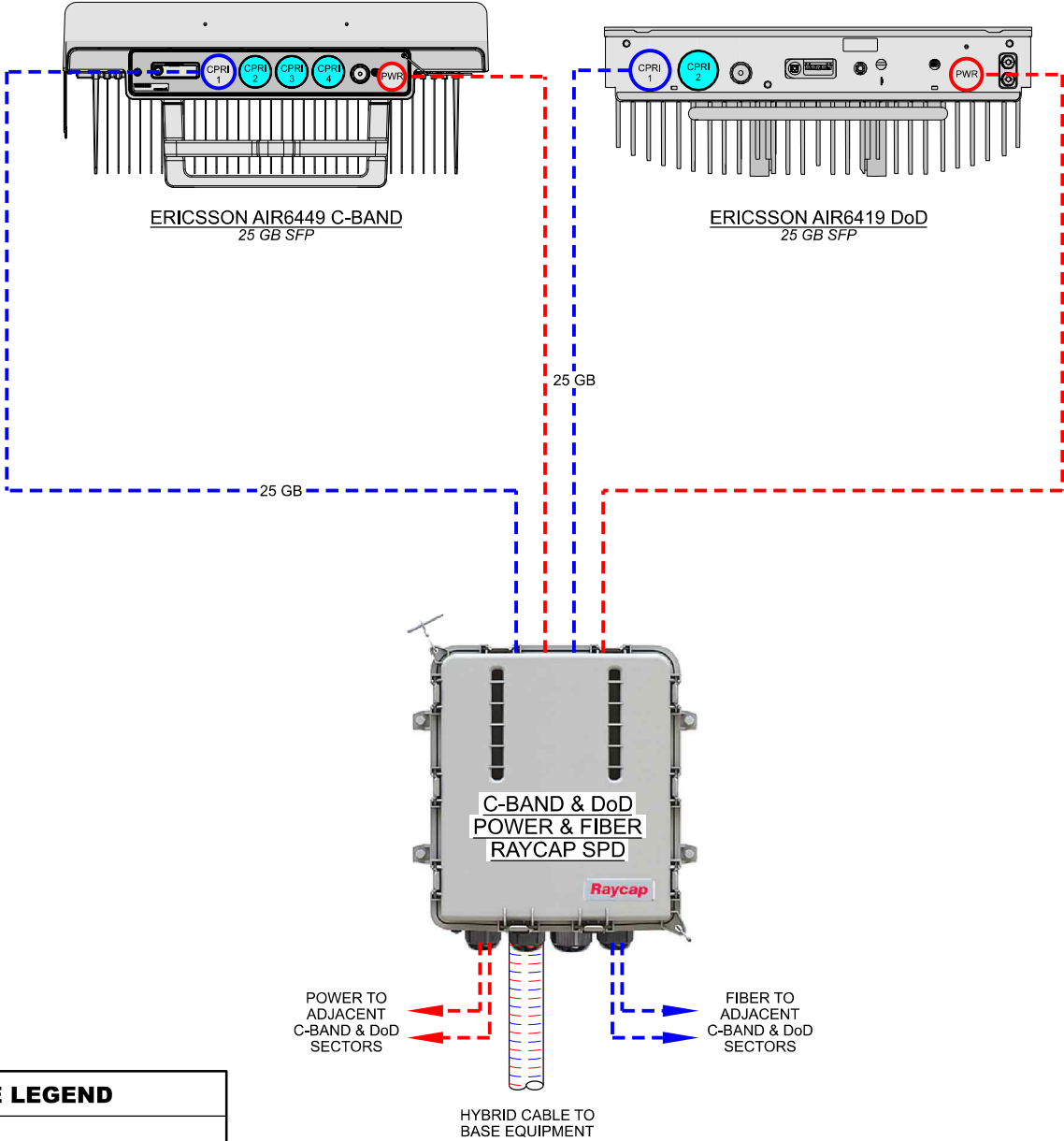
FINAL

SHEET
NUMBER

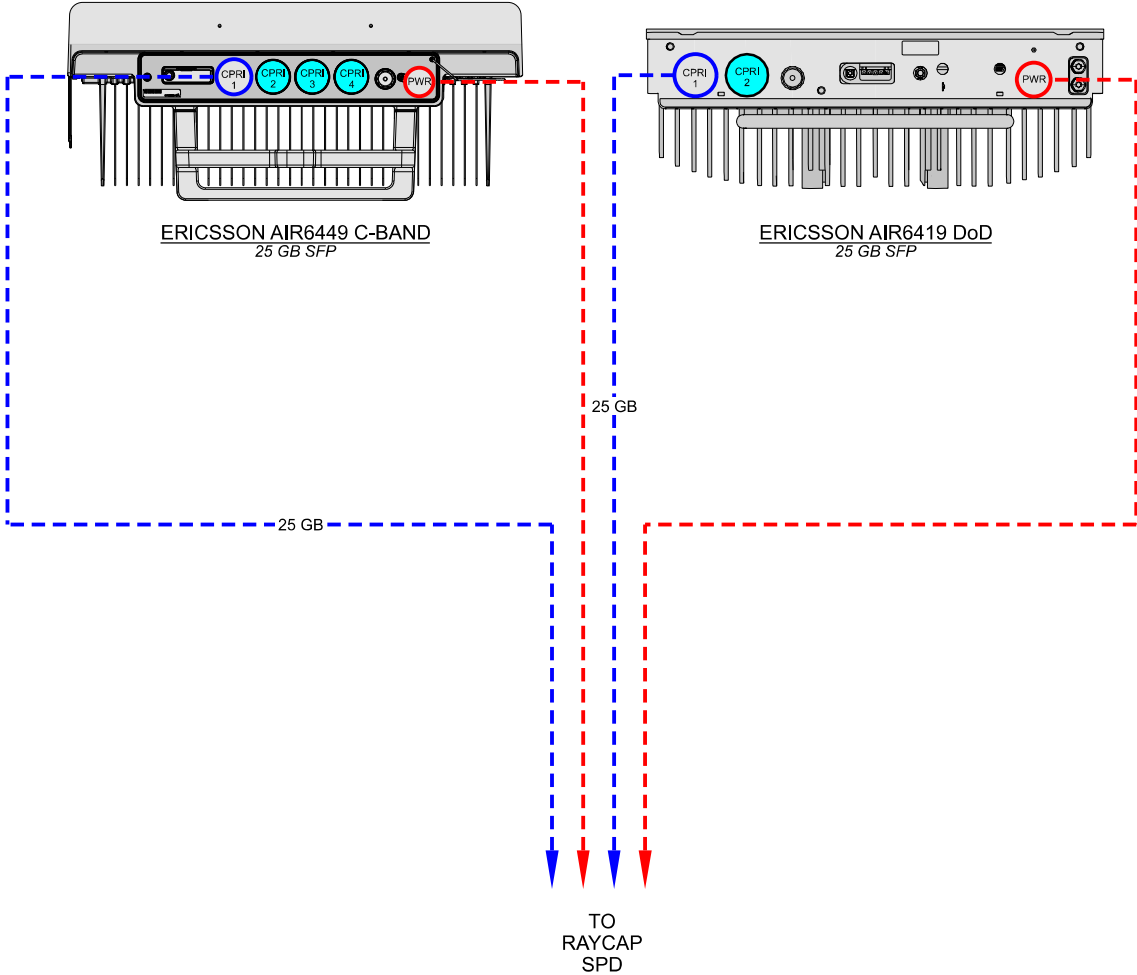
V-501



E// C-BAND & DoD WITH DEDICATED RAYCAP SPD
PER SECTOR CONFIGURATION



E// C-BAND & DoD WITH SHARED RAYCAP SPD
PER SECTOR CONFIGURATION



CABLE LEGEND

EUPEN HYBRID CABLE

FIBER JUMPER

POWER JUMPER

WEATHERPROOF CAP

DATE CREATED: 09/29/2022

CONSULTANT:

624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN
SET WAS PREPARED BY ME OR
UNDER MY DIRECT SUPERVISION
OTHER THAN THE EXCEPTIONS
NOTED IN THE SHEET INDEX, AND
THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE
STATE OF WISCONSIN.

PLUMBING DIAGRAM
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY: PCM

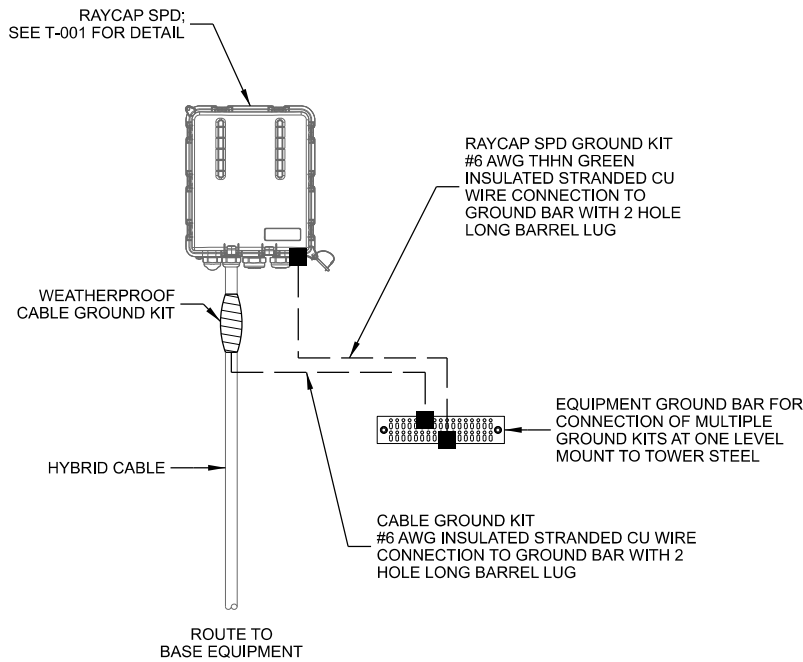
PLOT DATE: 5/17/2023

PROJECT NUMBER: 35086

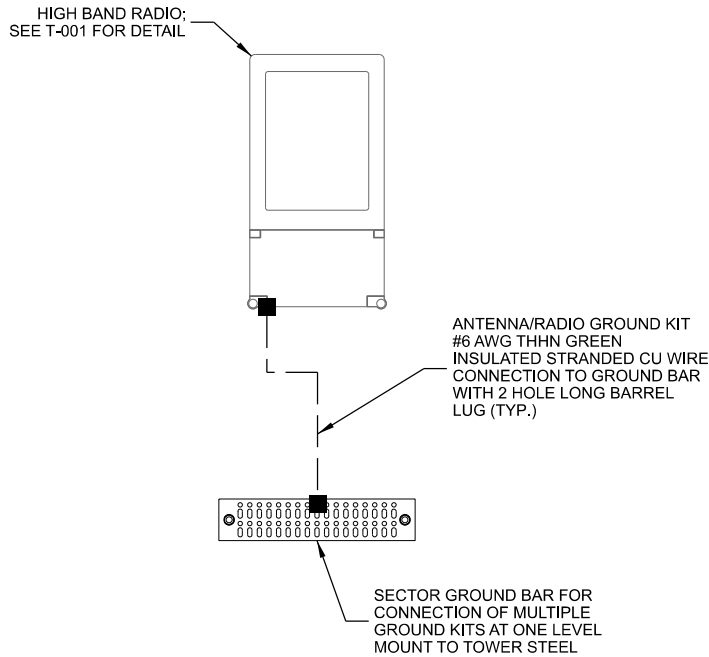
SET TYPE: FINAL

SHEET NUMBER: P-501

© EDGE CONSULTING ENGINEERS, INC.



A TYPICAL UPPER RAYCAP SPD GROUNDING

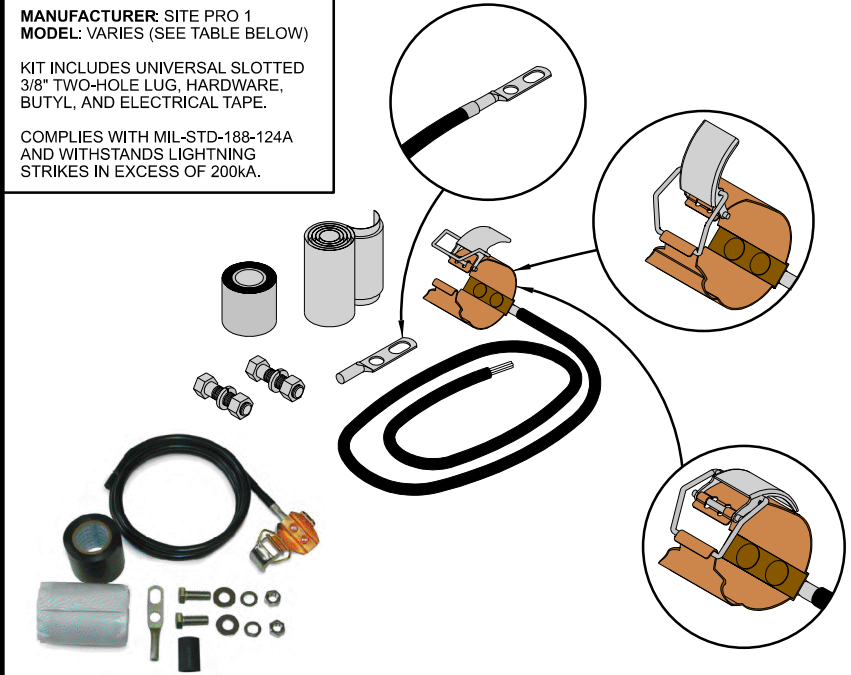


B TYPICAL UPPER RADIO GROUNDING

MANUFACTURER: SITE PRO 1
MODEL: VARIES (SEE TABLE BELOW)

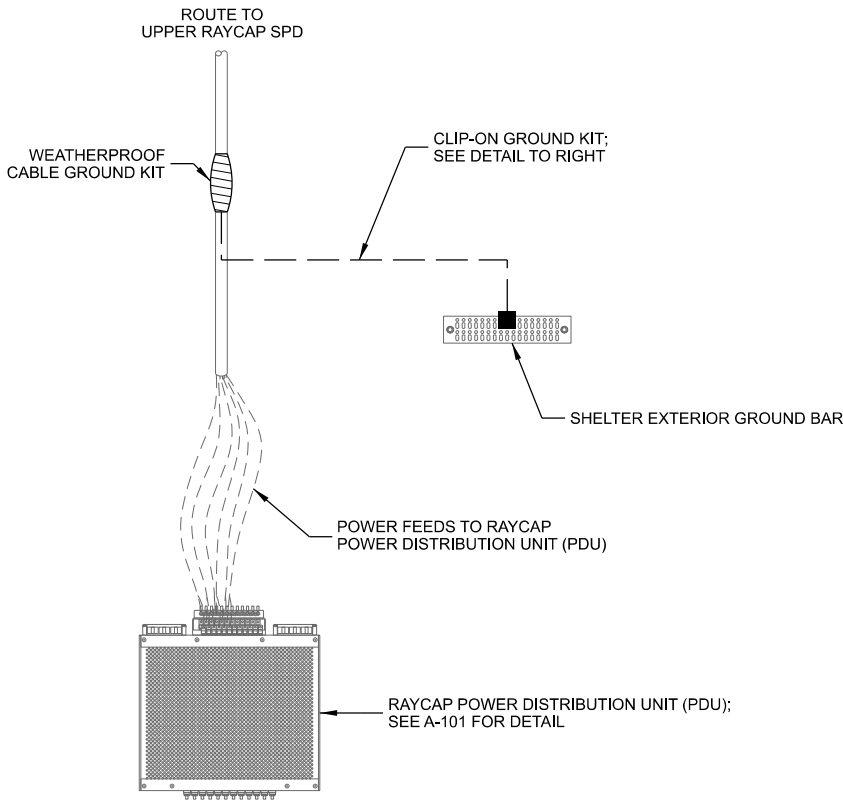
KIT INCLUDES UNIVERSAL SLOTTED 3/8" TWO-HOLE LUG, HARDWARE, BUTYL, AND ELECTRICAL TAPE.

COMPLIES WITH MIL-STD-188-124A AND WITHSTANDS LIGHTNING STRIKES IN EXCESS OF 200kA.



PART #	CABLE SIZE & TYPE	LENGTH	LUG	WEIGHT
GK-C12	1/2" CORRUGATED	5'	UNATTACHED	1.50 LB.
GK-C78	7/8" CORRUGATED	5'	UNATTACHED	1.65 LB.
GK-C114	1-1/4" CORRUGATED	5'	UNATTACHED	1.70 LB.
GK-C158	1-5/8" CORRUGATED	5'	UNATTACHED	1.70 LB.
GK-C214	2-1/4" CORRUGATED	5'	UNATTACHED	1.80 LB.

C CLIP ON GROUND KIT



D TYPICAL LOWER EQUIPMENT GROUNDING

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

GROUNDING DETAILS
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY	PCM
PLOT DATE	5/17/2023
PROJECT NUMBER	35086
SET TYPE	FINAL
SHEET NUMBER	E-501



June 2, 2023

Sussex Civic Center
Attn: Gabe Gilbertson
N64W23760 Main Street
Sussex, WI 53089
262-246-5215

RE: Plan of Operation Application // US Cellular # 784760 / Sussex II @ N64W24837 Freiheit Court, Sussex, WI 53089

Dear Gabe:

Here is the information you requested to accompany my Application for Building Permit:

Project Narrative:

US Cellular owns an existing 120' monopole cellular communications tower located at N64W24837 Freiheit Court. For this project, US Cellular is seeking to install six (6) additional antennas, one (1) surge protector, and one (1) 1-1/4" hybrid cable to its existing cellular antenna array.

Substantial Modification Statute Questionnaire:

(s) "Substantial modification" means the modification of a mobile service support structure, including the mounting of an antenna on such a structure, that does any of the following:

1. For structures with an overall height of 200 feet or less, increases the overall height of the structure by more than 20 feet.

Not applicable (existing and proposed structure height is 120' AGL).

2. For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10 percent or more.

Not applicable (existing and proposed structure height is 120' AGL).

3. Measured at the level of the appurtenance added to the structure as a result of the modification, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation.

The proposed modifications will not increase the width of the support structure.

4. Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet

The proposed modifications will not increase the square footage of an existing equipment compound.

If you have any questions regarding the enclosed information, please contact me anytime via email (rob.mears@faulkandfoster.com) or on my cell @ 318-286-1772.

Thank you,

Rob Mears | Project Manager

Mobile 318.286.1772 | Fax 318.807.2705

Faulk & Foster | www.faulkandfoster.com



SUSSEX II (784760)
SUSSEX, WISCONSIN
C-BAND & DoD ADDITION DRAWINGS
120' MONOPOLE

CONSULTANT:

Edge Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

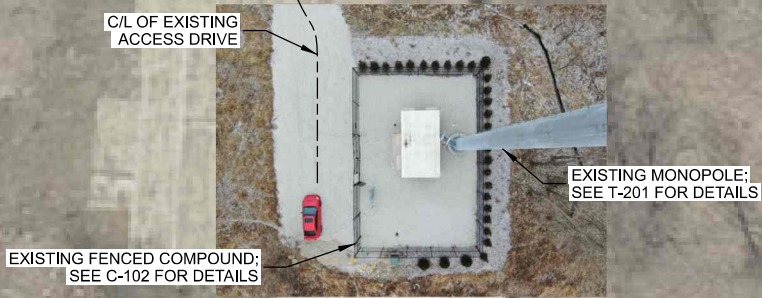
SCOPE OF WORK				SITE LOCATION MAP		DIRECTORY	SHEET INDEX		I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN. <div>TITLE SHEET SUSSEX II (784760) SUSSEX, WISCONSIN</div>		
TOWER SCOPE						CLIENT: U.S. CELLULAR 8410 W. BRYN MAWR AVE., SUITE 700 CHICAGO, IL 60631 CONTACT: RANDY MATTTSON ENGINEERING COMPANY: EDGE CONSULTING ENGINEERS, INC. 624 WATER STREET PRAIRIE DU SAC, WI 53578 PROJECT MANAGER: PAUL MOLITOR SITE ACQUISITION: FAULK & FOSTER 1811 AUBURN AVE. MONROE, LA 71201 CONTACT: DAN HOOVER	NO.:	SHEET TITLE			
C-Band & DoD SCOPE (TO BE INSTALLED)											
ANTENNA(S)/EQUIP.	3	C-BAND RADIO(S) W/ BUILT-IN ANTENNA(S)	TO BE INSTALLED				G-001	TITLE SHEET			
	3	DoD RADIO(S) W/ BUILT-IN ANTENNA(S)	TO BE INSTALLED				C-101	SITE PLAN			
	1	RAYCAP SPD(S)	TO BE INSTALLED				C-102	ENLARGED SITE PLAN			
TRANSMISSION CABLE(S)	1	1-1/4" EUPEN HYBRID CABLE(S)	TO BE INSTALLED				C-501	GPS DETAILS			
MODERNIZATION SCOPE (REMAIN/RELOCATE)							A-101	SHELTER INTERIOR PLAN			
ANTENNA(S)/EQUIP.	3	RAYCAP SPD(S)	TO REMAIN				A-501	BLOCK DIAGRAM			
TRANSMISSION CABLE(S)	2	1-1/4" EUPEN HYBRID CABLE(S)	TO REMAIN				T-001	EQUIPMENT SPECIFICATIONS			
	1	1-1/4" EUPEN POWER CABLE(S)	TO REMAIN				T-201	SITE ELEVATION			
COMPOUND SCOPE						T-301	ANTENNA CONFIGURATION				
GPS ANTENNA(S):	QTY.	EQUIPMENT	ACTION			T-501	INSTALLATION DETAILS				
	1	CDMA GPS ANTENNA(S)	TO REMAIN			T-502	CABLE DETAILS				
	1	LTE GPS ANTENNA(S)	TO REMAIN			T-503	CABLE BANDING DETAILS				
CABLE ROUTE:	1	C-BAND & DoD GPS ANTENNA(S)	TO BE INSTALLED			V-501	CABLE ROUTING				
	-	ICE BRIDGE HANGERS	ADEQUATE - TO REMAIN			P-501	PLUMBING DIAGRAM				
	-	SHELTER COAX PORT	ADEQUATE - TO REMAIN			E-501	GROUNDING DETAILS				
GROUND BAR(S):	-	SHELTER EXTERIOR GROUND BAR*	ADEQUATE - TO REMAIN								
SHELTER INTERIOR SCOPE											
MODERNIZATION SCOPE (REMAIN/RELOCATE)											
EQUIPMENT:	2	RAYCAP PDU(S)	TO REMAIN								
GROUND BAR(S):	-	GROUND BAR AT COAX PORT*	TO REMAIN								
C-Band & DoD SCOPE (TO BE INSTALLED)											
AUX RACK:	-	BASE BAND UNIT (BBU)	BY OTHERS								
	1	RAYCAP FIBER TRAY(S)	TO BE INSTALLED								
* BRING UP TO U.S. CELLULAR STANDARDS AS NECESSARY											
SPECIAL REQUIREMENTS											
EXISTING ANTENNA AZIMUTH(S) TO BE ADJUSTED TO MATCH MODERNIZATION RF DESIGN.											
					</						



NORTH

SILVER SPRING DR.

FREIHEIT CT.



- NOTES:
1. AERIAL IMAGERY FROM GOOGLE EARTH.
 2. NORTH ARROW SHOWN AS APPROXIMATE.
 3. SITE PHOTOS PROVIDED BY EDGE CONSULTING ENGINEERS, INC.
 4. NO SURVEY AVAILABLE. SITE LAYOUT BASED ON FIELD MEASUREMENTS AND SITE PHOTOS.

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

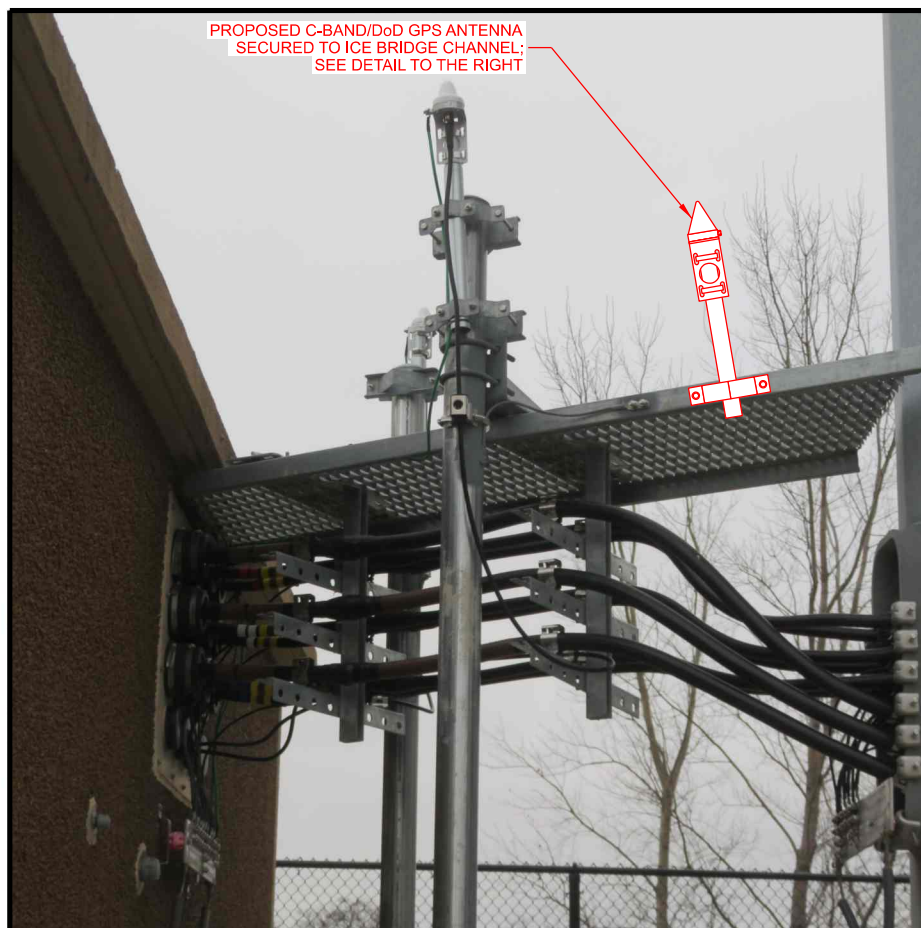
- APPROVED -
SEE C-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN
SET WAS PREPARED BY ME OR
UNDER MY DIRECT SUPERVISION
OTHER THAN THE EXCEPTIONS
NOTED IN THE SHEET INDEX, AND
THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE
STATE OF WISCONSIN.

SITE PLAN
SUSSEX II (784760)
SUSSEX, WISCONSIN

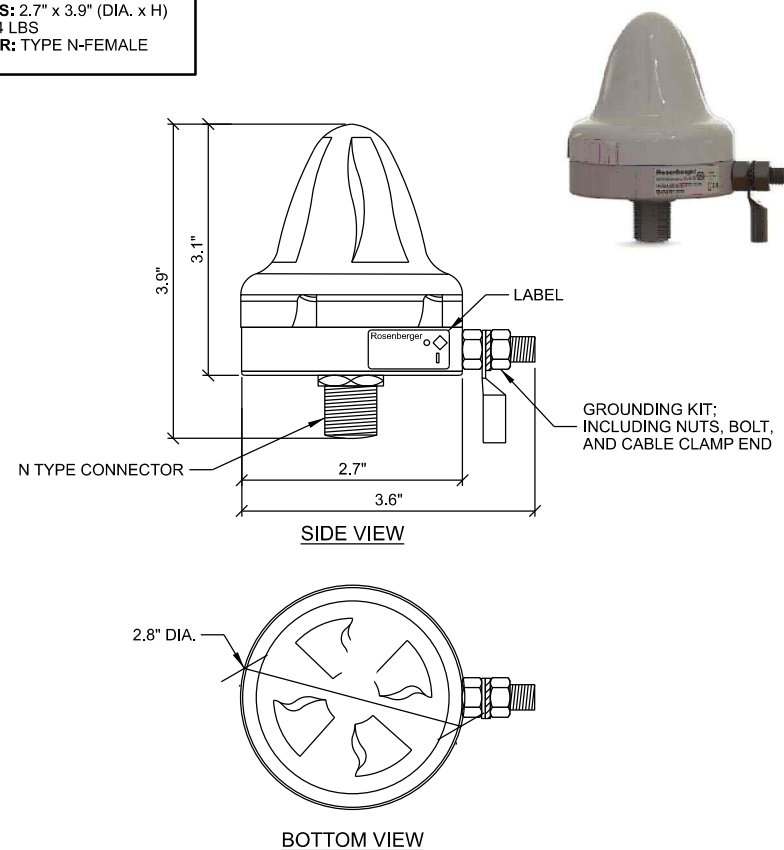
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY	PCM
PLOT DATE	5/17/2023
PROJECT NUMBER	35086
SET TYPE	FINAL
SHEET NUMBER	C-101

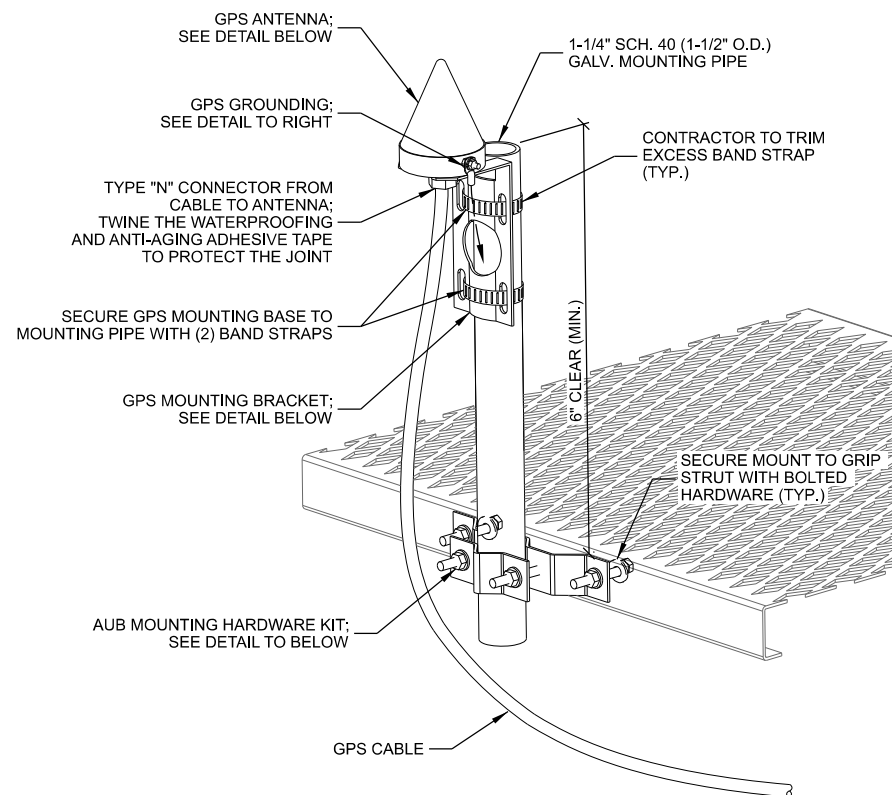


A PROPOSED GPS ANTENNA LOCATION

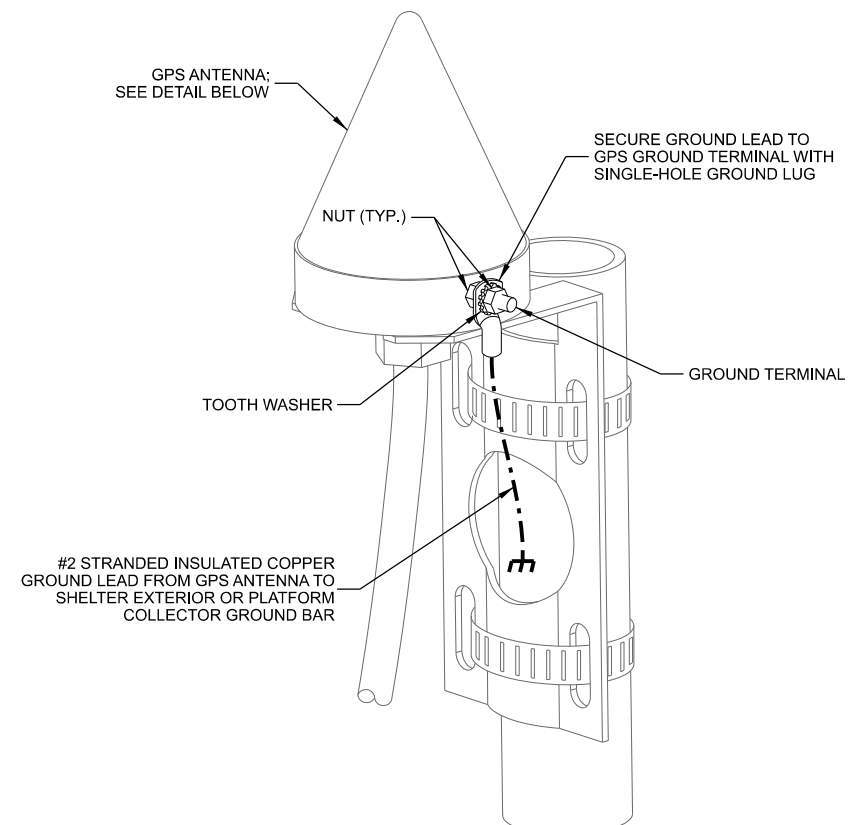
DIMENSIONS: 2.7" x 3.9" (DIA. x H)
WEIGHT: 0.4 LBS
CONNECTOR: TYPE N-FEMALE



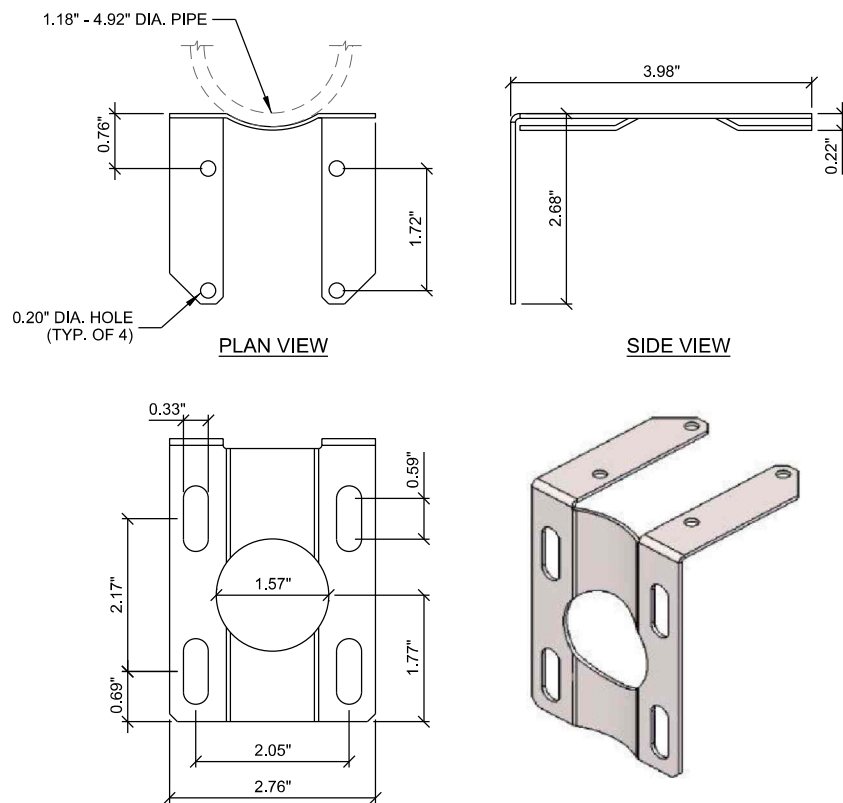
GPS ANTENNA



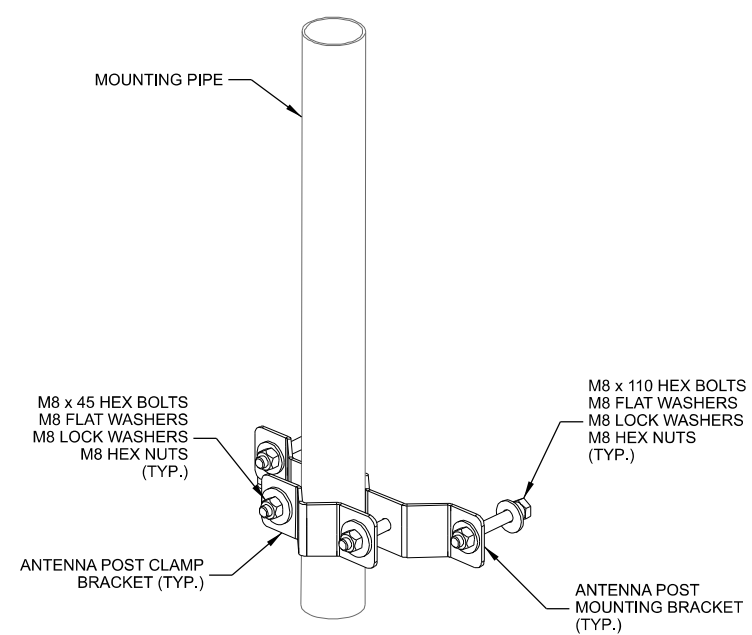
GPS ANTENNA MOUNTING



GPS GROUNDING



GPS MOUNTING BRACKET



AUB MOUNTING HARDWARE KIT

NOTES:	
1.	ANCHOR FASTENERS TO MOUNT BRACKET KIT TO WALL MUST BE SELECTED ACCORDINGLY FOR WALL MATERIAL.
2.	WALL ANCHOR FASTENERS SUPPLIED BY GENERAL CONTRACTOR.
3.	PREFERRED INSTALLATION METHOD WITH (2) ANTENNA POST BRACKETS.

CONSULTANT:



CLIENT:



ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN
SET WAS PREPARED BY ME OR
UNDER MY DIRECT SUPERVISION
OTHER THAN THE EXCEPTIONS
NOTED IN THE SHEET INDEX, AND
THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE
STATE OF WISCONSIN.

GPS DETAILS
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED
BY

PCM

PLOT

5/17/2023

PROJECT

[illegible]

[illegible]

[illegible]

(1) PROPOSED RAYCAP FIBER TRAY TO BE INSTALLED IN EXISTING AUX RACK; RAYCAP MODEL #: RTF-3001; GENERAL CONTRACTOR TO LABEL EACH WITH SPECIFIC BAND OF SERVICE; INSTALL IN HIGHEST AVAILABLE POSITION IN RACK

PROPOSED C-BAND/DoD GPS CABLE TO BE ROUTED FROM AUX RACK

(1) PROPOSED 1-1/4" EUPEN HYBRID CABLE
EXISTING 1-1/4" EUPEN CABLE;
(2) HYBRID
(1) POWER ONLY

EXISTING RAYCAP POWER DISTRIBUTION UNIT (PDU) SECURED TO SIDE OF POWER BAY RACK (TYP. OF 2)

PROPOSED DC POWER FEEDS TO RAYCAP POWER DISTRIBUTION UNIT (PDU); INSTALL CABLE MANAGEMENT SYSTEM AS NEEDED AT RACK

GENERAL CONTRACTOR REMOVE PROPOSED CABLE OUTER SHIELD TO COAX PORT TO EXPOSE INTERNAL CABLE FEEDS; INSTALL WITH 3" MIN. OVERLAP ON BOTH INNERDUCT AND COLD SHRINK

PROPOSED FIBER FEEDS TO RAYCAP FIBER TRAY; SECURE TO CABLE LADDER WITH CROSSED ZIP-TIES

CONTRACTOR TO USE EXISTING OVERHEAD CABLE TRAY FOR CABLE ROUTING

FUTURE BASEBAND UNIT (BBU) TO BE INSTALLED IN EXISTING AUX RACK BY ICI VENDOR

HVAC

HVAC

CDMA EQUIPMENT RACK

A/C PANEL

GENERATOR ROOM

A SHELTER INTERIOR LAYOUT
SCALE: 11" x 17" - 3/8" = 1'-0"
22" x 34" - 3/4" = 1'-0"

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

**SHELTER INTERIOR PLAN
SUSSEX II (784760)
SUSSEX, WISCONSIN**

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY:	PCM
PLOT DATE:	5/17/2023
PROJECT NUMBER:	35086
SET TYPE:	FINAL
SHEET NUMBER:	A-101

MANUFACTURER: RAYCAP
MODEL: RUSDC-1176-PDU-48 (BREAKERS NOT INCLUDED)
RUSDC-1176-PDU-48-AMCB-1240 (12 x 40A BREAKERS INCLUDED)
DIMENSIONS: 18.99" x 19.00" x 3.48" (D x W x H)
WEIGHT: 22 LBS (WITHOUT BREAKERS)
OPTIONAL ACCESSORIES
12 BREAKER KIT FOR ERICSSON RADIO SET: AMCB-48-1225-KIT
9 BREAKER KIT FOR NOKIA RADIO SET: AMCB-48-0640-0325-KIT
40A CIRCUIT BREAKER: AMCB-48-0140
25A CIRCUIT BREAKER: AMCB-48-0125
CABLE STORAGE: RTF-6601
2RU RACK MOUNTED DC SURGE SUPPRESSION AND POWER DISTRIBUTION SYSTEM FOR USE IN REMOTE RADIO HEAD (RRH) AND MULTI-CIRCUIT, DISTRIBUTED ANTENNA SYSTEMS.

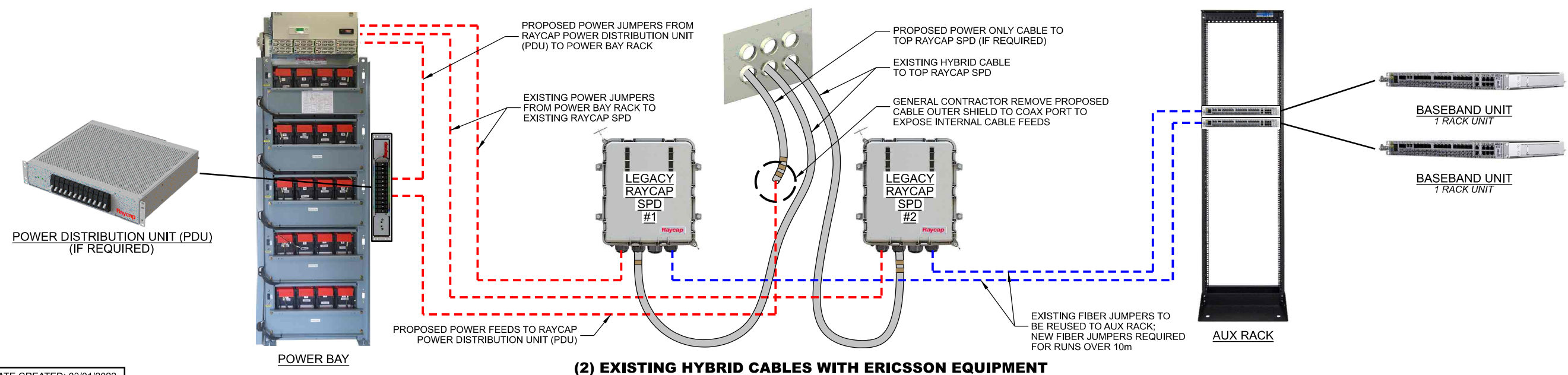
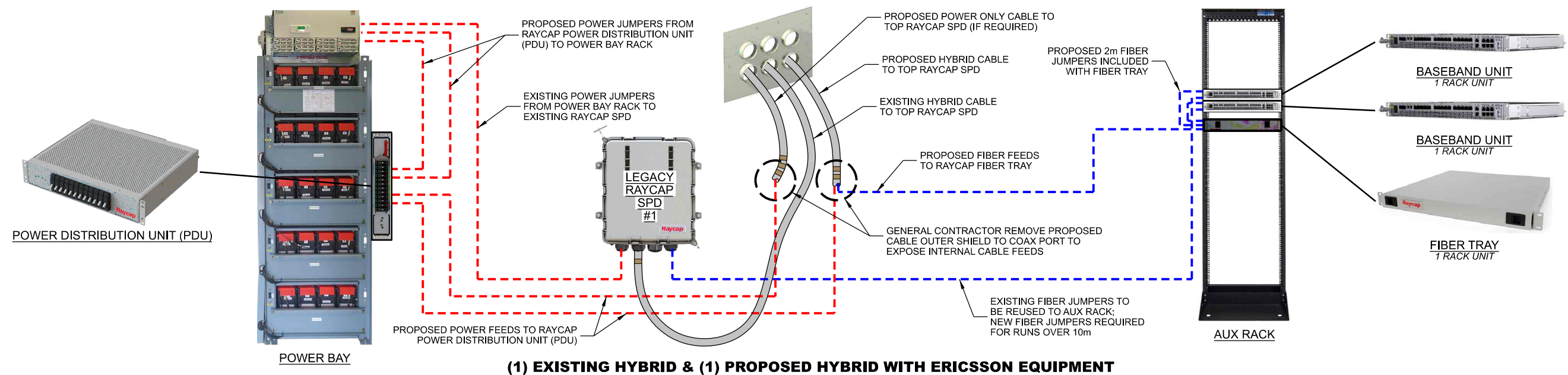
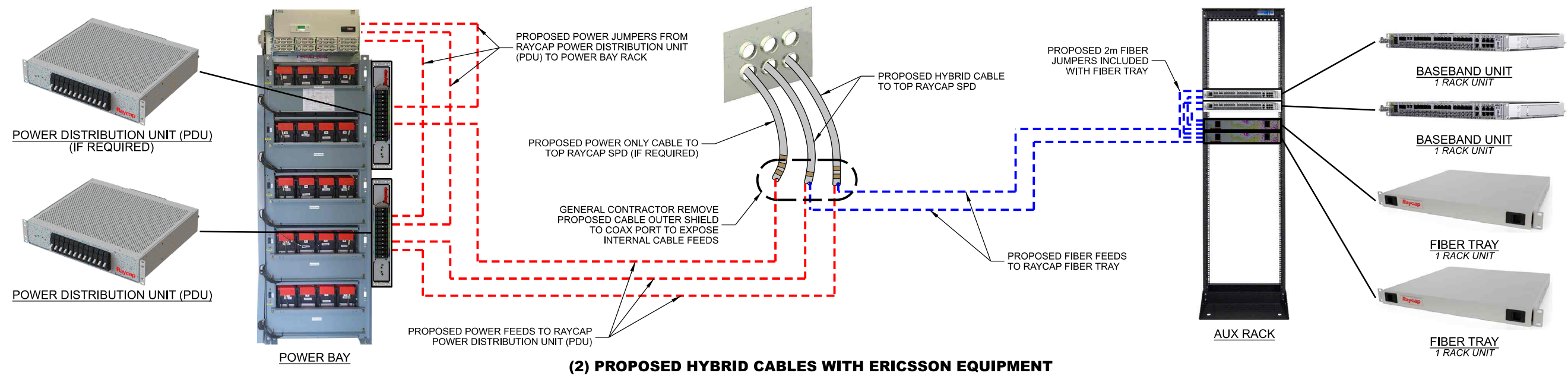


D RAYCAP POWER DISTRIBUTION UNIT (PDU)

C:\35086\35086\Design\CAD\CD\Plot\A-101.dgn

B EXISTING AUX EQUIPMENT RACK

C EXISTING POWER BAY RACK



CONSULTANT:



624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:



U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

BLOCK DIAGRAM
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0
CHECKED BY	PCM	
PLOT DATE	5/17/2023	
PROJECT NUMBER	35086	
SET TYPE	FINAL	
SHEET NUMBER	A-501	

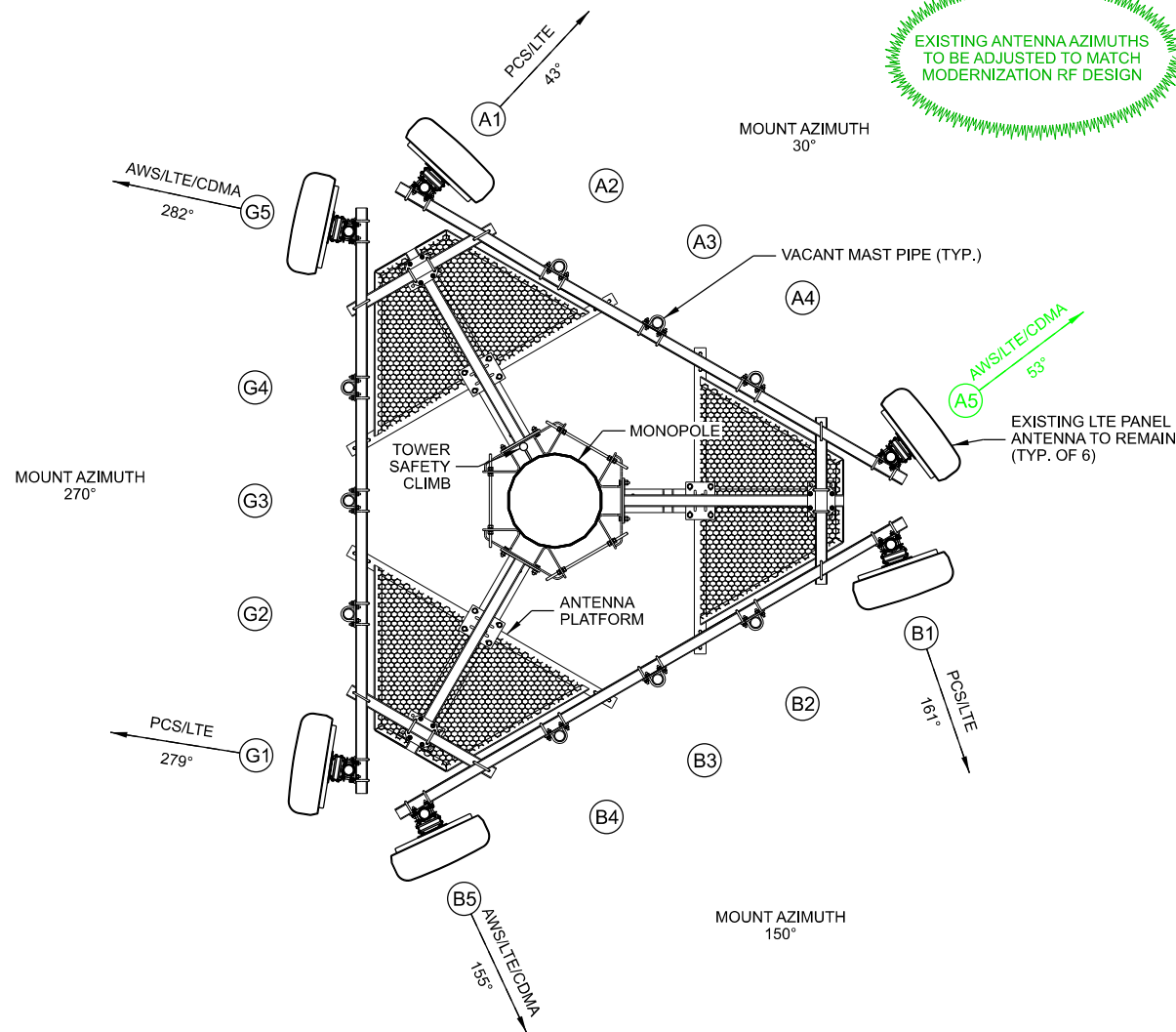


SITE ELEVATION
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0
CHECKED BY:	PCM	
PLOT DATE	5/17/2023	
PROJECT NUMBER	35086	
SET TYPE	FINAL	
SHEET NUMBER	T-201	



NORTH



	Antenna Position	Technology	Antenna Model	Antenna Quantity	RAD Center	Azimuth	Surge Protector Qty.	B12/B71 Radio	Radio Qty.	B2/B66 Radio	Radio Qty.	B5 Radio	Radio Qty.	Cable Type	Cable Qty.
ALPHA	A1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	43°	1	RRU4449	1	RRU8843	1	-	-	1-1/4" Hybrid	1
	A2	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A3	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A4	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	53°	Shared	-	-	Shared	-	RRU4478	1	7/8" Coax	2
BETA	B1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	161°	1	RRU4449	1	RRU8843	1	-	-	1-1/4" Power	1
	B2	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B3	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B4	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	155°	Shared	-	-	Shared	-	RRU4478	1	7/8" Coax	2
GAMMA	G1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	279°	1	RRU4449	1	RRU8843	1	-	-	1-1/4" Hybrid	1
	G2	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G3	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G4	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	282°	Shared	-	-	Shared	-	RRU4478	1	7/8" Coax	2
Total:				6			3		3		3		3		9

NOTES:

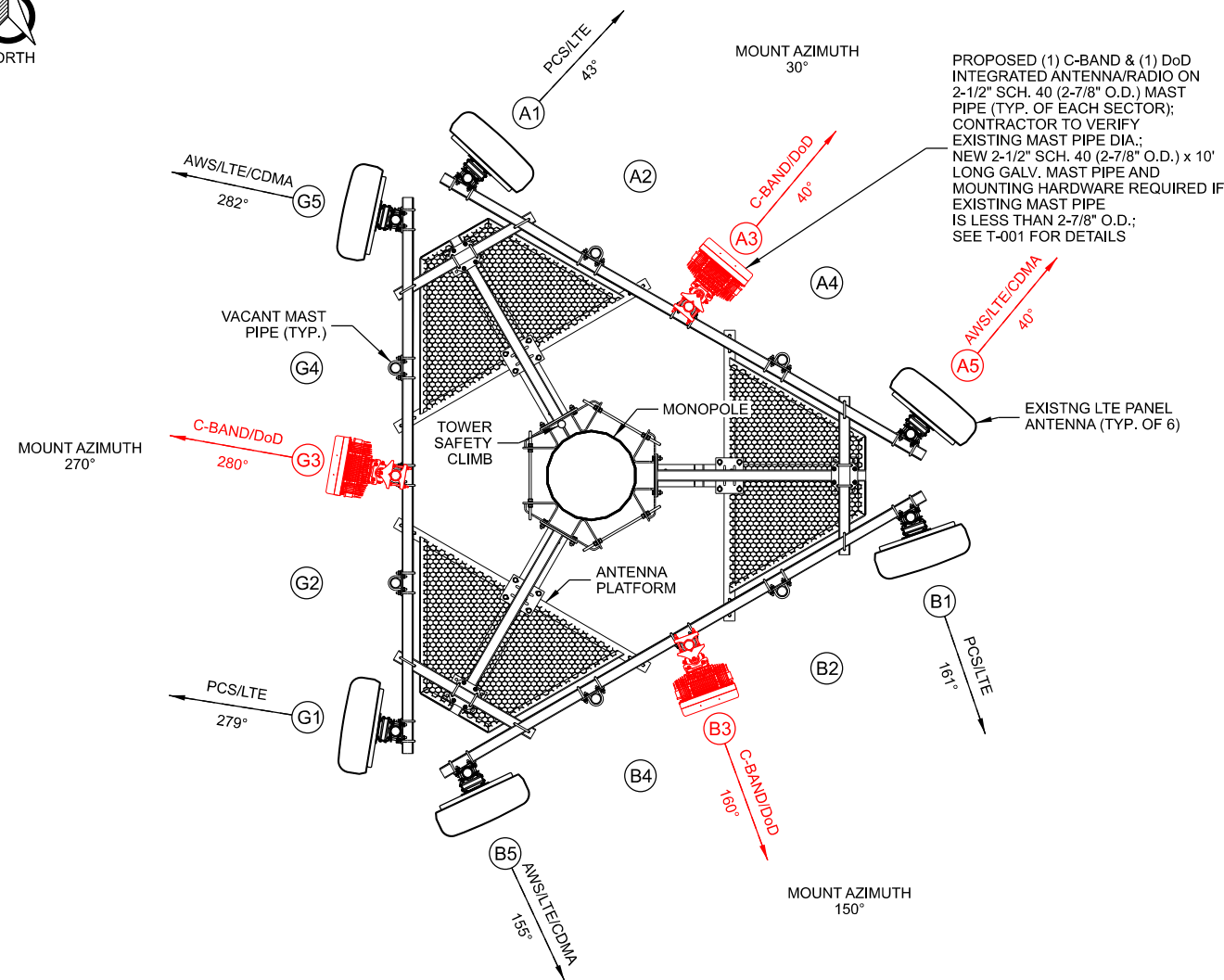
- ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.

A EXISTING ANTENNA LAYOUT

SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



NORTH



	Antenna Position	Technology	Antenna Model	Antenna Quantity	RAD Center	Azimuth	Surge Protector Qty.	B12/B71 Radio	Radio Qty.	B2/B66 Radio	Radio Qty.	B5 Radio	Radio Qty.	Highband Radio	Radio Qty.	Cable Type	Cable Qty.
ALPHA	A1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	43°	1	RRU4449	1	RRU8843	1	-	-	-	-	1-1/4" Hybrid	1
	A2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	A3	C-BAND	Integrated Antenna/Radio	-	116.5'	40°	1	-	-	-	-	-	-	AIR6449	1	1-1/4" Hybrid	1
	A4	DoD	Integrated Antenna/Radio	-	111.5'	40°	Shared	-	-	-	-	-	-	AIR6419	1	Shared	-
	A5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	40°	Shared	-	-	Shared	-	RRU4478	1	-	-	7/8" Coax	2
BETA	B1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	161°	1	RRU4449	1	RRU8843	1	-	-	-	-	1-1/4" Power	1
	B2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	B3	C-BAND	Integrated Antenna/Radio	-	116.5'	160°	Shared	-	-	-	-	-	-	AIR6449	1	Shared	-
	B4	DoD	Integrated Antenna/Radio	-	111.5'	160°	Shared	-	-	-	-	-	-	AIR6419	1	Shared	-
	B5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	155°	Shared	-	-	Shared	-	RRU4478	1	-	-	7/8" Coax	2
GAMMA	G1	PCS/LTE	Dengyo OCT8-2LX2HX-BW65	1	114'	279°	1	RRU4449	1	RRU8843	1	-	-	-	-	1-1/4" Hybrid	1
	G2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	G3	C-BAND	Integrated Antenna/Radio	-	116.5'	280°	Shared	-	-	-	-	-	-	AIR6449	1	Shared	-
	G4	DoD	Integrated Antenna/Radio	-	111.5'	280°	Shared	-	-	-	-	-	-	AIR6419	1	Shared	-
	G5	AWS/LTE/CDMA	Dengyo OCT8-2LX2HX-BW65	1	114'	282°	Shared	-	-	Shared	-	RRU4478	1	-	-	7/8" Coax	2
Total:				6			4		3		3		3		6		10

Black Text = Existing Red Text = Proposed

NOTES:

- ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.

B PROPOSED ANTENNA LAYOUT

SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

CONSULTANT:



CLIENT:



ENGINEER SEAL:



I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

**ANTENNA CONFIGURATION
SUSSEX II (784760)
SUSSEX, WISCONSIN**

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY:	PCM
PLOT DATE:	5/17/2023
PROJECT NUMBER:	35086
SET TYPE:	FINAL
SHEET NUMBER:	T-301

EUPEN CABLE LENGTH	
EXISTING HYBRID CABLE QUANTITY	2
EXISTING POWER CABLE QUANTITY	1
PROPOSED HYBRID CABLE QUANTITY	1
LENGTH FROM SHELTER SOURCE TO COAX PORT	20 FT
LENGTH ALONG ICE BRIDGE	10 FT
LENGTH FROM T.O.C. TO TOWER TOP RAYCAP SPD	115 FT
TOTAL LENGTH OF CABLE	145 FT
ROUNDED LENGTH **	150 FT
* 410' MAX = TYPICAL CABLE	
* 550' MAX = LOW INDUCTANCE CABLE	
** CABLE LENGTH TO BE ROUNDED UP TO NEAREST 50' LENGTH	

E// C-Band JUMPER CABLE INFO			
FIBER JUMPER: RAYCAP SPD TO ANTENNA/RADIO (C-Band)			
	QUANTITY	LENGTH	
ALPHA	1	32.8 FT	10 m
BETA	1	32.8 FT	10 m
GAMMA	1	32.8 FT	10 m
ALL SECTORS MUST HAVE THE SAME JUMPER LENGTHS			

E// DoD JUMPER CABLE INFO			
FIBER JUMPER: RAYCAP SPD TO ANTENNA/RADIO (DoD)			
	QUANTITY	LENGTH	
ALPHA	1	32.8 FT	10 m
BETA	1	32.8 FT	10 m
GAMMA	1	32.8 FT	10 m
ALL SECTORS MUST HAVE THE SAME JUMPER LENGTHS			

A HIGH BAND CABLE LENGTHS

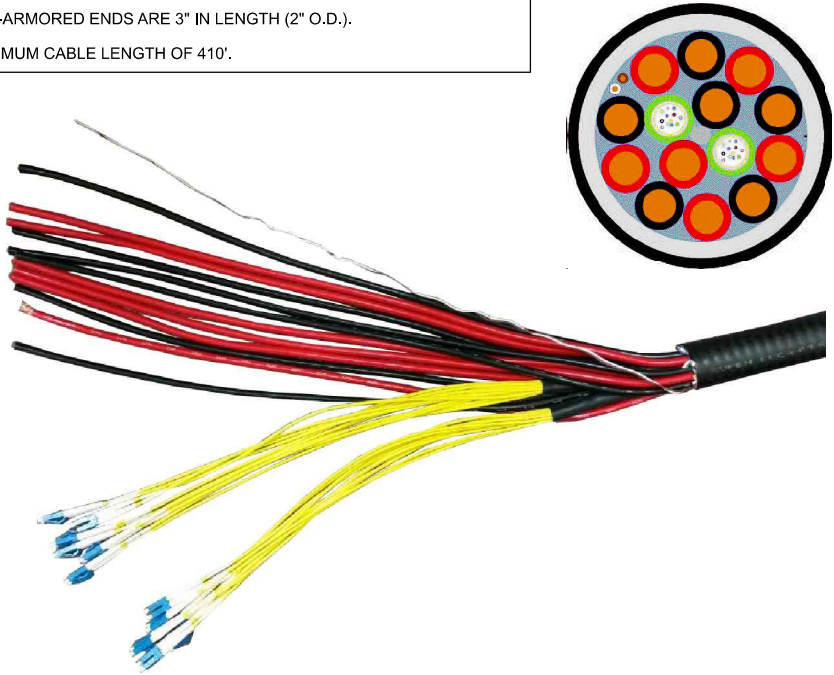
MANUFACTURER: EUPEN
MODEL: EUCAHYBRID 114-12AWG6
MINIMUM BENDING RADIUS: 360mm (14")
MAXIMUM PULLING STRENGTH: 150 daN
MAXIMUM HANGER SPACING: 1.0 m
APPROX. WEIGHT: 2300 kg/km (1.55 LB/FT)

1-1/4" HYBRID FIBER OPTIC CABLE WITH 48V ENERGY FEEDER IN CORRUGATED ALUMINUM SHIELDING WITH UV RESISTANT PE JACKET.

SHIPPED WITH 4' PROTECTED JACKET (2.25" O.D.) AT EACH END.

NON-ARMORED ENDS ARE 3" IN LENGTH (2" O.D.).

MAXIMUM CABLE LENGTH OF 410'.



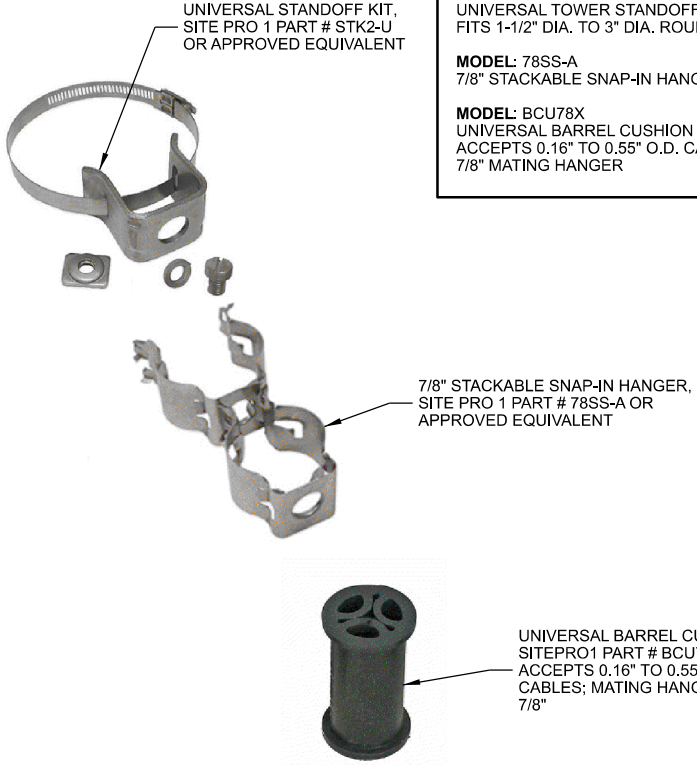
B EUPEN HYBRID CABLE

MANUFACTURER: SITE PRO 1

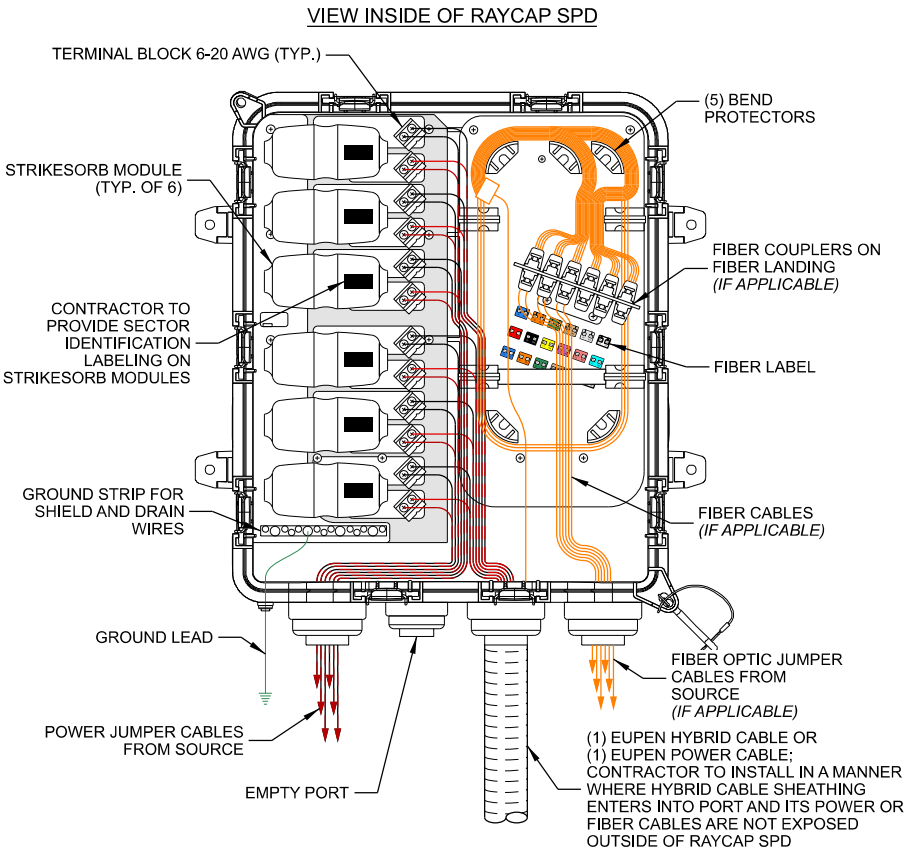
MODEL: STK2-U
UNIVERSAL TOWER STANDOFF KIT
FITS 1-1/2" DIA. TO 3" DIA. ROUND MEMBERS

MODEL: 78SS-A
7/8" STACKABLE SNAP-IN HANGER

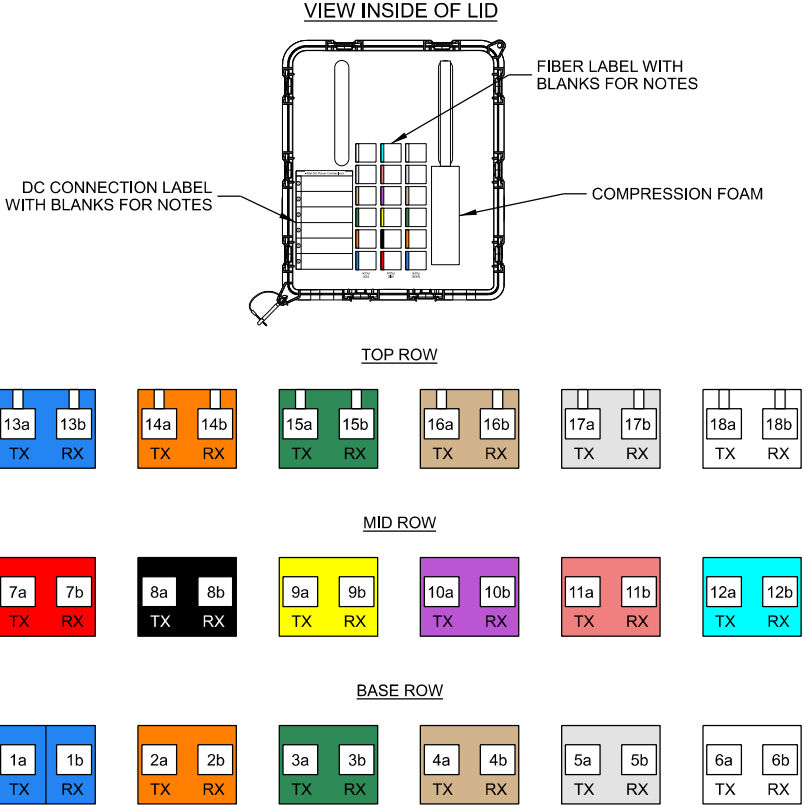
MODEL: BCU78X
UNIVERSAL BARREL CUSHION
ACCEPTS 0.16" TO 0.55" O.D. CABLES
7/8" MATING HANGER



C JUMPER ATTACHMENT



D RAYCAP SURGE PROTECTOR DEVICE (SPD) CABLING



E FIBER LABEL

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

uscellular
U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

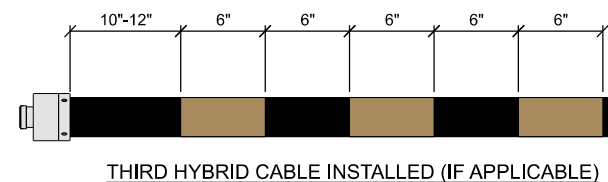
ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

CABLE DETAILS
SUSSEX II (784760)
SUSSEX, WISCONSIN

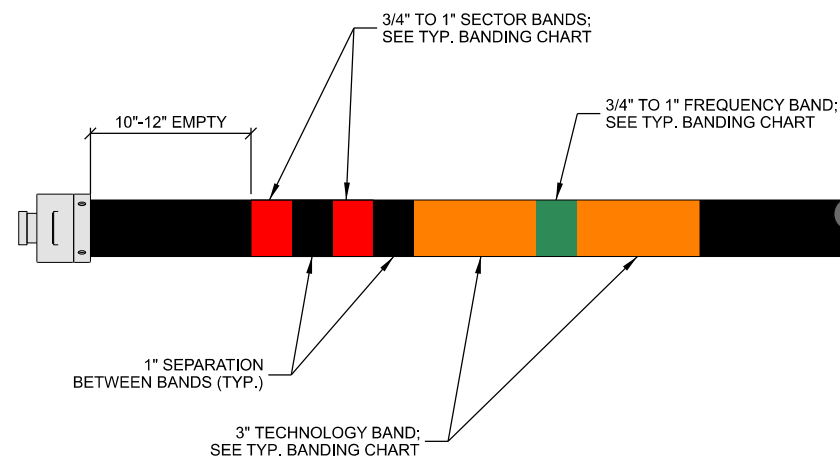
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0
CHECKED BY	PCM	
PLOT DATE	5/17/2023	
PROJECT NUMBER	35086	
SET TYPE	FINAL	
SHEET NUMBER	T-502	



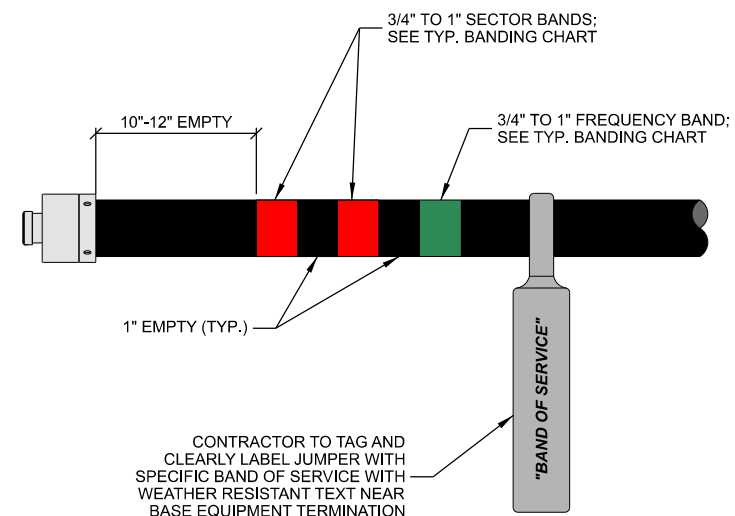
- NOTES:

1. AT THE TOP OF THE TOWER/BUILDING/WATER TOWER AND AT THE ENTRY POINT OF THE GROUND LEVEL JUNCTION BOX, HYBRID CABLES MUST BE BANDED IN ACCORDANCE TO THE ILLUSTRATION ABOVE.
2. REFER TO LATEST EDITION OF U.S. CELLULAR STANDARD: STD72 TO VERIFY CURRENT COLOR CODING

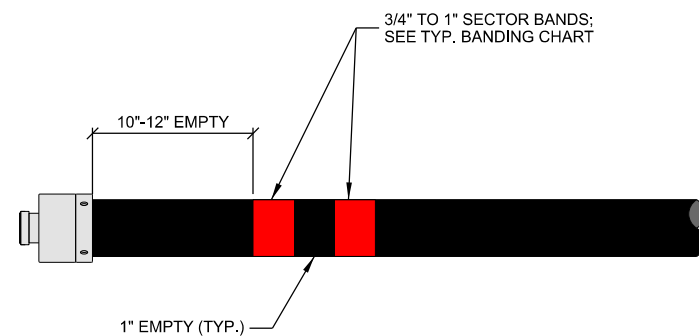
A **TYP. HYBRID COLOR CODE**



B TYP. COAX JUMPER BANDING



C TYP. POWER & FIBER JUMPER BANDING



D TYP. RET CABLE BANDING

SECTOR BAND (MOST COMMON CASE: SINGLE TECHNOLOGY WITHIN THE SECTOR)					
SECTOR	ASSIGNED COLOR	LINE 1	LINE 2	LINE 3	LINE 4
ALPHA	RED	(1) RED BAND	(2) RED BANDS	(3) RED BANDS	(4) RED BANDS
BETA	WHITE	(1) WHITE BAND	(2) WHITE BANDS	(3) WHITE BANDS	(4) WHITE BANDS
GAMMA	BLUE	(1) BLUE BAND	(2) BLUE BANDS	(3) BLUE BANDS	(4) BLUE BANDS
DELTA (IF APPLICABLE)	GREEN	(1) GREEN BAND	(2) GREEN BANDS	(3) GREEN BANDS	(4) GREEN BANDS
EPSILON (IF APPLICABLE)	VIOLET	(1) VIOLET BAND	(2) VIOLET BANDS	(3) VIOLET BANDS	(4) VIOLET BANDS
ZETA (IF APPLICABLE)	BROWN	(1) BROWN BAND	(2) BROWN BANDS	(3) BROWN BANDS	(4) BROWN BANDS

SECTOR BAND (EXCEPTION CASE: ALPHA SECTOR CDMA ON 1 & 4, LTE ON 2 & 3)					
SECTOR	ASSIGNED COLOR	LINE 1 (CDMA)	LINE 2 (LTE)	LINE 3 (LTE)	LINE 4 (CDMA)
ALPHA	RED	(1) RED BAND	(1) RED BAND	(2) RED BANDS	(2) RED BANDS

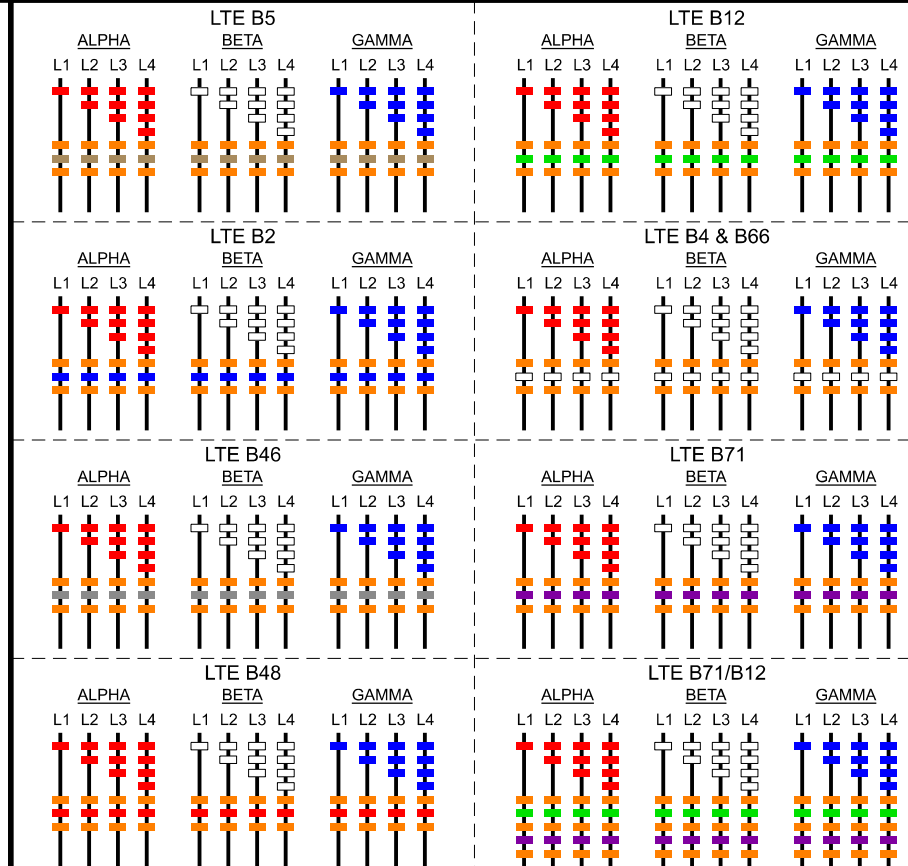
TECHNOLOGY BAND	
TECHNOLOGY	BANDING
CDMA	YELLOW
GSM	VIOLET
LTE	ORANGE

FREQUENCY BAND		
FREQUENCY	BAND	BANDING
600	B71	VIOLET
700	B12	GREEN
800/850	B5	BROWN
1900	B2	BLUE
2100	B4 & B66	WHITE
3500	B48 - CBRS	RED
5100	B46 - LAA	GREY

- NOTE:

1. REFER TO LATEST EDITION OF U.S. CELLULAR STANDARD: STD72 TO VERIFY CURRENT COLOR CODING

E TYP. BANDING CHART



F TYP. COAX COLOR CODE STANDARD

CONSULTANT:



Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:



U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

- APPROVED -
SEE G-001 FOR ENGINEER'S
STAMP AND SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

CABLE BANDING DETAILS
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A

SRC	05/16/23	REV.0
-----	----------	-------

--	--	--

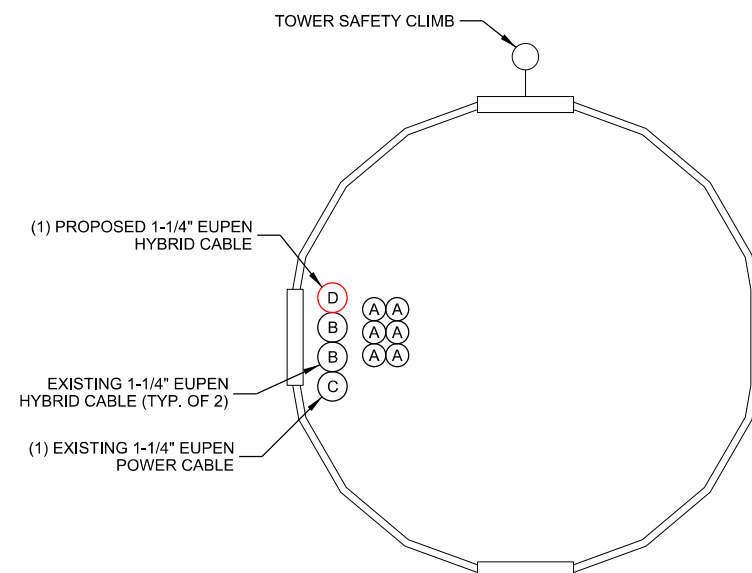
CHECKED BY PCM

PLOT	5/17/2023
------	-----------

PROJECT	
---------	--

TYPE	

SHEET NUMBER **T-503**

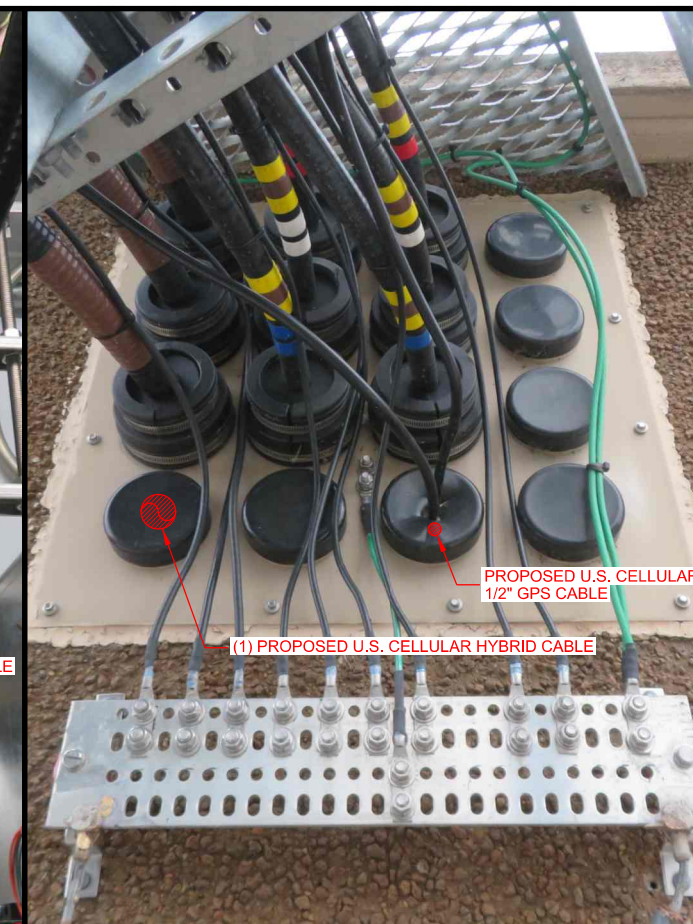


B **PROPOSED TOWER CABLE LAYOUT** 

COAX SYMBOL	(#) SIZE	MOUNTING TYPE	CARRIER / OWNER	TECHNOLOGY	MOUNT HEIGHT
A	(6) 7/8"	TOWER INTERIOR	U.S. CELLULAR	CDMA	114'
B	(2) 1-1/4"	TOWER INTERIOR	U.S. CELLULAR	HYBRID	106'
C	(1) 1-1/4"	TOWER INTERIOR	U.S. CELLULAR	POWER	106'
D	(1) 1-1/4"	TOWER INTERIOR	U.S. CELLULAR	HYBRID	106'



C	SHELTER COAX PORT (SHELTER INTERIOR)
----------	---



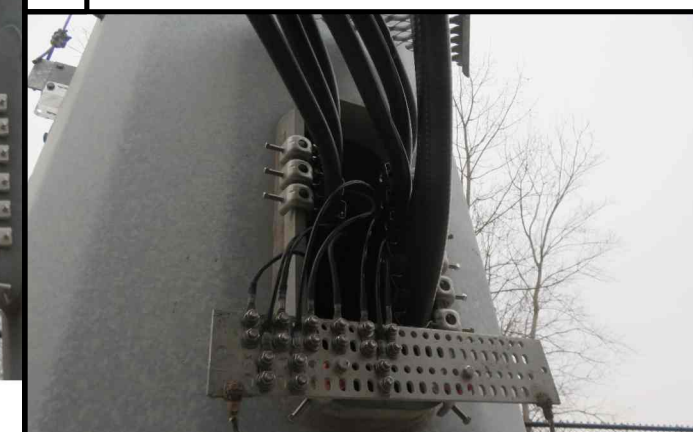
D SHELTER COAX PORT (SHELTER EXTERIOR)



E	ICE BRIDGE HANGER
----------	--------------------------



F	UPPER TOWER COAX PORT(S)
----------	---------------------------------



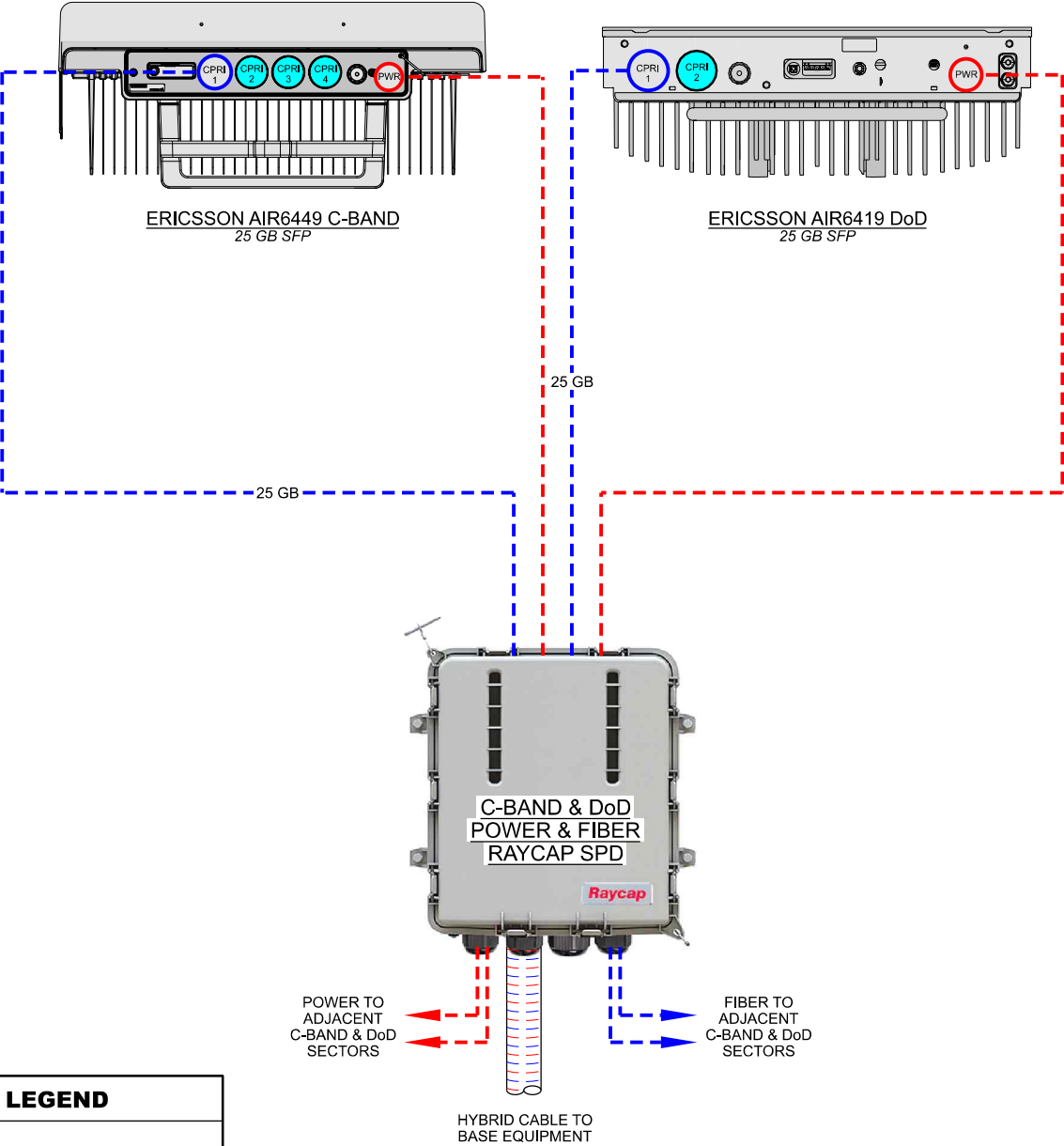
G	LOWER TOWER COAX PORT(S)
----------	---------------------------------

CABLE ROUTING
SUSSEX II (784760)
SUSSEX, WISCONSIN

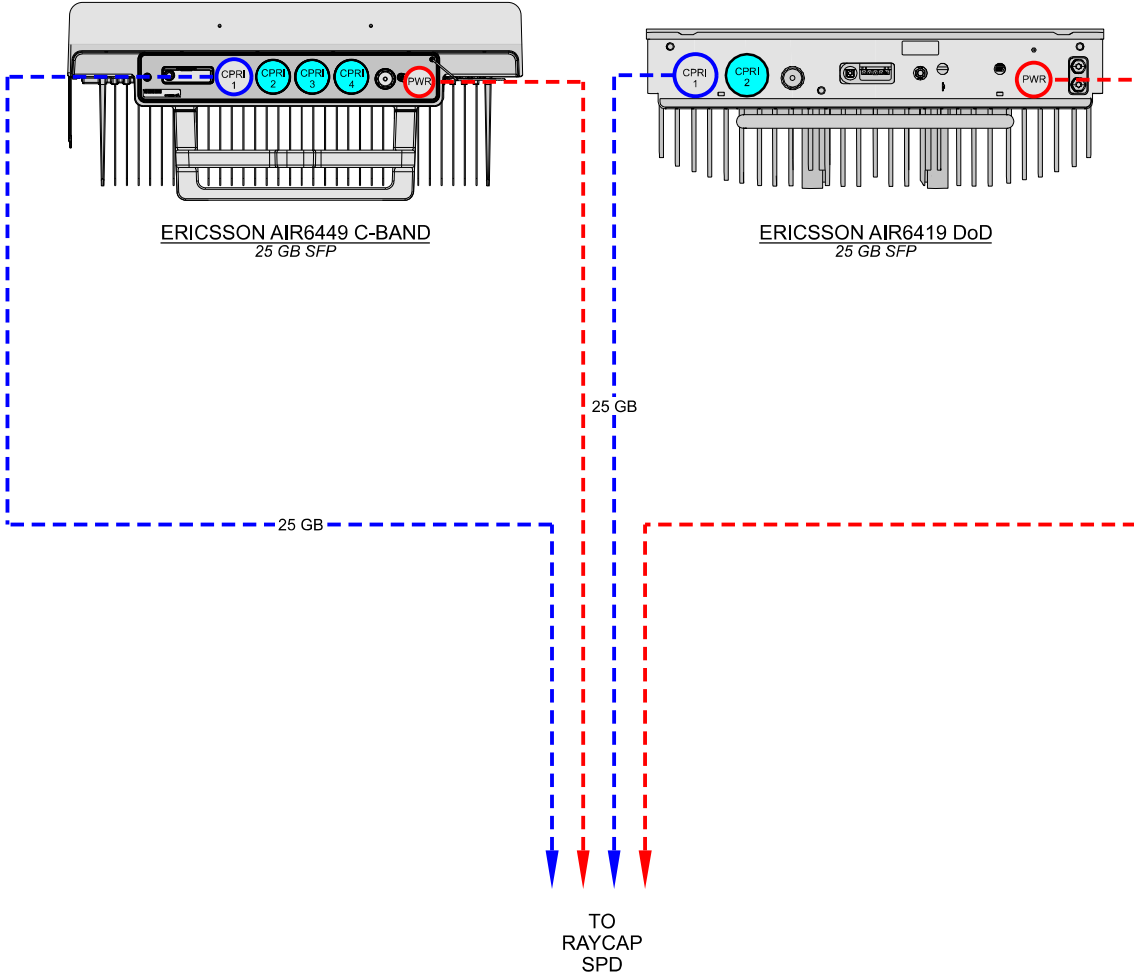
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. D
CHECKED BY	PCM	
PLOT DATE	5/17/2023	
PROJECT NUMBER	35086	
SET TYPE	FINAL	
SHEET NUMBER	V-501	



E// C-BAND & DoD WITH DEDICATED RAYCAP SPD
PER SECTOR CONFIGURATION



E// C-BAND & DoD WITH SHARED RAYCAP SPD
PER SECTOR CONFIGURATION



CABLE LEGEND

EUPEN HYBRID CABLE

FIBER JUMPER

POWER JUMPER

WEATHERPROOF CAP

DATE CREATED: 09/29/2022

PLUMBING DIAGRAM: ERICSSON C-BAND & DoD
CONTAINS U.S. CELLULAR® CONFIDENTIAL INFORMATION. NOT FOR EXTERNAL USE OR DISCLOSURE WITHOUT PROPER AUTHORIZATION.

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

U.S. CELLULAR
8410 W. BRYN MAWR AVE.
SUITE 700
CHICAGO, IL 60631

ENGINEER SEAL:

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

PLUMBING DIAGRAM
SUSSEX II (784760)
SUSSEX, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
SRC	04/28/23	REV. A
SRC	05/16/23	REV. 0

CHECKED BY:	PCM
PLOT DATE:	5/17/2023
PROJECT NUMBER:	35086
SET TYPE:	FINAL
SHEET NUMBER:	P-501

ORDINANCE NO. ____

AN ORDINANCE TO REPEAL AND RECREATE SUB SECTION
4.06(6)(A) REGARDING THE NUMBER OF DOGS ALLOWED
OF THE VILLAGE OF SUSSEX MUNICIPAL CODE.

WHEREAS, the Village of Sussex Plan Commission has initiated a municipal code amendment to the Village of Sussex to repeal and recreate Chapter 4 Licenses and Permits Section 4.06(6)(A) regarding the number of dogs allowed on any premise; and

WHEREAS, the Village Plan Commission reviewed a request from a resident and found that adjusting the limit from 2 to 3 dogs would be unlikely to cause any significant welfare issues; and

WHEREAS, the Village Board periodically reviews code sections for updates based upon requests from the public and to reflect modern times and practices; and

WHEREAS, the Village Board Members are committed to aligning the Village of Sussex Municipal Code with opportunities to support public desires without jeopardizing public safety or welfare.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1. Sub Section 4.06(6)(A) regarding number of dogs on any premise is hereby repealed and recreated to read as follows with the text addition in **red** and underlined:

- A. It shall be unlawful to keep more than ~~two (2)~~ three (3) dogs over the age of 5 months upon any premises within any district within the Village except in a dog shelter or a kennel duly authorized by the Village.

SECTION 3. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 3. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2023.

VILLAGE OF SUSSEX

Anthony LeDonne, Village President

ATTEST:

Jennifer Moore, Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2023.