



N64W23760 Main Street  
Sussex, Wisconsin 53089  
Phone (262) 246-5200  
FAX (262) 246-5222  
Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
Website: [www.villagesussex.org](http://www.villagesussex.org)

**AGENDA**  
**VILLAGE OF SUSSEX**  
**PLAN COMMISSION MEETING**  
**6:30 PM TUESDAY, May 16, 2023**  
**SUSSEX CIVIC CENTER – BOARD ROOM 2<sup>nd</sup> FLOOR**  
**N64W23760 MAIN STREET**

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of April 18, 2023.
3. Consideration and possible action on Permitted Uses and Plans.
  - a. Discussion and possible action on a Plan of Operation for Liliana's Fine Jewelry located at N64W24678 Main Street.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
  - a. Public Hearing on an amendment of a Conditional Use Permit for a reoccurring car and bike night at Sussex Bowl located at N64W24576 Main Street.
  - b. Consideration of a Conditional Use Permit for outdoor storage in associated with the T-Mobile cell tower collocation on Freiheit Court.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
  - a. Discussion and possible action on a detached garage in the B-4 Central Mixed Use Business District in accordance with Section 17.0419(I)(1) for the property located at N64W23602 Main Street.
  - b. Discussion and possible action on a sidewalk requirement waiver in accordance with Section 18.0807 and a preliminary Condo Plat dividing ownership of the parcel identified by Tax Key No. 0231019 into two separate tax key numbers.
  - c. Public Hearing and discussion and possible action for an auxiliary use exceeding the allowed 10 days in a calendar year at the Thirsty Duck in accordance with Section 17.0710(B)(C) Auxiliary Uses.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne  
Chairperson

\_\_\_\_\_  
Jeremy J. Smith  
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**DISCLAIMER- THE FOLLOWING ARE DRAFT MINUTES FROM  
THE PLAN COMMISSION AND ARE  
SUBJECT TO CHANGE UPON APPROVAL OF THE VILLAGE BOARD**

**VILLAGE OF SUSSEX  
PLAN COMMISSION  
6:30PM TUESDAY, APRIL 18, 2023  
SUSSEX CIVIC CENTER – BOARD ROOM 2<sup>ND</sup> FLOOR  
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:30pm at the Sussex Civic Center – Board Room 2<sup>nd</sup> Floor N64W23760 Main Street, Sussex, WI.

Members present: Trustee Greg Zoellick, Commissioners Roger Johnson, Debbie Anderson, and Village President Anthony LeDonne, Mike Knapp, and Jim Muckerheide (arrived 6:32pm)

Members excused: Commissioner Mike Schulist

Others present: Community Development Director Gabe Gilbertson, Village Administrator Jeremy Smith, Village Attorney John Macy, Village Clerk Jennifer Moore, and members of the public.

A quorum of the Village Board was not present at the meeting.

**Consideration and possible action on the minutes on the Plan Commission meeting of March 21, 2023.**

A motion by Knapp, seconded by Johnson to approve the minutes of the Plan Commission meeting of March 21, 2023 as presented. Motion carried 5-0

**Consideration and possible action on a Plan of Operation for Redemption Fitness located at W227N6193 Sussex Rd.**

A representative for the petitioner was present to answer any questions. A motion by Johnson, seconded by Anderson to approve the Plan of Operation for Redemption Fitness located at W227N6193 Sussex Rd subject to the standard conditions of Exhibit A. Motion carried 6-0

**Consideration and possible action on a Site Plan review for a generator at a wireless communication tower owned by AT&T located at W240N6585 Maple Avenue**

A motion by LeDonne, seconded by Zoellick to approve the site plan for the emergency generator located at W240N6585 Maple Avenue. Motion carried 6-0

**Consideration of a Conditional Use Permit for the Cruise In car and bike night at Sussex Bowl located at N64W24576 Main Street**

A representative for the petitioner was present to answer any questions. A motion by LeDonne seconded by Zoellick to schedule a public hearing for the May Plan Commission meeting.

Motion carried 6-0

**Consideration and possible action on for a Site Plan and Plan of Operation in conjunction with a Special Event Permit for a proposed car and bike night at Sussex Bowl located at N64W24576 Main Street.**

A representative for the petitioner was present to answer questions.

The petitioner was notified by the Village Attorney that they must follow all Wisconsin liquor laws or the Sussex Bowl liquor license may be in jeopardy.

Live music will be allowed between 5:00 – 8:00pm.

Recorded music will be allowed between 8:00 – 10:00pm.

Each event will include both cars and motorcycles.

There is a written agreement in place with the Wessex Center for additional parking.

Petitioner has submitted security plan to police and fire departments in lieu of hiring security. Both departments have approved of the security plan.

Motion by LeDonne, seconded by Muckerheide to recommend to the Village Board approval of the Plan of Operation and Site Plan subject to the amended conditions. Motion Carried 5-0

**Consideration and possible action on a Sign Permit application for a new monument sign with an Electronic Message Sign component in accordance with Section 17.0807(C) for Sussex Bowl located at N64W24576 Main Street.**

A motion by Knapp, seconded by LeDonne to find that:

- a. The message sign is part of a ground or monument sign
- b. The sign will not interfere with the visibility of any traffic signal
- c. The character and design of the sign is compatible with the general area and building, and that the impact of such a sign will not visually impact any nearby residential areas
- d. Multi-tenant buildings shall coordinate such that only one electronic message sign shall be allowed for the Development

And to approve the application for a new monument sign with an Electronic Message Sign component for Sussex Bowl located at N64W24576 Main Street provided it meets all village code.

Motion Carried 5-0

**Other Items for Future Discussion**

Commissioner Knapp would like staff to research ordinances regarding the size of a community pool and the number of residents served by said pool.

**Adjournment**

A motion by LeDonne, seconded by Zoellick to adjourn the meeting at 7:07p.m.

Motion carried 5-0

Respectfully submitted,  
Jennifer Moore  
Village Clerk



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## MEMORANDUM

TO: Plan Commission  
FROM: Gabe Gilbertson, Community Development Director  
RE: Plan Commission meeting of May 16, 2023  
DATE May 5, 2023

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

**02. Minutes of the Plan Commission meeting of April 18, 2023.**

**03. Consideration and possible action on Permitted Uses and Site Plans:**

**A. Discussion and possible action on a Plan of Operation for Liliana's Fine Jewelry located at N64W24678 Main Street.**

This site is zoned B-1 Neighborhood Business. Liliana's Fine Jewelry is taking over ownership of the existing Andrey's Fine Jewelry business at the multitenant complex known as the Wessex Center. According to the Plan of Operation application, the hours of operation will be between 10:00 am and 6:00 pm Tuesday through Friday and between 10:00 am and 5:00 pm on Saturdays. There will be one employee with only one shift. The site has 87 parking stalls and 85 stalls are required.

**Policy Question:**

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

**Action Items:**

1. Act on the Plan of operation

**Staff Recommendation:** Staff recommends approval of the Liliana's Fine Jewelry Plan of Operation located at N64W24678 Main Street subject to the standard conditions of Exhibit A.

**04. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans:**

**A. Public Hearing on an amendment to the 2020 Conditional Use Permit for a car and bike night at Sussex Bowl located at N64W24576 Main Street.**



The subject property is zoned B-1 Neighborhood Business District. Sussex Bowl submitted an application to hold a car and bike night on Mondays beginning in May and going through September. The application states the event would be from 4:00 pm until 10:00 pm and would consist of live music from 5:00 pm until 8:00 pm with pre-recorded music from 8:00 pm until 10:00 pm.

Sussex Bowl has an existing conditional use permit for the Bowling Alley, outdoor operations that include volleyball, bag tournaments, and the outdoor bar. Since the proposed car and bike night would be in addition to those items and would change their plan of operation and site plan, an amendment to the conditional use permit is required.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

**Policy Question:**

1. Are there any concerns with the Conditional Use or Plan of Operation?
  - a. The Plan Commission has reviewed and approved a temporary use permit that allowed this same event for two times a month in May, June, and July. The conditional use permit is to allow the event to occur weekly on Monday nights beginning in August and subsequent years.
2. Are there any concerns from the public hearing you want added in the CU document?

**Action Items:**

1. Direct staff to prepare the Conditional Use Order and to reconvene the public hearing on the Conditional Use Order for the June 20, 2023 Plan Commission meeting.

**Staff Recommendation:**

Staff recommends preparing the Conditional Use Order and reconvening the public hearing at the June 20, 2023 Plan Commission meeting.

**B. Consideration of a Conditional Use Permit for outdoor storage in associated with the T-Mobile cell tower collocation on Freiheit Court.**

The subject property is zoned B-2 Regional Business District. T-Mobile submitted plans to collocate on the Freiheit Court cell tower and at its March 21, 2023 Plan Commission meeting, the Board made the determination that the collocation was not substantial and approved a site plan for the installation of the ground equipment in association with the collocation.

The site plan was approved subject to the ground equipment being placed inside of an equipment shelter similar to the shelter that is currently there or submit for a conditional use permit for the outdoor storage in accordance with Section 17.0500(A)(11)(a) that states that outside storage maybe permitted with a conditional use permit for commercial uses in the B-2 District and that in all cases, outside storage shall be screened from all sides.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

**Policy Question:**

1. There are no policy questions this month as this item is on the agenda for scheduling purposes only.
  - a. The applicant is drafting the Impact Statement and will submit it to Staff prior to the June public hearing.

**Action Items:**

1. Direct staff to schedule the public hearing.

**Staff Recommendation:** Staff recommends scheduling the public hearing for the June 20, 2023 meeting.

**05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items:**

**A. Discussion and possible action on a detached garage in the B-4 Central Mixed Use Business District in accordance with Section 17.0419(I)(1) for the property located at N64W23602 Main Street.**

The property owner submitted an application to remove the existing two-car garage and replace it with a new two-car garage at the subject property. Section 17.0419(I)(1) states that building permits in the B-4 Central Mixed Use District shall not be issued without review and approval of the Plan Commission and the Architectural Review Board.

The proposed garage would be 30 feet by 40 feet and would be placed in the same location as the existing garage. The siding would be LP Engineered Wood. The garage would be required to meet the minimum setback requirements in the Zoning Code of 15 feet from the rear yard property line, 5 feet from the side yard property lines, and the structure may only be located in the rear yard.

**Policy Question:**

1. Does the Plan Commission have any issues with the site plan?
2. Are there are property maintenance concerns that need to be addressed at this time?

**Action Items:**

1. Approve the proposed detached garage.

**Staff Recommendation:** Staff the Plan Commission approve the two-car detached garage located at N64W23602 Main Street.

**B. Discussion and possible action on a Condo Plat dividing ownership of the parcel identified by Tax Key No. 0231019 into two separate tax key numbers.**

The subject property is currently a single tax key number with a duplex. The owner is looking complete a condo plat to assign separate tax key numbers to the parcel to allow for the sale of one of the duplex units. There are multiple duplexes within the Sussex Estates subdivision that have undergone the condo plat process to have separate tax key numbers.

**Policy Question:**

1. Are there any concerns with the Condo Plat?
2. Section 18.0807 states that the Plan Commission can waive or require additional sidewalks with a  $\frac{3}{4}$  vote of members seated if the Plan Commission finds that:
  - a. Pedestrian amenities such as parks, commerce centers, or other public spaces require additional pedestrian access for public safety, and connectivity, or
  - b. Site topography and or environmental protected areas are present that that the installation of a sidewalk would cause undue harm to the environment and that alternative pedestrian access and safety has been provided at the location, or
  - c. The site plan provides an alternative pedestrian transportation plan that accomplishes the same goal of a sidewalk and provides safe legal access from each residence and for the public to the larger sidewalk/trail network of the Village through the development.

**Action Items:**

1. Recommend the Plan Commission waive the requirement of additional sidewalks in accordance with Section 18.0807 and grant preliminary plat approval.

**Staff Recommendation:** Staff recommends the Plan Commission waive the requirement for additional sidewalks in accordance with Section 18.0807 and grant preliminary approval for the Condo Plat for parcel SUXV0231019 subject to the standard conditions of Exhibit A and the conditions listed below:

1. Submitting a revised Condo Plat to Village Staff addressing the conditions listed in the Engineering Memo dated May 1, 2023.
2. The Plan Commission makes the finding that the existing subdivision provides alternative pedestrian transportation that accomplishes the same goal of a sidewalk.

**C. Public Hearing on an auxiliary use in excess of 10 days in a calendar year in accordance with Section 17.0710(B)(c) for a bike night at Thirsty Duck.**

The subject property, owned by Thirsty Duck, is zoned B-4 Central Mixed Use. The applicant is proposing a weekly bike night on Tuesdays. The submitted Plan of Operation states that the bike night would occur on Tuesday nights in the months of May, June, and July from 5:00 pm until 8:00 pm.

There would be a designated area in the parking lot where alcohol would be served and possibly a speaker for pre-recorded music. The applicant stated that they would not be closing or limiting any areas of the parking lot for motorcycle-only parking. According to Thirsty Ducks Plan of Operation approval, the site has 118 parking stalls with 12 additional stalls on the west side of Waukesha Ave. The use is required to have 126 stalls, however, the B-4 District allows for public parking to count towards the required number of parking stalls.

Section 17.0710 of the municipal code regulates Auxiliary Uses and permits up to 10 days or partial days of an auxiliary use in a year. Section 17.0710(B)(c) allows a business to exceed those 10 days if a public hearing is held by the Plan Commission in accordance with the notice requirements found within the Conditional Use section of the Code. Section 17.0503(A)(3) of the Condition Use section of the Municipal Code states to refer to Section 17.1401 for the Public Hearing procedure and Section 17.1401 states that notice of the public hearing shall be mailed to all parties-in-interest at least 10 days before the hearing.

**Policy Questions:**

1. Are there any concerns from the public hearing the Plan Commission wants added as conditions of approval?
2. Are there any concerns with the submitted site plan?
3. Does the Plan Commission make the following findings from Section 17.0710(B):
  - a. The Auxiliary use has a considerable and reasonable purpose and nexus to the permitted use of the property.
  - b. The Auxiliary use is compatible with the permitted uses of the district and does not go against the spirit of the code. 17.0700 Page 14 of 15 9/22/2015 ORD.806 17.0704 A.2 04/07/2021 ORD. 875
  - c. If the Auxiliary use is more than 10 days or portions of a day total in a year, than a public hearing is required for the auxiliary use with the notice requirements found within the Conditional Use section. In no case shall an auxiliary use be more than 100 days total or portions of a day per year.
  - d. The Auxiliary use will not interfere with the necessary parking to operate the permitted use and will not result in parking off of an approved hard surface such that the ground becomes in disrepair.
  - e. The Auxiliary use will not interfere with public safety as determined by the Fire Chief and Waukesha Sheriff's Department
  - f. The Auxiliary use is unlikely to impact the health, welfare, or safety of the neighborhood or area due to the limited nature of the auxiliary event and protocols to be used by the auxiliary users to minimize external impact.
  - g. The Auxiliary use has the necessary outside establishment permit or outside storage permissions as required by the code if relevant to that type of use.
  - h. If the Auxiliary use involves the sale or consumption of alcohol the petitioner has properly planned for the safety and welfare of the public.
  - i. If the Auxiliary use involves a concert or music to be played outdoors and said property is within 200 feet of a residential property than a public

hearing is required on the use of music for the auxiliary uses with the notice requirements found within the Conditional Use section.

**Action Items:**

1. Make the 9 findings as listed above and approve act on the Auxiliary Use Permit.

**Staff Recommendation:** Staff recommends the Plan Commission make the 9 findings listed above and grant approval for Thirsty Duck to have a weekly Tuesday night bike night for the months of May, June, and July subject to the following conditions:

1. The Thirsty Duck bike night shall only be on Tuesdays nights for the months of May, June, and July.
2. Outdoor pre-recorded music is permitted from 5:00 pm until 8:00 pm.
3. Submit a security plan to the Village for review and approval by the Police and Fire Departments.
4. Outdoor alcohol consumption shall only occur on the dates and within the boundaries approved as part of the liquor license premise amendment.

6. **Other Items for future discussion.**

7. **Adjournment.**



Project Name LILIANA'S FIRE JEREMY

Tax Key # 231.999.002

## VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to [ggilbertson@villagesussex.org](mailto:ggilbertson@villagesussex.org).

The following fees are required at the time of submittal:

|   |          |
|---|----------|
| <input checked="" type="checkbox"/> Plan of Operation fee   | \$175.00 |
| <input type="checkbox"/> Conditional Use fee (if necessary) | \$210.00 |
| <input type="checkbox"/> Pre Occupancy inspection fee       | \$100.00 |

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: \_\_\_\_\_  
\_\_\_\_\_

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: LILIANA RASIC Phone # 630-893-9778  
E-mail: SPRINGUINO@HOTMAIL.COM

For office use only:

Met with staff on: \_\_\_\_\_

Paid fees on: 5/1/23

To be on the Plan Commission Agenda for: 5/16/23

Original forms to the following:

Plan of Operation to Jeremy 5/1/23

Service reimbursement \_\_\_\_\_

Emergency Contact to Sheriff Dept \_\_\_\_\_

Wastewater Permit to WWTP \_\_\_\_\_

PAID 5/1/23 CHECK NO. 2013  
EG

Any outstanding fees owed on the property? \_\_\_\_\_



## PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? \_\_\_\_\_ If yes, is this a new CU? \_\_\_\_\_

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? \_\_\_\_\_

Tax Key # \_\_\_\_\_

Zoning: \_\_\_\_\_

Address of Tenant Space: N64W24678 Main Street Unit 2, Sussex, WI 53089

1. Name of Business:  
Liliana's Fine Jewelry

Business

N64W24678 unit 2, Main street, Sussex WI 53089

| Address                      | City, State, Zip | Phone #      |
|------------------------------|------------------|--------------|
| N64W24678 Main street Unit 2 | Sussex, WI 53089 | 630-893-9778 |

| Fax # | Email address |
|-------|---------------|
|-------|---------------|

2. Business owner contact information:

Liliana Rasic

Contact

Liliana Rasic

| Address  | City, State, Zip | Phone #      |
|--|------------------|--------------|
| 107 Glengarry drive, unit 102 Bloomingdale, IL 60108 |                  | 630-893-9778 |

| Fax # | Email address |
|-------|---------------|
|-------|---------------|

3. Building/Land owner contact information:

Baceline Group

Contact

JacquelineLaing

| Address      | City, State, Zip | Phone #      |
|--------------|------------------|--------------|
| 511 Broadway | Denver, CO 80203 | 720-382-2956 |

| Fax # | Email address |
|-------|---------------|
|-------|---------------|

4. Number of Employees/Shifts: 1 1

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours  
Open for business

| Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|--------|---------|-----------|----------|--------|----------|--------|
| *      | 10-6    | 10-6      | 10-6     | 10-6   | 10-5     | *      |
| *      | 8       | 8         | 8        | 8      | 8        | *      |

6. Is this an extension of an existing operation? change of ownership only
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? NO Do you need an Outdoor Establishment Permit? NO  
If yes, explain: N/A  
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: N/A
11. Dimension of area to be occupied \_\_\_\_\_ Total square footage 1,395  
If applicable list square footage according to 1<sup>st</sup> floor \_\_\_\_\_ 2<sup>nd</sup> floor \_\_\_\_\_

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:  
Total Number of Parking Spaces \_\_\_\_\_ Number of spaces needed per code \_\_\_\_\_  
Number of spaces allocated for employee parking \_\_\_\_\_  
Dimensions of parking lot \_\_\_\_\_ Is parking lot paved? \_\_\_\_\_

13. Signage: What type of signage are you proposing for your business?

Business sign is almost same as for the old business. Just changing to: Lilianas

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Liliana Rasic  
Name  
President  
Title or Position

04/28/23  
Date

I am aware and approve of the business to be operating in the building owned by \_\_\_\_\_.

\_\_\_\_\_  
Name  
\_\_\_\_\_  
Title or Position

\_\_\_\_\_  
Date





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Sussex, Wisconsin 53089  
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Website: [www.villagesussex.org](http://www.villagesussex.org)

**VILLAGE OF SUSSEX  
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

**PLEASE PRINT LEGIBLY**

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Liliana Rasic, N64W24678 unit2 Main Street, Sussex WI 53089

---

Liliana's Fine Jewelry

---

Business Name: Liliana's Fine Jewelry

Name of Owner and Address of the Property involved in the Request (if different from above):

SAME

---

Liliana Rasic

---

Tax Key No. of the Property involved in the Request: SUXV

Liliana Rasic  
Signature of Property Owner and /or Authorized Agent

04/28/23  
Date

---

Signature of Village Official Accepting Form

---

Date

*A copy of this completed form shall be provided to the Village Clerk for billing purposes.*



## WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Liliana's Fine Jewelry

Address: N64W24678 unit 2, Main street, Sussex WI 53089

Owner/Operator: Owner

Standard Industrial Classification #: \_\_\_\_\_

How many people do you employ? my self

What are your businesses hours of work? 10 am to 6pm Tue-Sat. Mon Sun off

Who is responsible for water quality? ( List job titles)

\_\_\_\_\_

Time and Duration of Discharge: \_\_\_\_\_

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

\_\_\_\_\_

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

We have nothing to do with processing.

\_\_\_\_\_

\_\_\_\_\_

Please list each product your business produces. (Include type, amount and rate of production):

no production just sales

\_\_\_\_\_

\_\_\_\_\_

What are the constituents and characteristics of your wastewater?

N/A

\_\_\_\_\_

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



**Village of Sussex Fire Department**  
**N63 W24335 Main Street**  
**Sussex, Wisconsin 53089**

Fire Station - *PHONE*  
262-246-5197  
Fire Station - *FAX*  
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

**Business Name:** Liliana's Fine Jewelry  
**Business Address:** N64W24678 Main Street unit 2, Sussex  
**Business Phone #:** 630-893-9778  
**Business Email:** springuino@hotmail.com

**Business Emergency Contacts**

**Name and Phone #:** Liliana Rasic 630-893-9778  
**Name and Phone #:** Daniel Rasic 630-4610437  
**Name and Phone #:** \_\_\_\_\_  
**Building Owner Name:** Jacqueline Laing 730-382-2956  
**Building Owner Email:** JLaing@bacelinegroup

**Building Owner Emergency Contacts**

**Name and Phone #:** same  
**Name and Phone #:** same

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No





Project Name Sussex Bowl  
Tax Key # 231.999.012

## VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to [ggilbertson@villagesussex.org](mailto:ggilbertson@villagesussex.org).

The following fees are required at the time of submittal:

|  |          |
|--|----------|
| <input checked="" type="checkbox"/> Plan of Operation fee              | \$175.00 |
| <input checked="" type="checkbox"/> Conditional Use fee (if necessary) | \$210.00 |
| <input type="checkbox"/> Pre Occupancy inspection fee                  | \$100.00 |

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: PAID 3/13/23 CHECK NO. 13568

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Beth Kjell Cell 608 575 8786  
Phone # 262-246-6808  
E-mail: Beth@sussexbowl.com

For office use only:

Met with staff on: \_\_\_\_\_  
Paid fees on: \_\_\_\_\_  
To be on the Plan Commission Agenda for: \_\_\_\_\_  
Original forms to the following:  
Plan of Operation to Jeremy \_\_\_\_\_  
Service reimbursement \_\_\_\_\_  
Emergency Contact to Sheriff Dept \_\_\_\_\_  
Wastewater Permit to WWTP \_\_\_\_\_  
  
Any outstanding fees owed on the property? \_\_\_\_\_



## PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? Yes

Tax Key # 231.999.012

Zoning: B-2 NEIGHBORHOOD BUSINESS

Address of Tenant Space: N64 W24576 Main St

1. Name of Business: Sussex Bowl

Business Address: N64 W24576 Main St Sussex WI 53089 Phone # 262-246-6808

Email address: Dan@Sussexbowl.com

Fax #

2. Business owner contact information:

Contact: Stephen Hoehner

Address: N80W22910 PLAINVIEW RD SUSSEX, WI 53089

City, State, Zip: SUSSEX, WI 53089 Phone #

Email address: Stephen@Sussexbowl.com 262-719-2189

Fax #

3. Building/Land owner contact information:

Contact: KIM STASZ-NICHOLAS

Address: 9235 N 60th St Brown Deer, WI 53223

City, State, Zip: SUSSEX, WI 53089 Phone # 414-333-9014

Fax #

Email address

4. Number of Employees/Shifts: 40 Employees

Varies daily Shifts

5. Days of Operation:

Put an X in box that applies:  
Hours  
Open for business

| Monday  | Tuesday | Wednesday | Thursday | Friday  | Saturday | Sunday  |
|---------|---------|-----------|----------|---------|----------|---------|
| X       | X       | X         | X        | X       | X        | X       |
| 9AM-2AM | 9AM-2AM | 9AM-2AM   | 9AM-2AM  | 9AM-2AM | 8AM-2AM  | 8AM-2AM |

6. Is this an extension of an existing operation? yes
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? \_\_\_\_\_ Do you need an Outdoor Establishment Permit? \_\_\_\_\_  
If yes, explain: \_\_\_\_\_  
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? Che/Bike Show weekly on Monday / Live Music or DJ
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? yes If yes, explain: Music shall play for 3 hrs (6-9, 5-8 or 5<sup>30</sup>-8<sup>30</sup>)
11. Dimension of area to be occupied \_\_\_\_\_ Total square footage \_\_\_\_\_

If applicable list square footage according to 1<sup>st</sup> floor \_\_\_\_\_ 2<sup>nd</sup> floor \_\_\_\_\_

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:  
Total Number of Parking Spaces 166 / 4 Number of spaces needed per code \_\_\_\_\_  
Number of spaces allocated for employee parking \_\_\_\_\_  
Dimensions of parking lot \_\_\_\_\_ Is parking lot paved? \_\_\_\_\_

13. Signage: What type of signage are you proposing for your business?

New sign info provided - awaiting approval.  
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Stephen Hoehnen  
Name  
President  
Title or Position

3-12-23  
Date

I am aware and approve of the business to be operating in the building owned by Kim Stare-Nicholas.

Stephen Hoehnen  
Name  
President  
Title or Position

3-12-23  
Date



**Village of Sussex Fire Department**  
**N63 W24335 Main Street**  
**Sussex, Wisconsin 53089**

Fire Station - *PHONE*  
262-246-5197  
Fire Station - *FAX*  
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

**Business Name:** Sussex Bowl  
**Business Address:** N64 W24576 Main St Sussex WI 53089  
**Business Phone #:** 262-246-6808  
**Business Email:** Stephen@sussexbowl.com

**Business Emergency Contacts**

**Name and Phone #:** Stephen Hoehnen  
**Name and Phone #:** Cassie Hoehnen  
**Name and Phone #:** \_\_\_\_\_

**Building Owner Name:** Kim Starz-Nicholas  
**Building Owner Email:** BOLANES@SPCGLOBAL.NFT

**Building Owner Emergency Contacts**

**Name and Phone #:** Lee Nicholas 414-750-3867  
**Name and Phone #:** KIM STARZ-NICHOLAS 414-333-9014

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☒ No





# WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Sussex Bowl

Address: N64 W24576 Main St Sussex WI 53089

Owner/Operator: Stephen Hochman

Standard Industrial Classification #: N/A

How many people do you employ? 40+

What are your businesses hours of work? Sunday - Saturday 8AM - 2AM

Who is responsible for water quality? (List job titles)  
N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates (Include any daily, monthly or seasonal variations):  
N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

N/A

Please list each product your business produces. (Include type, amount and rate of production):

N/A

What are the constituents and characteristics of your wastewater?

N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form





N64W23760 Main Street  
Sussex, Wisconsin 53089  
Phone (262) 246-5200  
FAX (262) 246-5222  
Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
Website: [www.villagesussex.org](http://www.villagesussex.org)

**VILLAGE OF SUSSEX  
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

**PLEASE PRINT LEGIBLY**

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Same as below;

Business Name: Sussex Bowl

Name of Owner and Address of the Property involved in the Request (if different from above):

Stephen Hoehnen

N64W24576 Main St Sussex WI 53089

Tax Key No. of the Property involved in the Request: SUXV \_\_\_\_\_

Signature of Property Owner and/or Authorized Agent

5-12-23

Date

\_\_\_\_\_  
Signature of Village Official Accepting Form

\_\_\_\_\_  
Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

## Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests participating in cruise in will enter off Main Street and follow route around to park accordingly in spots ( 1 car or truck 1 spot, 2 bikes 1 spot) directed by SB employees dressed in bright staff/security shirts .
- Our parking Lot will be monitored at 4pm to accommodate cruise in guests by SB volunteers/employees at entrance, exit and directing motorized participants & guests to appropriate parking. A SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot. Permissions have been given from Property Manager & tenants.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1<sup>st</sup> - May 5<sup>th</sup>.
- Cruise In Event shall run Every Monday starting May 8<sup>th</sup> through August 28<sup>th</sup> from 4pm - 10pm. (Current permissions for 5/8, 5/22, Live music or DJ will be available & on stage from 5pm-8pm.
  - Additional Temporary beer/soda stand outside of building a possibility. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. ( 1<sup>st</sup> year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building or from volleyball area.

April 10, 2023

Village of Sussex License Committee

Revised Extension of Premise

Sussex Bowl Monday Night Outdoor Pistons & Pins Events May through September

Our current License allows the sale of alcoholic beverages to be sold inside of Sussex Bowl & beverages can be consumed outside in our volleyball courts, bags area & front patio area.

1. We would like to expand the area to include the entire parking lot for our Monday Night events to run from 4pm-10pm. All guests will be wrist banded to show proper ID has been shown for consumption of alcoholic beverages. There will be alcoholic beverages served from the Volleyball bar area bar, inside bar and possibly a smaller mobile beer station. The outside bars will be closed by no later than 10:00pm unless noted to Village Hall.
2. We will have live music or a DJ performing in the volleyball area from 5pm - 8pm. Within the volleyball area the speakers will be monitored and modified as need be with a decibel meter within village guidelines. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.
3. There will be a one-way entrance into Sussex Bowl on Main Street & an exit onto Pewaukee St monitored & directed by staff at Sussex Bowl.
4. Other parking available to guests will be on Pewaukee Rd, and we have made arrangements for parking at the Wessex Centre with the tenants and have received permission from Baceline (Property Management) after they close.

Thank you for your time and consideration of our plan. We look forward to bringing more awareness to the youth of the area of great machinery shown throughout the summer season and contributing to a variety of charities throughout the years. Any questions please feel free to contact Stephen Hoehnen 262-719-2189 or Beth Kjell 608-575-8786

Sincerely,

## Sussex Bowl Impact Report for Sussex Bowl's Pistons & Pins Cruise in 2023

Traffic – Should not be disrupted as we will have a dedicated entrance & exit from 4pm – 10pm

Parking – will be limited to one side of Pewaukee Road. We will be responsible for temporarily blocking off one side of the street parking sited by Fire Dept. / Wessex tenants have signed off on acknowledgement paperwork that we will be using their lot for overflow. Parking would continue as normal for the rest of Pewaukee Road. We've made an inquiry with our insurance agent about adding Wessex (Baceline Group) to our Certificate of Insurance for Mondays.

1. Noise – We will maintain whatever level decibel the village allows by utilizing a decibel meter as needed. Live music or DJ shall cease at 8:00pm. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.

Odor – We do not anticipate any odor out of the ordinary to occur.

Safety – Large orange cones will mark crossing from Wessex (this will be a process to see where heavy volume occurs) Our staff will be in bright colored shirts, so guests or village personnel know who to talk to for questions.

Crime – We do not anticipate any crime related activity.

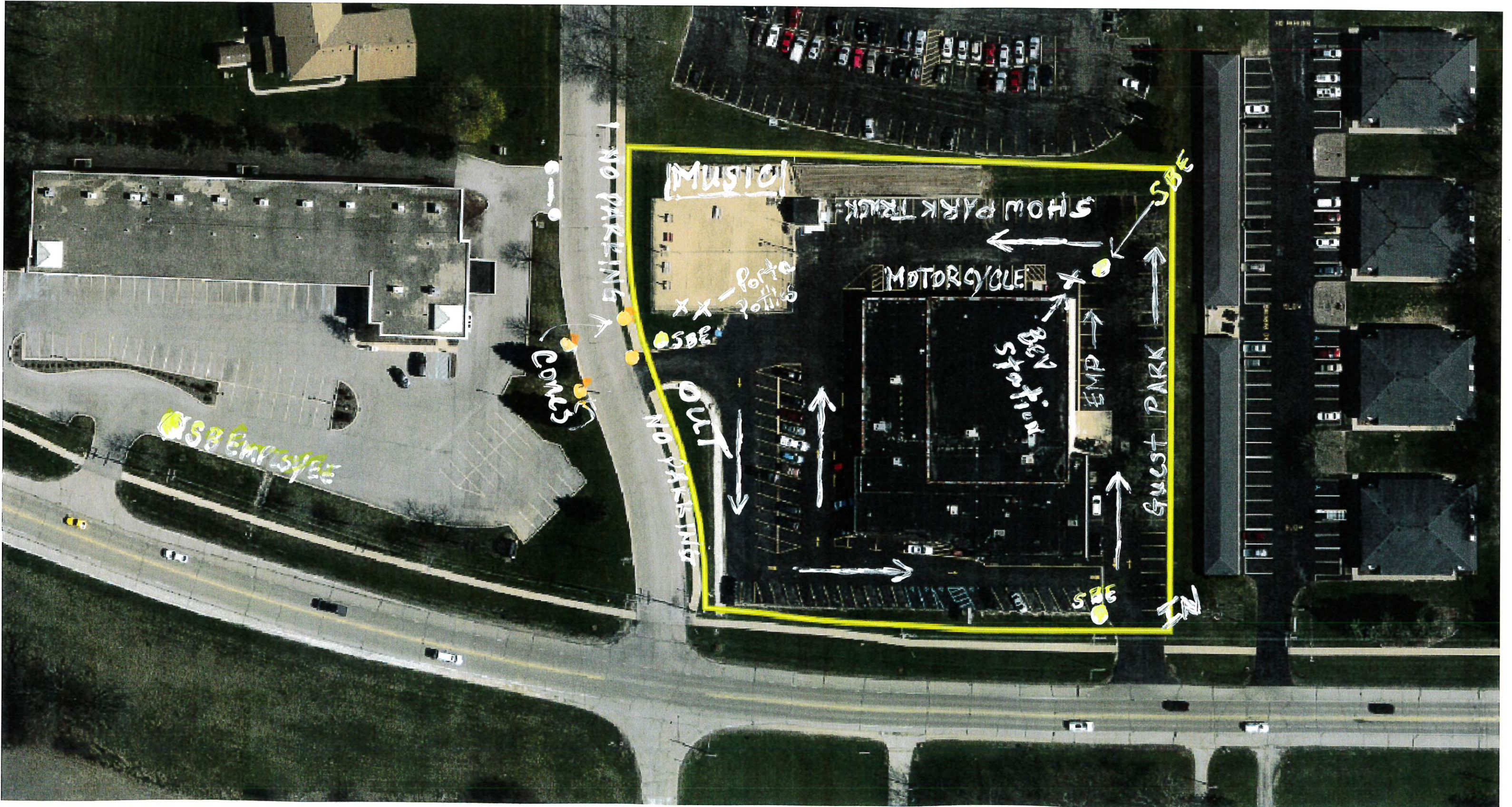
Hours of Operation – The outside area will be operating from 4pm (2/3pm set up) till 10pm.

Health & Sanitation – We will have (2) port potties on site along with multiple trash & recycling stations. We have (3) full bathroom facilities inside the bowling center with hand washing stations in each available for all guests.

Property Maintenance – We maintain our own property and will pick up all debris in Wessex Lot on Monday's when shows occur throughout the cruise in year ( May – August )

Any questions or concerns, feel free to contact me at 608-575-8786







## The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested

person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

## **The Zoning District Standards Section 17.0416 B-1 Neighborhood Business District**

### **17.0416 B-1 NEIGHBORHOOD BUSINESS DISTRICT**

The B-1 Business District is intended to provide for individual or small groups of retail and customer service establishments serving primarily the convenience of a local neighborhood, and the character, appearance, and operation of which are compatible with the character of the surrounding area.

#### **A. Permitted Uses**

1. Accommodations and Food Service
  - (a) Bed and breakfast establishments
  - (b) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
  - (c) Food service contractors and caterers
2. Arts, Entertainment, and Recreation Services
  - (a) Promoter, agent, artists offices/studio

3. Educational, Health Services, and Social Services
  - (a) Fine arts and language schools and studios
  - (b) Automobile driving school
  - (c) General medical services
  - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.
4. Finance, Insurance, Real Estate, and Leasing
  - (a) Financial service institutions, excluding drive through
  - (b) Financial investment, insurance offices, and similar financial products
  - (c) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
  - (d) Office equipment rental and leasing
5. General Services
  - (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
  - (b) Barber, beauty, nail salons, spa treatment services
  - (c) Personal care and weight loss services
  - (d) Funeral home and funeral services
  - (e) General business offices
6. Information Services
  - (a) Motion picture and video production
7. Professional, Technical, Scientific, and Administrative Services
  - (a) Legal, notaries, and title services
  - (b) Accountants, tax preparation, payroll, and other accounting services
  - (c) Architects, landscape architects, engineering, surveying services
  - (d) Interior, industrial, graphic, and fashion design services
  - (e) Consulting/professional services, advertising, management, HR, marketing, IT.
  - (f) Research and development facilities excluding industrial types
  - (g) Translation and interpretation services
  - (h) Employment placement and provider services
  - (i) Private investigators, locksmiths, security, and armored car services
  - (j) Janitorial services
8. Retail Trade
  - (a) Furniture, flooring, and home furnishing stores



- (b) Appliances, electronics, camera, office supply and copying stores
- (c) Home improvement and hardware stores
- (d) Grocery, convenience, and specialty food stores/markets
- (e) Liquor/package beverage and tobacco stores
- (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
- (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
- (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
- (i) Gift shops, florists, variety stores, antiques, used merchandise
- (j) Pet and pet supply stores
- (k) Art dealers/store

9. Manufacturing/Assembly

- (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.

10. Public Administration and Government Services

- (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.

11. Transportation and Warehousing

- (a) U.S. postal service
- (b) Courier, delivery, postal service businesses

B. Permitted Accessory Uses

- 1. Garages for storage of vehicles used in conjunction with the operation of business.
- 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
- 3. Residential quarters for the owner or proprietor, located in the same building as the business.
- 4. Efficiency and one-bedroom residential apartments on a non ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
- 5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
- 6. Roof-mounted, solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.

C. Conditional Uses

- 1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
- 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.

D. Lot Area and Width

- 1. Lots shall be a minimum of 5,000 square feet in area and shall not be less than 60 feet in width.

2. Individual business sites in the B-1 Business District shall provide sufficient area for the principal building and its accessory buildings, off-street parking and loading areas, and required yards. There is no required minimum site width.
  3. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
- E. Building Height and Area
1. No principal building or parts of a principal building shall exceed 30 feet in height.
  2. The maximum square footage of the principal building shall not exceed 30,000 square feet in size.
- F. Setback and Yards
1. There shall be a minimum building setback of 25 feet from the right-of-way of all streets.
  2. No separation shall be required between business, service or commercial uses. No structure shall be closer than 15 feet to a side lot line.
  3. There shall be a rear yard of not less than 15 feet.
  4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.
- G. Erosion Control
1. See Chapter 14 of the Municipal Code of the Village.
- H. Development Design Guidelines
1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- I. Plans and Specifications to be submitted to Plan Commission
1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

## 17.0506

### CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report

along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

2. Arts, Entertainment, and Recreation: Petitioners for conditional uses in the Arts, Entertainment, and Recreation section below must prove if the use involves the discharge of weapons that the building and site design have been established to both prevent any bullet, arrow, or other item from leaving the subject property and prevent anyone unauthorized; from access to where they may be impacted by the discharge of the weapon(s).
  - a) Archery Ranges, bathhouses, beaches, boating, camps, conservatories, driving ranges, firearm ranges, golf courses, ice boating, marinas, polo fields, riding academies, and stadiums in the A-1 district provided that the lot area is not less than three (3) acres and all structures are not less than 50 feet from any district boundary.
  - b) Music/theater halls, museums, historical sites, zoological and botanical gardens in the B-1, B-3, and A-1 districts.
  - c) Commercial Recreation Facilities, such as arcades, bowling alleys, dance halls, driving ranges, gymnasiums, lodges, miniature golf facilities, physical fitness and recreational sports facilities, pool and billiard halls, racetracks, rifle ranges, tennis courts, volley ball courts, Turkish baths, swimming pools, and skating rinks, are conditional uses and may be permitted in the B-1,

## **Site Plan Review Standards 17.1000**

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.
3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along

the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

**Any other standards from Chapter 17 that may be relevant.**



Project Name T-Mobile ML89143A-NSD

Tax Key # SUXV0231989007

## VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

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The following fees are required at the time of submittal:

|  |          |
|--|----------|
| _____ Plan of Operation fee              | \$175.00 |
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| _____ Pre Occupancy inspection fee       | \$100.00 |

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Karol Fahey-Insite-Inc. as authorized agent of T-Mobile, 708-359-7638; Phone # \_\_\_\_\_  
E-mail: kfahey@insite-inc.com.

For office use only:

Met with staff on: \_\_\_\_\_  
Paid fees on: \_\_\_\_\_  
To be on the Plan Commission Agenda for: \_\_\_\_\_  
Original forms to the following:  
Plan of Operation to Jeremy \_\_\_\_\_  
Service reimbursement \_\_\_\_\_  
Emergency Contact to Sheriff Dept \_\_\_\_\_  
Wastewater Permit to WWTP \_\_\_\_\_

Any outstanding fees owed on the property? \_\_\_\_\_



## PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? \_\_\_\_\_ If yes, is this a new CU? \_\_\_\_\_

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? \_\_\_\_\_

Tax Key # \_\_\_\_\_

Zoning: \_\_\_\_\_

Address of Tenant Space: \_\_\_\_\_

### 1. Name of Business:

Business \_\_\_\_\_

Address \_\_\_\_\_ City, State, Zip \_\_\_\_\_ Phone # \_\_\_\_\_

Fax # \_\_\_\_\_ Email address \_\_\_\_\_

### 2. Business owner contact information:

Contact \_\_\_\_\_

Address \_\_\_\_\_ City, State, Zip \_\_\_\_\_ Phone # \_\_\_\_\_

Fax # \_\_\_\_\_ Email address \_\_\_\_\_

### 3. Building/Land owner contact information:

Contact \_\_\_\_\_

Address \_\_\_\_\_ City, State, Zip \_\_\_\_\_ Phone # \_\_\_\_\_

Fax # \_\_\_\_\_ Email address \_\_\_\_\_

4. Number of Employees/Shifts: \_\_\_\_\_

Employees

Shifts

### 5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

| Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|--------|---------|-----------|----------|--------|----------|--------|
|        |         |           |          |        |          |        |
|        |         |           |          |        |          |        |

6. Is this an extension of an existing operation? \_\_\_\_\_
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. N/A
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? \_\_\_\_\_ Do you need an Outdoor Establishment Permit? \_\_\_\_\_  
If yes, explain: \_\_\_\_\_  
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? \_\_\_\_\_
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? \_\_\_\_\_ If yes, explain: \_\_\_\_\_
11. Dimension of area to be occupied \_\_\_\_\_ Total square footage \_\_\_\_\_  
If applicable list square footage according to 1<sup>st</sup> floor \_\_\_\_\_ 2<sup>nd</sup> floor \_\_\_\_\_

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking: <sup>N/A</sup>  
Total Number of Parking Spaces \_\_\_\_\_ Number of spaces needed per code \_\_\_\_\_  
Number of spaces allocated for employee parking \_\_\_\_\_  
Dimensions of parking lot \_\_\_\_\_ Is parking lot paved? \_\_\_\_\_

13. Signage: What type of signage are you proposing for your business?

\_\_\_\_\_  
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title or Position

I am aware and approve of the business to be operating in the building  
owned by \_\_\_\_\_.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title or Position



N64W23760 Main Street  
Sussex, Wisconsin 53089  
Phone (262) 246-5200  
FAX (262) 246-5222  
Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
Website: [www.villagesussex.org](http://www.villagesussex.org)

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PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

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**PLEASE PRINT LEGIBLY**

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

---

---

Business Name: \_\_\_\_\_

Name of Owner and Address of the Property involved in the Request (if different from above):

---

---

Tax Key No. of the Property involved in the Request: SUXV\_\_\_\_\_

*Karol Fahey*  
\_\_\_\_\_  
Signature of Property Owner and /or Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Village Official Accepting Form

\_\_\_\_\_  
Date

*A copy of this completed form shall be provided to the Village Clerk for billing purposes.*





## WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: \_\_\_\_\_

Address: \_\_\_\_\_

Owner/Operator: \_\_\_\_\_

Standard Industrial Classification #: \_\_\_\_\_

How many people do you employ? \_\_\_\_\_

What are your businesses hours of work? \_\_\_\_\_

Who is responsible for water quality? ( List job titles)

\_\_\_\_\_

Time and Duration of Discharge: \_\_\_\_\_

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

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Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please list each product your business produces. (Include type, amount and rate of production):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

What are the constituents and characteristics of your wastewater?

\_\_\_\_\_  
\_\_\_\_\_  
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New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



**Village of Sussex Fire Department**  
**N63 W24335 Main Street**  
**Sussex, Wisconsin 53089**

Fire Station - *PHONE*  
262-246-5197  
Fire Station - *FAX*  
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

**Business Name:** \_\_\_\_\_

**Business Address:** \_\_\_\_\_

**Business Phone #:** \_\_\_\_\_

**Business**  
**Email:** \_\_\_\_\_

**Business Emergency Contacts**

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

**Building Owner Name:** \_\_\_\_\_

**Building Owner Email:** \_\_\_\_\_

**Building Owner Emergency Contacts**

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☐ No ☒



Project Name T-Mobile ML89143A-NSD

Tax Key #

SUXV0231989007

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Address of Tenant Space: \_\_\_\_\_

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Tax Key No. of the Property involved in the Request: SUXV\_\_\_\_\_

*Karol Fahey*  
\_\_\_\_\_  
Signature of Property Owner and /or Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
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Address: \_\_\_\_\_

Owner/Operator: \_\_\_\_\_

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Time and Duration of Discharge: \_\_\_\_\_

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Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

**Business Name:** \_\_\_\_\_

**Business Address:** \_\_\_\_\_

**Business Phone #:** \_\_\_\_\_

**Business**  
**Email:** \_\_\_\_\_

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Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

**Building Owner Name:** \_\_\_\_\_

**Building Owner Email:** \_\_\_\_\_

**Building Owner Emergency Contacts**

Name and Phone #: \_\_\_\_\_

Name and Phone #: \_\_\_\_\_

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☐ No ☒



T-Mobile®

stick together®

T-Mobile®

1400 OPUS PLACE  
Downers Grove, IL 60515

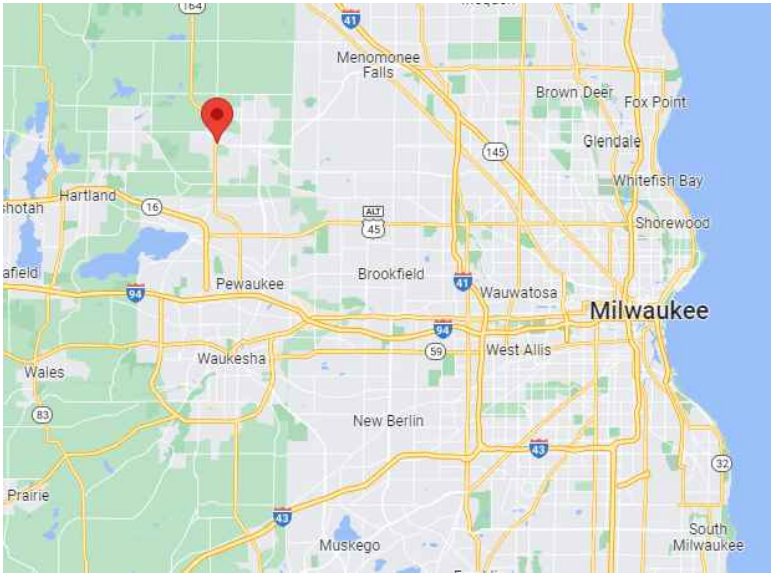
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T-MOBILE.

WESTIN

Engineering Consultants, Ltd.  
Professional/Structural Design Firm  
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

VICINITY MAP



PROJECT INFORMATION

T-MOBILE SITE NUMBER: ML89143A  
T-MOBILE SITE NAME: USCC - 784760  
SITE TYPE: MONOPOLE  
PROJECT TYPE: NSD - COVERAGE

SCOPE OF WORK

BASED ON RFDS DATED: 1/24/2023  
THE SCOPE OF WORK CONSISTS OF:

ANTENNA LEVEL:

- (3) NEW ANTENNAS TO BE INSTALLED
- (3) NEW AHFIG RRU's TO BE INSTALLED
- (3) NEW AHLOA RRU's TO BE INSTALLED
- (1) NEW HCS 2.0 PENDANT TO BE INSTALLED
- (1) NEW ANTENNA PLATFORM WITH KICKER BRACE KIT

GROUND LEVEL:

- INSTALL A NEW 10'X10' STEEL PLATFORM WITH CANOPY ABOVE
- INSTALL A NEW ICE BRIDGE
- INSTALL A NEW DELTA SITE SUPPORT CABINET (HPL3)
- VERIFY WITH FINAL RFDS FOR NEW RAN EQUIPMENT TO BE INSTALLED INSIDE HPL3 CABINET.
- INSTALL A NEW DELTA BATTERY BACKUP CABINET (LB3)
- INSTALL A NEW PPC CABINET
- INSTALL A NEW CIENA
- INSTALL (1) NEW HCS 2.0 TOWER JUNCTION BOX
- INSTALL (1) NEW HCS 2.0 TRUNK

APPLICANT:

T-Mobile®

T-MOBILE USA,  
1400 OPUS PLACE  
DOWNERS GROVE, IL 60515  
  
CONTACT:  
CONSTRUCTION MANAGER: CHRISTOPHER LYTL  
PH: 815-641 5714  
EMAIL: CHRIS.LYTLE@T-MOBILE.COM

A&E FIRM:

WESTIN

Engineering Consultants, Ltd.

650 CHASE AVE.  
ELK GROVE VILLAGE, IL 60007  
EMAIL: A&E@WESTINENGINEERING.COM  
PHONE: 773-551 9814

SITE ACQUISITION:

Insite inc.

Real Estate Consulting Services  
18660 MIDWEST ROAD, SUITE 140  
OAKBROOK TERRACE, IL 60161  
CONTACT : RAY SHINKLE  
PH: 773-960 8781

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SHEET INDEX

| SHEET        | DESCRIPTION                                       | REV. |
|--------------|---|------|
| T-1          | TITLE SHEET                                       | △△   |
| C-1          | OVERALL SITE PLAN                                 | △△   |
| C-2          | ENLARGED SITE PLAN                                | △△   |
| C-3          | TOWER ELEVATION & ANTENNA PLAN                    | △    |
| C-4          | UTILITY H-FRAME & UTILITY LIGHT DETAILS           |      |
| C-5          | ICE BRIDGE & TOWER JUNCTION BOXES H-FRAME DETAILS | △    |
| E-1          | PROPOSED UTILITY SITE PLAN AND NOTES              | △△   |
| E-2          | UTILITIES CONDUITS SCHEDULE & NOTES               |      |
| E-3          | UTILITIES DIAGRAM & ELECTRICAL PANEL SCHEDULE     | △    |
| RF-1         | ANTENNA AND CABLE SCHEDULE                        | △    |
| RF-2         | SYSTEM CONNECTION DIAGRAM                         | △    |
| RF-3         | TOWER J. BOX & PENDANT SPECS & WIRING DIAGRAM     |      |
| RF-4         | POWER BOOSTER WIRING DIAGRAM                      |      |
| SP-1         | NEW ANTENNAS & RRUs MFR. SPECS                    | △    |
| SP-2         | NEW HPL3 DELTA CABINET MFR. SPECS                 |      |
| SP-3         | NEW LB3 DELTA BATTERY CABINET MFR. SPECS          |      |
| SP-4         | NEW PPC CABINET MFR. SPECS                        |      |
| SP-5         | NEW EQUIPMENT PLATFORM MFR. SPECS                 |      |
| SP-5.1 & 5.2 | NEW EQUIPMENT PLATFORM ACCESSORIES MFR. SPECS     |      |
| SP-6 & 7     | NEW ANTENNA PLATFORM & KICKER BRACE MFR. SPECS    | △    |
| GR-1,2,3     | GROUNDING PLAN, RISER DIAGRAM, DETAILS AND NOTES  |      |
| GN-1 & 2     | GENERAL NOTES AND SPECIFICATIONS                  |      |

APPROVALS

T-MOBILE OPS

R.F OPS

R.F ENGINEER

SITE ACQUISITION

CONSTRUCTION

LAND LORD

NOTES TO GENERAL CONTRACTOR:

GC SHALL VERIFY ALL EXISTING PLANS, DIMENSIONS & CONDITIONS ON JOB SITE.  
GC SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.  
GC SHALL COMPLY WITH OSHA SAFETY REQUIREMENTS AT ALL TIME DURING SITE CONSTRUCTION.  
G.C SHALL HAVE THE SITE MANNED WITH A CREW AND SUPERVISOR DURING CONSTRUCTION.  
G.C. SHALL CONFIRM WITH T-MOBILE CONSTRUCTION MANAGER AND A&E FIRM FOR THE MOST RECENT SET OF DRAWINGS AND STRUCTURAL ANALYSIS PRIOR TO BIDDING ON SITE.

APPLICABLE CODES:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE  
AS AMENDED BY THE STATE OF WISCONSIN  
  
ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE  
  
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE ADOPTED CODES:

ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.  
ADA ACCESS REQUIREMENTS ARE NOT REQUIRED.  
THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE.

|  |               |          |          |
|--|---------------|----------|----------|
| SITE NUMBER                                |               |          |          |
| ML89143A                                   |               |          |          |
| SITE NAME                                  |               |          |          |
| USCC - 784760                              |               |          |          |
| SITE ADDRESS                               |               |          |          |
| FREIHEIT CT.<br>TAX KEY NO: SUXV0231989007 |               |          |          |
| REV.                                       | SUBMITTAL     | APPROVED | DATE     |
|  | Lease Exhibit | AE       | 05/23/22 |
| A  | PRELIM CD     | AE       | 07/06/22 |
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| 2  | REVISED CD    | AE       | 1/17/23  |
| 3  | REVISED CD    | AE       | 4/05/23  |

WISCONSIN

RASHID AHMED  
E-26737  
ELGIN, ILLINOIS

PROFESSIONAL ENGINEER

EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

PARENT PARCEL DESCRIPTION:

Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin

LEASE AREA DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex Waukesha County, Wisconsin containing 2,400 square feet (0.055 acres) of land and being described by:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet to the point of beginning; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence N89°-45'-23"E 40.00 feet; thence S00°-14'-37"E 60.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

30' WIDE UTILITY AND INGRESS/EGRESS EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No. 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 12,352 square feet (0.284 acres) of land and being Fifteen (15) feet each side of and parallel to the following described line:

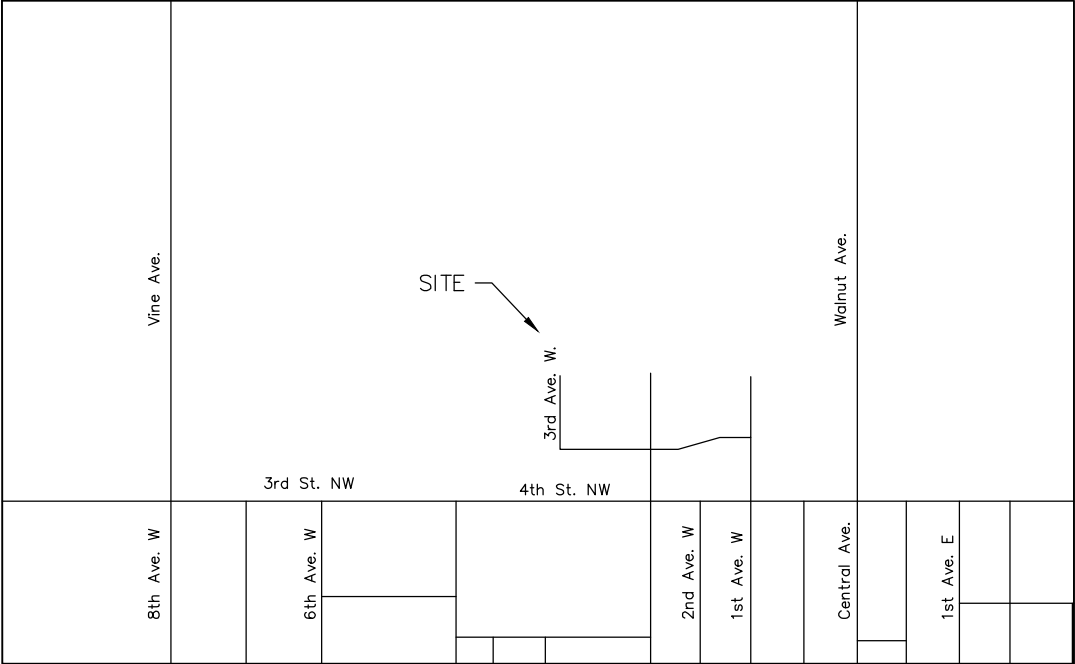
Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 22; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 40.00 feet; thence N00°-14'-37"W 60.00 feet; thence S89°-45'-23"W 15.00 feet to the point of beginning; thence N25°-48'-57"W 12.32 feet; thence N18°-13'-25"E 99.03 feet; thence N67°-22'-26"E 151.41 feet; thence N33°-59'-38"E 65.05 feet to a point on the South line of Prospect Drive and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said South line of Prospect Drive. Also from said point of beginning; thence S00°-14'-37"E 83.91 feet to the point of termination.

10' WIDE UTILITY EASEMENT DESCRIPTION:

A part of Lot Three (3) of Certified Survey Map No. 11349, recorded as Document No 4165011 and located in the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-Two (22), Township Eight (8) North, Range Nineteen (19) East, Village of Sussex, Waukesha County, Wisconsin containing 5,934 square feet (0.136 acres) of land and being Five (5) feet each side of and parallel to the following described line:

Commencing at the South Quarter Corner of said Section 22; thence S89°-45'-28"W 1973.83 feet along the South line of the SW 1/4 of said Section 24; thence N00°-14'-37"W 23.89 feet; thence S89°-45'-23"W 35.00 feet to the point of beginning; thence S00°-14'-37"E 18.89 feet; thence S89°-45'-23"W 574.48 feet to a point on the East line of Prospect Circle and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said East line of Prospect Circle.

VICINITY MAP

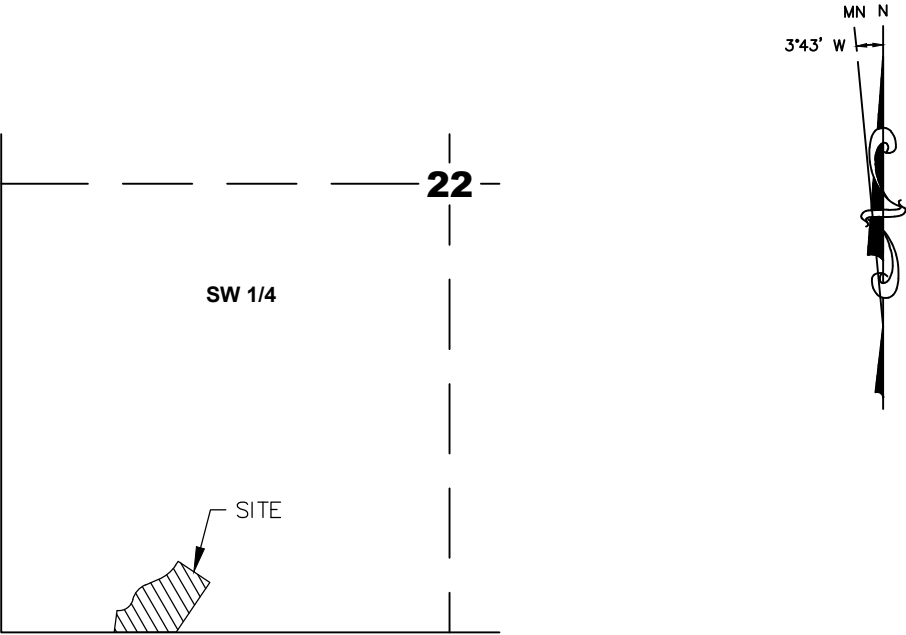


SURVEYORS NOTES

- 1.) Generally located in Wisconsin State Plane Coordinate System, South Zone (NAD-83).
- 2.) Not a survey of the parent parcel shown, but to be used only for the purposes shown hereon.
- 3.) The Utility locations shown hereon were determined by observed above ground evidence only. The surveyor was not provided with above ground markings to determine any subsurface locations, and makes no guarantee that the underground utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. This surveyor has not physically located the underground utilities.

Zoning Information: Commercial

Flood Information:  
Property falls within a Zone "X" area determined to be inside a 0.2% chance of annual flood hazard, based upon FEMA Flood Rate Map No. 55133C0088G, with an effective date of November 5, 2014.



T. 8 N, R. 19 E  
PARENT PARCEL DETAIL

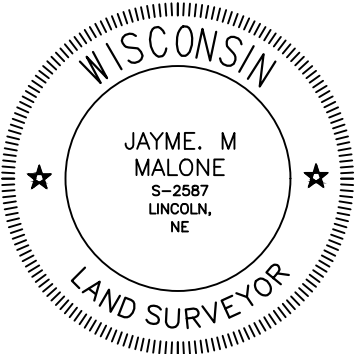
Surveyor's Certificate

To: Tower Engineering Professionals; and WFG National Title Insurance Company


This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as the land surveyor registered in the State of Wisconsin the Relative Positional Accuracy of this survey does not exceed that which is specified therein. The field work was completed on 06.27.2021.

Jayme M. Malone  
Kansas LS 1113  
Date of Plat or Map: 07.02.2021  
Date of Last Revision: 07.02.2021

Survey Performed By:  
Husker Surveying  
4535 Normal Blvd., Suite 101  
Lincoln, NE 68506



Prepared for:



3806 THIRLANE ROAD NW  
ROANOKE, VA 24019

Prepared for:



326 TRYON ROAD  
RALEIGH, NC 27603  
(919) 661-6351

Surveyed By: 6723



4535 Normal Blvd. Ste #101  
Lincoln, Ne 68506  
(402)423-5222  
(402)423-5211  
www.huskersurveying.com

Site Information:

SITE NAME:  
SUSSEX II

PEWAUKEE, WI  
(WAUKESHA COUNTY)

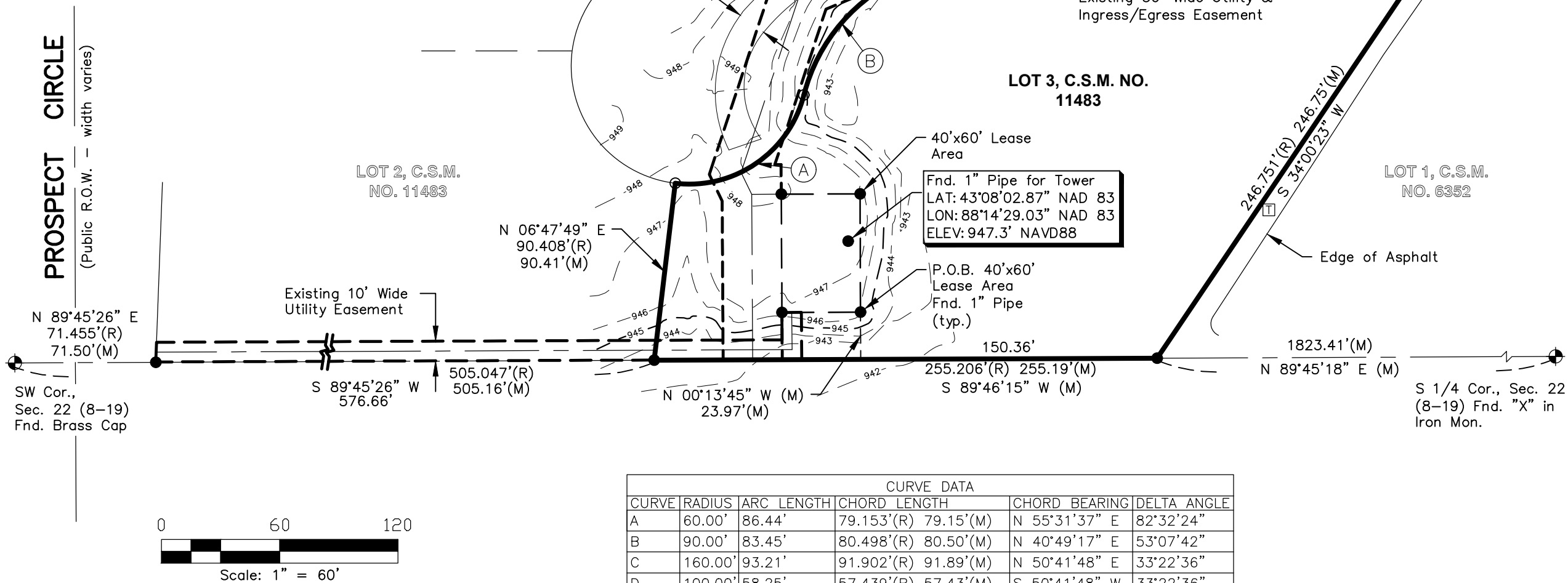
WISCONSIN PLS #S-2587  
Jayme M. Malone

LEASE SITE & EASEMENT EXHIBIT  
1 of 3

|                            |          |    |
|----------------------------|----------|----|
| Date of Survey: 06.27.2021 |          |    |
| Revision                   | Date     |    |
| Preliminary                | 07.06.21 | PD |
|                            |          |    |
|                            |          |    |
|                            |          |    |

## LEGEND

- = Cor. Fnd. 1" Pipe  
(Unless otherwise noted.)
- = Cor. Set #5 Rebar  
Rebar
- ⊕ = Section Corner
- Ⓚ = Benchmark
- (M) = Meas. Dist.
- (P) = Plat Dist.
- (D) = Deed Dist.
- (R) = Record Dist.
- P.O.B. = Point of Beginning
- P.O.R. = Point of Reference
- ⊙ = Power Pole
- = Guy Wire
- Ⓜ = Telephone Pedestal
- Ⓜ = Manhole
- ⊙ = Fire Hydrant
- ⊕ = Valve
- = Catch Basin



Prepared for:

**U.S. Cellular**

3806 THIRLANE ROAD NW  
ROANOKE, VA 24019

Prepared for:

**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603  
(919) 661-6351

Surveyed By:

6723



4535 Normal Blvd. Ste #101  
Lincoln, NE 68506  
(402) 423-5202  
(402) 423-5211  
www.huskersurveying.com

Site Information:

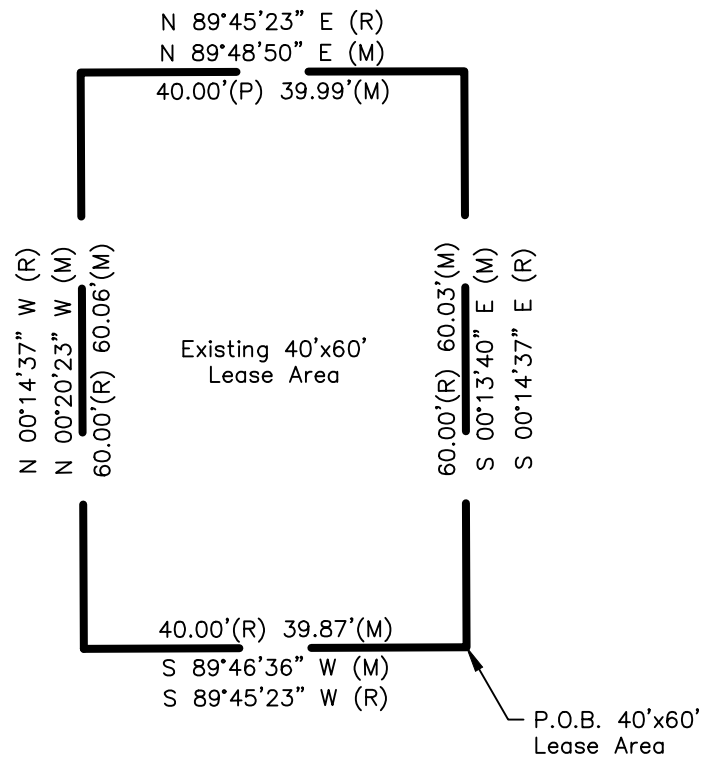
SITE NAME:  
SUSSEX II

PEWAUKEE, WI  
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587  
Jayme M. Malone

### LEASE SITE & EASEMENT EXHIBIT 2 of 3

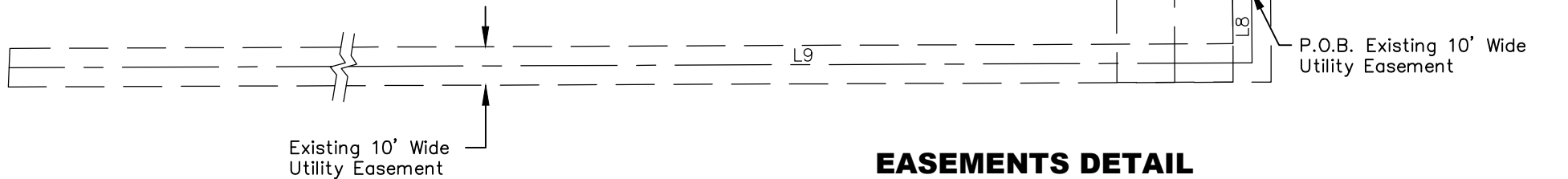
|                 |             |
|-----------------|-------------|
| Date of Survey: | 06.27.2021  |
| Revision        | Date        |
| Preliminary     | 07.06.21 PD |
|                 |             |
|                 |             |
|                 |             |



LEASE AREA DETAIL

Scale: 1"=20'

| LINE TABLE |                                     |                       |
|------------|-------------------------------------|-----------------------|
| LINE       | BEARING                             | DISTANCE              |
| L1         | S 89°45'23" W (R) S 89°48'50" W (M) | 15.00'(R&M)           |
| L2         | N 25°48'57" W (R) N 25°45'08" W (M) | 12.32'(R&M)           |
| L3         | N 18°13'25" E (R&M)                 | 99.03''(R&M)          |
| L4         | N 67°22'26" E (R&M)                 | 151.41'(R&M)          |
| L5         | N 33°59'38" E (R&M)                 | 65.05'(R) 64.85'(M)   |
| L6         | S 00°14'37" E (R) S 00°20'23" E (M) | 83.91'(R&M)           |
| L7         | S 89°45'23" W (R) S 89°46'36" W (M) | 35.00'(R) 34.87'(M)   |
| L8         | S 00°14'37" E (R) S 00°20'23" E (M) | 18.89'(R&M)           |
| L9         | S 89°45'23" W (R&M)                 | 574.48'(R) 574.99'(M) |



EASEMENTS DETAIL

Scale: 1"=40'



Prepared for:



3806 THIRLANE ROAD NW  
ROANOKE, VA 24019

Prepared for:



326 TRYON ROAD  
RALEIGH, NC 27603  
(919) 661-6351

Surveyed By:



6723

HUSKER SURVEYING

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www.huskersurveying.com

Site Information:

SITE NAME:  
SUSSEX II

PEWAUKEE, WI  
(WAUKESHA COUNTY)

WISCONSIN PLS #S-2587  
Jayme M. Malone

LEASE SITE &  
EASEMENT EXHIBIT  
3 of 3

|                 |            |    |
|-----------------|------------|----|
| Date of Survey: | 06.27.2021 |    |
| Revision        | Date       |    |
| Preliminary     | 07.06.21   | PD |
|                 |            |    |
|                 |            |    |



CONSTRUCTION NOTES:

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING ARE GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING SHALL BE HAND DUG.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY NEW SERVICE HAS BEEN APPLIED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.
- DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.
- COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION
- ALL CLEAN SOIL MAY BE USED ON SITE UNLESS OTHERWISE NOTED IN THE REGULATORY COMMENTS OR BID DOCS.
- ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .
- ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
- PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
- ANY ACCIDENTS ON SITE MUST BE REPORTED TO THE T-MOBILE MANAGER IMMEDIATELY AFTER ATTENDING TO THE PERSON(S) NEEDS AND ADMINISTERING FIRST AIDE IF NEEDED.
- GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGEMENT TEAM.
- PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.
- ALL CONDUITS MUST BE PROPERLY INSTALLED AND SEALED TO PREVENT FREEZING AND DAMAGE
- GC SHALL USE 3/4" PLYWOOD AROUND AREAS OF EGRESS/INGRESSS TO CONSTRUCTION SITE IN ORDER TO PROTECT GRASSY AREAS FROM DAMAGE FROM EXCAVATIONS AND CONCRETE WORK.
- GC TO REPAIR GRASSY AREAS TO LIKE CONDITION USING SOD AND SHALL WATER TO SATURATION ONCE WEEKLY UNTIL NEW GRASS SOD IS ESTABLISHED. MINIMUM OF 4 WATERING.

NOTES:

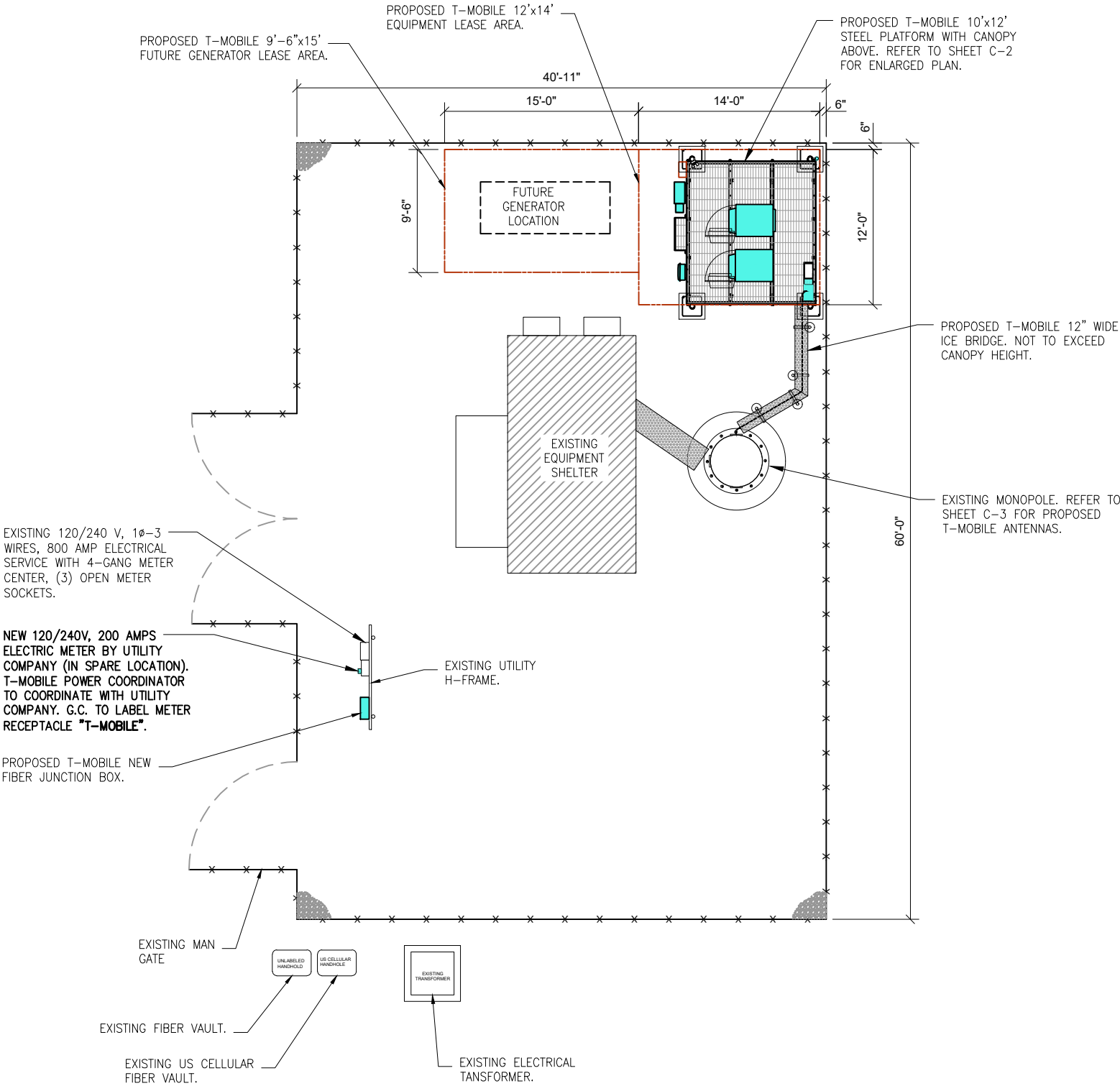
- G.C. MUST RETURN THE SITE TO PRE-CONSTRUCTION CONDITION AFTER CONSTRUCTION COMPLETE.
- HAND DIG IS REQUIRED WITHIN THE COMPOUND TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES.

NOTES:

- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING EQUIPMENT TO BE RELOCATED
- EXISTING EQUIPMENT TO BE REMOVED
- PROPOSED EQUIPMENT TO BE INSTALLED



1 OVERALL SITE PLAN  
SCALE: N.T.S

**T-Mobile**  
1400 OPUS PLACE  
Downers Grove, IL 60515

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**WESTIN**  
Engineering Consultants, Ltd.  
Professional/Structural Design Firm  
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER  
**ML89143A**

SITE NAME  
**USCC - 784760**

SITE ADDRESS  
**FREIHEIT CT.**  
TAX KEY NO: SUXV0231989007

| REV. | SUBMITTAL     | APPROVED | DATE     |
|------|---------------|----------|----------|
|      | Lease Exhibit | AE       | 05/23/22 |
| A    | PRELIM CD     | AE       | 07/06/22 |
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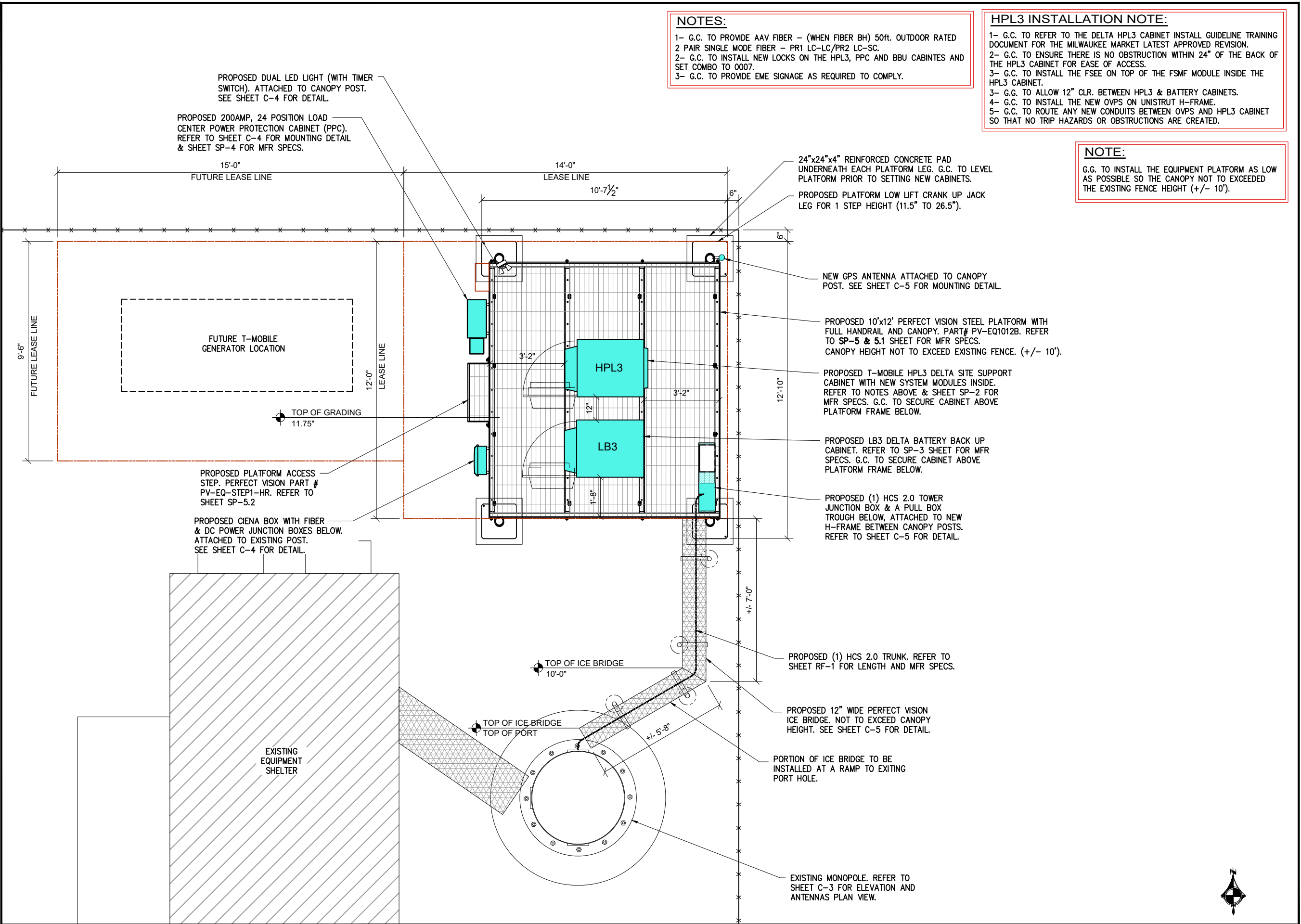
**WISCONSIN**  
RASHID AHMED  
E-26737  
ELGIN, ILLINOIS  
**PROFESSIONAL ENGINEER**  
EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023  
I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE  
CHECKED BY: AB  
APPROVED BY: RA

SHEET TITLE  
**OVERALL SITE PLAN**

SHEET NUMBER  
**C-1**



NOTES:

- 1- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED
- 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- 2- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- 3- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

HPL3 INSTALLATION NOTE:

- 1- G.C. TO REFER TO THE DELTA HPL3 CABINET INSTALL GUIDELINE TRAINING DOCUMENT FOR THE MILWAUKEE MARKET LATEST APPROVED REVISION.
- 2- G.C. TO ENSURE THERE IS NO OBSTRUCTION WITHIN 24" OF THE BACK OF THE HPL3 CABINET FOR EASE OF ACCESS.
- 3- G.C. TO INSTALL THE FSEE ON TOP OF THE FSMF MODULE INSIDE THE HPL3 CABINET.
- 3- G.G. TO ALLOW 12" CLR. BETWEEN HPL3 & BATTERY CABINETS.
- 4- G.C. TO INSTALL THE NEW OVPS ON UNISTRUT H-FRAME.
- 5- G.C. TO ROUTE ANY NEW CONDUITS BETWEEN OVPS AND HPL3 CABINET SO THAT NO TRIP HAZARDS OR OBSTRUCTIONS ARE CREATED.

NOTE:

G.G. TO INSTALL THE EQUIPMENT PLATFORM AS LOW AS POSSIBLE SO THE CANOPY NOT TO EXCEEDED THE EXISTING FENCE HEIGHT (+/- 10').

1 ENLARGED EQUIPMENT PLAN  
SCALE: 1/8" = 1'-0"

T-Mobile

1400 OPUS PLACE  
Downers Grove, IL 60515

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Engineering Consultants, Ltd.  
Professional/Structural Design Firm  
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.  
TAX KEY NO: SUXV0231989007

| REV. | SUBMITTAL     | APPROVED | DATE     |
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EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

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BY ME OR UNDER MY DIRECT SUPERVISION AND  
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND  
BELIEF COMPLY WITH REQUIREMENTS OF THE  
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

ENLARGED  
EQUIPMENT PLAN

SHEET NUMBER

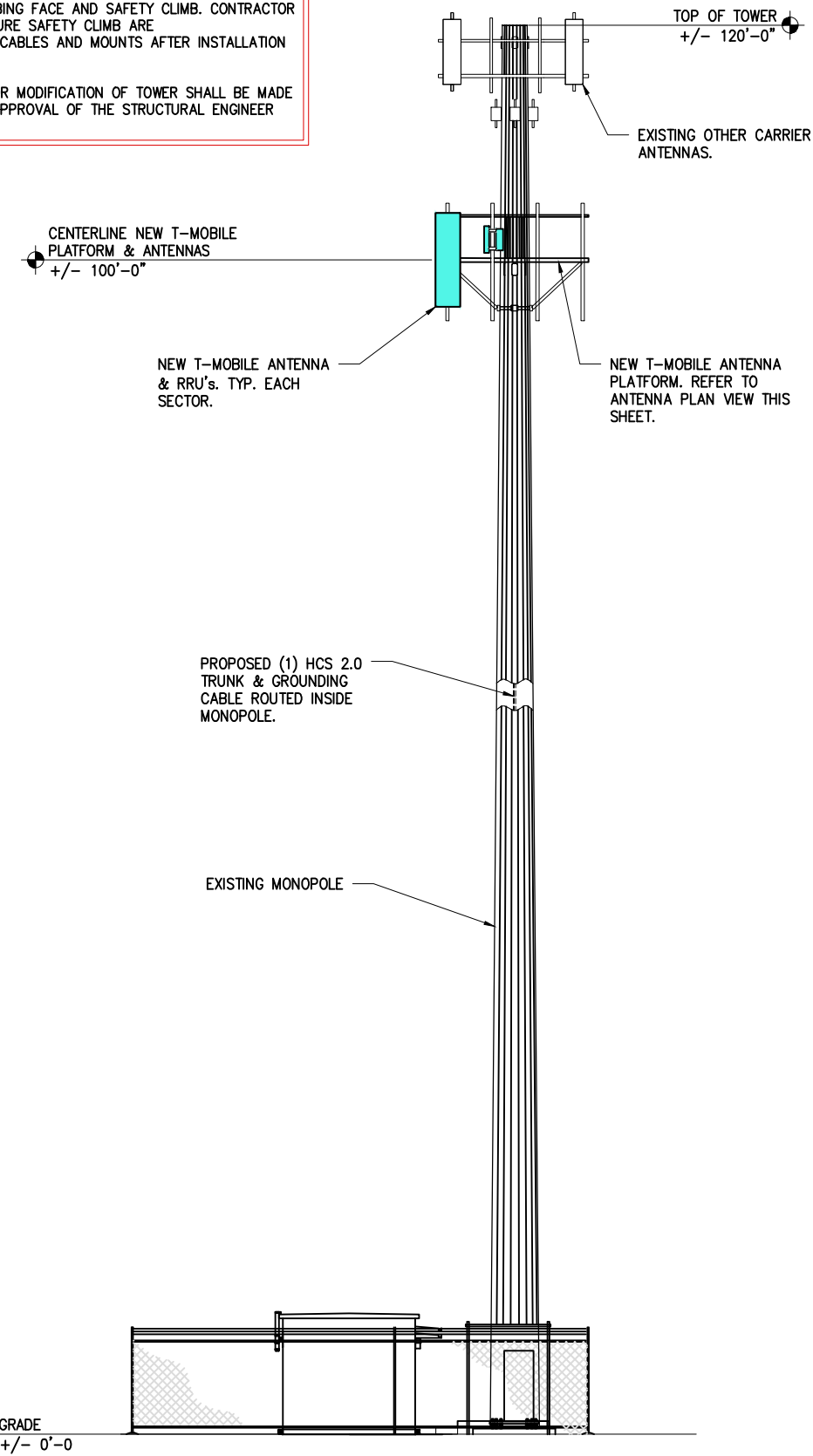
C-2

STRUCTURAL NOTE:

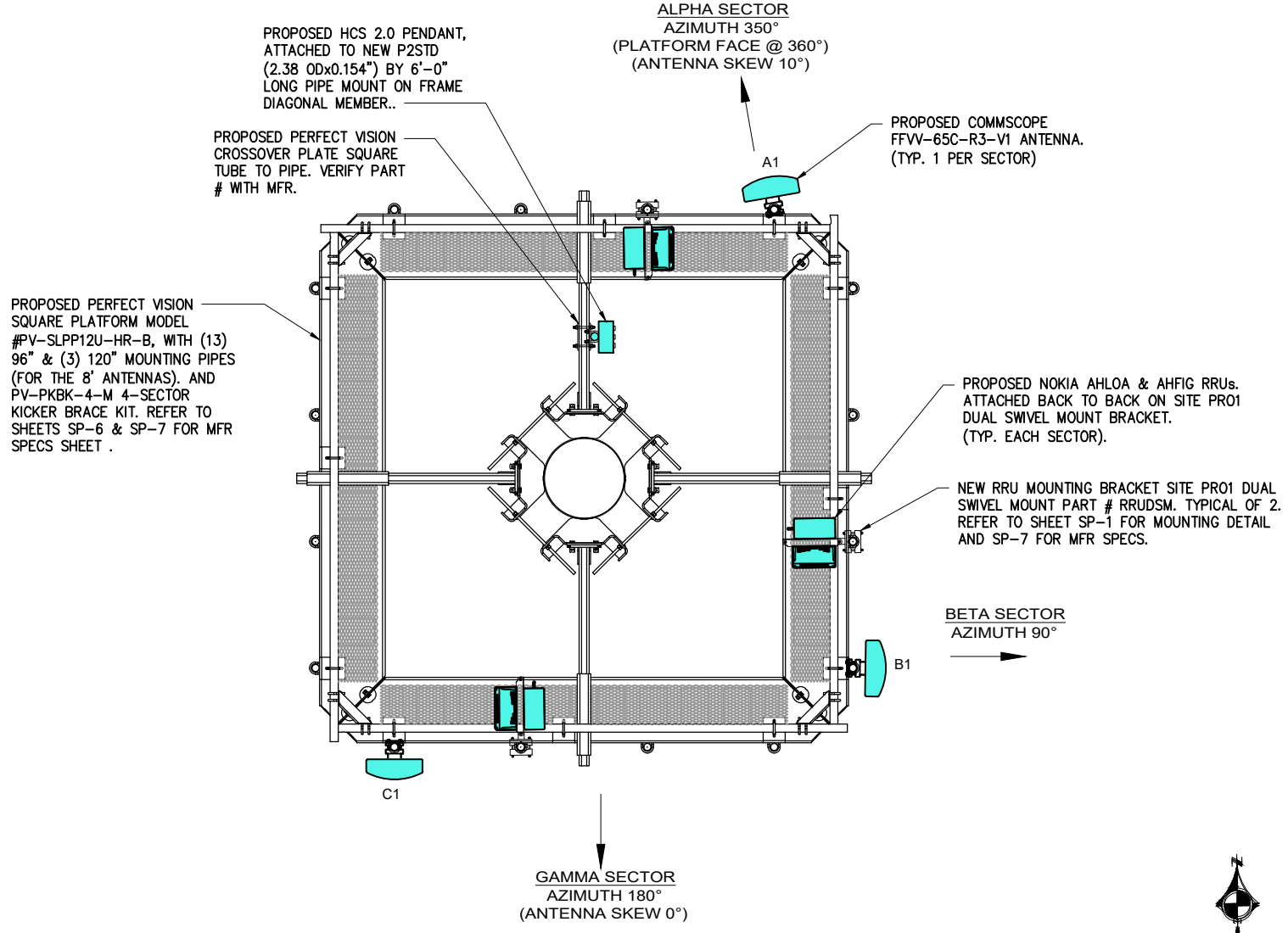
1- G.C. TO REFER TO LATEST TOWER STRUCTURAL ANALYSIS BY TOWER OWNER AND REVISED MOUNT ANALYSIS BY WESTIN ENGINEERING CONSULTANTS, LTD. DATED 04/05/2023 PRIOR TO CONSTRUCTION STARTS.

2- ALL NEW INSTALLED EQUIPMENT MUST NOT INTERFERE WITH THE CLIMBING FACE AND SAFETY CLIMB. CONTRACTOR SHALL MAKE SURE SAFETY CLIMB ARE 100% FREE OF CABLES AND MOUNTS AFTER INSTALLATION IS COMPLETE.

NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER

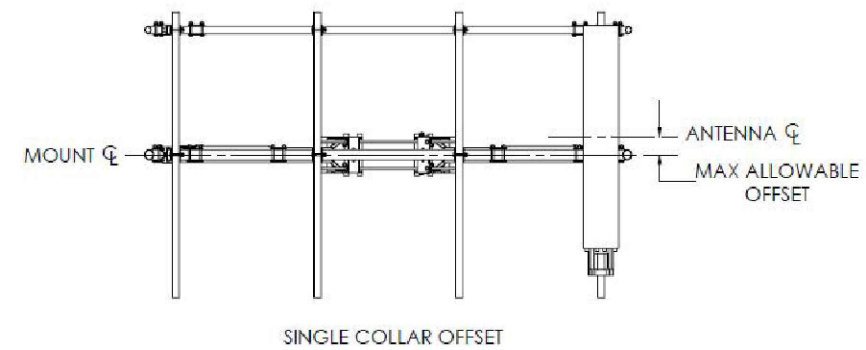


1 TOWER ELEVATION  
SCALE: N.T.S.



2 ANTENNA PLAN VIEW  
SCALE: N.T.S.

NOTE:  
6" MAXIMUM ALLOWABLE OFFSET BTW. ANTENNA C.L. & MOUNT C.L.



3 ANTENNA CENTER LINE DETAIL  
SCALE: N.T.S.

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1400 OPUS PLACE  
Downers Grove, IL 60515

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WISCONSIN  
RASHID AHMED  
E-26737  
ELGIN, ILLINOIS  
PROFESSIONAL ENGINEER  
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DATE SIGNED: APRIL 05, 2023  
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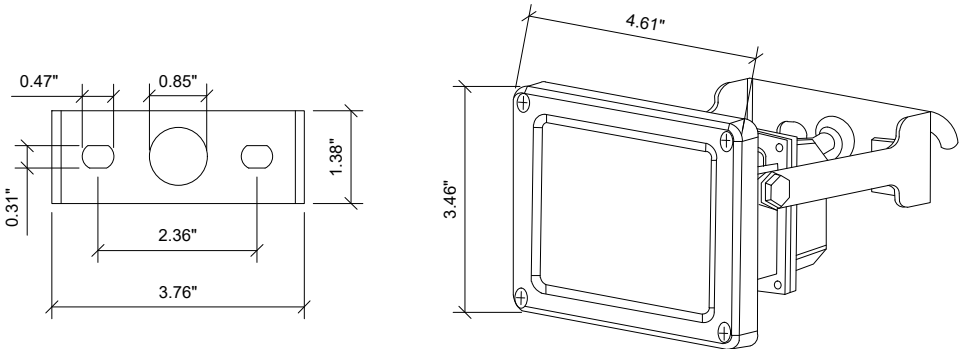
SHEET TITLE  
**ELEVATION AND ANTENNAS PLAN VIEW**

SHEET NUMBER  
**C-3**



NOTES:

- (1) SIGMA TWO GANG CLEAR COVER, EXTRA DUTY WITH LOCKABLE ENCLOSURE.
- (1) INTERMATIC 60 MINUTE MECHANICAL TIMER, FF60MC.
- (1) CAST ALUMINUM, 2 GANG WEATHERPROOF FS BOX, NO LUGS, DEEP BOX. APPLETON FS-2-75A OR HUBBELL-KILLARK 2FS-1.
- USE BACK OF GANG BOX FOR ENTRY INTO PPC, SEAL FLUSH AGAINST PPC WITH GASKETING MATERIAL, AND/OR SEAL EXTERIOR PERIMETER WITH SILICONE BEAD TO PREVENT WATER INTRUSION.
- (1) GFCI 15 AMP LEVITON WEATHER RESISTANT GFWT1-HGT WITH SELF-TEST FEATURE (SEE [HTTP://WWW.LEVITON.COM/EN/PRODUCTS/GFCIS-AND-AFCIS/GFCI-RECEPTACLES/WEATHERRESISTANT-DUPLEX-FOR-ALTERNATES](http://www.leviton.com/en/products/gfcis-and-afcis/gfci-receptacles/weatherresistant-duplex-for-alternates)), 2-POLE, 3-WIRE, 15AMP, 125 VOLT, 5-15R NEMA, WALL BOX MOUNT, LIGHT ALMOND, HEAVY DUTY, COMMERCIAL GRADE. NOTE: NO RESIDENTIAL GRADE GFCI ALLOWED.
- (2) OUTDOOR FLOOD LIGHTS, RATED INITIAL LUMENS > 1,260 EACH FLOOD. [HTTP://WWW.MAXLITE.COM/PRODUCTS/SMALL-FLOOD-LIGHTS/FLS15U50B](http://www.maxlite.com/products/small-flood-lights/fls15u50b) OR EQUIVALENT MAXLITE MODEL FLS15U50B/N, @ 1,235 LUMENS.
- TYPICAL INSTALLATION, REGARDLESS OF PPC STYLE OR TYPE OR EXISTING OUTLETS.
- LIGHT TIMER ON 15A CIRCUIT, LIGHT CONTROLLED BY COUNTDOWN TIMER. GFCI ON SEPARATE 15A CIRCUIT.
- IF PPC HAS EXISTING INTERIOR MOUNTED GFCI, IT TOO SHALL BE WIRED FOR SERVICE.
- EQUIVALENT MEETING SERVICE REQUIREMENTS, OR BETTER, EQUIPMENT MAY BE SUBSTITUTED AND INSTALLED WITH PRIOR T-MOBILE PM OR CM APPROVAL.



SAMPLE INSTALATION

1 LIGHT DETAIL (MAXLITE PART# FLS15U50B)  
SCALE: N.T.S.

NOTE:

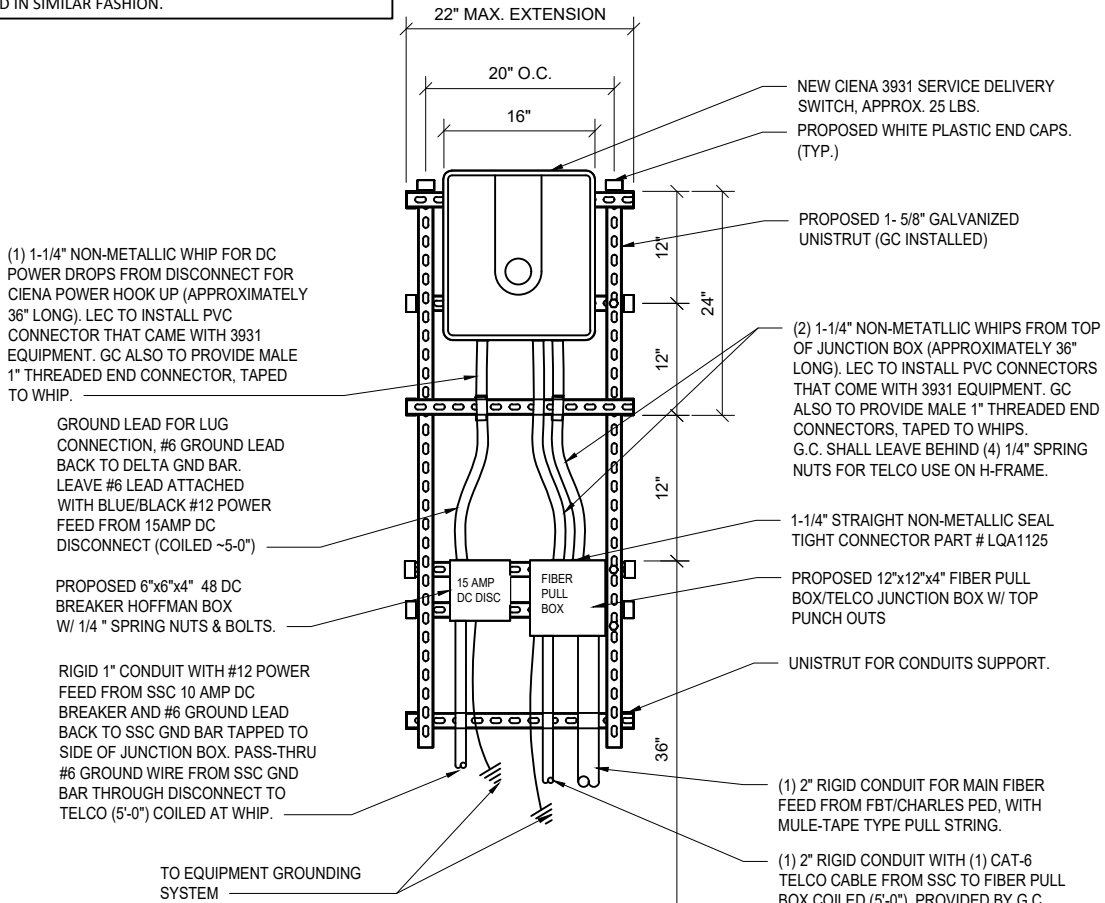
G.C. TO PROVIDE A SET OF 1/4" SPRING NUTS IN BAG FOR AT&T USE FOR CIENA. IF THIS IS A RAC24 G.C. TO BE PROVIDED CABINET AND SHALL MOUNT IN LIKE LOCATION AND IN SIMILAR FASHION.

ABBREVIATIONS:

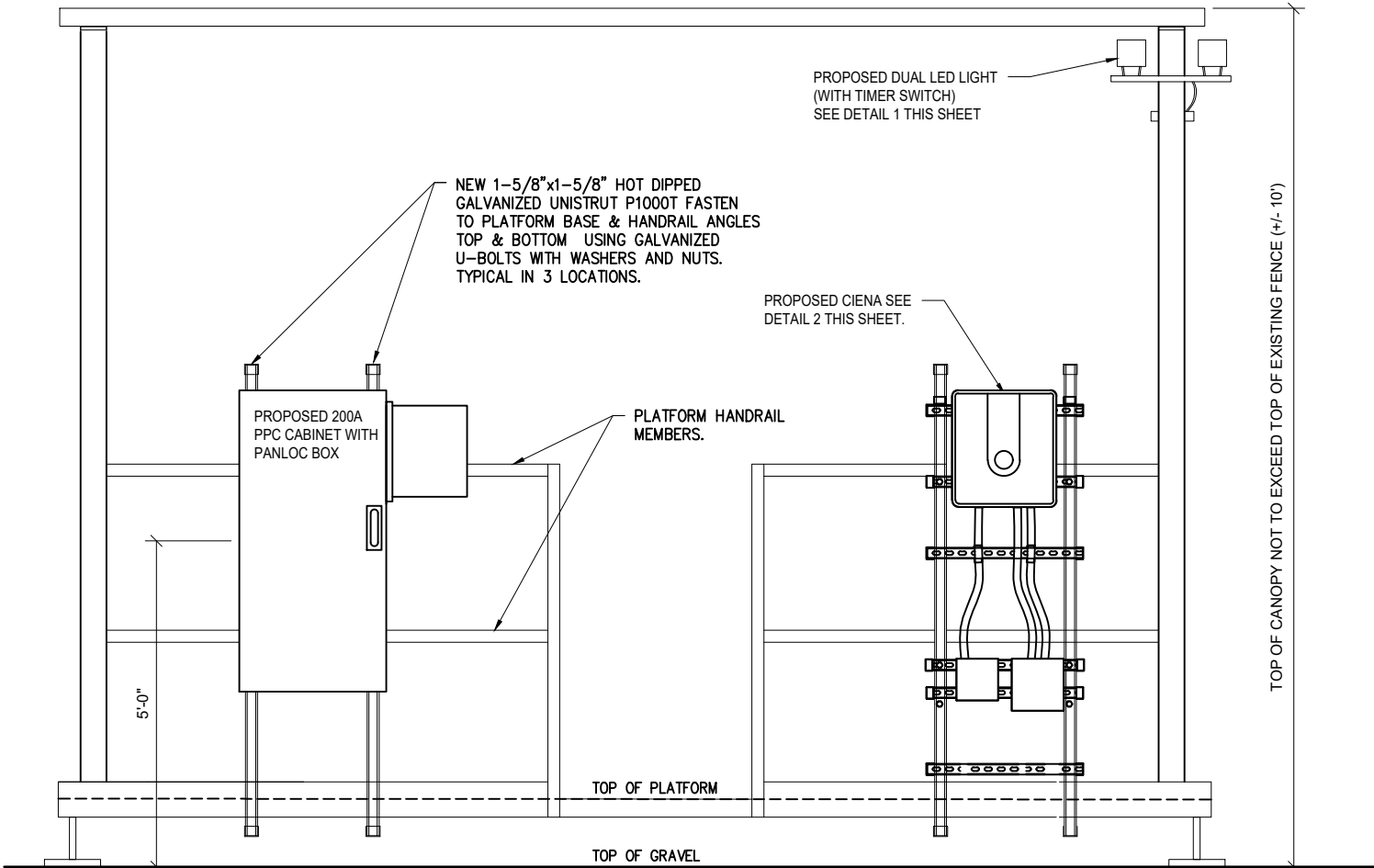
G.C. : GENERAL CONTRACTOR  
LEC : LOCAL EXCHANGE CARRIER

NOTE:

ALL UNISTRUT, FASTENERS, HARDWARE, ETC, ARE TO BE EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL.  
G.C. IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



2 CIENA DETAIL  
SCALE: N.T.S.



3 UTILITY H-FRAME DETAIL  
SCALE: N.T.S.

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CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

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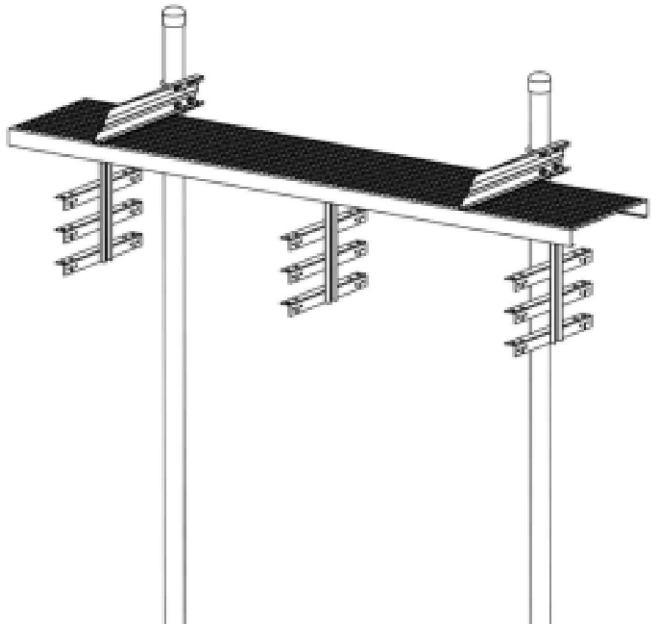
SHEET TITLE

SITE  
DETAILS

SHEET NUMBER

C-4



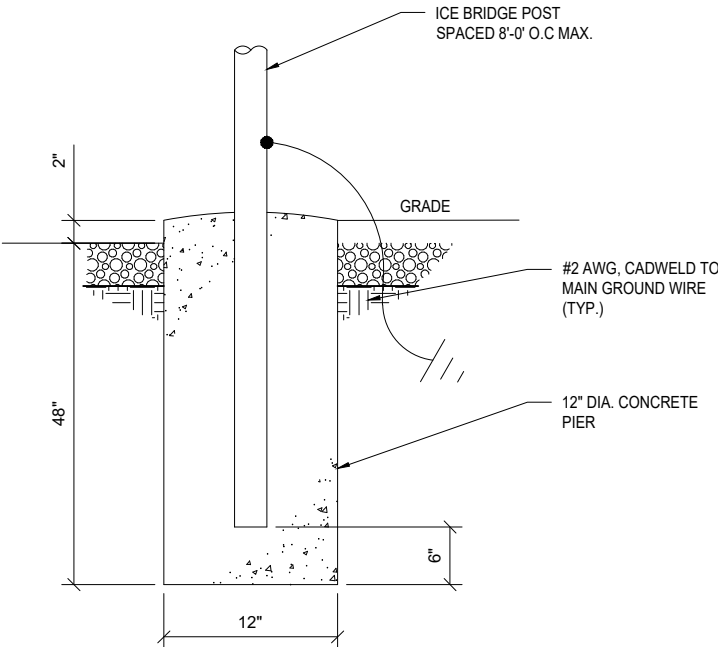


GENERAL SPECIFICATIONS

|                  |   |
|------------------|---|
| Product Type     | Waveguide Bridge  |
| Includes         | Grip strut, support brackets, posts, trapeze kits, pipe caps          |
| Material Type    | Hot-dip galvanized, minimum A36 Steel, 14 gauge galvanized grip strut |
| Package Quantity | Kit of 1  |

MECHANICAL CHARACTERISTICS

|        |        |
|--------|--------|
| Length | 120 in |
| Width  | 12 in  |
| Height | 174 in |
| Weight | 330 lb |



1 ICE BRIDGE DETAIL  
SCALE: N.T.S.

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO PLATFORM BASE & HANDRAIL ANGLES TOP & BOTTOM USING GALVANIZED U-BOLTS WITH WASHERS AND NUTS. TYPICAL IN 3 LOCATIONS. TYPICAL 2 PER TJB

NEW 1-5/8"x1-5/8" HOT DIPPED GALVANIZED UNISTRUT P1000T FASTEN TO VERTICAL UNISTRUT. G.C. TO PROVIDE AS NEEDED.

PLATFORM HANDRAIL MEMBERS.

HCS 2.0 TOWER J. BOX

10"x10"x36" NEMA 3R LARGE PULL BOX

TOP OF PLATFORM

TOP OF GRAVEL

TOP OF CANOPY NOT TO EXCEED TOP OF EXISTING FENCE (+/- 10')

(1) NEW 3" RIGID CONDUIT FOR FIBER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.

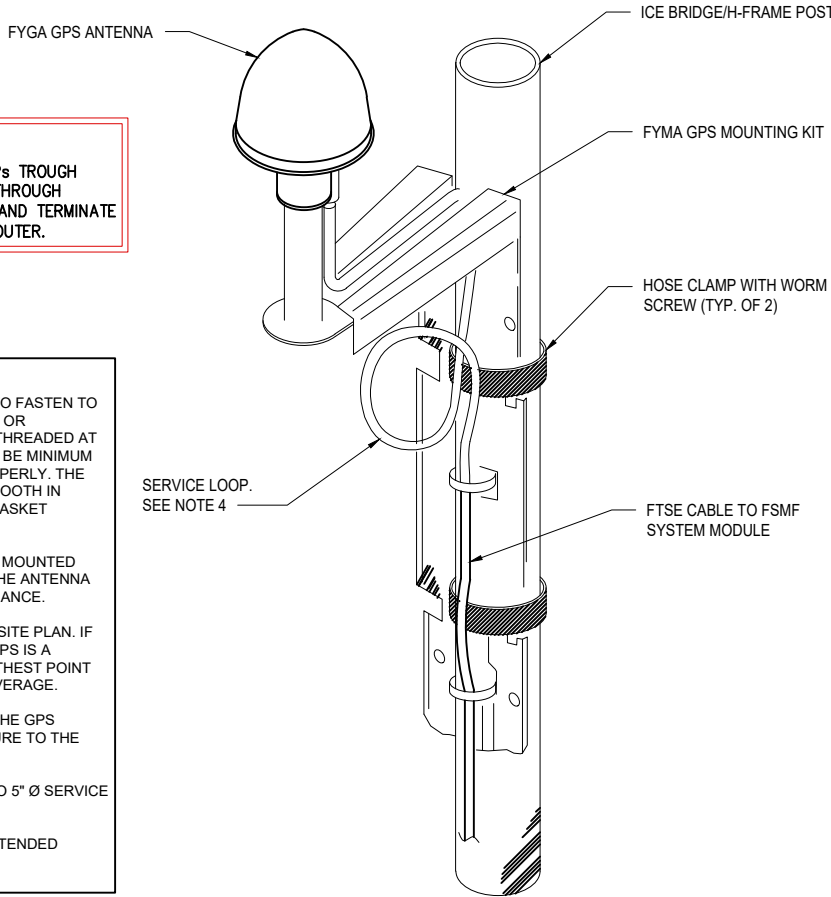
(1) NEW 3" RIGID CONDUIT FOR DC POWER FROM NEW LARGE PULL BOX TO NEW DELTA L3 CABINET.

NOTE:

G.C. TO ROUTE GPS CABLE BACK TO OVPs TROUGH PULL BOX, ROUTE WITH FIBER JUMPERS THROUGH THE 3" RMC CONDUIT TO HPL3 CABINET AND TERMINATE INSIDE THE CABINET AT THE CSR IXR ROUTER.

NOTES:

1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIA. SCH 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE MINIMUM OF 18 INCHES IN LENGTH TO FUNCTION PROPERLY. THE CUT PIPE END SHALL BE DEBARRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.
2. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" LEVEL FOR MAXIMUM PERFORMANCE.
3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE BRIDGE ENSURE THAT GPS IS A MINIMUM OF 10' ABOVE GRADE ON THE FURTHEST POINT FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.
4. GENERAL CONTRACTOR SHALL ENSURE THE GPS ANTENNA HAS THE REQUIRED FULL EXPOSURE TO THE SOUTHERN HEMISPHERE/HORIZON.
4. GENERAL CONTRACTOR TO PROVIDE 4" TO 5" Ø SERVICE LOOP.
5. GC TO ENSURE THAT GPS ANTENNA IS EXTENDED ABOVE CANOPY.



2 HCS 2.0 TOWER JUNCTION BOX H-FRAME DETAIL  
SCALE: N.T.S.

3 FYGA GPS ANTENNA DETAIL  
SCALE: N.T.S.

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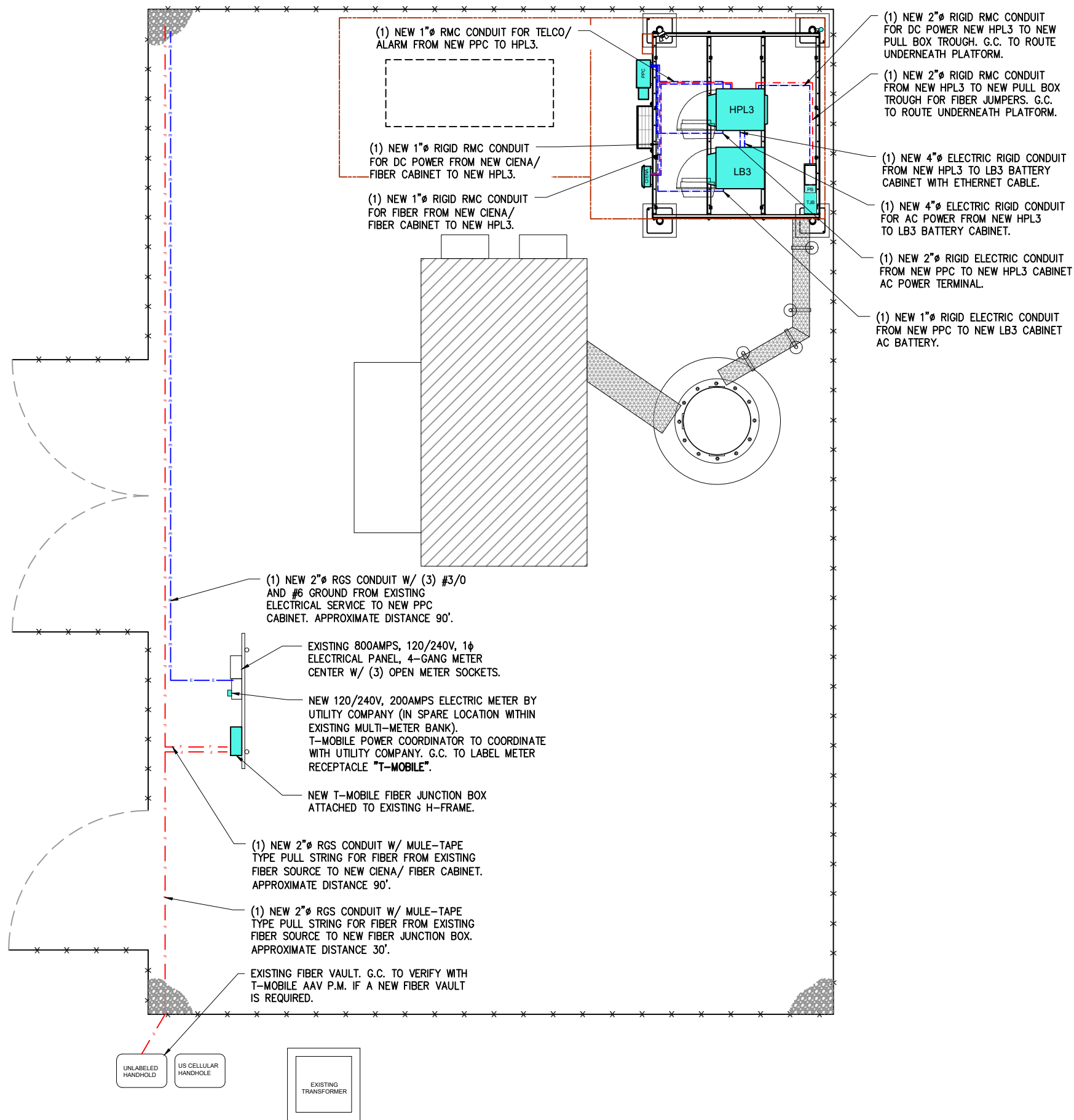
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SITE  
DETAILS

SHEET NUMBER

C-5



NOTES:

1. CONTRACTOR SHALL COORDINATE METER SOCKET LOCATION AND TYPE WITH POWER COMPANY.
2. CONTRACTOR SHALL INSTALL CONDUIT AND WIRE TO THE BTS SITE. COIL WIRES, SEAL CONDUIT WIRE ENDS FROM MOISTURE INFILTRATION. LEAVE WIRE TO TERMINATE AT RADIO CABINET PANEL, (MINIMUM OF 10 FEET).
3. COPPER GROUND WIRE SHALL BE BONDED TO SITE GROUNDING SYSTEM.
4. UNDERGROUND CONDUITS SHALL TRANSITION FROM PVC TO RIGID THROUGH THE SWEEP AND REMAIN RIGID INTO PANELS.
5. CONTRACTOR MAY MODIFY KNOCKOUT HOLES IN EQUIPMENT CABINETS TO ACCOMMODATE THE REQUIRED CONDUIT SIZES.
6. COORDINATE WITH RADIO CABINET MFG REQUIREMENTS FOR SIZE & NUMBER OF CONDUITS.
7. THE MINI- PPC IS SHIPPED IN TWO SECTIONS TO BE BOLTED TOGETHER ON SITE. THE COMBINED WEIGHT IS APPROX. 300 LBS.
8. SURGE PROTECTION IN TELCO CHAMBER IS REQUIRED ON ALL SITES WITH EXTERNAL. ALARM POINT MONITORING. NORTHERN TECHNOLOGIES INC DLP-43 DATA LINE PROTECTOR SHALL BE USED.
9. SERVICE POWER SHALL BE (120/240VAC, 200A, 1Ø, 3W) OR (120/208VAC, 200A, 3Ø, 4W)
10. 200A METER BASE SHALL BE INSTALLED WHERE IT IS ACCESSIBLE FOR READOUT. THE NUMBER OF JAWS IN THE METER SOCKET AND THEIR ARRANGEMENT DEPENDS ON THE VOLTAGE SERVICE. COORDINATE WITH POWER COMPANY
11. CABLE SIZES SHALL BE ADJUSTED TO COMPENSATE FOR VOLTAGE DROP IF LONGER THAN 180FT. VERIFY CONDUIT SIZE WHEN CHANGING CABLE SIZE.
12. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY PPC MANUFACTURER.
13. ADDRESS SHALL BE POSTED BELOW THE METER
14. ANY 120 VOLT OUTLET LOCATED ON THE PPC SHALL HAVE GFCI PROTECTION PER NEC SECTION 210-8.
15. CONTRACTOR TO SUPPLY AVAILABLE FAULT CURRENT CALCULATIONS AT THE SERVICE EQUIPMENT LINE TERMINATION POINT; AS WELL AS IMPEDANCE VALUE AND SIZE OF SERVICE CONDUCTORS. ALL SERVICE AND BRANCH PANELS SHALL BE RATED FOR THE AVAILABLE FAULT CURRENT. DISTANCE AND CONDUCTOR SIZES MUST BE FURNISHED TO INSPECTOR.
16. EMERGENCY AND BATTERY BACKED UP EXIT LIGHTING CIRCUITS SHALL BE MARKED SPECIFICALLY IN THE ELECTRICAL PANEL AS SUCH. (NEC 700.12.E). THE FIRE DEPARTMENT WILL BE TESTING THESE DEVICES EVERY SIX MONTH DURING BUSINESS HOURS BY SHUTTING THESE CIRCUITS (KEEP CRITICAL LOADS OFF THESE CIRCUITS). IF THE PRIMARY SOURCE OF ILLUMINATION IS HID, THE EMERGENCY LIGHTS SHALL BE REQUIRED TO OPERATE UNTIL NORMAL ILLUMINATION IS RESTORED. (NEC 700.16).
17. CONTRACTOR SHOULD ENSURE THAT ANY GENERATOR SUPPLYING THIS SITE SHOULD HAVE THE GROUND TO NEUTRAL STRAP REMOVED AS THIS IS A 2 POLE TRANSFER SWITCH WITH A SOLID NEUTRAL.

CONDUITS AND WIRING

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.

COORDINATION WITH UTILITY COMPANY

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANIES FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS

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CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

PROPOSED UTILITY  
SITE PLAN AND NOTES

SHEET NUMBER

E-1

1

PROPOSED UTILITY EQUIPMENT PLAN VIEW

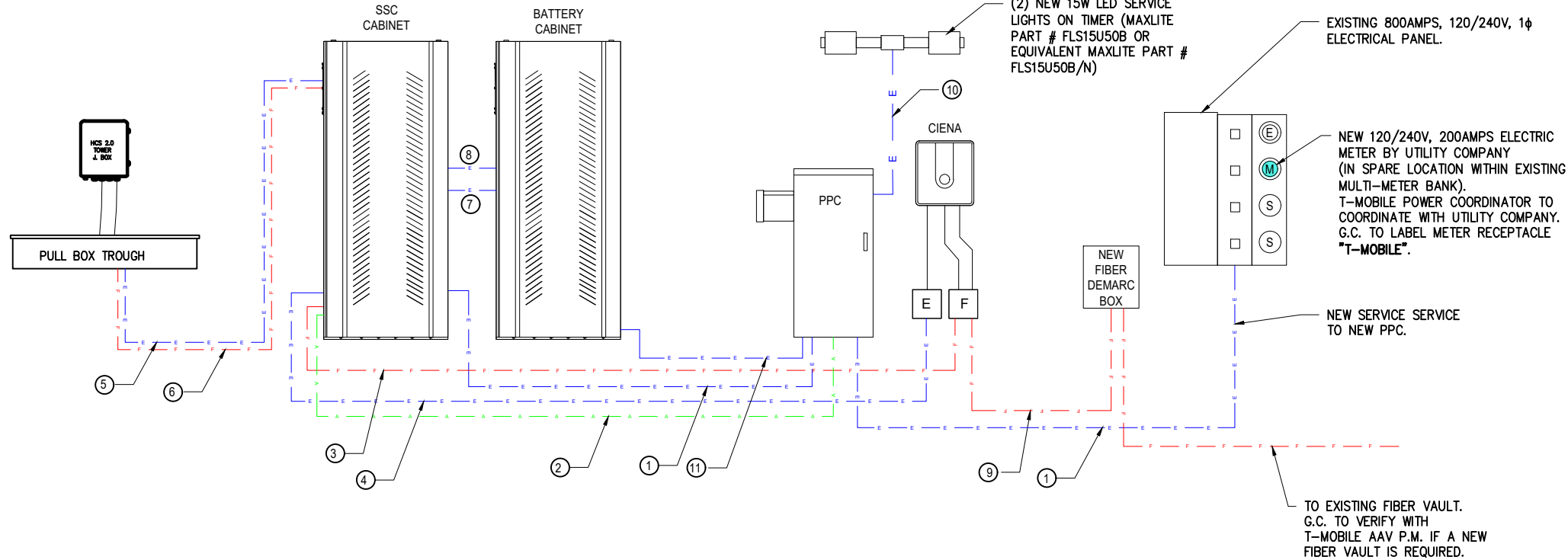
SCALE: 1/4" = 1'-0"





SYMBOL LEGEND:

- 2" RMC FOR AC POWER WITH (2) 3/0 & (1) #4 NEUTRAL AND (1) 3/0 GROUND
- 1" RMC FOR TELCO ALARM WITH (1) PAIR OF BELDEN 27916A #16 AWG
- 1" RMC FOR FIBER WITH 40' SM FIBER.
- 1" RMC FOR DC POWER WITH (2) #12 & (1) #6 GROUND
- 3" RMC FOR DC POWER WITH (3) PAIRS OF #2
- 3" RMC FOR FIBER WITH FIBER JUMPERS
- 4" RMC FOR BATTERY ALARM WITH (2) CAT-5 CABLES
- 4" RMC FOR DC POWER WITH (2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12
- 2" RMC FOR NEW FIBER SERVICE
- 3/4" RMC WITH #6 AWG WIRES FOR LIGHT
- 1"Ø RMC FROM PPC TO LB3 CABINET AC BATTERY



FIBER CONNECTION SOURCE TO BE CONFIRMED WITH T-MOBILE PRIOR TO CONSTRUCTION START

1 UTILITIES DIAGRAM  
SCALE: N.T.S

| T-MOBILE SITE NUMBER:<br>VOLTAGE:<br>MAIN BREAKER:<br>MOUNT:<br>ENCLOSURE TYPE:<br>PANEL STATUS: |                  |              |               | 240V/120<br>200AMP<br>H-FRAME<br>NEMA 3R<br>NEW |                 |              |            | MODEL:<br>PHASE:<br>BUSS RATING:<br>NEUTRAL BAR:<br>N TO GROUND BOND:<br>INTERNAL TVSS: |              |                 |                | POWER TRANSFER CABINET OR APPROVED EQUAL<br>1 WIRE: 3<br>200AMPS AIC: 22,000<br>YES GROUND BAR: YES<br>YES |              |                         |     |
|--|------------------|--------------|---------------|---|-----------------|--------------|------------|---|--------------|-----------------|----------------|--|--------------|-------------------------|-----|
| CKT  | LOAD DESCRIPTION | BREAKER AMPS | BREAKER POLES | BREAKER STATUS                                  | SERVICE LOAD VA | USAGE FACTOR | PHASE A VA | PHASE B VA  | USAGE FACTOR | SERVICE LOAD VA | BREAKER STATUS | BREAKER POLES  | BREAKER AMPS | LOAD DESCRIPTION        | CKT |
| 1  | SURGE APPROX     | 30           | 2             | ON  | 400             | 1.25         | 1000       |   | 1.25         | 4200            | ON             | 4  | 200          | HP SITE SUPPORT CABINET | 2   |
| 3  |                  |              |               | ON  |                 | 1.25         |            | 10500   |              |                 |                |  |              |                         | 4   |
| 5  | SERVICE LIGHT    | 20           | 1             | ON  | 500             | 1            | 500        |   |              |                 |                |  |              |                         | 6   |
| 7  |                  |              |               | ON  |                 | 0            | 0          | 10500   |              |                 |                |  |              |                         | 8   |
| 9  |                  |              |               | N/A   | 0               | 0            | 0          |   | 0            | 0               | N/A            |  |              |                         | 10  |
| 11   |                  |              |               | N/A   | 0               | 0            | 0          | 0   | 0            | 0               | N/A            |  |              |                         | 12  |
| 13   |                  |              |               | N/A   | 0               | 0            | 0          |   | 0            | 0               | N/A            |  |              |                         | 14  |
| 15   |                  |              |               | N/A   | 0               | 0            | 0          |   | 0            | 0               | N/A            |  |              |                         | 16  |
| 17   |                  |              |               | N/A   | 0               | 0            |            | 0   | 0            | 0               | N/A            |  |              |                         | 18  |
| 19   |                  |              |               | N/A   | 0               | 0            | 0          |   | 0            | 0               | N/A            |  |              |                         | 20  |
| 21   |                  |              |               | N/A   | 0               | 0            |            | 0   | 0            | 0               | N/A            |  |              |                         | 22  |
| 23   |                  |              |               | N/A   | 0               | 0            |            | 0   | 0            | 0               | N/A            |  |              |                         | 24  |
|  |                  |              |               |   |                 |              | 1500       | 21000   | VA           |                 |                | TOTAL KVA  | 22500        |                         |     |
|  |                  |              |               |   |                 |              |            |   |              |                 |                | AMPS   | 93.75        |                         |     |

- CONTRACTOR NOTES - PPC:
- FURNISH & INSTALL ALL CIRCUIT BREAKERS PER PANEL SCHEDULE
  - LABEL CIRCUIT BREAKER W/ PERMANENT PLASTIC LABELS NOTING FUNCTION OF BREAKER
  - REPLACE MISSING COMPARTMENT ACCESS SCREWS LOST DURING INSTALLATION
  - VERIFY ENCLOSURE IS RODENT-PROOF AFTER INSTALLATION OF CABINET AND CONDUITS
  - FACTORY INSTALLED NEUTRAL-GROUNDING BOND JUMPER INSIDE THE PPC SHALL BE REMOVED

2 ELECTRICAL PANEL SCHEDULE  
SCALE: N.T.S

T-MOBILE ELECTRICAL SCOPE OF WORK:

- CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS. ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS.  
  
ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS
- ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)
- ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.
- ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.
- 3/4" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO NSN SYSTEM MODULES FOR POWER DELIVERY.
- 1" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR POWER DELIVERY.
- 2" CONDUIT IS TO BE RUN FROM 12X12X4 HOFFMAN BOX TO COVP FOR POWER DELIVERY.
- 1" CONDUIT IS TO BE RUN FROM THE 6X6X4 HOFFMAN TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR ETHERNET DELIVERY.
- 3/4" CONDUIT IS TO BE UTILIZED TO DELIVER ETHERNET FROM CSR TO NSN SYSTEM MODULES.
- SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT
- 2" CONDUIT IS TO BE USED TO DELIVER POWER FROM PPC TO SSC.
- 2" CONDUIT IS TO BE RUN TO BRING POWER FROM OUR SOURCE TO T-MOBILE METER.
- 2" CONDUIT IS TO BE RUN FROM OUR METER TO OUR PPC (UNLESS LARGER THAN 3 AWG I.E. 300 OR 500 MCM IS REQUIRED DUE TO VOLTAGE DROP WITH A LONG RUN)
- 2" CONDUIT IS TO BE RUN FROM FBT, CIENA, OR OTHER TELCO SOURCE TO T-MOBILE TELCO H-FRAME
- ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".
- IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS
- EMT IS ONLY ALLOWED INDOOR.

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PROFESSIONAL ENGINEER  
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CHECKED BY: AB  
APPROVED BY: RA

SHEET TITLE  
UTILITIES DIAGRAM &  
ELECTRICAL PANEL  
SCHEDULE

SHEET NUMBER  
E-3

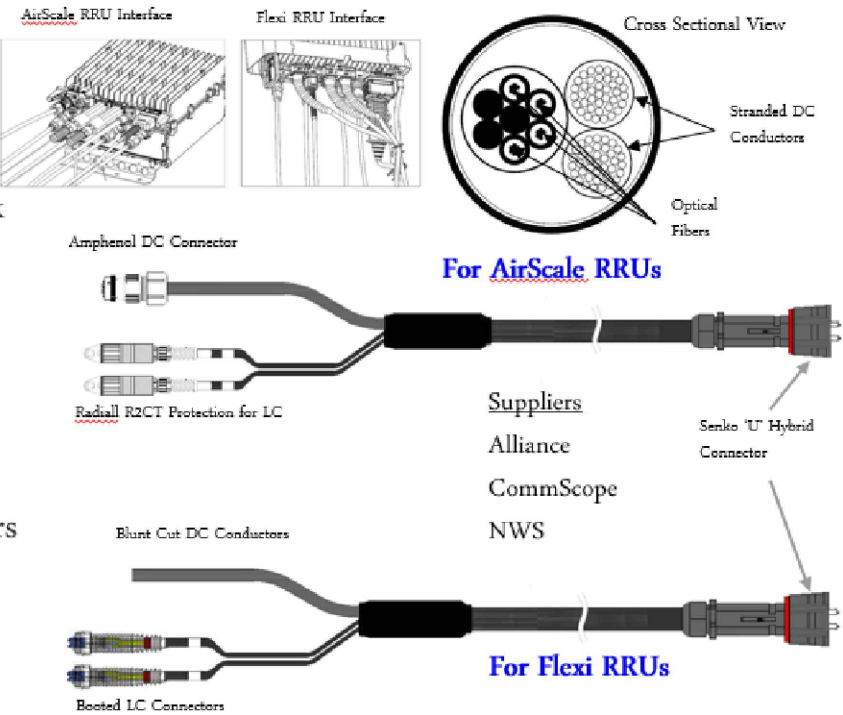
| CUSTOM CONFIGURATION – TOWER TOP EQUIPMENT SCHEDULE |              |                    |   |                 |                 |            |         |                        |                |                          |                 |                     |   |
|---|--------------|--------------------|---|-----------------|-----------------|------------|---------|------------------------|----------------|--------------------------|-----------------|---------------------|---|
| ANTENNA SECTOR                                      | ANTENNA MARK | ANTENNA MODEL #    | TECHNOLOGY  | ELECTRICAL TILT | MECHANICAL TILT | RAD CENTER | AZIMUTH | RRU MODEL              | DIPLEXER MODEL | TOWER TOP COVP MODEL     | RF JUMPERS      | HYBRID JUMPERS      | ESTIMATED MFR. HCS 2.0 TRUNK LENGTH (TO BE VERIFIED IN FIELD)     |
| ALPHA   | A1           | FFVW-65C-R3-V1 (P) | L700/N600<br>L2100+1900/<br>UMTS 2100/<br>GSM1900 | -               | -               | 100'-0"    | 90°     | AHLOA (P)<br>AHFIG (P) | -              | HCS 2.0<br>PENDANT A (P) | (8) 15'/15' (P) | (2) 15' HCS 2.0 (P) | (1) 150' HCS 2.0 TRUNK A (P)<br>(EXACT LENGTH TO BE FIELD VERIFY) |
|   | A2           | -                  | -   | -               | -               |            |         | -                      | -              | -                        | -               | -                   | -   |
| BETA  | B1           | FFVW-65C-R3-V1 (P) | L700/N600<br>L2100+1900/<br>UMTS 2100/<br>GSM1900 | -               | -               | 100'-0"    | 180°    | AHLOA (P)<br>AHFIG (P) | -              | SHARED PENDANT A         | (8) 15'/15' (P) | (2) 15' HCS 2.0 (P) | SHARED HCS 2.0 TRUNK A  |
|   | B2           | -                  | -   | -               | -               |            |         | -                      | -              | -                        | -               | -                   | -   |
| GAMMA   | C1           | FFVW-65C-R3-V1 (P) | L700/N600<br>L2100+1900/<br>UMTS 2100/<br>GSM1900 | -               | -               | 100'-0"    | 350°    | AHLOA (P)<br>AHFIG (P) | -              | SHARED PENDANT A         | (8) 15'/15' (P) | (2) 15' HCS 2.0 (P) | SHARED HCS 2.0 TRUNK A  |
|   | C2           | -                  | -   | -               | -               |            |         | -                      | -              | -                        | -               | -                   | -   |

NOTE: ANTENNAS PLACEMENT, ELCT. & MECH. TILT, AND RRU's TO BE VERIFIED WITH T-MOBILE C.M. PRIOR TO CONSTRUCTION STARTS

**NOTE:**  
G.C. SHALL FIELD MEASURE AND DETERMINE THE EXACT REQUIRED NEW HCS 2.0 TRUNK LENGTH TO EACH SECTOR AND PROVIDE CABLES LENGTHS TO T-MOBILE CONSTRUCTION MANAGER TO ENSURE THE CORRECT LENTHS ARE CAPTURES ON THE FINAL RFDS AND T-MOBILE BILL OF MATERIAL (B.O.M).

1 ANTENNA SCHEDULE  
SCALE: N.T.S.

- Outer diameter: 0.72"
- Weight: 0.34 lb/ft
- Operating Temp: -40 °C to +75 °C
- Connectorized for mating with tower top trunk cable breakout or roof top box
- DC and fiber interfaces versions for Nokia AirScale and Flexi RRUs
- Short (tower top 15') & long (roof top 20' - 250') AirScale versions available
- Also available with legacy booted LC connectors and blunt cut DC conductors for Flexi RRU applications



2 HYBRID JUMPER CABLE GENERAL SPECIFICATIONS  
SCALE: N.T.S.

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SHEET TITLE

ANTENNA AND CABLE  
SCHEDULE

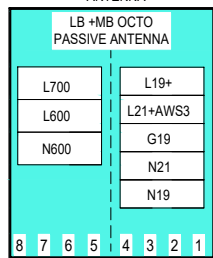
SHEET NUMBER

RF-1



## ALPHA SECTOR

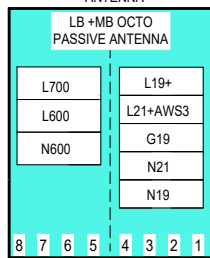
## POSITION # A1

COOMSCOPE  
FFVW-65C-R3-V1  
ANTENNARF JUMPER,  
TYP.HCS 2.0 HYBRID  
JUMPER. TYP.PROPOSED  
PENDANT A

A

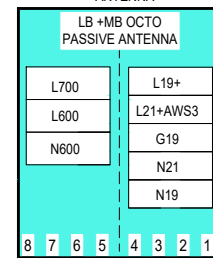
## BETA SECTOR

## POSITION # B1

COOMSCOPE  
FFVW-65C-R3-V1  
ANTENNARF JUMPER,  
TYP.

## GAMMA SECTOR

## POSITION # C1

COOMSCOPE  
FFVW-65C-R3-V1  
ANTENNARF JUMPER,  
TYP.HCS 2.0 HYBRID  
JUMPER. TYP.AT ANTENNA LEVEL  
AT EQUIPMENT PLATFORM LEVEL

## NOTE:

G.C. TO REFER TO FINAL RFDS AND PORT MATRIX TO ENSURE  
ACCURATE EQUIPMENT CALLOUTS AND PLUMBING DIAGRAM.

## LEGEND

- EXISTING EQUIPMENT TO REMAIN  
PROPOSED EQUIPMENT TO BE INSTALLED

## LEGEND

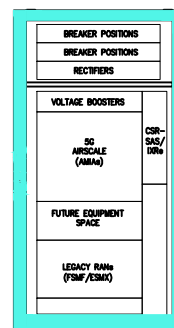
- RF CABLING ALPHA  
RF CABLING BETA  
RF CABLING GAMMA  
HCS 2.0 TRUNK  
HCS 1.0 HYBRID CABLE (E)  
HCS 2.0 HYBRID JUMPER ALPHA  
HCS 2.0 HYBRID JUMPER BETA  
HCS 2.0 HYBRID JUMPER GAMMA

PROPOSED HCS 2.0  
TRUNK.

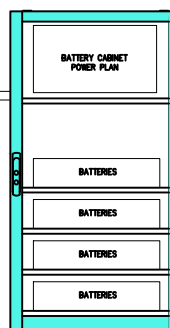
PULL BOX TROUGH

(1) NEW 3"Ø RIGID RMC CONDUIT  
FOR DC POWER FROM OVP's  
PULL BOX TO HPL3 CABINET.(6) NEW BOTTOM FIBER JUMPERS ROUTED  
INSIDE (1) NEW 3"Ø RIGID RMC CONDUIT  
FROM OVP's PULL BOX TO HPL3 CABINET.

## HPL3



## LB3

PROPOSED  
FYGA ANTENNA

1

## PROPOSED RF PLUMBING DIAGRAM

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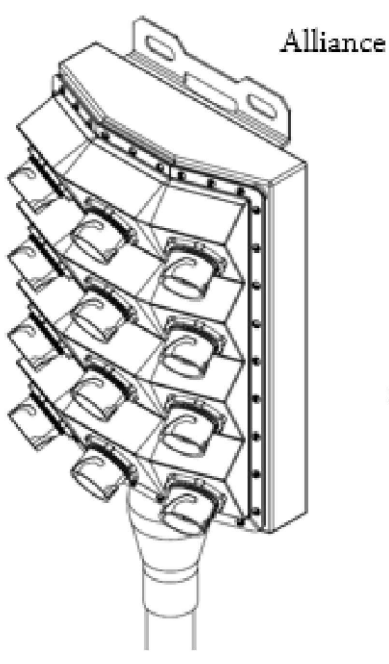
SYSTEM CONNECTION  
DIAGRAM

SHEET NUMBER

RF-2

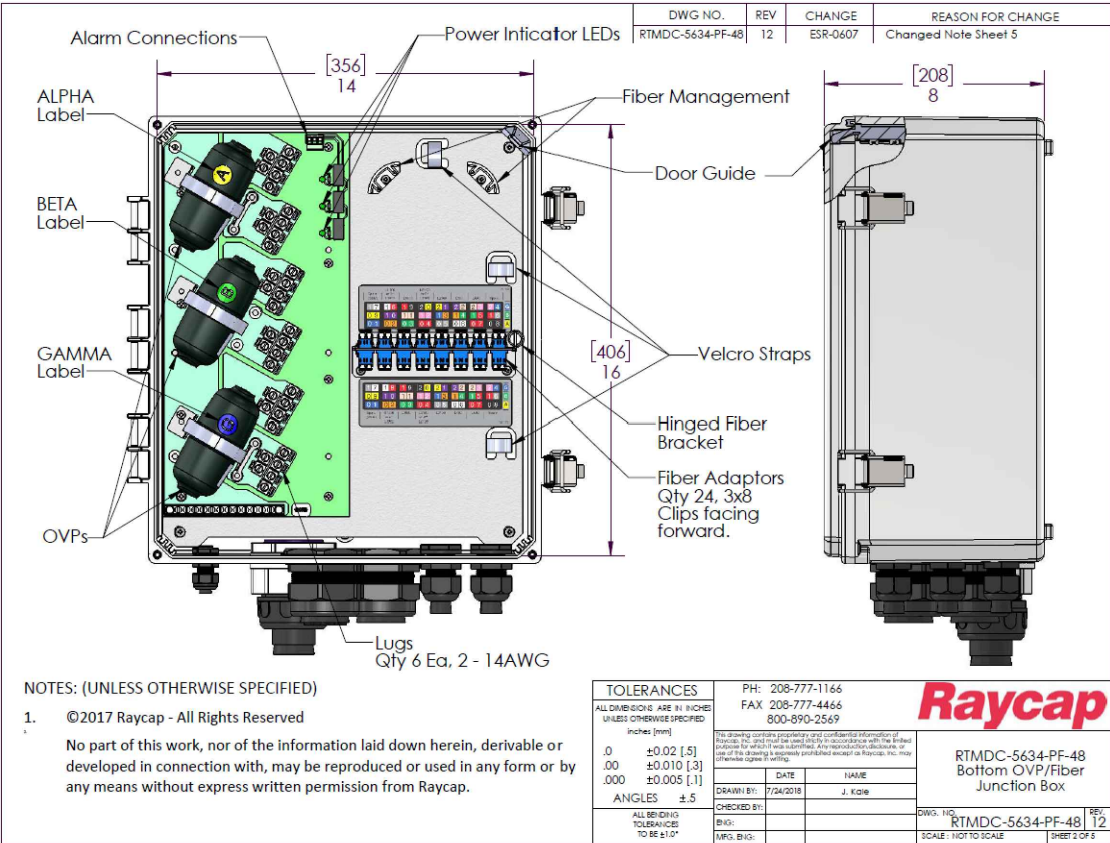
**NOTE:**  
THE BREAKOUT BOX (PENDANT) IS PERMANENTLY ATTACHED TO THE TRUNK CABLE, IT IS NOT FIELD REMOVABLE/REPLACEABLE WITHOUT REPLACING THE ENTIRE TRUNK CABLE.

|                    |              |
|--------------------|--------------|
| Dimensions, in.    | 9.3x14.9x5.8 |
| in.                | 8            |
| Weight             | 1.61 lb/ft   |
| Port Interface     | Senko U      |
| Interface          |              |
| Hybrid Ports       | 12           |
| Conductor          | None         |
| Termination        |              |
| Single Mode Fibers | 48           |
| Fibers             |              |
| Fiber Termination  | LC pair      |
| Termination        |              |
| Max RRU            | 12           |



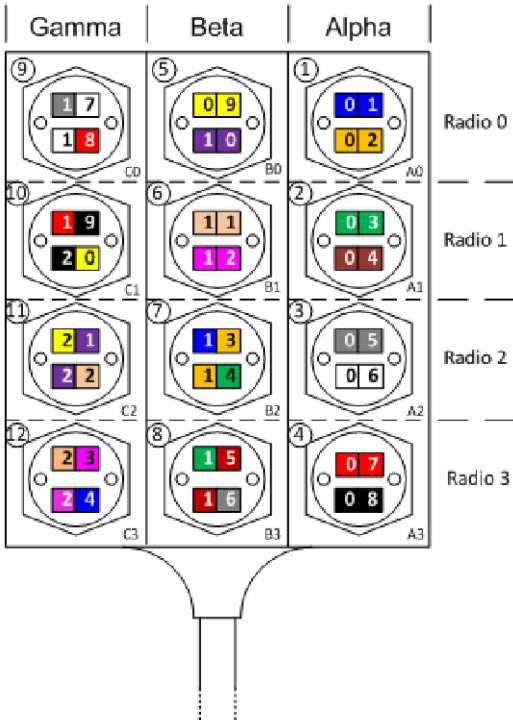
BREAKOUT BOX (PENDANT) WEIGHT: 3.59lbs

1 HCS 2.0 BREAKOUT BOX (PENDANT) SPECS  
SCALE: N.T.S.



2 RAYCAP BOTTOM OVP SPECS  
SCALE: N.T.S.

Breakout Feature



Bottom Junction Box Fiber

Patch Panel

| Radio 0   |           | Radio 1   |           | Radio 2   |           | Radio 3   |           |
|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| Optical 1 | Optical 2 | Optical 1 | Optical 2 | Optical 1 | Optical 2 | Optical 1 | Optical 2 |
| 1 7       | 1 8       | 1 9       | 2 0       | 2 1       | 2 2       | 2 3       | 2 4       |
| 0 9       | 1 0       | 1 1       | 1 2       | 1 3       | 1 4       | 1 5       | 1 6       |
| 0 1       | 0 2       | 0 3       | 0 4       | 0 5       | 0 6       | 0 7       | 0 8       |



3 TOWER JUNCTION BOX HYBRID PORTS COLOR CODE  
SCALE: N.T.S.

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NEW EQUIPMENT MFR.  
SPECS & CONNECTION  
DIAGRAM

SHEET NUMBER

RF-3

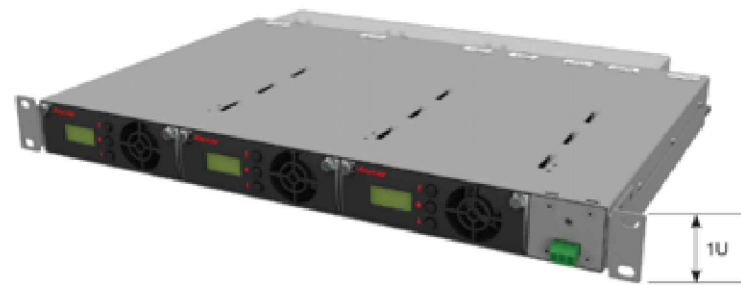


Figure 1 Raycap PowerPlus Voltage Booster (front view)

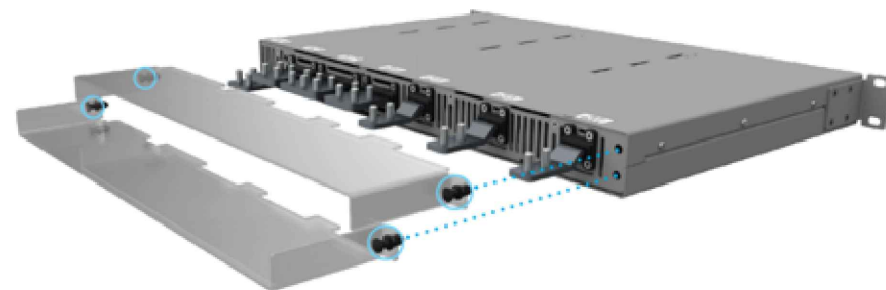
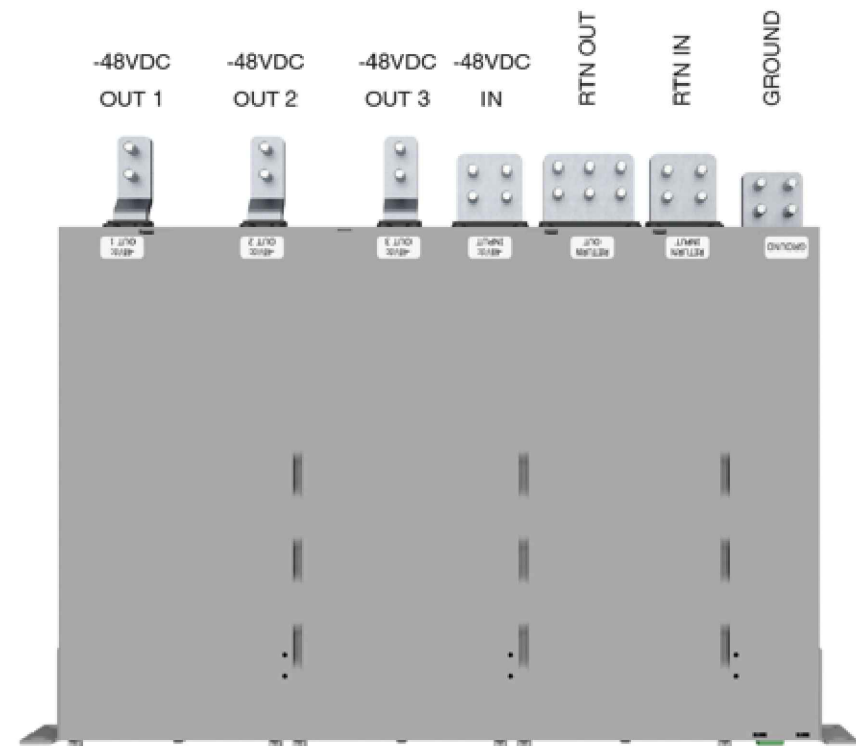


Figure 2 Raycap PowerPlus Voltage Booster (rear view; with touch guard)



### 3.2.2 Single Mode

For applications where the radios are fed power on a sector basis, i.e. HCS 2.0 tower and roof top, the PowerPlus shall be configured for Single Mode operation. Each output terminal pair feeds a sector in HCS 2.0.

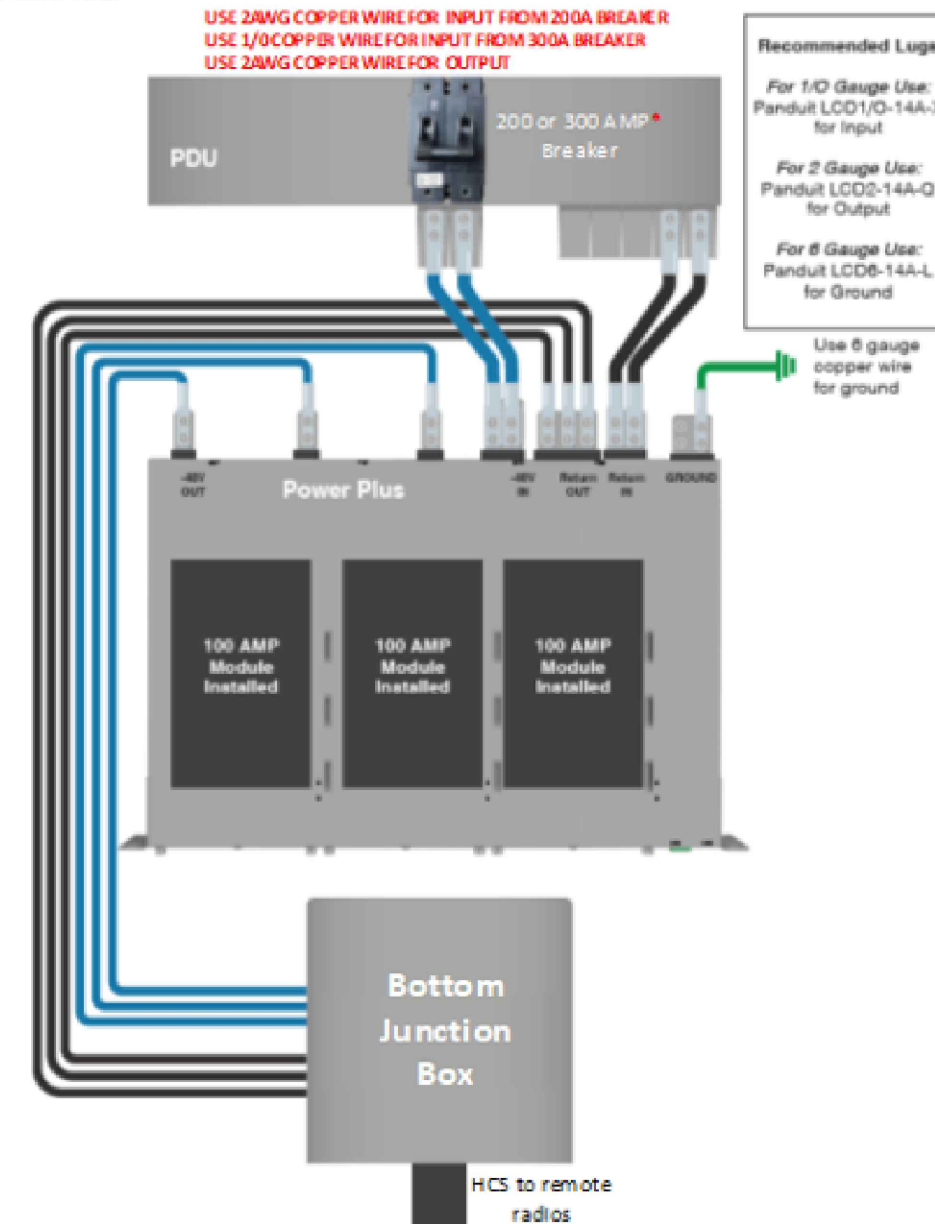


Figure 6 Single Mode Wiring (\*300A solution under development for exceptional cases)

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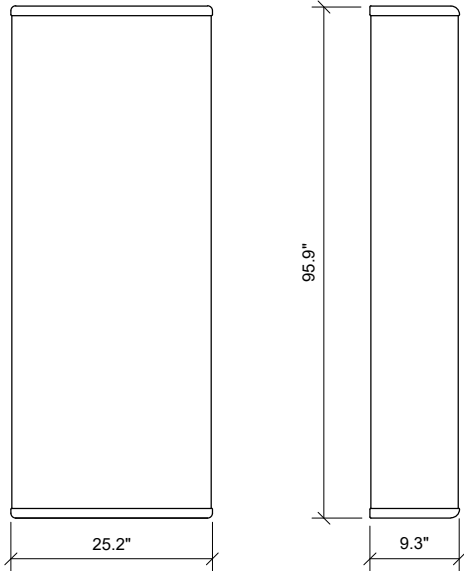
RAYCAP POWERPLUS  
VOLTAGE BOOSTER  
MFR SPECS.

SHEET NUMBER

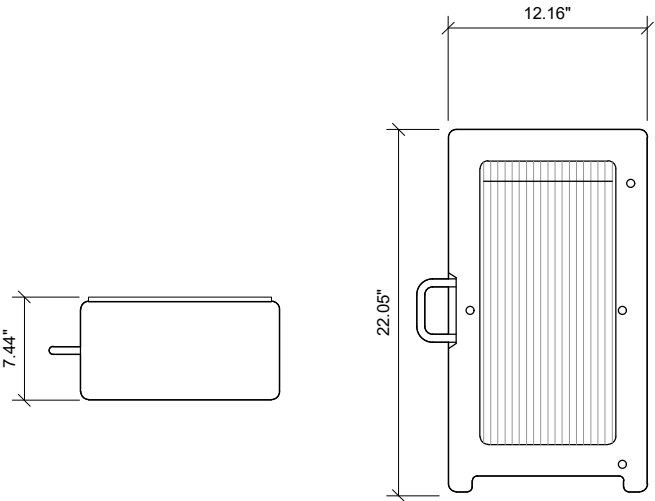
RF-4



|                    |                             |
|--------------------|-----------------------------|
| MODEL #            | COMMSCOPE/<br>FFV-65C-R3-V1 |
| DIMENSIONS (HxWxD) | 95.9" x 25.2" x 9.3"        |
| NET WEIGHT         | 124.6 lbs                   |



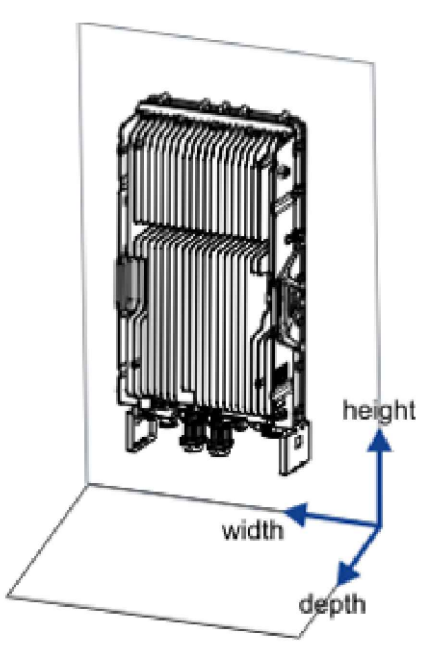
1 FFV-65C-R3-V1 ANTENNA DETAIL  
SCALE: N.T.S.



|                    |                         |
|--------------------|-------------------------|
| MODEL #            | NOKIA AHLOA RRH         |
| DIMENSIONS (HxWxD) | 22.05" x 12.16" x 7.44" |
| NET WEIGHT         | 83.78lbs                |

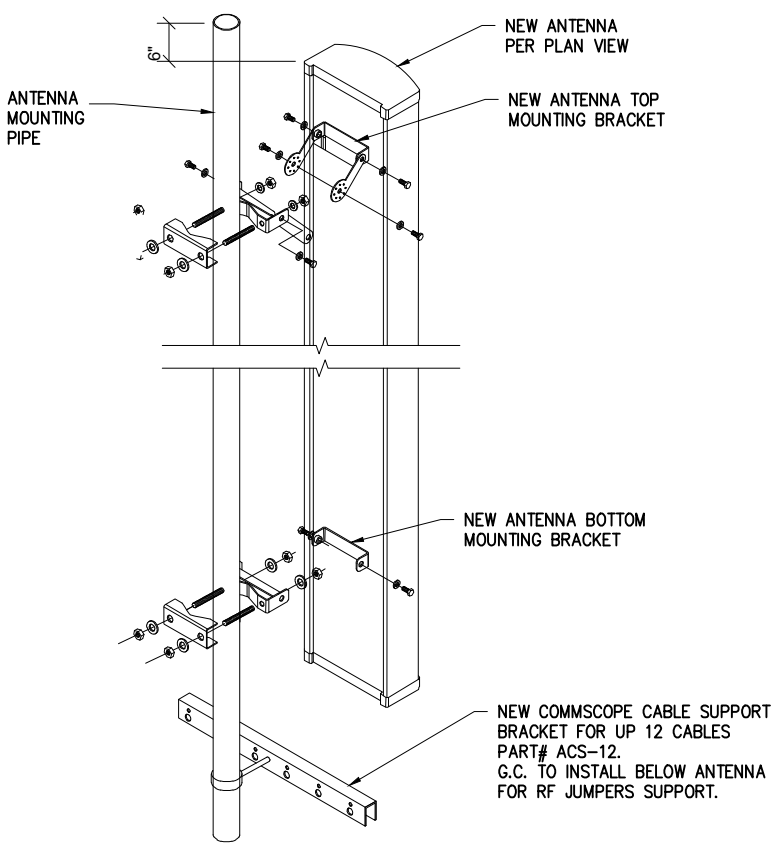
4 AHLOA RRH DETAIL  
SCALE: N.T.S.

2 NOT USED  
SCALE: N.T.S.

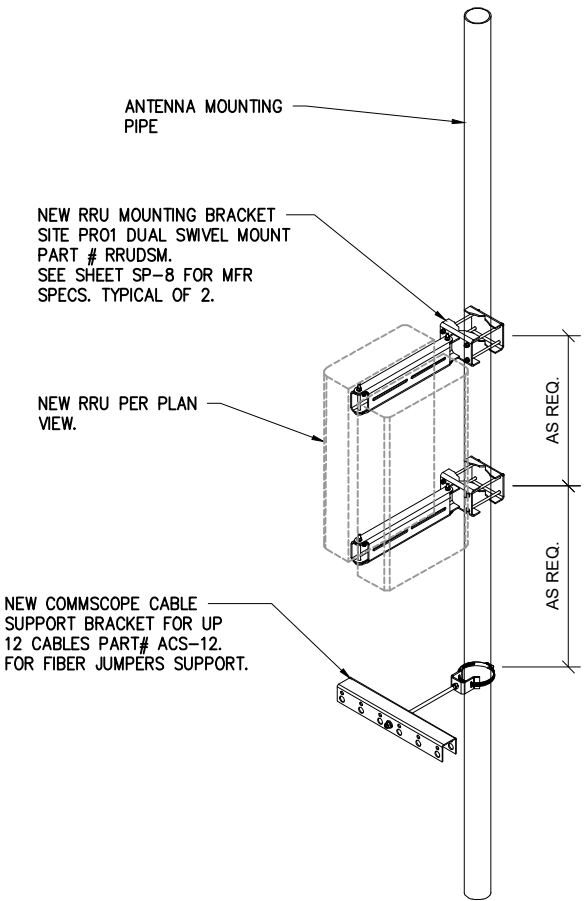


|                            |                      |
|----------------------------|----------------------|
| MODEL #                    | NOKIA AHFIG RRH      |
| DIMENSIONS (HxWxD)         | 27.4" x 12.1" x 5.2" |
| NET WEIGHT (WITHOUT COVER) | 70.5lbs              |

5 AHFIG RRH DETAIL  
SCALE: N.T.S.



3 ANTENNA MOUNTING DETAIL.  
SCALE: N.T.S.



6 RRU MOUNTING DETAIL  
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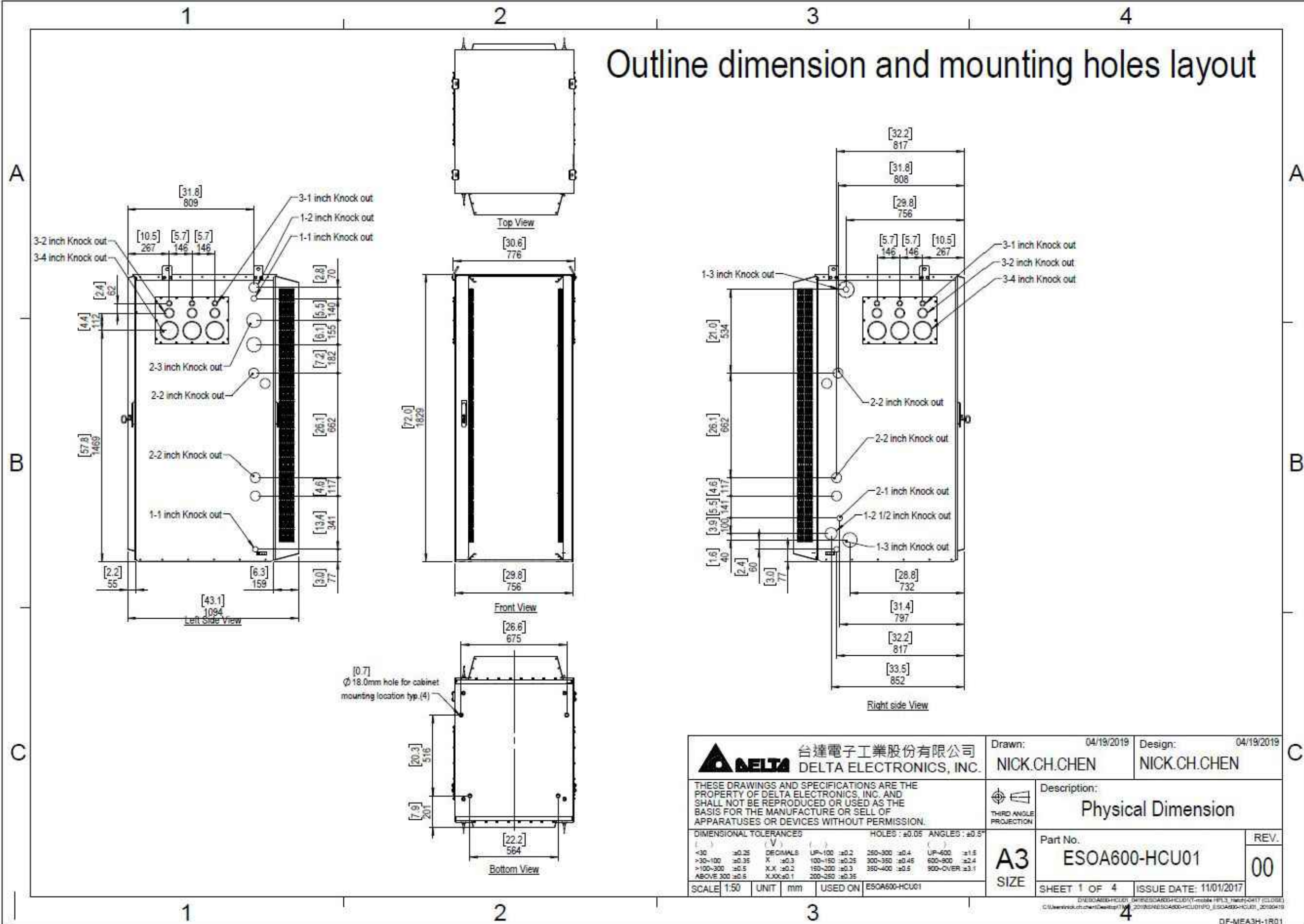
SHEET TITLE


EXISTING & NEW EQUIPMENT  
SPECIFICATIONS

SHEET NUMBER

SP-1

# Outline dimension and mounting holes layout



|   |  |                                     |                                    |
|---|--|-------------------------------------|------------------------------------|
|  台達電子工業股份有限公司<br>DELTA ELECTRONICS, INC.   |  | Drawn: 04/19/2019<br>NICK.CH.CHEN   | Design: 04/19/2019<br>NICK.CH.CHEN |
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| DIMENSIONAL TOLERANCES<br>( ) DECIMALS ( ) FRACTIONS<br><30 ±0.25 X ±0.3 100-150 ±0.25 300-350 ±0.45 600-900 ±2.4<br>>30-100 ±0.35 X.X ±0.2 150-200 ±0.3 350-400 ±0.5 900-OVER ±3.1<br>ABOVE 300 ±0.5 X.XX ±0.1 200-250 ±0.35 |  | Part No.<br>ESOA600-HCU01           | REV.<br>00                         |
| SCALE: 1:50 UNIT: mm USED ON: ESOA600-HCU01   |  | SHEET 1 OF 4 ISSUE DATE: 11/01/2017 |                                    |

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CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

HPL 3 DELTA POWER  
CABINET MFR. SPECS

SHEET NUMBER

SP-2

1 HPL 3 DELTA POWER CABINET MFR. SPECS  
SCALE: N.T.S



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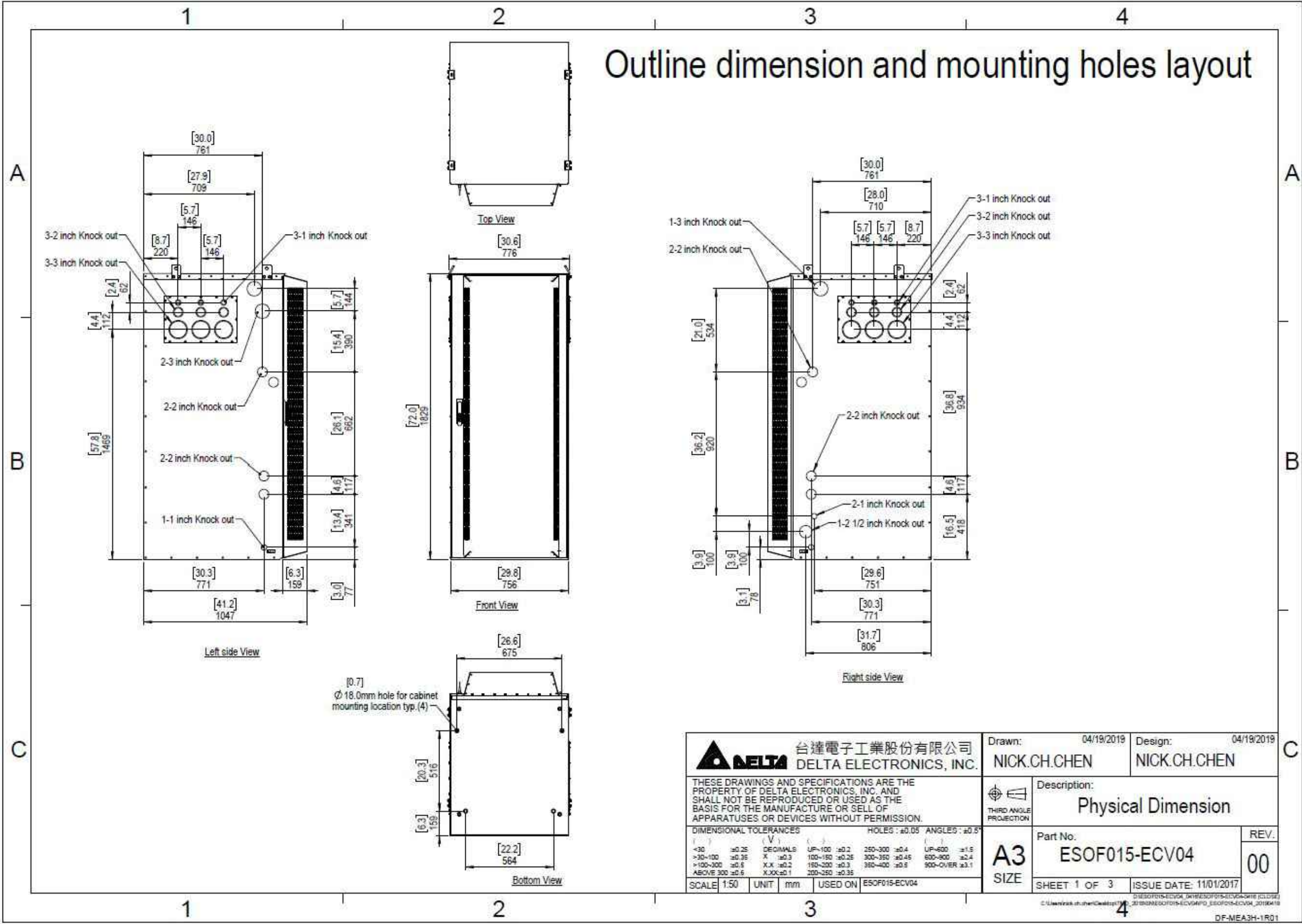
SHEET TITLE

LB3 BATTERY 3 BACK-UP  
CABINET MFR. SPECS

SHEET NUMBER

SP-3

# Outline dimension and mounting holes layout



|  |  |   |                                    |
|--|--|---|------------------------------------|
| <b>台達電子工業股份有限公司</b><br><b>DELTA ELECTRONICS, INC.</b>  |  | Drawn: 04/19/2019<br>NICK.CH.CHEN         | Design: 04/19/2019<br>NICK.CH.CHEN |
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| DIMENSIONAL TOLERANCES<br><30 ±0.25<br>30-100 ±0.35<br>100-300 ±0.5<br>ABOVE 300 ±0.5<br>DECIMALS<br>X ±0.3<br>X.X ±0.2<br>X.XX ±0.1   |  | Part No.<br><b>ESOF015-ECV04</b>          | REV.<br><b>00</b>                  |
| Holes: ±0.05<br>Angles: ±0.5   |  | SHEET 1 OF 3<br>ISSUE DATE: 11/01/2017    |                                    |
| SCALE 1:50<br>UNIT mm<br>USED ON ESO015-ECV04  |  | A3<br>SIZE                                |                                    |





# Power Protection Cabinet (PPC) 200A

## Product Features

- Single wall Aluminum enclosure
- Powder coated finish
- Pad lockable 3-point door latch
- Type 3R & IP55 rated
- Metal oxide varistor surge protection
- Camlok generator connection

www.deltaww.com

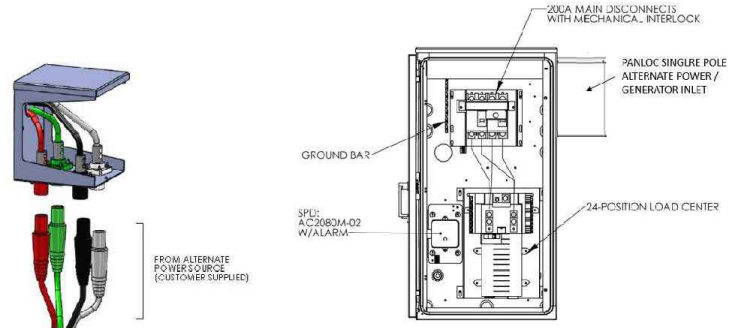


Smarter. Greener. Together.



## Specifications

| Model / Part Number  | 5811130508                                       |
|--|--|
| 1. General   |  |
| Construction   | Single layer Aluminum enclosure, Type 3R         |
| Dimensions (W x H x D)   | 20 x 39 x 10 inch excludes generator connections |
| Weight   | 71 lbs (without packaging)                       |
| Finish   | Polyester Powder Paint                           |
| Door Latch   | 3-Point latching, pad lockable                   |
| Safety   |  |
| UL50 (Cabinet)   |  |
| UL891 Dead Front Switchboard Listed  |  |
| Suitable for Use as Service Equipment (N-G Bonding kit included)             |  |
| 2. Environment   |  |
| Operating temperature  | -40°C to +46°C (-40°F to 115°F)                  |
| Humidity (relative)  | 95%, non-condensing (Max.)                       |
| Protection class   | Type 3R  |
| 3. AC Section  |  |
| Voltage  | 240/120 Single Phase (3 wire + Ground)           |
| Current  | 200A   |
| AIC Rating   | Utility 65,000 Amps                              |
| Other features   |  |
| Generator Interface: Camlok Connections (Right Mount)                        |  |
| Service Disconnect: Square D 200 Amp (65kAIC) Mechanical Slide Bar Interlock |  |
| Load Center: Square D 200 Amp, QO Series, 24 Position                        |  |
| Surge Protection Device (SPD) - 1 ea. AC2080M-02                             |  |
| Square D 30 Amp, 2-Pole Breaker for SPD                                      |  |
| Ground Bar   |  |
| Silkscreen Dead-Front Lift Off Style   |  |
| Captive Dead-Front Fasteners   |  |
| 5. Ordering information  |  |
| PPC  | 5811130508 Power Pedestal Cabinet - 200A         |



GENERATOR INPUT

\*Male Receptacle Twist Lock Panel Mount connectors (not included)

\*All specifications are subject to change without prior notice.



EN\_z20n8P21/ SY

Delta Group Website:  
www.deltaww.com

Product Website:  
www.deltapowersolutions.com

United States of America & Canada:  
Delta Electronics (USA) Inc.  
2925 E. Plano Parkway  
Plano, TX (Texas) 75074

Sales and Orders:  
DEUSTPS.Sales@deltaww.com  
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1-877-DELTA-08 option 3  
(877-335-8208 option 3)  
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PPC CABINET SPECS  
SHEETS

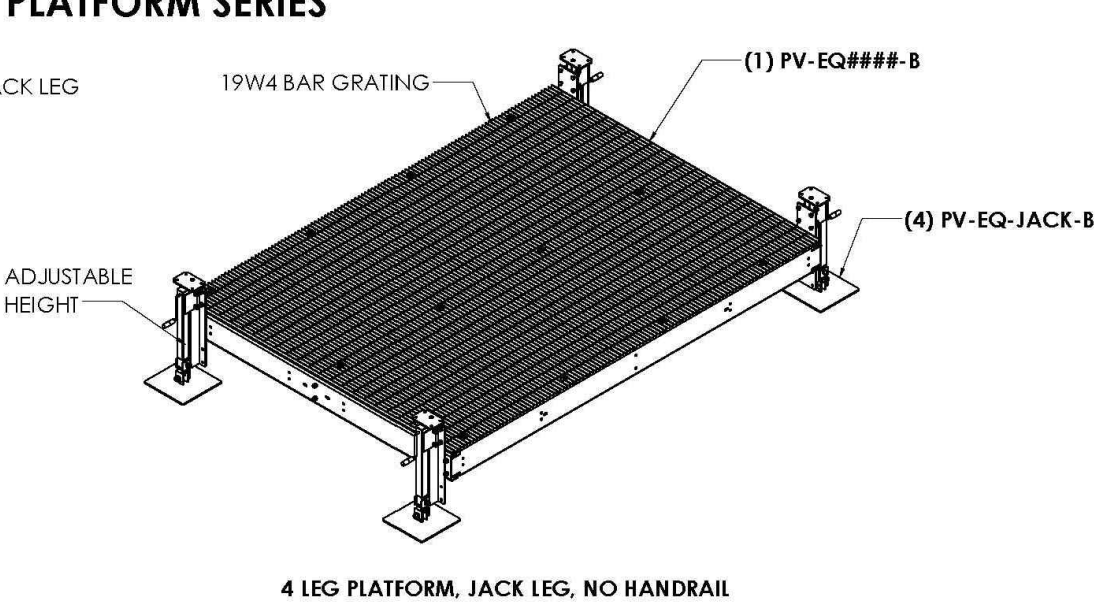
SHEET NUMBER

SP-4

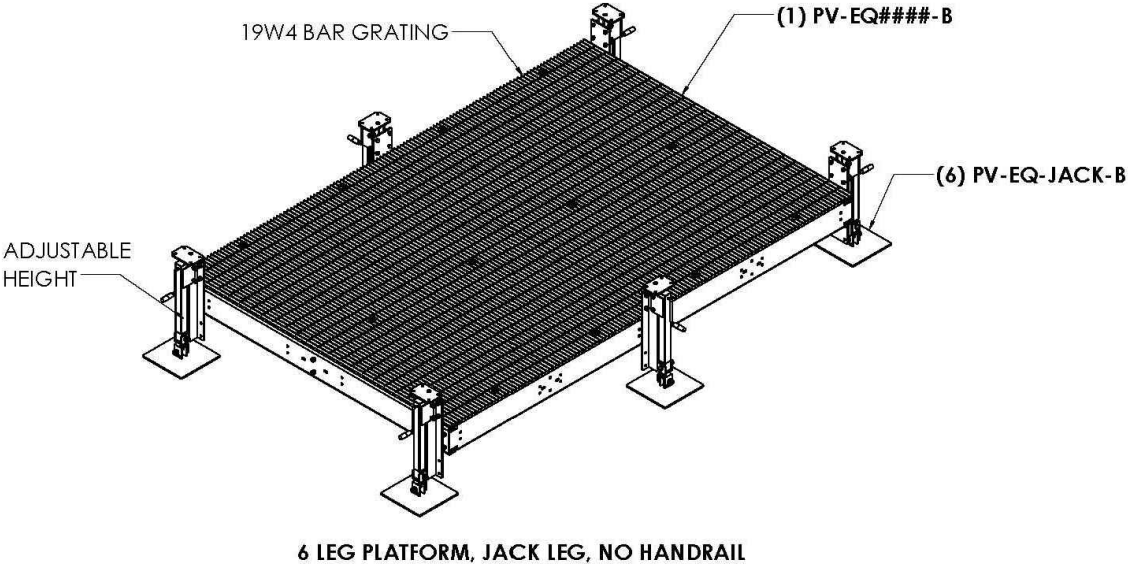


EQUIPMENT PLATFORM SERIES

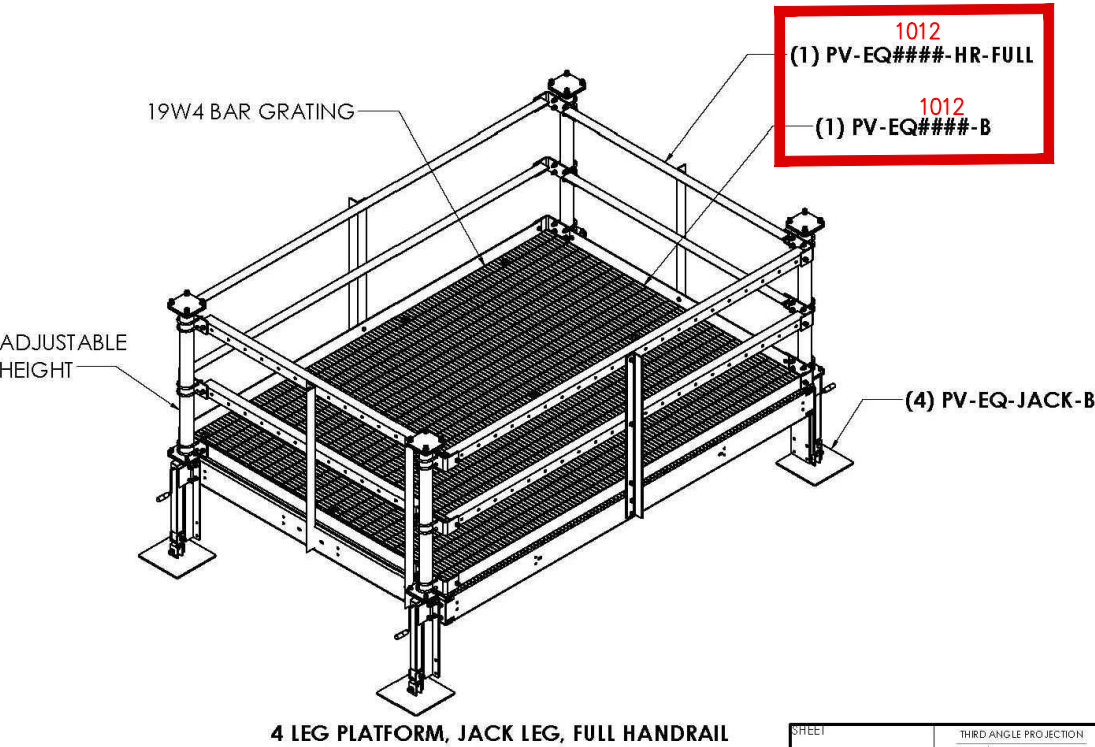
SERIES OVERVIEW: JACK LEG



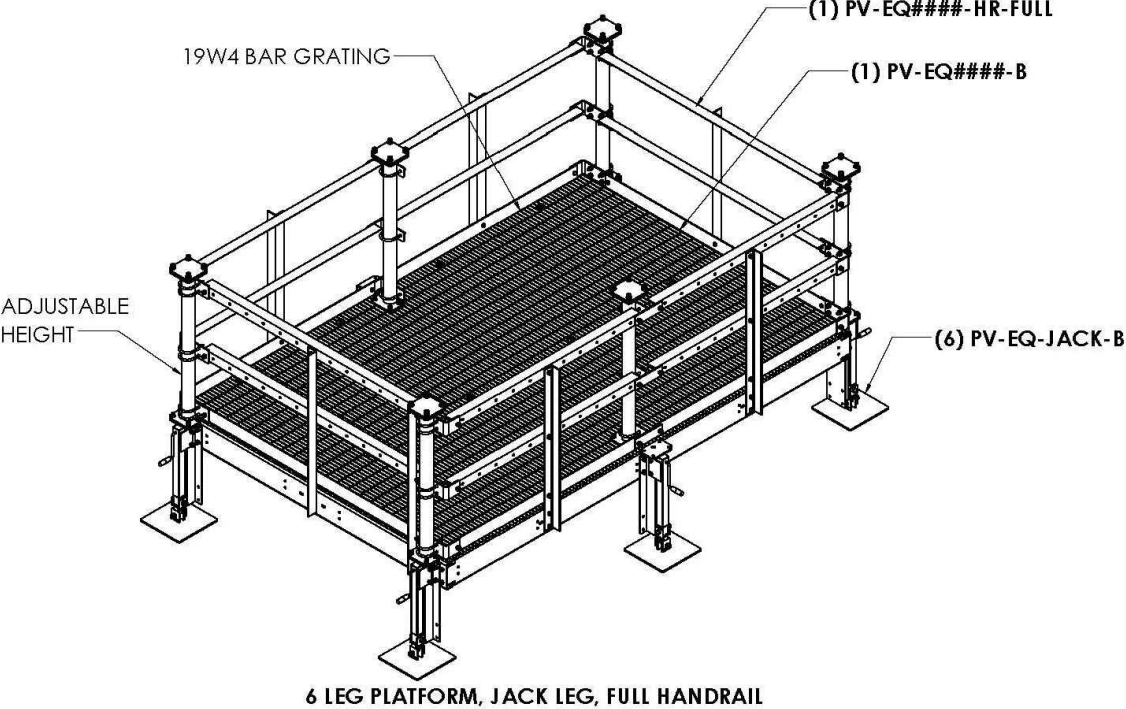
4 LEG PLATFORM, JACK LEG, NO HANDRAIL



6 LEG PLATFORM, JACK LEG, NO HANDRAIL



4 LEG PLATFORM, JACK LEG, FULL HANDRAIL



6 LEG PLATFORM, JACK LEG, FULL HANDRAIL

NOTE: SEE PAGE 8 FOR ADJUSTMENT RANGES

| SHEET   |          | THIRD ANGLE PROJECTION | CATEGORY                          |                                   | REV | DATE        | PERFECT VISION                |     |
|---------|----------|------------------------|-----------------------------------|-----------------------------------|-----|-------------|-------------------------------|-----|
| 4 OF 12 | 5/5/2021 | SCALE 1:40             | 07_Equipment Platforms & Canopies | 01_Equipment Platforms & Canopies | 6   | 11/18/19    |                               |     |
|         |          |                        | TYPE PV-WC / PV-EQ Series         | BY DJN                            | 5   | 2/15/18     | EQUIPMENT PLATFORM AND CANOPY |     |
|         |          |                        | CHECKED SJS                       | STATUS APPROVED                   | 4   | 2/02/17     |                               |     |
|         |          |                        |                                   |                                   | 3   | 1/25/17     | DOCUMENT NUMBER               |     |
|         |          |                        |                                   |                                   | 2   | 9/19/16     |                               |     |
|         |          |                        |                                   |                                   | REV | DESCRIPTION | DATE                          | REV |
|         |          |                        |                                   |                                   |     |             | WCEQ-ENG-01-R6                | 6   |

C:\PV\Westin\Cardlog\SW Working Files\Engineering Details\

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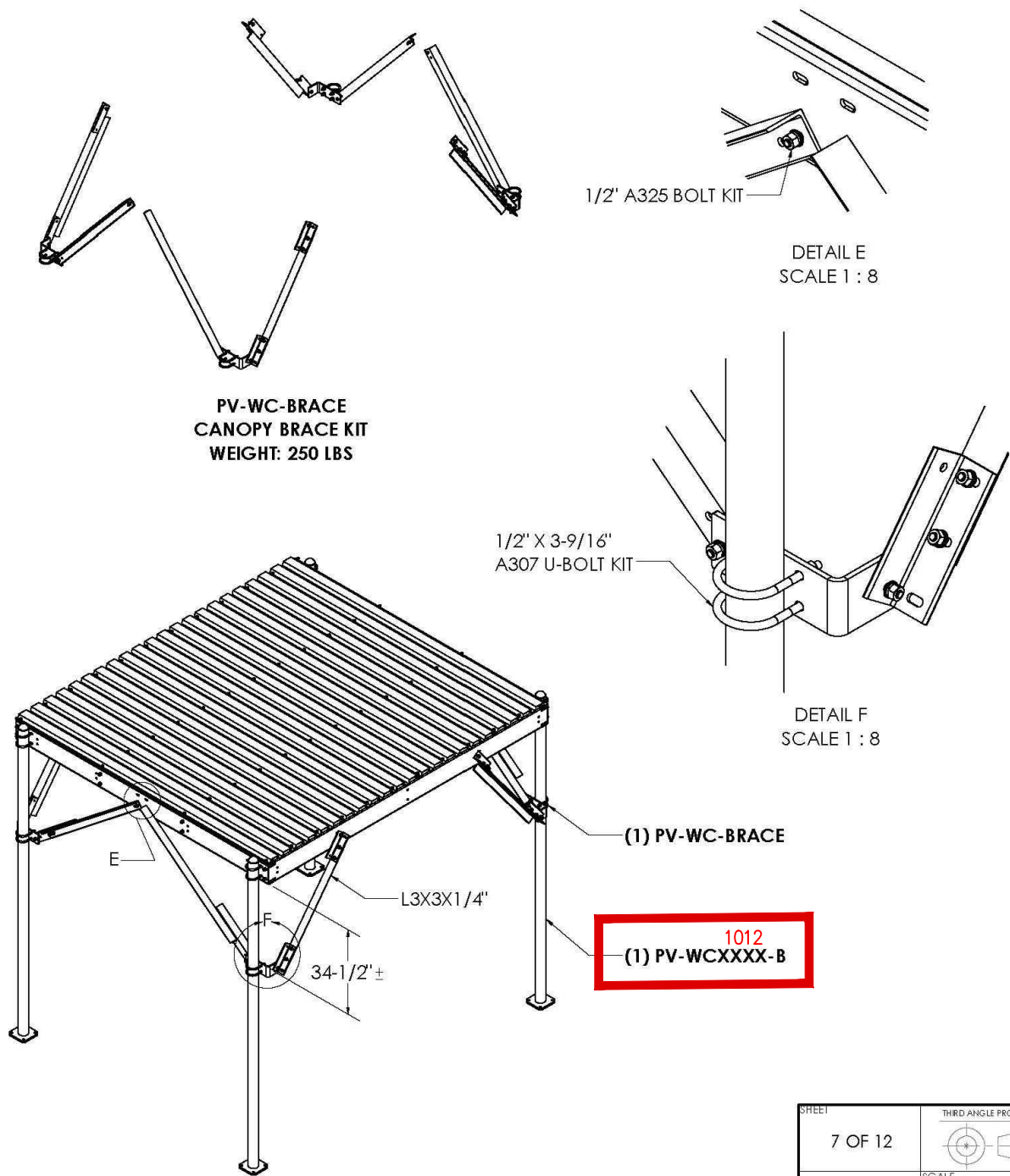
EQUIPMENT PLATFORM  
MFR. SPECS.

SHEET NUMBER

SP-5

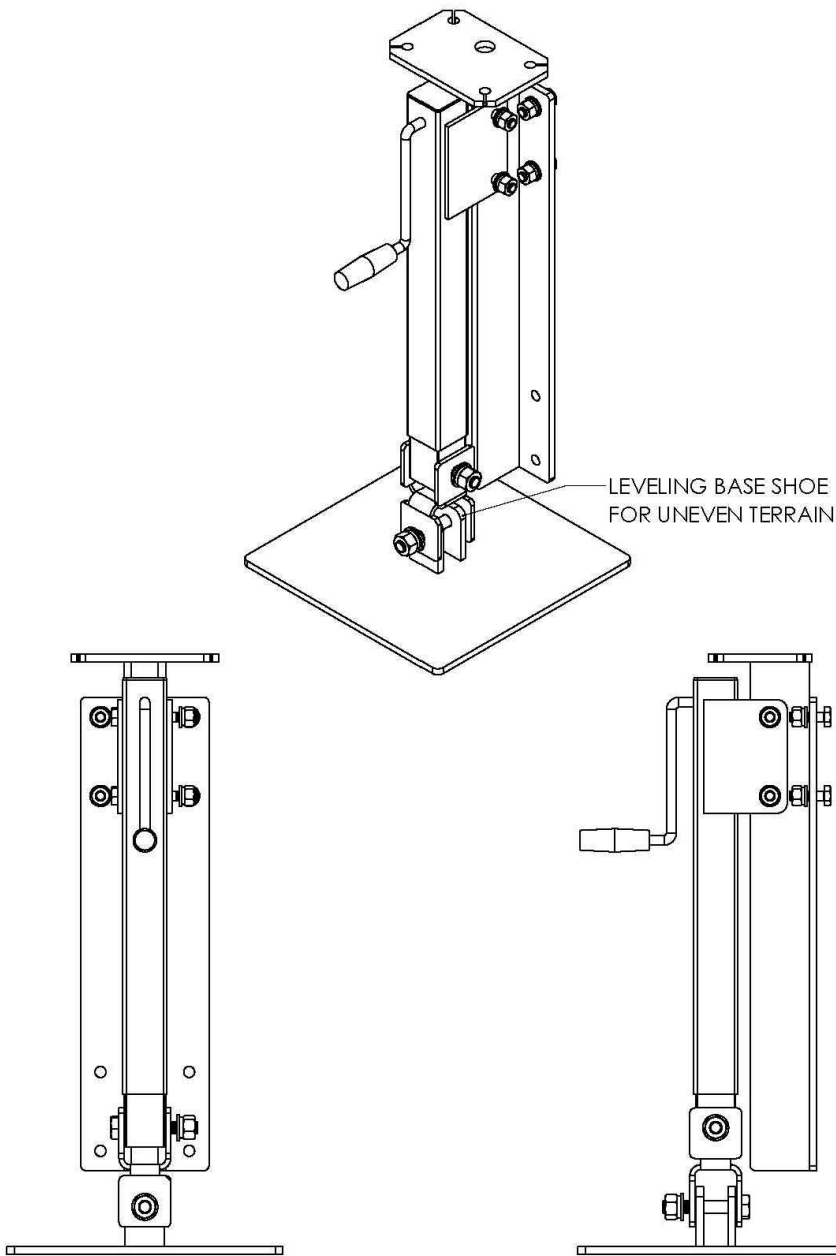


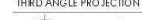
CANOPY CORNER BRACE



CANOPY WITH CORNER BRACING

CRANK UP JACK



|  |  |   |  |          |  |                                   |  |     |  |  |  |          |  |                               |  |
|--|--|---|--|----------|--|-----------------------------------|--|-----|--|--|--|----------|--|-------------------------------|--|
| SHEET  |  | THIRD ANGLE PROJECTION  |  | CATEGORY |  | 07_Equipment Platforms & Canopies |  | 6   |  | ADDED DECK HEIGHT RANGE TABLE INFO                           |  | 11/18/19 |  | <div>PERFECT VISION®</div>    |  |
| 7 OF 12  |  |  |  | SERIES   |  | 01_Equipment Platforms & Canopies |  | 5   |  | UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEGS |  | 2/15/18  |  |                               |  |
| 5/5/2021   |  | SCALE 1:45  |  | TYPE     |  | PV-WC / PV-EQ Series              |  | 4   |  | EQ USABLE AREA TABLE   |  | 2/02/17  |  |                               |  |
| DIMENSIONS ARE IN INCHES<br>TOLERANCES U.N.O.<br>HOLES: +1/16", -1/32"<br>ANGULAR: PROFILE ±1/4°, BEND ±2°<br>ALL OTHERS: ±1/16" |  |   |  | BY       |  | DJN                               |  | 3   |  | ADDED PV-EQ-STEP   |  | 1/25/17  |  | EQUIPMENT PLATFORM AND CANOPY |  |
|  |  |   |  | CHECKED  |  | SJS                               |  | 2   |  | UPDATED PV-WC-BRACE  |  | 9/19/16  |  | DOCUMENT NUMBER               |  |
|  |  |   |  | STATUS   |  | APPROVED                          |  | REV |  | DESCRIPTION  |  | DATE     |  | WCEQ-ENG-01-R6                |  |
|  |  |   |  |          |  |                                   |  |     |  |  |  |          |  | REV 6                         |  |

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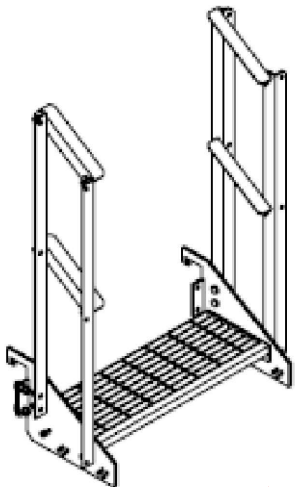
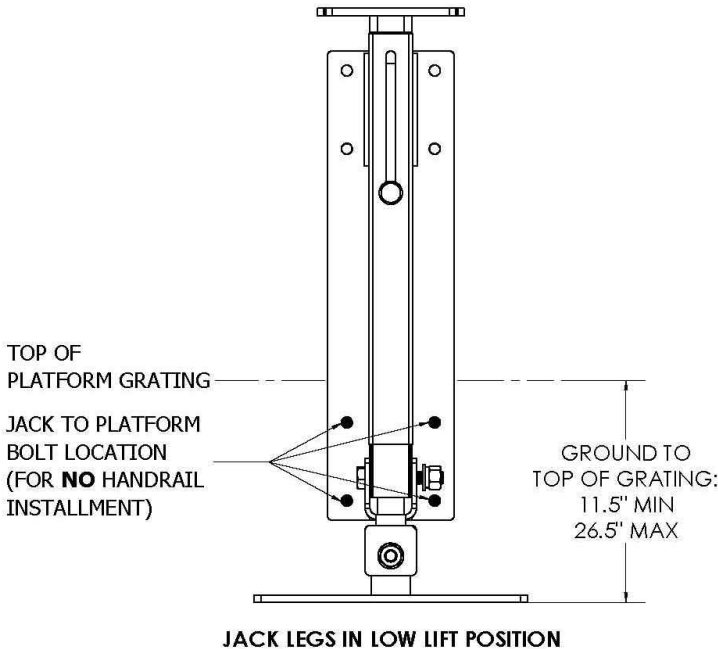
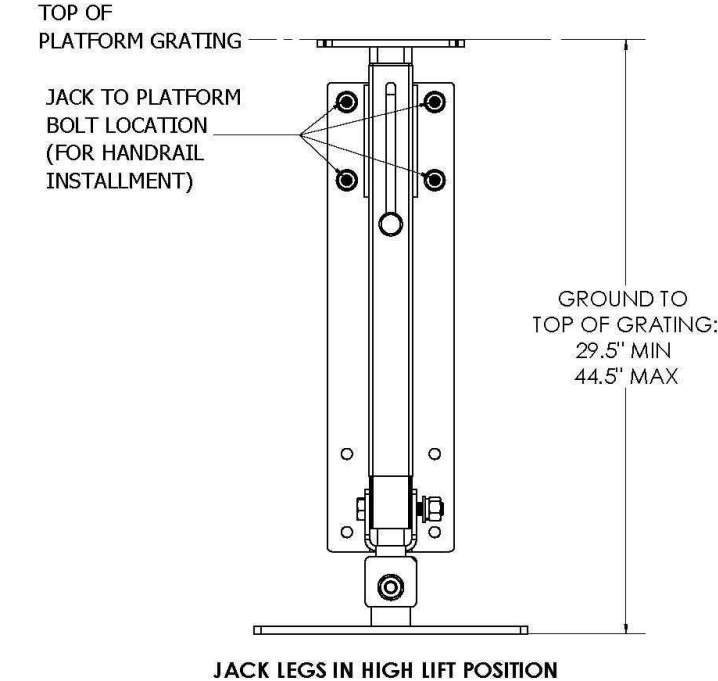
CANOPY MFR. SPECS.

SHEET NUMBER

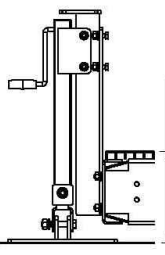
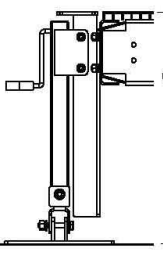
SP-5.1

1 CANOPY MFR. SPECS.  
SCALE: N.T.S

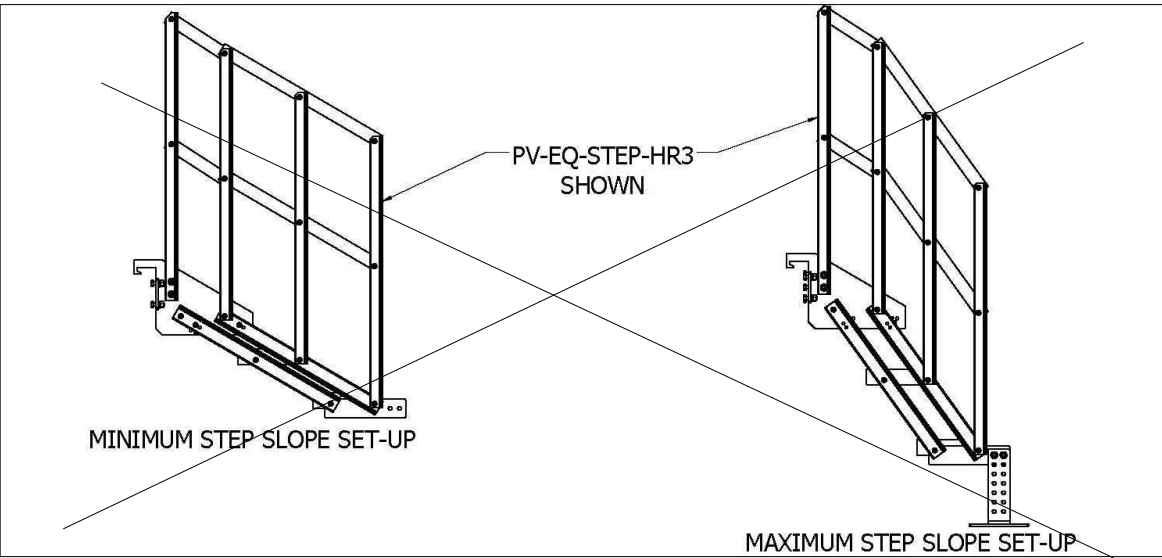
CRANK UP JACK CONT.




PV-EQ-STEP1-HR  
WEIGHT: 120 LBS

| TABLE 1: RECOMMENDED PLATFORM DECK HEIGHT IN ACCORDANCE WITH STEP KITS |   |   |  |
|--|---|---|--|
| DECK HEIGHT RANGE (FROM GROUND TO TOP OF GRATING)                      | EQUIPMENT PLATFORM STEP KIT               | <br>GROUND TO TOP OF GRATING: 11.5" MIN 26.5" MAX<br>JACK - LOW LIFT | <br>GROUND TO TOP OF GRATING: 29.5" MIN 44.5" MAX<br>JACK - HIGH LIFT |
|  | PV-EQ-STEP-HR4<br>4 Step (with handrails) | -   | 29.75" TO 44.5"  |
|  | PV-EQ-STEP-HR3<br>3 Step (with handrails) | 22.5" TO 26.5"  | 29.75" TO 43.5"  |
|  | PV-EQ-STEP-HR2<br>2 Step (with handrails) | 15.25" TO 20.75"  | -  |
|  | PV-EQ-STEP2<br>2 Step (no handrails)      | -   | -  |
|  | PV-EQ-STEP-HR1<br>1 Step (with handrails) | 11.75"  | -  |
|  | PV-EQ-STEP1<br>1 Step (no handrails)      | -   | -  |

ALL DECK HEIGHT RANGES LISTED IN TABLE 1 ABOVE ACCOUNT FOR STEP ADJUSTABILITY. SEE PAGE 9 FOR MORE INFORMATION ON STEP KITS & STEP ANGLE ADJUSTMENT



|          |  |                        |  |  |  |     |  |          |   |  |
|----------|--|------------------------|--|--|--|-----|--|----------|---|--|
| 8 OF 12  |  | THIRD ANGLE PROJECTION |  | CATEGORY 07 Equipment Platforms & Canopies |  | 6   | ADDED DECK HEIGHT RANGE TABLE INFO                           | 11/18/19 |  |  |
| 5/5/2021 |  | SCALE 1:45             |  | SERIES 01 Equipment Platforms & Canopies   |  | 5   | UPDATED MEMBER LAYOUT, ADDED PLATFORM SIZES, ADDED JACK LEGS | 2/15/18  |   |  |
|          |  |                        |  | TYPE PV-WC / PV-EQ Series                  |  | 4   | EQ USABLE AREA TABLE   | 2/02/17  | EQUIPMENT PLATFORM AND CANOPY   |  |
|          |  |                        |  | BY DJN                                     |  | 3   | ADDED PV-EQ-STEP   | 1/25/17  |   |  |
|          |  |                        |  | CHECKED SJS                                |  | 2   | UPDATED PV-WC-BRACE  | 9/19/16  | DOCUMENT NUMBER   |  |
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|          |  |                        |  |  |  |     |  |          | WCEQ-ENG-01-R6  |  |
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SHEET TITLE

CANOPY MFR. SPECS.

SHEET NUMBER

SP-5.2

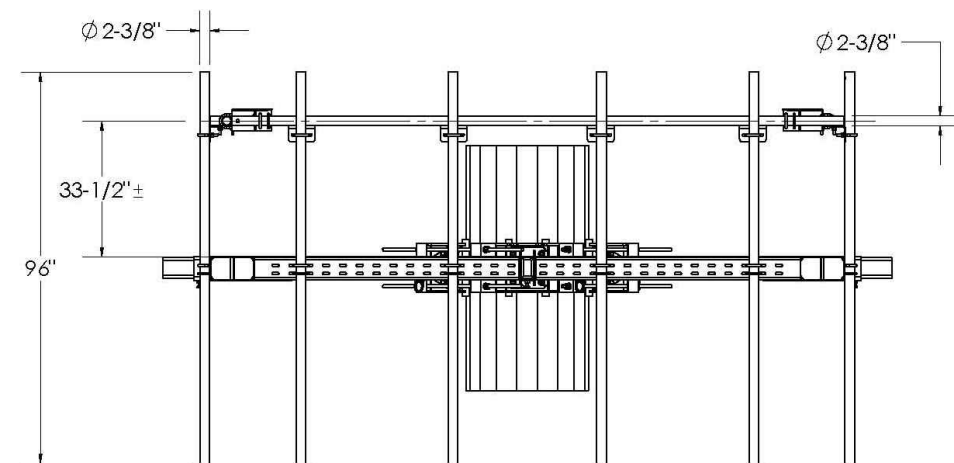
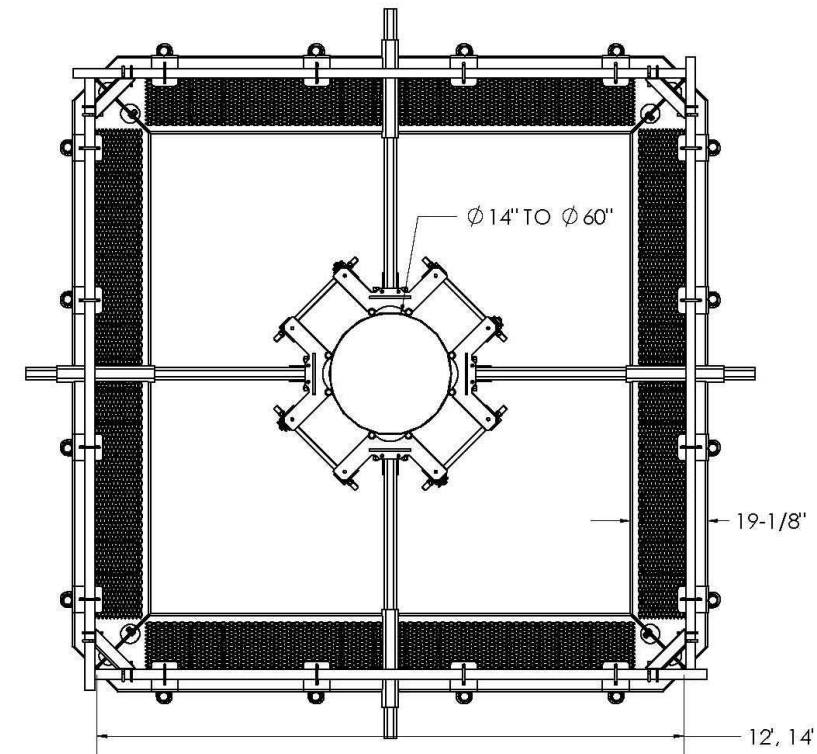
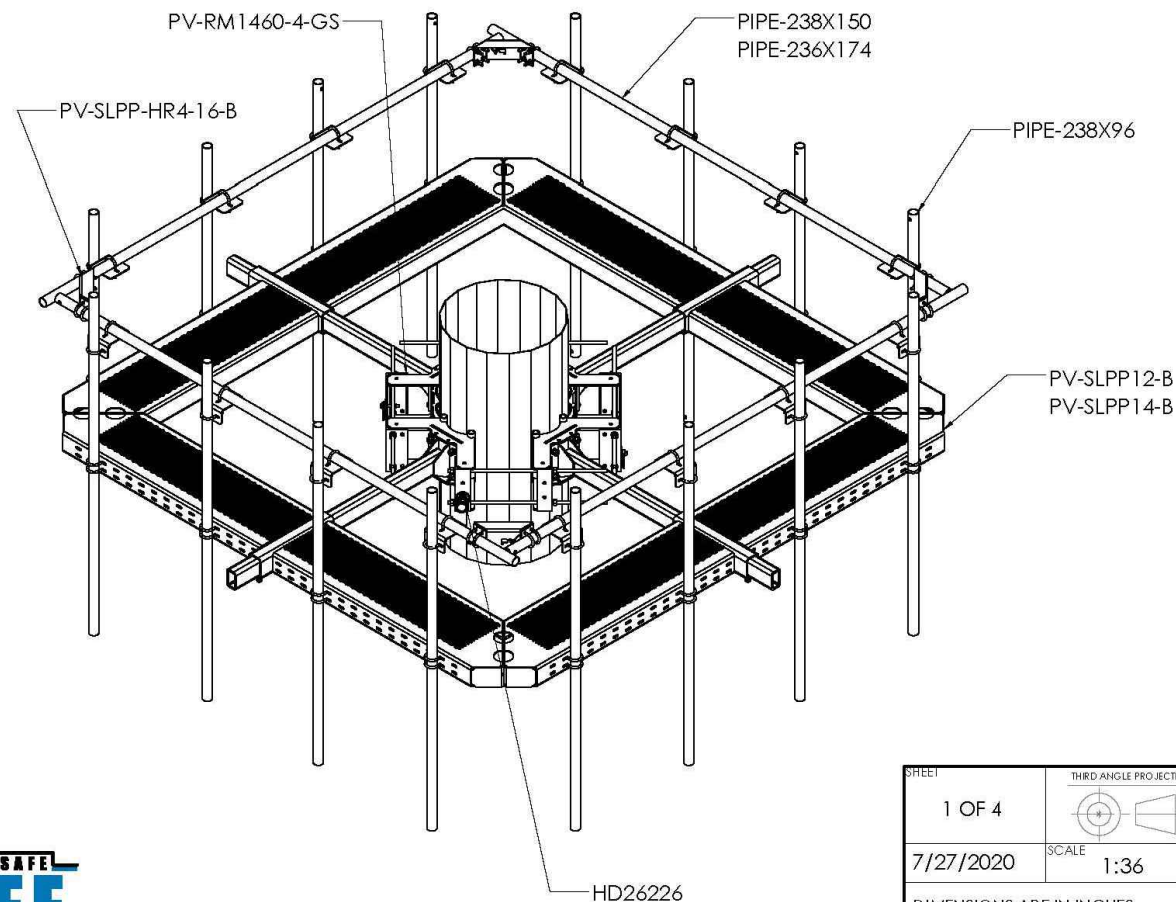
1 CANOPY MFR. SPECS.  
SCALE: N.T.S



L.I.F.E. MOUNT™ MONOPOLE SQUARE PLATFORM

Table 1: Platform Configurations

| Part Number         | Description   | Weight (lbs) | Included Parts |             |             |                  |             |              |              |
|---------------------|---|--------------|----------------|-------------|-------------|------------------|-------------|--------------|--------------|
|                     |   |              | PV-RM1460-4-GS | PV-SLPP12-B | PV-SLPP14-B | PV-SLPP-HR4-16-B | PIPE-238X96 | PIPE-238X150 | PIPE-238X174 |
| PV-SLPP12U-B        | L.I.F.E. Mount™ 4 Sector Platform, 12' Face, 14"-60" Pole   | 2511         | 1              | 1           | -           | -                | -           | -            | 4            |
| PV-SLPP12U-HR-B     | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole                    | 3188         | 1              | 1           | -           | 1                | -           | 4            | 4            |
| PV-SLPP12U-HR-12-96 | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (12) Antenna Pipe | 3539         | 1              | 1           | -           | 1                | 12          | 4            | 4            |
| PV-SLPP12U-HR-16-96 | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (16) Antenna Pipe | 3656         | 1              | 1           | -           | 1                | 16          | 4            | 4            |
| PV-SLPP14U-B        | L.I.F.E. Mount™ 4 Sector Platform, 14' Face, 14"-60" Pole   | 2863         | 1              | -           | 1           | -                | -           | -            | 4            |
| PV-SLPP14U-HR-B     | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole                    | 3217         | 1              | -           | 1           | 1                | -           | -            | 4            |
| PV-SLPP14U-HR-12-96 | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole, (12) Antenna Pipe | 3569         | 1              | -           | 1           | 1                | 12          | -            | 4            |



CA:\PV\Steel\Catalog\SW Working Files\Engineering Details\



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|--|------------------------|----------|-----|------------------------------------|----------|---|
| SHEET  | THIRD ANGLE PROJECTION | CATEGORY | 5   | KIT UPDATED WITH RM1460-GS COLLARS | 6/09/20  | <b>PERFECTVISION</b><br>SQUARE MONOPOLE PLATFORM<br>DOCUMENT NUMBER<br>SLPP-ENG-01-R5<br>REV<br>5 |
| 1 OF 4   | SCALE 1:36             | SERIES   | 4   | UPDATE TO NEW TEMPLATE             | 4/30/20  |   |
| 7/27/2020  |                        | TYPE     | 3   | UPDATE TO KIT                      | 8/03/19  |   |
| DIMENSIONS ARE IN INCHES<br>TOLERANCES U.N.O.<br>HOLES: +1/16", -1/32"<br>ANGULAR: PROFILE ±1/4°, BEND ±2°<br>ALL OTHERS: ±1/16" |                        | BY       | 2   | UPDATED TO 4 PIPES PER SECTOR      | 10/26/18 |   |
|  |                        | CHECKED  | 1   | ADDED CLASSIFICATIONS              | 2/13/18  |   |
|  |                        | STATUS   | REV | DESCRIPTION                        | DATE     |   |
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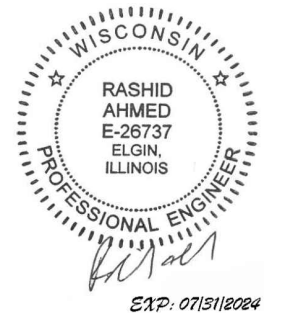
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SHEET TITLE

ANTENNA PLATFORM  
MFR. SPECS.

SHEET NUMBER

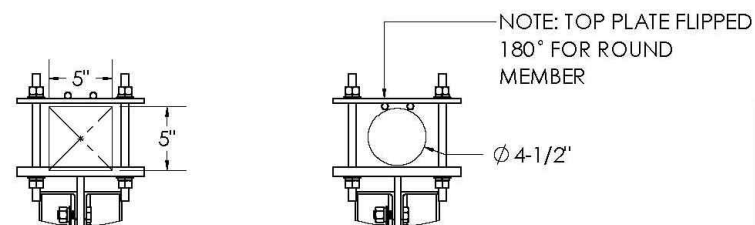
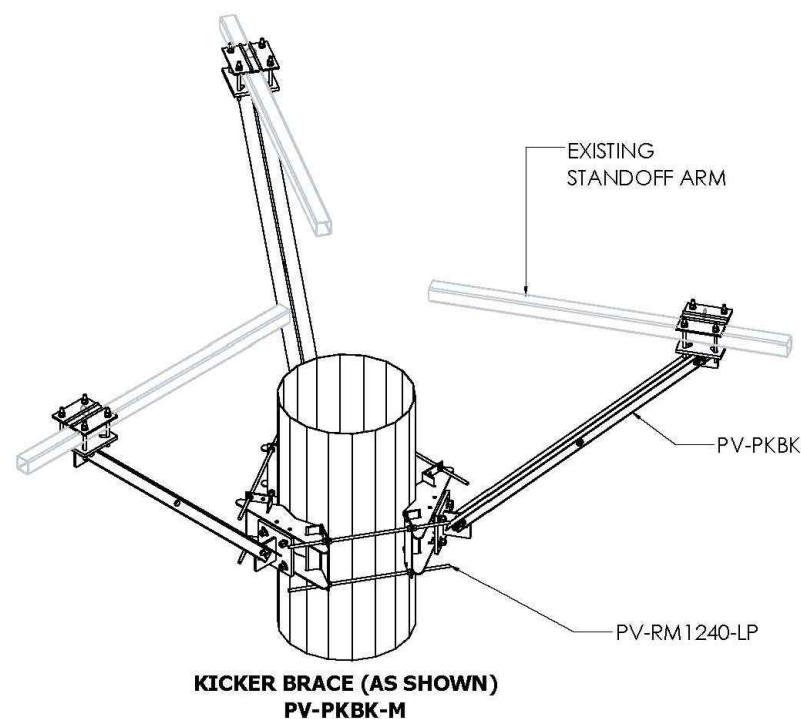
SP-6

1 ANTENNA PLATFORM MFR. SPECS.  
SCALE: N.T.S.

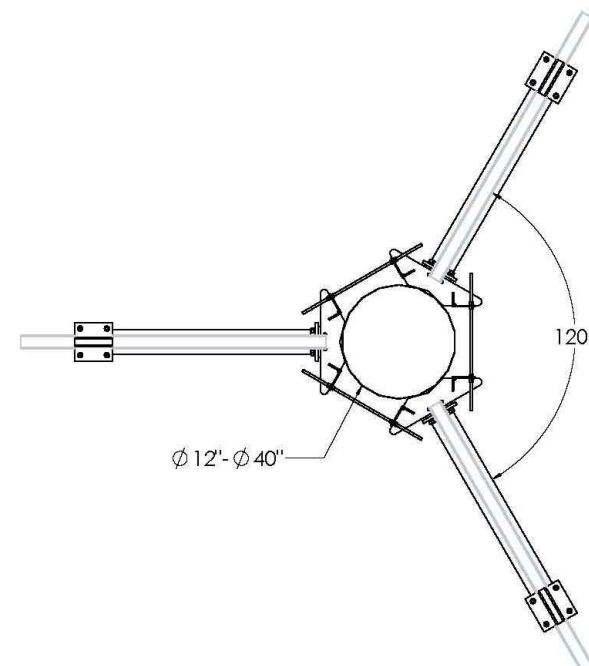
**PKBK-ENG-01-R1**  
**MONOPOLE KICKER BRACE KIT**

Table 1: Monopole Kicker Brace Kit

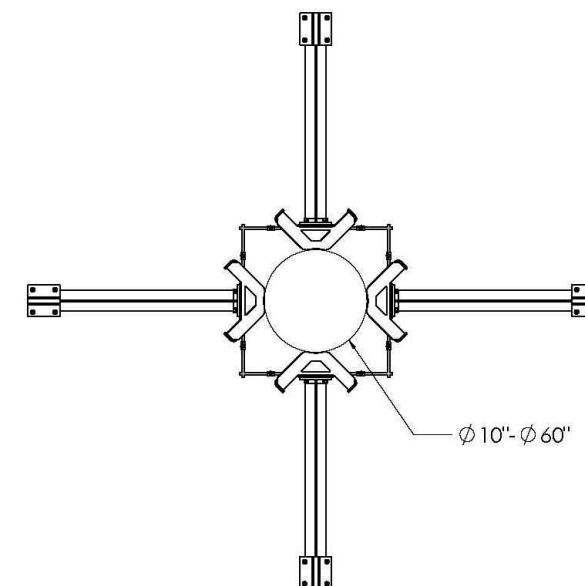
| Part Number | Description  | Weight (lbs) | Included Parts |           |             |         |           |
|-------------|--|--------------|----------------|-----------|-------------|---------|-----------|
|             |  |              | PV-RM1240-LP   | PV-RM3060 | PV-RM1060-4 | PV-PKKB | PV-PKKB-4 |
| PV-PKKB-M   | Brace Kit fits round Pipe OD up to 12"-40", 3 Sector | 510          | 1              | -         | -           | 1       | -         |
| PV-PKKB-ML  | Brace Kit fits round Pipe OD up to 30"-60", 3 Sector | 695          | -              | 1         | -           | 1       | -         |
| PV-PKKB-4-M | Brace Kit fits round Pipe OD up to 10"-60", 4 Sector | 903          | -              | -         | 1           | -       | 1         |



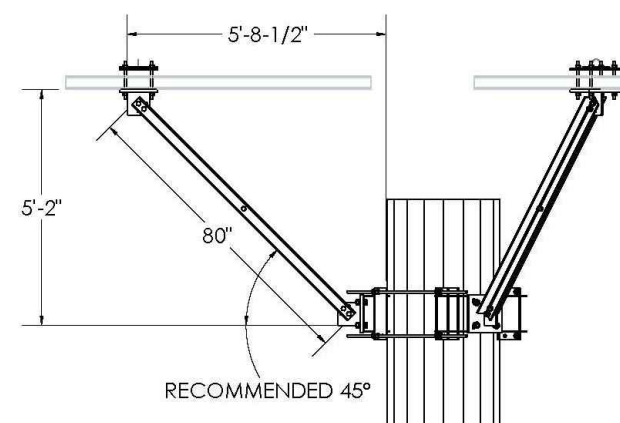
**ARM ATTACHMENT**  
**CLAMPS TO RECT HSS UP TO 5"X5" & ROUND PIPE UP TO 4-1/2" OD**





**PV-PKBK-M**  
**3-SECTOR KICKER BRACE**



**PV-PKBK-4-M**  
**4-SECTOR KICKER BRACE**



|   |  |   |  |  |  |                 |  |      |  |   |  |     |  |
|---|--|---|--|--|--|-----------------|--|------|--|---|--|-----|--|
| SHEET<br>1 OF 1   |  |  |  | CATEGORY<br>02_Monopole                  |  | 4               |  |      |  |  |  |     |  |
|   |  |   |  | SERIES<br>04_Platform Reinforcement      |  | 3               |  |      |  |   |  |     |  |
| 5/17/2018   |  | SCALE<br>1:48   |  | TYPE<br>PV-PKBK_Monopole Platform Kicker |  | 2               |  |      |  |   |  |     |  |
| DIMENSIONS ARE IN INCHES<br>TOLERANCES U.N.O<br>HOLES: +1/16", -1/32"<br>ANGULAR: PROFILE ±1/4", BEND ±2°<br>ALL OTHERS: ±1/16" |  | BY<br>INT   |  | 1  |  | 5/15/18         |  |      |  |   |  |     |  |
|   |  | CHECKED<br>DJN  |  | 0  |  | INITIAL RELEASE |  |      |  |   |  |     |  |
|   |  | STATUS<br>APPROVED  |  | REV                                      |  | DESCRIPTION     |  | DATE |  |   |  |     |  |
|   |  |   |  |  |  |                 |  |      |  | MONOPOLE KICKER BRACE KIT   |  |     |  |
|   |  |   |  |  |  |                 |  |      |  | DOCUMENT NUMBER   |  | REV |  |
|   |  |   |  |  |  |                 |  |      |  | PKBK-ENG-01-R1  |  | 1   |  |

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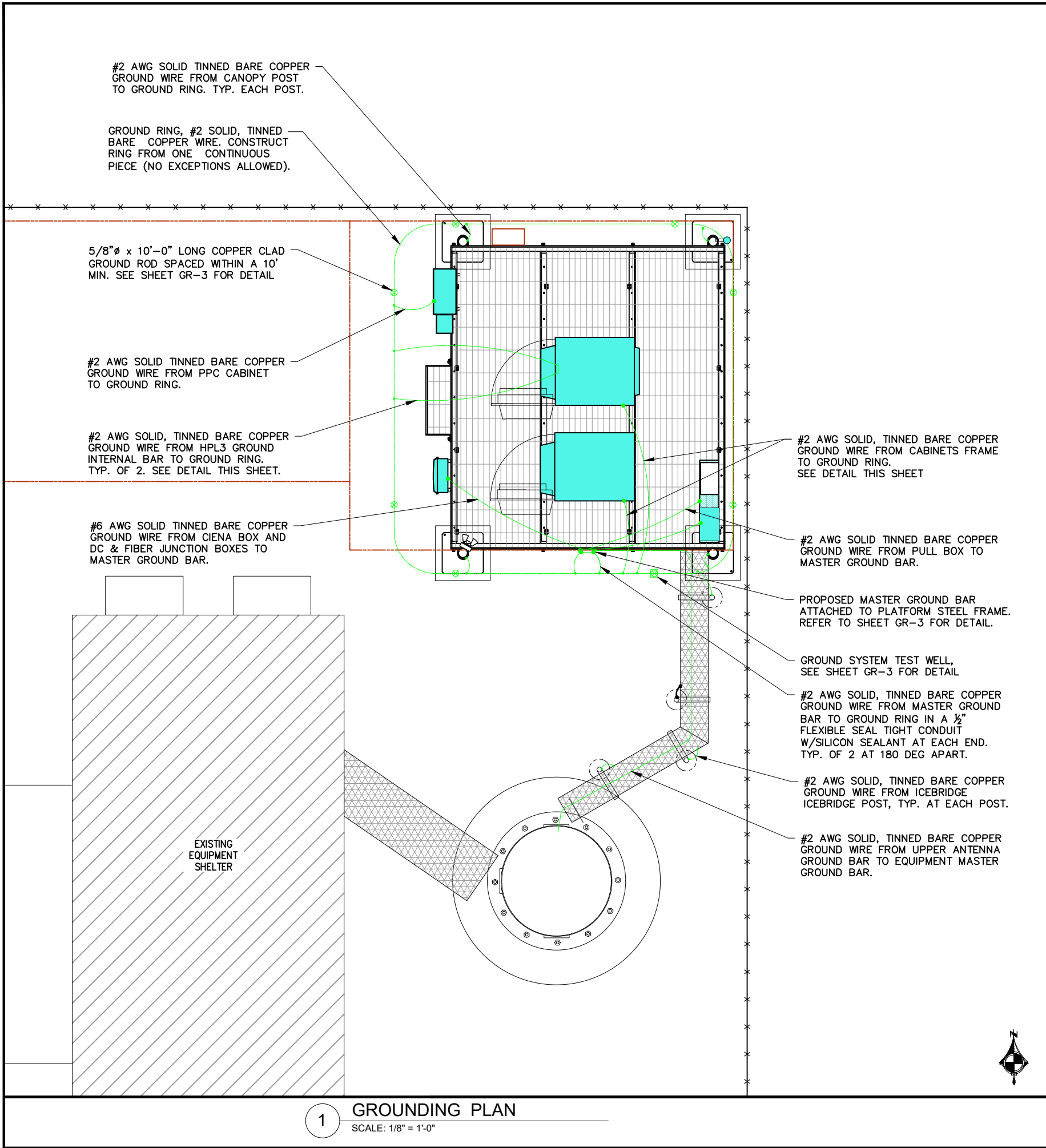
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ANTENNA PLATFORM  
KICKER BRACE  
MFR. SPECS.

SHEET NUMBER

SP-7

1 ANTENNA PLATFORM KICKER BRACE MFR. SPECS.  
SCALE: N.T.S





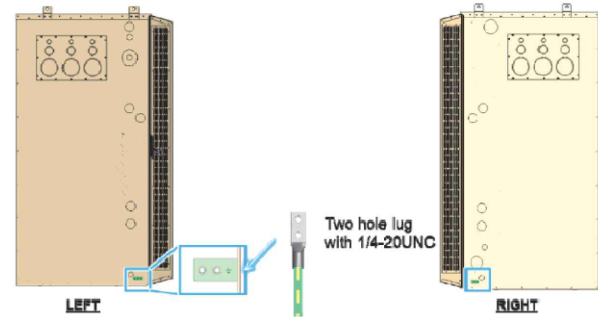
GROUNDING NOTES:

1. GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
2. GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE #2 AWG SOLID, TINNED BARE COPPER WIRE.
4. ALL BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELDS.
5. UNLESS PROVIDED W/ A FACTORY APPLIED LEAD, ALL CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYGROUND COMPRESSION LUGS OR EQUAL.
6. STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
8. ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
9. ALL MECHANICAL CONNECTIONS SHALL HAVE NOAX OR APPROVED EQUAL APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.

GROUNDING ELECTRODE SYSTEM

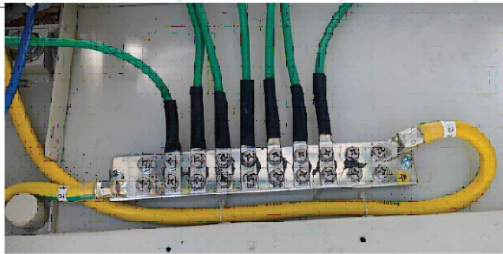
1. CONNECTIONS  
ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE "CADWELD" PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEC. ALL CABLE TO GROUND RODS, GROUND OEDS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL CADWELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTIOXIDANT COMPOUND APPLIED TO CONNECTION.
4. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY T-MOBILE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.

Ground connections are to both external ground lug on the of the left and right sides of the cabinet.



A ground conductor of 2AWG minimum cross section terminated with a double lug shall be used..

Double Lug Grounds are mandatory on AMIA's & Booster connections in cab or equipment rack. Single Lug Connections allowed for all other andillary equipment in cab or equipment rack.



2 GROUNDING NOTES  
SCALE: N.T.S.

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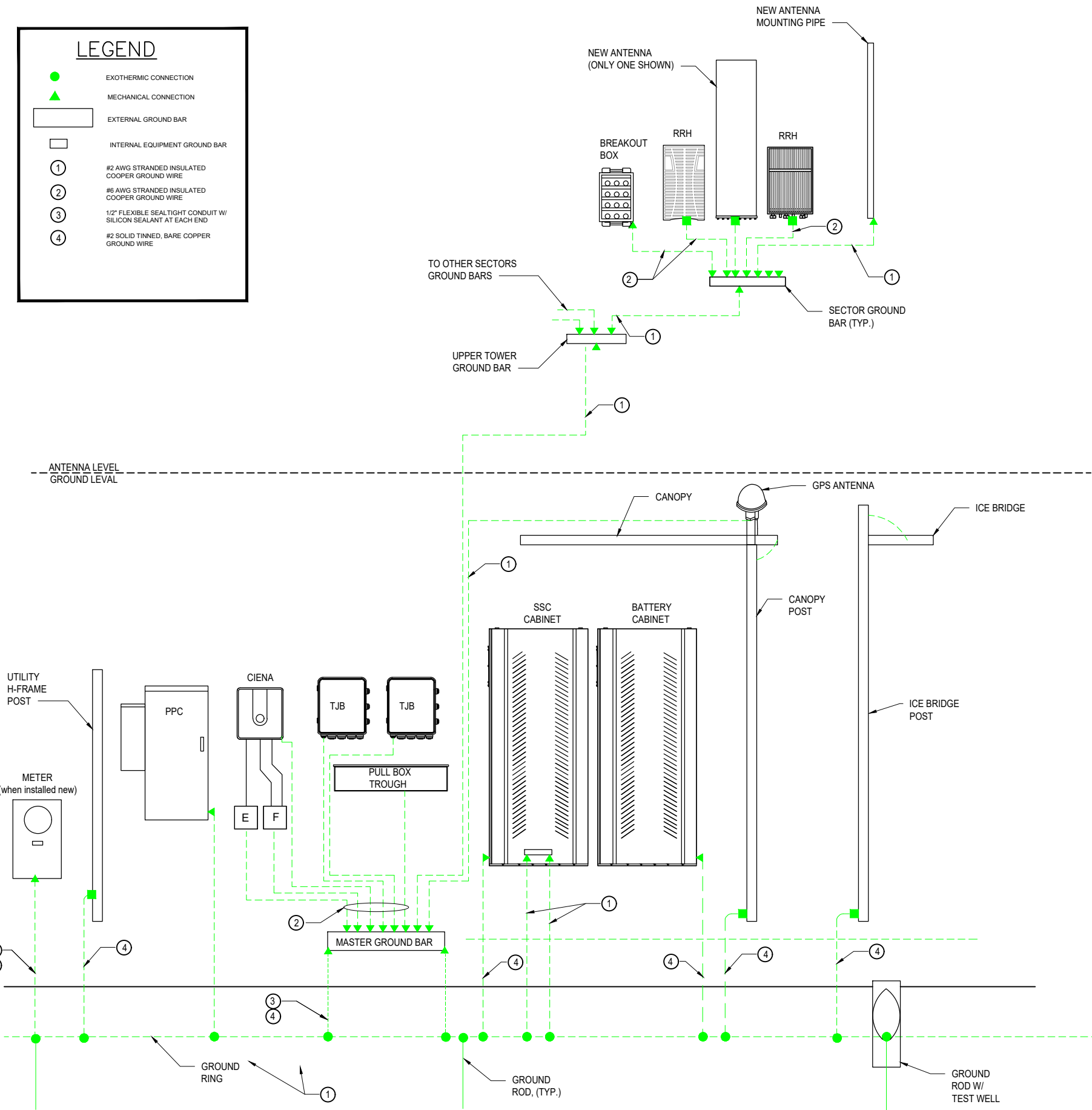
APPROVED BY: RA

SHEET TITLE

GROUNDING PLAN

SHEET NUMBER

GR-1



1 **TYPICAL GROUNDING RISER DIAGRAM**  
SCALE: N.T.S

**GENERAL NOTES:**

1. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB.
2. IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE NOTE, SPECIFICATION OR CODE SHALL PREVAIL.
3. ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS & AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.
4. ELECTRICAL WORK SHALL INCLUDE, BUT NOT LIMITED TO, ALL LABOR MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUITS, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS OR AS REQUIRED BY CODE.
5. ALL WORK SHALL COMPLY WITH THE N.E.C. (NATIONAL ELECTRICAL CODE) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.
6. ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS & LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
7. ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO ORIGINAL OR BETTER CONDITION.
8. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, & FALL OF POTENTIAL GROUND TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO P. M. CLEAN SITE OF ALL DEBRIS RESULTING FROM WORK AND LEAVE IN A COMPLETE AND UNDAMAGED CONDITION.
9. LL BROCHURES, MANUALS, CATALOGS, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.

**GROUNDING NOTES:**

1. GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
2. GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
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6. STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
8. ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
9. ALL MECHANICAL CONNECTIONS SHALL HAVE NOAX OR APPROVED EQUAL APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.

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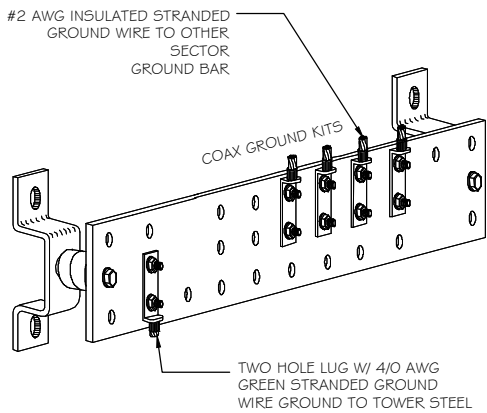
APPROVED BY: RA

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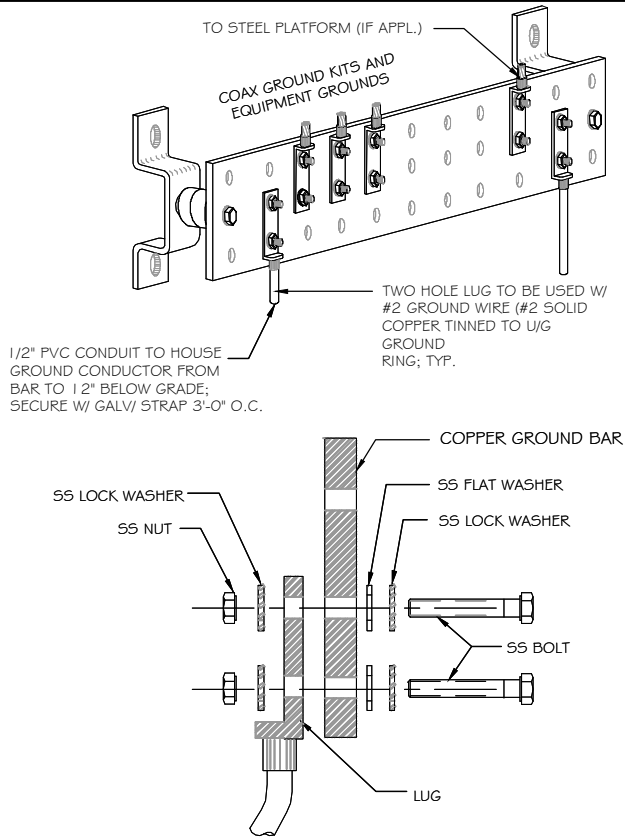
**GROUNDING RISER  
AND NOTES**

SHEET NUMBER

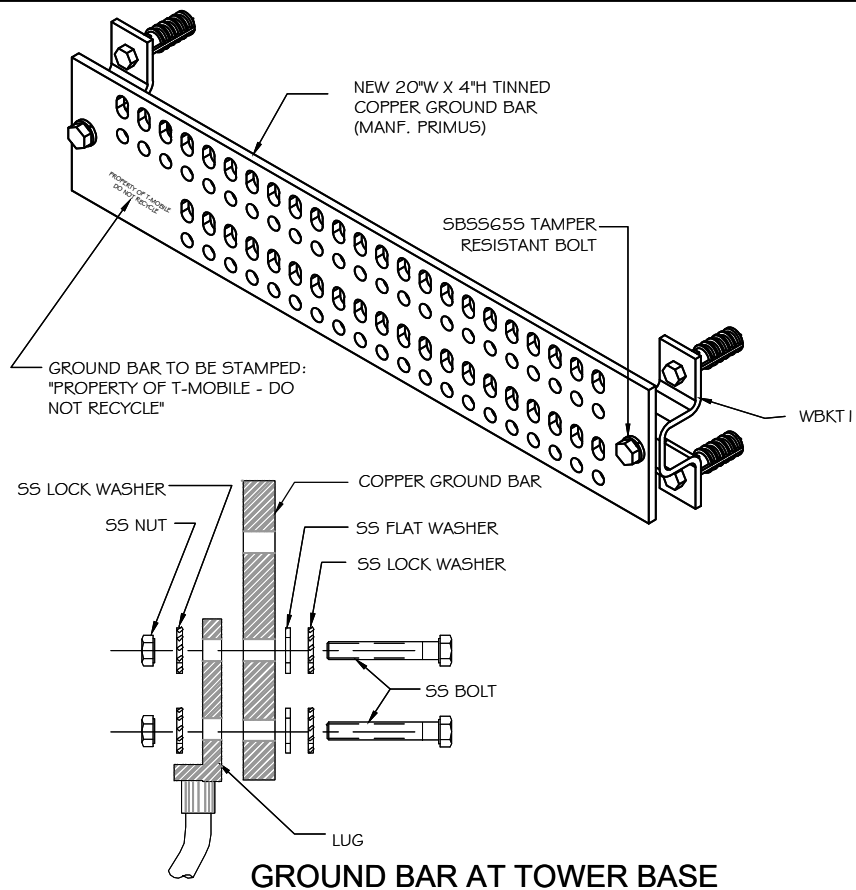
**GR-2**



GROUND COLLECTOR BAR



MASTER GROUND BAR

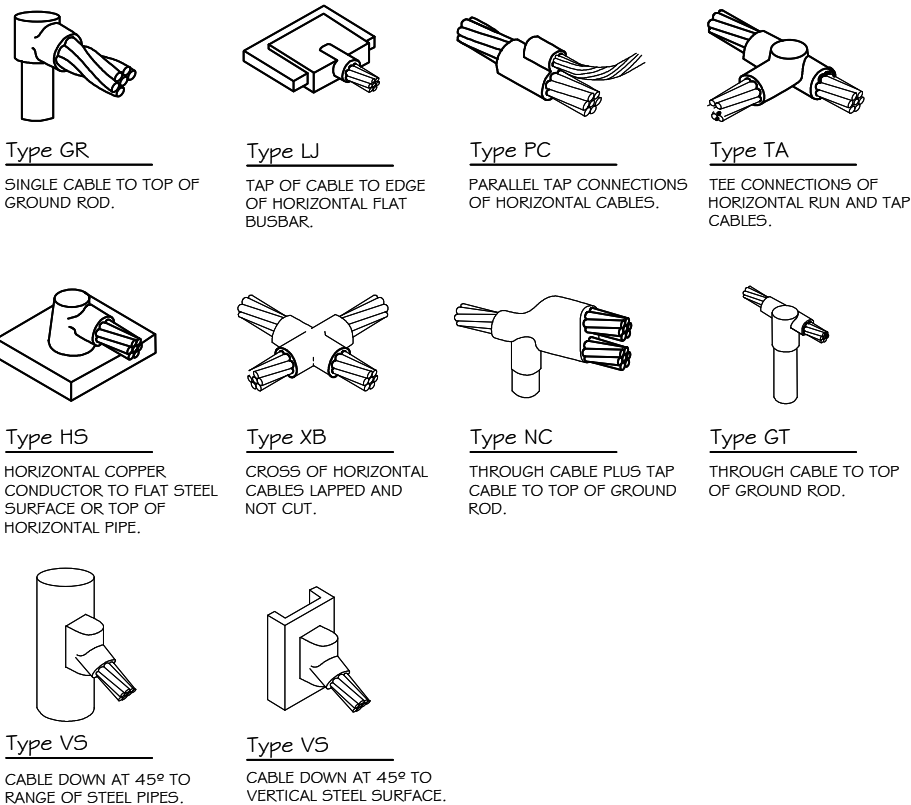


GROUND BAR AT TOWER BASE

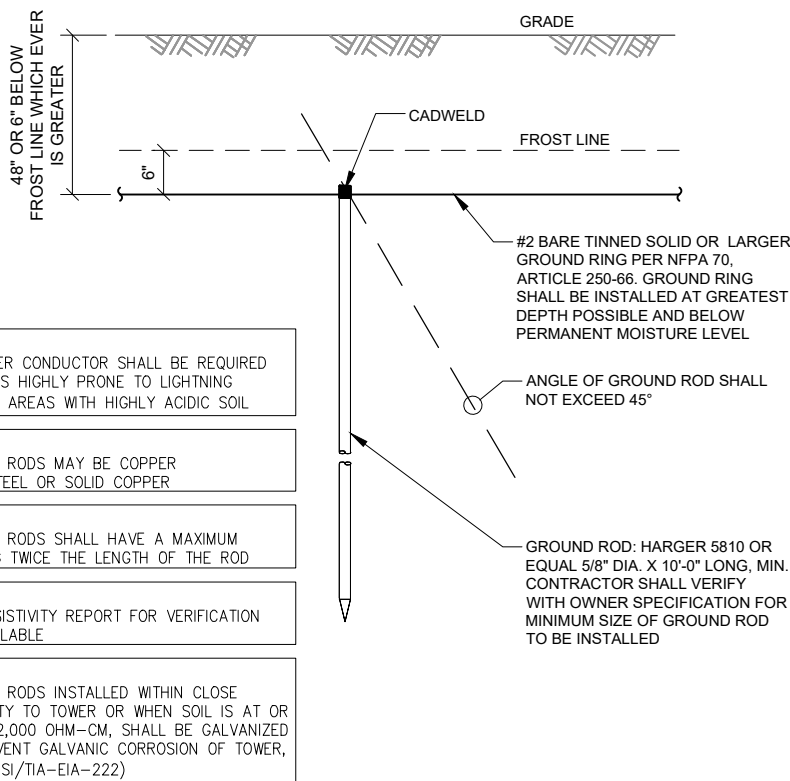
NOTES:

1. TINNED COPPER GROUND BAR, 1/4" X 4" X 20" NEWTON INSTRUMENTS CO. CAT. NO. B-6142 OR APPROVED EQUAL; HOLE CENTERS TO MATCH NEMS DOUBLE LUG CONFIGURATION
2. INSULATORS TO BE NEWTON CAT. NO. 3015-8 OR APPROVED EQUAL
3. 5/8" LOCK WASHERS; NEWTON CAT. NO. A-6056 OR APPROVED EQUAL
4. 5/8" - 11 X 1" M.M.C.S. BOLTS; NEWTON CAT. NO. 3012-1 OR APPROVED EQUAL
5. COAT ALL SURFACES WITH 'KOPER SHIELD' BEFORE MATING
6. ALL HARDWARE TO BE STAINLESS STEEL UNLESS OTHERWISE NOTED
7. NUTS TO FACE OUT

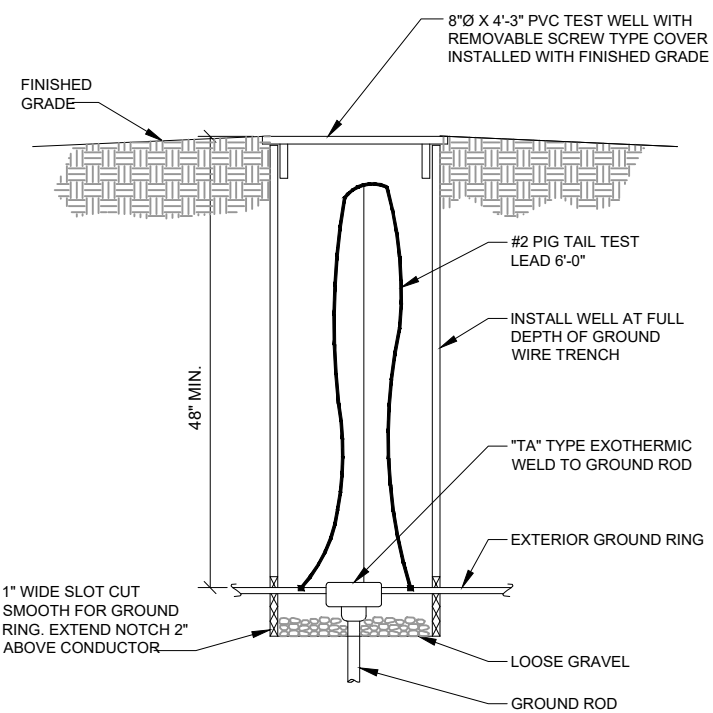
1 GROUND BAR DETAILS  
SCALE: NTS



2 EXOTHERMIC WELD SCHEDULE  
SCALE: NTS



3 GROUND ROD DETAIL  
SCALE: NTS



4 TEST WELL DETAIL  
SCALE: NTS

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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GROUNDING TYPICAL  
DETAILS

SHEET NUMBER

GR-3



PART 1 GENERAL

1.00 GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.

ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS. THE CONTRACTOR SHALL PROVIDE THE MATERIALS APPROVED BY THE FIRE MARSHALL FOR FILLING OR SEALING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM THE START OF THE PROJECT TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO ASSESS CONDITIONS THAT MAY ADVERSELY AFFECT THE WORK OR THE COST OF THE WORK. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION OF NEW PORTION OF THE WORK AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE A&E.

NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE A & E. ANY REFERENCE TO THE WORDS APPROVED OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES/SPECIFICATIONS:

- LATEST LOCAL JURISDICTIONAL BUILDING CODES.
- ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS
- AMERICAN CONCRETE INSTITUTE (ACI)
- AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
- ANSI/TIA – 222 – H
- UNIFORM BUILDING CODE (UBC)
- NATIONAL ELECTRICAL CODE (NEC) WITH ALL AMENDMENTS
- AMERICAN INSTITUTE FOR STEEL CONSTRUCTION OR SPECIFICATIONS (AISC)
- UFE SAFETY CODE NIFFA – 101
- FEDERAL AVIATION REGULATIONS

1.01 CARRIER REPRESENTATIVE

A. THE SITE DEVELOPMENT MANAGER (SDM) OR HIS DESIGNEE (INCLUDING BUT NOT LIMITED TO THE ARCHITECT/ ENGINEER, OR CONSTRUCTION MANAGER) SHALL SERVE AS THE SINGLE POINT OF CONTACT

B. BETWEEN THE CONTRACTOR AND OWNER, NOT WITHSTANDING THE REQUIREMENTS SPECIFIED HEREIN, THE SDM OR DESIGNATED REPRESENTATIVE IS EMPOWERED TO DIRECT THE CONTRACTOR TO VARY OR CHANGE FROM THE PLANS AND SPECIFICATIONS AS CIRCUMSTANCES OR CONDITIONS ARISE.

C. CONTRACTOR SHALL VERIFY ALL CHANGES ARE ACCEPTED BY THE ENGINEER OF RECORD.

1.02 INTENT

A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND COMPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.

B. THESE SPECIFICATIONS AND DESIGN DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS TO BE FURNISHED FOR THE CONSTRUCTION OF THE PROJECT.

C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS.D. THE PURPOSE OF THE SPECIFICATIONS IS

TO SUPPLEMENT THE INTENT OF THE DRAWINGS AND TO DESIGNATE A PROCEDURE, TYPE, OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. HOWEVER, NO CHANGES THAT ALTER THE CHARACTER INTENT OF THE DESIGN WILL BE MADE OR PERMITTED WITHOUT A CHANGE ORDER FROM THE OWNER.

1.03 CONFLICTS

A. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSION AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE SDM OR DESIGNATED REPRESENTATIVES FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH WORK IN THE AFFECTED AREAS.

B. THE CONTRACTOR SHALL NOTIFY A & E OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS AND NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AFTER THE START OF CONSTRUCTION THAT HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE A & E AND SHALL INCUR ANY7 EXPENSES REQUIRED TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE A & E.

C. THE CONTRACTOR, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING WHICH THE CONTRACTOR MIGHT NOT HAVE FULLY INFORMED HIMSELF PRIOR TO BIDDING.

D. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED WILL BE ACCEPTED AS A REASON FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL THE REQUIREMENTS OF THE CONTACT DOCUMENTS.

1.04 BIDDING PROCESS --- INSTRUCTIONS TO BIDDERS

A. CARRIER REQUESTS A FIRM LUMP SUM BID FOR ALL WORK DESCRIBED IN THE CONTRACT, AS INDICATED IN THESE CONSTRUCTION DRAWINGS/SPECIFICATIONS, APPARENT WITH FIELD VISIT, AND ACCORDING TO ANY OTHER AGREEMENTS AND DIRECTION.

B. BIDDER WILL GUARANTEE BIDS FOR 60 DAYS FROM BID DUE DATE. BIDS SHALL INCLUDE ALL APPLICABLE STATE AND FEDERAL TAXES.

C. PROPOSAL: (AS OUTLINED IN BID DOCUMENTS) IT IS UNDERSTOOD BY OWNER, THAT THE BIDDER IN SUBMITTING HIS BID, WARRANTS THAT HE HAS CAREFULLY EXAMINED THE SITE OF THE PROJECT TO ACQUAINT HIMSELF WITH:

1. SURROUNDING PROPERTIES.
2. MEANS OF APPROACH TO THE SITE.
3. CONDITIONS OF THE ACTUAL JOB SITE.
4. FACILITIES FOR DELIVERING, STORING, PLACING, HANDLING AND REMOVAL OF MATERIALS AND EQUIPMENT.
5. ANY AND ALL DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE EXECUTION OF ALL WORK IN ACCORD WITH THE CONTRACT DOCUMENTS.

1.05 CONTRACTS AND WARRANTIES

A. ABBREVIATED FORM OF AGREEMENT BETWEEN CARRIER REPRESENTATIVE AND CONTRACTOR MAY BE USED AND WILL BE EMPLOYED FOR CONTRACT PURPOSES.

B. UNLESS ARRANGED OTHERWISE, EACH CONTRACTOR IS RESPONSIBLE FOR FILING THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR OF RECORD, AND PROVIDE JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION.

C. A COPY OF THE APPROVED DRAWINGS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED DRAWINGS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF DRAWINGS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT DRAWINGS TO THE A & E AT THE CONCLUSION OF THE PROJECT, OR TO TMO, AS DIRECTED.

D. THE CONTRACTOR SHALL BE REIMBURSED, AT FACE VALUE, FOR THE AMOUNT OF ANY FEE PAID AS FOLLOWS:

1. PLAN REVIEW FEE.
  2. BUILDING PERMIT FEE.
  3. CONNECTIONS AND INSPECTION FEES.
- EACH CONTRACTOR IS RESPONSIBLE FOR APPLICATION &

1.06 STORAGE

A. DO NOT USE THE CARRIER EQUIPMENT SPACE FOR STORAGE OF TOOLS OR MATERIALS WITHOUT WRITTEN SDM APPROVAL.

B. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER THAT WILL NOT OBSTRUCT THE FLOW OF OTHER WORK. ANY EQUIPMENT OR MATERIAL STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE MANUFACTURER.

C. WHEN STORING MATERIALS ENSURE EVEN DISTRIBUTION OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OF SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.

1.07 PROTECTION

A. PROTECT FINISHED SURFACES, INCLUDING JAMBS AND WALLS USED AS PASSAGEWAYS THROUGH WHICH EQUIPMENT AND MATERIALS WILL PASS.

B. PROVIDE PROTECTION FOR EQUIPMENT ROOM SURFACES PRIOR TO ALLOWING EQUIPMENT OR MATERIAL TO BE MOVED OVER SUCH SURFACES.

C. MAINTAIN FINISHED SURFACES CLEAN, UNMARRED AND SUITABLY PROTECTED UNTIL JOB SITE IS ACCEPTED BY THE SDM.

D. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.

1.08 REPAIRS AND REPLACEMENTS

A. IN EVENT OF DAMAGES, THE CONTRACTOR SHALL NOTIFY OWNER SDM, THEN PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO OWNER.

B. ADDITIONAL TIME THAT IS REQUIRED TO SECURE REPLACEMENTS AND TO MAKE REPAIRS WILL NOT BE CONSIDERED BY OWNER TO JUSTIFY EXTENSION IN THE CONTRACT TIME FOR COMPLETION.

1.09 TEMPORARY FACILITIES

A. WATER: WATER IS NOT AVAILABLE TO THE CONTRACTORS ON SITE.

B. LIGHT, TELEPHONE AND POWER: LIGHT AND POWER ARE AVAILABLE ON SITE. IF NOT, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER (FOR THE OPERATION OF TOOLS, EQUIPMENT AND LIGHTING NECESSARY FOR FACILITY CONSTRUCTION), WATER AND TOILET FACILITIES. TELEPHONE: EACH CONTRACTOR TO PROVIDE HIS OWN TELEPHONE ACCESS IF REQUIRED. CONTRACTORS ARE NOT TO USE OWNER PHONES.

C. IF PERMANENT POWER IS COMPLETED, ALL CONTRACTORS MAY USE THE SERVICE CONNECTION FOR PRODUCTION WORK ONLY, PROVIDED THAT ELECTRICAL CORDS AND CONNECTIONS ARE FINISHED BY CONTRACTORS AND ARE DISCONNECTED AND PROPERLY STORED DURING NON-WORKING HOURS.

1.10 CLEAN UP

A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK, AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING, INCLUDING ALL TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK AREA CLEAN AND READY FOR USE EACH DAY.

B. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, DUST, SMUDGES, AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, SMUDGES AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

D. CONTRACTOR SHALL WASH AND WAX FLOOR PRIOR TO FINAL ACCEPTANCE FROM SDM. WAX SHALL BE THE ANTI-STATIC TYPE.

PAYMENT OF CONTRACTOR LICENSES & BONDS.1.11CHANGE ORDER PROCEDURE

A. CHANGE ORDER MAY BE INITIATED BY THE SDM, AND OR THE CONTRACTOR. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE SDM, SHALL PREPARE WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT IT TO THE SDM FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPES OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE SDM SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR

1.12 RELATED DOCUMENTS AND COORDINATION

A. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK EACH CONTRACTOR JUST REFERS ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

B. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES, AND FOR SUPERVISING, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.

1.13 SHOP DRAWINGS

A. CONTRACTOR TO SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS AND THROUGH THE GENERAL CONTRACT TO THE SDM FOR APPROVAL.

B. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD UNLESS SPECIFICALLY NOTED OTHERWISE; CONTRACTOR SHALL NOT FABRICATE STEEL UNTIL DRAWINGS HAVE BEEN ACCEPTED IN WRITING

C. ALL SHOP DRAWINGS TO BE REVISED, CHECKED AND CORRECTED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE SDM

1.14 PRODUCTS AND SUBSTITUTIONS

A. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBMISSION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED INPSECTIONS AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

B. ALL NECESSARY PRODUCT DATA AND CUT SHEETS SHOULD PROPERLY INDICATES AND DESCRIBE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE SDM, SUBMIT ACTUAL SAMPLES TO THE SDM FOR APPROVAL IN LIEU OF CUT SHEETS.

1.15 COMPLIACE

A. ALL MATERIALS, DESIGN AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES (SOME ARE LISTED HEREIN) ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. UPON THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE CARRIER WITH THE CERTIFICATES OF OCCUPANCY (IF REQUIRED), JOB SITE PERMITTED PLANS AND INSPECTION CARD WITH ALL FINAL INSPECTION SIGNATURES AND OTHER LEGAL DOCUMENTS TO VERIFY SUCH COMPLIANCES. WHERE NO CODES EXIST, THE WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE AND/OR THE SPECIFICATIONS HEREIN, WHICHEVER IS MORE STRINGENT AND A DOCUMENT STATEMENT SHALL BE FURNISHED TO THIS EFFECT.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH THE GOVERNING CODES AND TO NOTIFY THE SDM OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

C. REFERENCES TO ANY STANDARD OR CODE OF PRACTICES IN THIS SPECIFICATION SHALL BE DEEMED TO MEAN THE EDITION CURRENT AT THE TIME OF AWARD OF THE CONTRACT.

D. THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN IN THESE DRAWINGS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT TO MOBILITY, SIGHT OR HEARING, THEREFORE, PER THE APPLICABLE CODES; THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

E. THE CONTRACTOR SHALL COMPLY WITH ALL ZONING AND SITE ACQUISITION SPECIAL STIPULATIONS AS OUTLINED IN THE JOB SPECIFICATIONS, OR AS DIRECTED BY THE SDM.

T-Mobile

1400 OPUS PLACE  
Downers Grove, IL 60515

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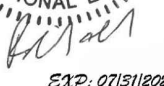
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| ML89143A                   |
| SITE NAME                  |
| USCC - 784760              |
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| FREIHEIT CT.               |
| TAX KEY NO: SUXV0231989007 |

| REV. | SUBMITTAL     | APPROVED | DATE     |
|------|---------------|----------|----------|
|      | Lease Exhibit | AE       | 05/23/22 |
| A    | PRELIM CD     | AE       | 07/06/22 |
| B    | PRELIM CD     | AE       | 08/09/22 |
| 0    | FINAL CD      | AE       | 08/22/22 |
| 1    | REVISED CD    | AE       | 11/09/22 |
| 2    | REVISED CD    | AE       | 1/17/23  |
| 3    | REVISED CD    | AE       | 4/05/23  |

WISCONSIN

RASHID AHMED  
E-26737  
ELGIN, ILLINOIS

PROFESSIONAL ENGINEER

  
EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

|                 |
|-----------------|
| PREPARED BY: AE |
| CHECKED BY: AB  |
| APPROVED BY: RA |

|                                  |
|----------------------------------|
| SHEET TITLE                      |
| GENERAL NOTES AND SPECIFICATIONS |

|              |
|--------------|
| SHEET NUMBER |
| GN-1         |



1.16 ADMINISTRATION

A. THE CONTRACTOR SHALL FURNISH TO THE SDM WITH THE NAME AND CONTACT TELEPHONE NUMBERS OF THE CARRIER APPROVED ON-SITE SUPERVISOR. ANY CHANGES IN SUPERVISION MUST BE REPORTED TO THE SDM IMMEDIATELY AND ARE SUBJECT TO CARRIER APPROVAL.

1.17 PERMIT AND LICENSES

A. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, STATE, AND/OR COUNTY CONSTRUCTION PERMITS AND LICENSES. COPIES OF ALL PERMITS SHALL BE SENT TO SDM. APPROVALS FROM RELEVANT PLANNING BOARD, ENVIRONMENTAL BOARDS, AND/OR OTHER COMMITTEE WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE APPLICATION FOR CONSTRUCTION PREMISES.

B. FAA APPROVAL WILL BE SUPPLIED BY OTHERS BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE ERECTING OF TOWER (IF APPLICABLE).

C. FOR CONSTRUCTION SCHEDULING REFER TO THE INSTRUCTIONS PROVIDED BY THE SDM ITEMS TO BE INCLUDED (WHEN APPLICABLE):

1. CLEARING AND GRUBBING
2. BUILDING PERMIT
3. SHELTER DELIVERY AND PLACEMENT
4. BUILDING FOUNDATION EXCAVATION
5. ACCESS ROAD
6. COMMERCIAL AC POWER
7. BUILDING FOUNDATION FORMING
8. INSPECTIONS
9. LANDSCAPING
10. GROUNDING SYSTEM
11. ANTENNA INSTALLATION

D. PRIOR TO COMMENCING THE WORK THE GENERAL CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES TO THE PROCESS. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE DESIGNATED REPRESENTATIVES OF EACH SUB-CONTRACTOR

E. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY & VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR QUESTIONS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION & INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED & CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO THE SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSES. CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE UNDERGROUND UTILITIES LOCATED & MARKED.

F. THE CONTRACTOR SHALL BE EQUIPPED WITH A MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A CELLULAR PHONE, AND BE AVAILABLE IN A REASONABLE AMOUNT OF TIME DURING CONSTRUCTION.

G. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY INCLUDING BUT NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE SITE CONSTRUCTION PERIOD. HE SHALL TAKE ALL REASONABLE PRECAUTIONS TO PLACE AND MAINTAIN BARRICADES, LAMPS, SIGN, AND ALL OTHER REQUIRED SAFETY MEANS.

CONSTRUCTION NOTES

1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
2. ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECTS KNOWLEDGE AS GATHER BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
3. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
4. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING WITHIN WATER TANK SITES OR ADJACENT TO EXISTING UNDERGROUND UTILITIES SHALL BE HAND DUG.
5. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

6. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.

7. DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.

8. EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.

9. COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWNGS LABELED "ISSUED FOR CONSTRUCTION

10. NO DUMPING SOILS ON SITE OR LEASE AREA, MUST BE HAULED OFF SITE.

11. ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .

12. ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.

13. PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.

14. ANY ACCIDENTS ON SITE MUST BE REPORTED TO CONTRACT OWNER WITHIN 2 HOURS OF EVENT.

15. GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGER AND TOWER OWNER.

16. PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.

GENERAL GRADING NOTES: (WHEN APPLICABLE)

1. CONTOURS AND SPOT ELEVATIONS SHOWN ARE ONLY CONTROLS AND THE PROFILES THEY FORM SHALL BE SMOOTH AND CONTINUOUS.
2. THE CONTRACTOR SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
3. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
4. DURING GRADING OPERATIONS AND PRIOR TO COMPLETION OF CONSTRUCTION, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND IMPROPER DRAINAGE.5. PRIOR TO THE START OF GRADING ALL EXISTING VEGETATION AND DEBRIS, INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE.
6. THE EXPOSED SOILS SHALL THEN BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES, BROUGHT TO PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY THE CURRENT UNIFORM BUILDING CODE.
7. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEP FOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
8. THE MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1.

9. CONTRACTOR SHALL MAKE SURE ALL SURVEY STAKING IS PRESERVED AND PROTECTED BY MEANS OF OFFSETS OR WORKING AROUND STAKES. CONTRACTOR SHALL BE RESPONSIBLE FOR REESTABLISHING STAKES IF THEY ARE DISTURBED BY HIRING THE ORIGINAL SURVEYOR10. TOP SOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGATATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIIVE ELEMENTS.

10. TEMPORARY SILT FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS AS SHOWN ON THESE DRAWINGS OR REQUIRED BY LOCAL CODES.

11. MINIMUM BUILDING PAD DRAINAGE SHALL BE 2%. DRAINAGE SHALL BE A MINIMUM OF 0.3' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES. THE MINIMUM SLOPE OF SWALES SHALL BE 0.50%.

12. IF ANY UNFORESEEN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING FURTHER.

13. ALL DEPRESSIONS WHERE WATER MAY POND WILL BE FILLED IN MADE EQUAL TO ADJACENT GRADES, CREATING A LARGER DRAINAGE SCHEME FOR THE SITE.

UTILITY SERVICE NOTES:

A. ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY; VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS WITH OWNER; PLACEMENT AND ROUTING OF ALL COMPONENTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

B. SERVICE EQUIPMENT SHALL HAVE A FAULT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. INSTALLATION SHALL BE FREE FROM ALL FAULTS AND GROUNDS.

C. ALL ELECTRICAL EQUIPMENT, CONDUITS, AND SUPPORT SHALL BE ABLE TO WITHSTAND 90 M.P.H. WIND SPEED; EXPOSURE C.

D. ALL ELECTRICAL EQUIPMENT SHALL HAVE A PERMANENTLY AFFIXED NEOPRENE PLASTIC LABEL - BLACK ON WHITE; LETTER HEIGHT SHALL BE ¼"; ALL NAMEPLATES TO BE FASTENED WITH (2) STAINLESS STEEL SCREWS, NOT ADHESIVE.

E. ALL WRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600V, COLOR CODED, #12 AWG MINIMUM UNLESS NOTED OTHERWISE.

CONDUIT NOTES:

F. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS, OR EXPOSED ON BUILDING EXTERIOR.

G. ELECTRICAL METALLIC TUBING SHALL BE U.L. LABEL; FITTING SHALL BE GLAND RING COMPRESSION TYPE.

H. CORING THROUGH FLOORS AND WALLS SHALL NOT BE DONE WITHOUT FINAL APPROVAL OF BUILDING OWNER OR OWNER REPRESENTATIVE.

I. CORING SHALL NOT BE PERFORMED DURING WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER.

J. CONCRETE CORING OR DRILLING SHALL BE PERFORMED FOLLOWING THE REVISED & UPDATED OSHA 29 CFR 1926.1153 COMPLIANCE FOR HAZARDOUS DUST, SILICA DUST, USING HEPA VDCS DRILLING TECHNIQUES.

GENERAL NOTES:

J. SUBMITTAL OF BID INDICATES CONTRACTOR IS FAMILIAR WITH ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED AS DETAILED AND OUTLINED IN THESE DRAWINGS

K. THE ELECTRICAL PORTION OF THESE DRAWINGS IS ONLY A PART OF THE OVERALL DESIGN. IT IS NECESSARY FOR THE ELECTRICIAN TO CONSIDER ALL ASPECTS OF THIS PROJECT WHEN BIDDING AND PLANNING THE WORK

L. IN THE EVENT OF A CONFLICTING DESIGN OR NOTATION, THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OR RESTRICTIVE METHOD UNTIL A CLARIFICATION IS MADE

M. ALL THINGS, WHICH IN THE OPINION OF THE CONTRACTOR ARE DEFICIENCIES, OMISSIONS, CONTRADICTIONS, OR AMBIGUITIES, IN THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE WORK PROCEEDS; ALL CLARIFICATIONS MUST BE RECEIVED IN WRITING IN ORDER FOE THE MATTER TO BE CONSIDERED RESOLVED

N. ELECTRICAL WORK SHALL INCLUDE BUT NOT LIMITED TO ALL MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL SYSTEMS INCLUDING LIGHTING, LOW VOLTAGE SYSTEMS, PANELS, POWER AND TELEPHONE DATA SERVICE, CONTROL WIRING, AND GROUNDING.

T-Mobile

1400 OPUS PLACE  
Downers Grove, IL 60515

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WESTIN

Engineering Consultants, Ltd.  
Professional/Structural Design Firm  
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.  
TAX KEY NO: SUXV0231989007

| REV. | SUBMITTAL     | APPROVED | DATE     |
|------|---------------|----------|----------|
|      | Lease Exhibit | AE       | 05/23/22 |
| A    | PRELIM CD     | AE       | 07/06/22 |
| B    | PRELIM CD     | AE       | 08/09/22 |
| 0    | FINAL CD      | AE       | 08/22/22 |
| 1    | REVISED CD    | AE       | 11/09/22 |
| 2    | REVISED CD    | AE       | 1/17/23  |
| 3    | REVISED CD    | AE       | 4/05/23  |



EXP: 07/31/2024

DATE SIGNED: APRIL 05, 2023

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GENERAL NOTES AND  
SPECIFICATIONS

SHEET NUMBER

GN-2





## Village of Sussex

### DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Sussex does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 32'



## Village of Sussex

N64 W23760 Main Street  
Sussex, WI 53089  
262-246-5200

Print Date: 4/27/2023





## Village of Sussex

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SCALE: 1 = 32'



## Village of Sussex

N64 W23760 Main Street  
Sussex, WI 53089  
262-246-5200

Print Date: 4/27/2023



Date: 4/10/2023 - 4:54 PM  
Design ID: 314357217357  
Estimate ID: 99127  
Estimated Price: \$20,928.00

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARDS

# Design & Buy™ GARAGE

## How to recall and purchase your design at home:

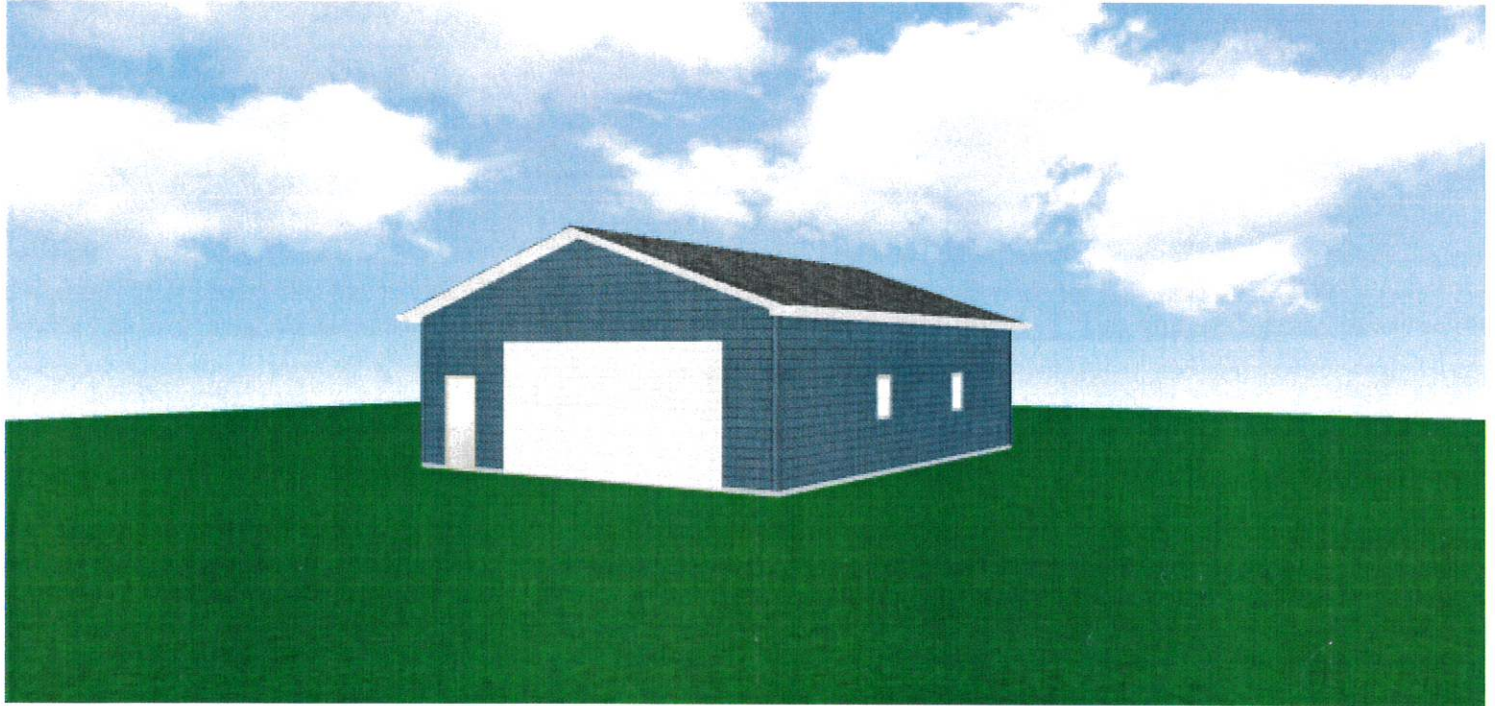


OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 314357217357
4. Follow the on-screen purchasing instructions

## How to purchase your design at the store:

1. Enter Design ID: 314357217357 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions



Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

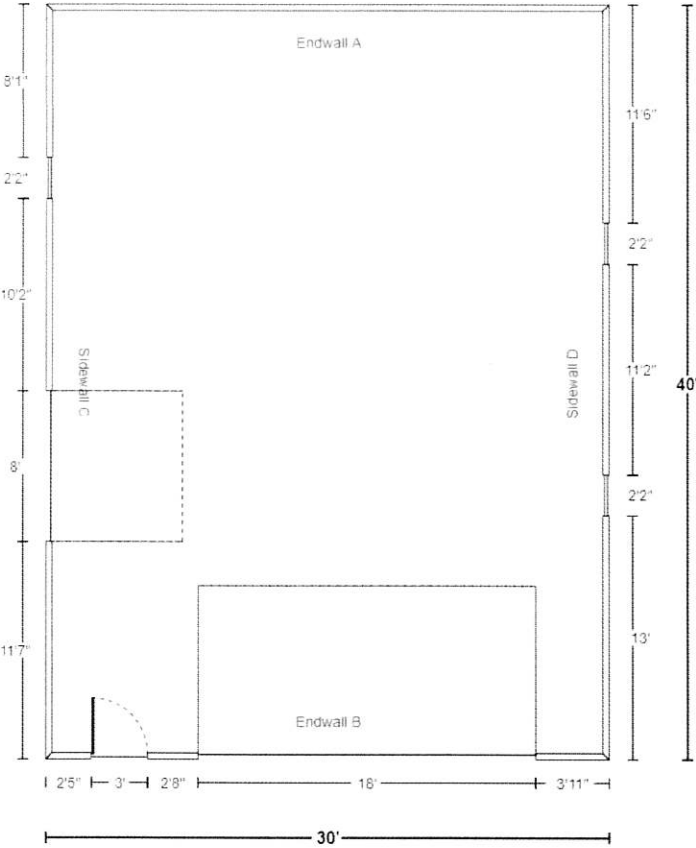
Date: 4/10/2023 - 4:54 PM  
Design ID: 314357217357  
Estimate ID: 99127  
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GARAGE



**Date: 4/10/2023 - 4:54 PM**

**Design ID: 314357217357**

**Estimate ID: 99127**

**Estimated Price: \$20,928.00**

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**MENARDS**

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GARAGE



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Design ID: 314357217357

Estimate ID: 99127

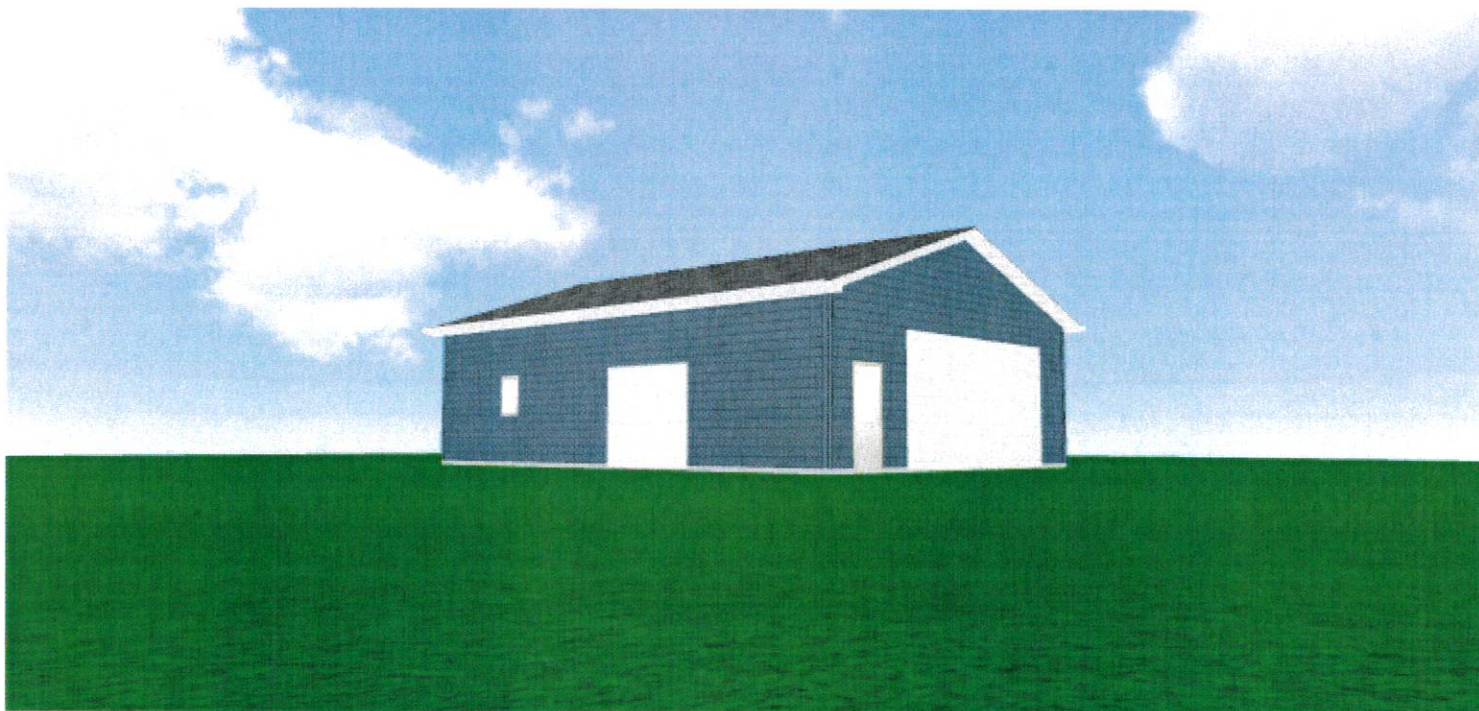
Estimated Price: \$20,928.00

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# Design & Buy™

## GARAGE



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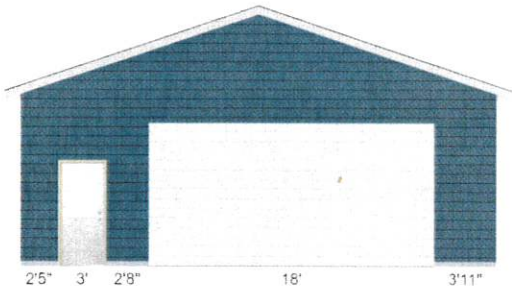
Estimated Price: \$20,928.00

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Dimensions

Wall Configurations

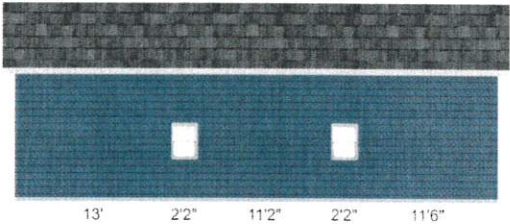
\*Some items like wainscot, gutter, gable accents, are not displayed if selected.



ENDWALL B

Mastercraft®; 36W x 80H Primed Steel Half Lite

Ideal Door®; Commercial 18' x 9' White Insulated Garage Door



SIDEWALL D

26"W x 36"H JELD-WEN®; Vinyl Double Hung

26"W x 36"H JELD-WEN®; Vinyl Double Hung

Date: 4/10/2023 - 4:54 PM

Design ID: 314357217357

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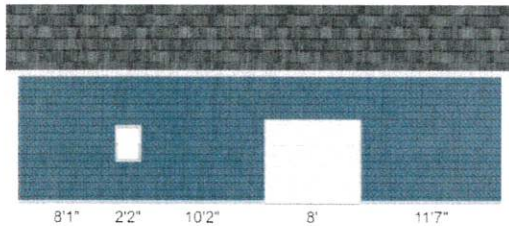
Estimated Price: \$20,928.00

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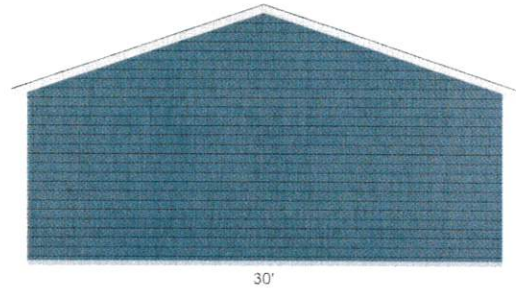
## GARAGE



### SIDEWALL C

Ideal Door®; Traditional 8' x 7' White Insulated

26"W x 36"H JELD-WEN®; Vinyl Double Hung



### ENDWALL A

Date: 4/10/2023 - 4:54 PM  
Design ID: 314357217357  
Estimate ID: 99127  
Estimated Price: \$20,928.00

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## Materials

### Building Info

|                             |  |
|-----------------------------|--|
| Building Location Zip Code: | 53089  |
| Building Width:             | 30'<br><i>The trusses included in your estimate are prebuilt with a 24" overhang, the overhang should be trimmed to correct overhang size.</i> |
| Building Length:            | 40'  |
| Building Height:            | 10'  |
| Curb:                       | Poured Curb  |
| Curb Height:                | 4"   |
| Foundation Type:            | Thickened Slab   |
| Wall Framing Stud:          | 2 x 4  |
| Roof Framing:               | Truss Construction   |
| Truss Type:                 | Common   |
| Roof Pitch:                 | 4/12 Pitch   |
| Eave Overhang:              | 12"  |
| Gable Overhang:             | 12"  |
| Custom Garage Plan:         | Yes I need a custom building plan  |

### Wall Info

|                                    |  |
|------------------------------------|--|
| Siding Material Types:             | LP Engineered Wood   |
| LP Engineered Wood Siding:         | Sherwin-Williams Prefinished 3/8 x 8 x 16' Textured Lap Siding(15 Yr Paint Warranty), Color: Biscayne Blue |
| Engineered Wood Corner Trim Color: | Biscayne Blue  |
| Accent Material Type:              | None   |
| Wainscot Material Type:            | None   |
| Wall Sheathing:                    | 7/16 x 4 x 8 OSB(Oriented Strand Board)  |
| House Wrap:                        | Kimberly-Clark BLOCK-IT® 9'x75'House Wrap  |
| Gable Vents:                       | None   |

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## Roof Info

|                        |   |
|------------------------|---|
| Roof Sheathing:        | 1/2 x 4 x 8 OSB(Oriented Strand Board)  |
| Roofing Material Type: | Architectural Shingle   |
| Architectural Roofing: | Owens Corning® TruDefinition® Duration® Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.), Color: Estate Gray |
| Roof Underlayment:     | Owens Corning® ProArmor® Synthetic Roofing Underlayment 42" x 286' (1,000 sq. ft.)  |
| Ice and Water Barrier: | Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7'(200sq.ft)                            |
| Fascia Material Type:  | Textured Aluminum Fascia  |
| Fascia:                | 6" x 12' Aluminum Rustic Fascia, Color: White   |
| Soffit Material Type:  | Aluminum Soffit   |
| Soffit:                | 16" x 12' Aluminum Vented Soffit, Color: White  |
| Gutter Material Type:  | Aluminum  |
| Gutter:                | Spectra Metals 5" x 10' K-Style Aluminum Gutter, Color: White   |
| Ridge Vent:            | None  |
| Roof Vents:            | None  |

## Openings

|                          |   |
|--------------------------|---|
| Service Door:            | Mastercraft® 36W x 80H Primed Steel Half Lite               |
| Overhead Door:           | Ideal Door® Commercial 18' x 9' White Insulated Garage Door |
| Overhead Door:           | Ideal Door® Traditional 8' x 7' White Insulated             |
| Overhead Door Trim Type: | Vinyl   |
| Vinyl Trim Color:        | White   |
| Windows:                 | 26"W x 36"H JELD-WEN® Vinyl Double Hung                     |
| Windows:                 | 26"W x 36"H JELD-WEN® Vinyl Double Hung                     |
| Windows:                 | 26"W x 36"H JELD-WEN® Vinyl Double Hung                     |



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**Design ID:** 314357217357  
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## Additional Options

|                            |  |
|----------------------------|--|
| Ceiling Insulation:        | None   |
| Wall Insulation:           | None   |
| Ceiling Finish:            | None   |
| Wall Finish:               | None   |
| Mounting Blocks:           | No   |
| Hydronic Radiant Heat:     | None   |
| Anchor bolt:               | Grip Fast® 1/2 x 10 HDG Anchor Bolt w/ Nut & Washer                                |
| Framing Fasteners:         | Grip Fast® 3-1/4 16D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box             |
| Sheathing Fasteners:       | Grip Fast® 2-1/2 8D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box              |
| Roofing/Shingle Fasteners: | Grip Fast® 1-1/4 Electro-Galvanized Coil Roofing Nails - 7,200 Count               |
| Truss Fastener:            | FastenMaster® TimberLOK® 5/16 x 6 Hex Drive Black Hex Head Timber Screw - 50 Count |
| Overhead Opening Hardware: | No   |

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MENARDS

# Design & Buy™

## GARAGE

| Midwest Manufacturing |               |          |              |              |                 |                 |           | Truss: C11030           |                   |
|-----------------------|---------------|----------|--------------|--------------|-----------------|-----------------|-----------|-------------------------|-------------------|
| Address 1             |               |          |              |              |                 |                 |           | JobName: RESSTOCK       |                   |
| Address 2             |               |          |              |              |                 |                 |           | Date: 02/22/17 09:26:38 |                   |
| City, State Zip       |               |          |              |              |                 |                 |           | Page: 1 of 1            |                   |
| SPAN<br>30-0-0        | PITCH<br>4/12 | QTY<br>1 | OHL<br>2-0-0 | OHR<br>2-0-0 | CANT L<br>0-0-0 | CANT R<br>0-0-0 | PLYS<br>1 | SPACING<br>24 in        | WGT/PLY<br>90 lbs |

All plates shown to be Eagle 20 unless otherwise noted.

| Loading (psf)     | General               | CSI Summary     | Deflection       | L/    | (loc) | Allowed |
|-------------------|-----------------------|-----------------|------------------|-------|-------|---------|
| TCLL: 42          | Bldg Code: IRC 2015/  | TC: 0.83 (1-2)  | Vert TL: 0.66 in | L/532 | (5-6) | L/180   |
| Snow(Ps/Pg): 4260 | TPI 1-2007            | BC: 0.96 (5-6)  | Vert LL: 0.35 in | L/997 | (5-6) | L/240   |
| TCCL: 10          | Rep Mbr Increase: Yes | Web: 0.82 (3-6) | Horz TL: 0.17 in |       | 5     |         |
| BCCL: 0           | Lumber D.O.L.: 115 %  |                 |                  |       |       |         |
| BCCL: 10          |                       |                 |                  |       |       |         |

#### Reaction Summary

| JT | Brg Combo | Brg Width | Red Brg Width | Max React | Max Grav Uplift | Max MWFRS Uplift | Max C&C Uplift | Max Uplift | Max Horiz |
|----|-----------|-----------|---------------|-----------|-----------------|------------------|----------------|------------|-----------|
| 1  | 1         | 3.5 in    | 3.24 in       | 2,068 lbs | .               | .                | -319 lbs       | -319 lbs   | 7 lbs     |
| 5  | 1         | 3.5 in    | 3.24 in       | 2,068 lbs | .               | .                | -319 lbs       | -319 lbs   | .         |

#### Bracing Summary

TC Bracing: Sheathed or Purlins at 2'-7-0, Purlin design by Others.

BC Bracing: Sheathed or Purlins at 10'-0-0, Purlin design by Others.

#### Material Summary

TC: SPF 2100/1.8 2 x 4

BC: SPF 1650/1.5 2 x 4

Webs: SPF Stud 2 x 3

#### Loads Summary

1) This truss has been designed for the effects of balanced and unbalanced snow loads for hips/gables in accordance with ASCE7 - 10 with the following user defined input: 60 psf ground snow load, Terrain Category B, Exposure Category Fully Exposed (Ce = 0.9), Risk Category II (I = 1.00), Thermal Condition Cold ventilated (Ct = 1.0), DOL = 1.15. Unventilated. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.

2) This truss has been designed to account for the effects of ice dams forming at the eaves.

3) This truss has been designed for the effects of wind loads in accordance with ASCE7 - 10 with the following user defined input: 115 mph (Factored), Exposure B, Enclosed, Gable/Hip, Risk Category II, Overall Bldg Dims 25 ft x 60 ft, h = 15 ft, End Zone Truss, Both end webs considered. DOL = 1.60

4) Minimum storage attic loading has been applied in accordance with IRC 301.5

#### Member Forces Summary

This indicates Member ID, max CSI max axial force, (max compr. force if different from max axial force). Only forces greater than 300lbs are shown in this table.

| TC  | 1-2   | 2-3        | 3-4   | 4-5        | 5-6   | 6-7        | 7-8   | 8-9        | 9-10  | 10-11      | 11-12 | 12-13      | 13-14 | 14-15      | 15-16 | 16-17      | 17-18 | 18-19      | 19-20 | 20-21      | 21-22 | 22-23      | 23-24 | 24-25      | 25-26 | 26-27      | 27-28 | 28-29      | 29-30 |            |
|-----|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|-------|------------|
| TC  | 0.829 | -4,502 lbs | 0.806 | -3,902 lbs | 0.829 | -4,502 lbs | 0.806 | -3,902 lbs | 0.829 | -4,502 lbs | 0.806 | -3,902 lbs | 0.829 | -4,502 lbs | 0.806 | -3,902 lbs | 0.829 | -4,502 lbs | 0.806 | -3,902 lbs | 0.829 | -4,502 lbs | 0.806 | -3,902 lbs | 0.829 | -4,502 lbs | 0.806 | -3,902 lbs | 0.829 | -4,502 lbs |
| BC  | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs | 0.960 | -4,182 lbs |
| Web | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs | 0.500 | -1,071 lbs |

#### JSI Summary

1 = 0.91, 2 = 0.83, 3 = 0.91, 4 = 0.83, 5 = 0.91, 6 = 0.90, 7 = 0.92, and 8 = 0.90

#### Notes

- 1) Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer.
- 2) When this truss has been chosen for quality assurance inspection, the Double Polygon Method per TPI 1-2007/Chapter 3 shall be used.
- 3) The fabrication tolerance for this roof truss is 5 % (C4 = 0.95).
- 4) Brace bottom chord with approved sheathing or purlins per Bracing Summary.
- 5) Creep has been considered in the analysis of this truss.
- 6) Listed wind uplift reactions based on MWFRS & C&C loading.

ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING ANY TRUSS BASED UPON THIS TRUSS DESIGN DRAWING ARE INSTRUCTED TO REFER TO ALL OF THE INSTRUCTIONS, LIMITATIONS AND QUALIFICATIONS SET FORTH IN THE EAGLE METAL PRODUCTS DESIGN NOTES ISSUED WITH THIS DESIGN AND AVAILABLE FROM EAGLE UPON REQUEST. DESIGN VALID ONLY WHEN EAGLE METAL CONNECTORS ARE USED.

TrueBuild® Software v5.5.2.240  
Eagle Metal Products  
Dallas, TX 75234

Date: 4/10/2023 - 4:54 PM

Design ID: 314357217357

Estimate ID: 99127

Estimated Price: \$20,928.00

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MENARDS

# Design & Buy™

## GARAGE

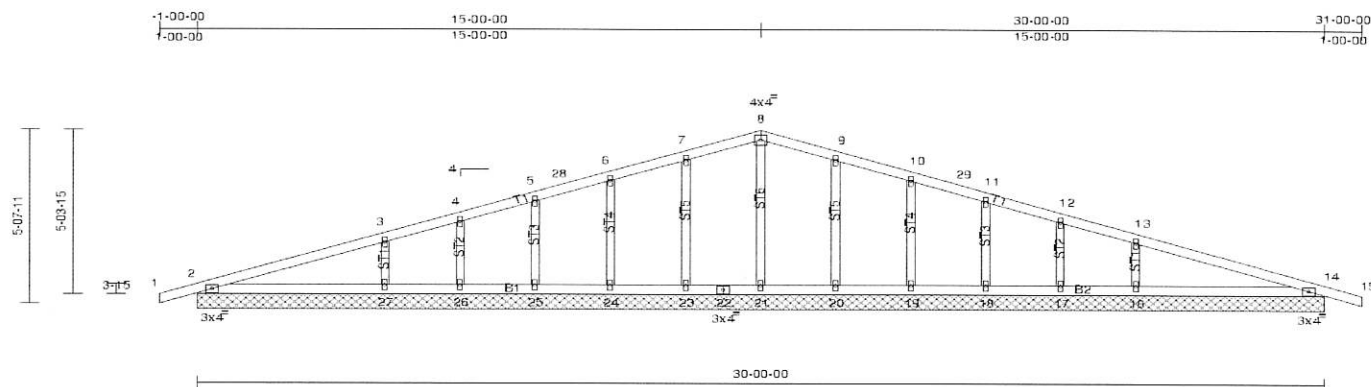
| Job          | Truss | Truss Type             | Qty | Ply | Job Reference (optional) |
|--------------|-------|------------------------|-----|-----|--------------------------|
| QTREC0532457 | T5E   | Common Supported Gable | 1   | 1   |                          |

Midwest Manufacturing, Eau Claire, WI

Run: 8.13 S Sep 25 2017 Print: 8.130 S Sep 25 2017 MiTek Industries, Inc. Thu Nov 09 11:07:24

Page: 1

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Scale = 1/55.6

| Loading                | (psf)     | Spacing         | 2'-00'-00"      | CSI       | DEFL | in        | (loc) | l/defl | L/d | PLATES | GRIP    |
|------------------------|-----------|-----------------|-----------------|-----------|------|-----------|-------|--------|-----|--------|---------|
| TCLL (roof)            | 20.0      | Plate Grip DOL  | 1.15            | TC        | 0.22 | Vert(LL)  | n/a   | -      | n/a | 999    | 197/144 |
| Snow (Ps/Pg)           | 17.3/25.0 | Lumber DOL      | 1.15            | BC        | 0.16 | Vert(TL)  | n/a   | -      | n/a | 999    |         |
| TCCL                   | 10.0      | Rep Stress Incr | YES             | WB        | 0.10 | Horiz(TL) | 0.00  | 14     | n/a | n/a    |         |
| BCCL                   | 0.0 *     | Code            | IRC2009/TPI2007 | Matrix-SH |      |           |       |        |     |        |         |
| BCDL                   | 10.0      |                 |                 |           |      |           |       |        |     |        |         |
| Weight: 99 lb FT = 15% |           |                 |                 |           |      |           |       |        |     |        |         |

### LUMBER

TOP CHORD 2x4 SPF No.2  
BOT CHORD 2x4 SPF No.2  
OTHERS 2x3 SPF Stud

### BRACING

TOP CHORD  
BOT CHORD

Structural wood sheathing directly applied or 6'-0'-0" oc purlins.

Rigid ceiling directly applied or 10'-0'-0" oc bracing.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

### REACTIONS

All bearings 30'-00'-00".

(lb) - Max Horiz 2=57(LC 11)

Max Uplift All uplift 100 (lb) or less at joint(s) 2, 14, 16, 17, 18, 19, 20, 23, 24, 25, 26, 27

Max Grav All reactions 250 (lb) or less at joint(s) 2, 14, 17, 18, 19, 20, 21, 23, 24, 25, 26 except 16=406(LC 35), 27=406(LC 34)

### FORCES

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

### WEBS

3-27=-283/123, 13-16=-283/123

### JOINT STRESS INDEX

2 = 0.38, 3 = 0.51, 4 = 0.51, 5 = 0.51, 6 = 0.51, 7 = 0.51, 8 = 0.34, 9 = 0.51, 10 = 0.51, 11 = 0.51, 12 = 0.51, 13 = 0.51, 14 = 0.38, 16 = 0.51, 17 = 0.51, 18 = 0.51, 19 = 0.51, 20 = 0.51, 21 = 0.51, 22 = 0.26, 23 = 0.51, 24 = 0.51, 25 = 0.51, 26 = 0.51 and 27 = 0.51

### NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-05; 90mph; TCCL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exo B; enclosed; MWFRS (low-rise) exterior zone and C-C Exterior(2) zone; cantilever left and right exposed; and vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- TCCL: ASCE 7-05; Pr=20.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=25.0 psf (ground snow); Ps=17.3 psf (roof snow; Lumber DOL=1.15 Plate DOL=1.15); Category II; Exo B; Fully Exp.; Cl=1.1
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 17.3 psf on overhangs non-concurrent with other live loads.
- This truss has been designed for basic load combinations, which include cases with reductions for multiple concurrent live loads.
- All plates are 1.5x4 MT20 unless otherwise indicated.
- Gable requires continuous bottom chord bearing.
- Gable studs spaced at 2'-0'-0" oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3'-6'-0" tall by 2'-0'-0" wide will fit between the bottom chord and any other members.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 23, 24, 25, 26, 27, 20, 19, 18, 17, 16, 14.
- Beveled plate or shim required to provide full bearing surface with truss chord at joint(s) 14.
- This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard



N64W23760 Main Street  
Sussex, Wisconsin 53089  
Phone (262) 246-5200  
FAX (262) 246-5222  
Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
Website: [www.villagesussex.org](http://www.villagesussex.org)

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## MEMORANDUM

To: Gabe Gilbertson, Community Development Director  
From: Secret T. Strobl, Village Engineer  
Date: May 1, 2023  
**Re: Ivy Estates Condominium**

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Following are comments and concerns of Engineering Division personnel regarding the proposed Ivy Estates Condominium. It is our understanding that the owner would like to convert the existing duplex at W245N6566 and W245N6564 Bowling Green Street to condominiums. The preliminary plat received in this office on April 27, 2023, is dated April 25, 2023.

1. Per Wisconsin Statutes section 703, condo declarations, bylaws, etc. are required for the condo plat. Per 18.0407 of the Sussex Municipal Code, the draft protective covenants and declarations must be submitted to the Village for review.
2. The S73°28'17"W bearing bisects C1. The map/legal description needs to be revised to clearly delineate the portion of curve C1 that is assigned to each unit.
3. I believe that the distance for the N87°48'11"W bearing must continue through the existing building to the S73°28'17"W bearing.
4. Approval of both preliminary and final condominium plats are required by 18.0309 of the Municipal Code.
5. Per 18.0807, sidewalk would technically be required (18.0309 requires condominium plats to comply with 18.0700 and 18.0800). There are no other sidewalks in this neighborhood. The Plan Commission can waive sidewalks, but this condo does not seem to meet the code conditions for waiving sidewalks. I understand that other duplexes in this neighborhood may have been converted to condos without a requirement to install sidewalks.
6. The duplex on this lot appears to be served with only one set of sewer and water laterals. Note that the condo documents should reflect the shared cost of maintenance / repair of those laterals.
7. I have confirmed that each side of this duplex has its own water meter.
8. I believe that building setback lines matching the zoning code should be shown on the plat.
9. It might be helpful to have the name, address, and phone number of the developer / current owner on the plat.

If you or the owner have any questions or comments, please respond in writing.

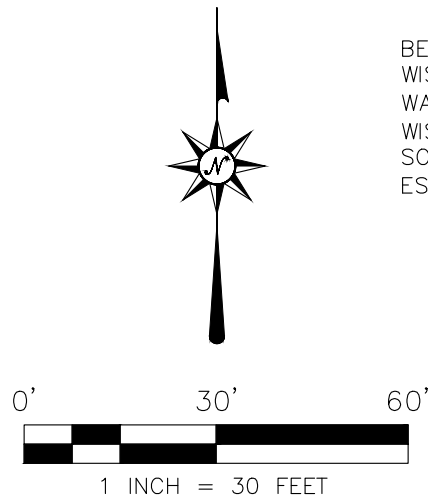


IVY ESTATES CONDOMINIUM  
LOT 8 OF BOWLING GREEN ESTATES BEING A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE  
SOUTHWEST 1/4 OF SECTION 22, TOWN 8 NORTH, RANGE 19 EAST, VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

| CURVE #             | RADIUS  | DELTA     | ARC DIST | CHORD DIST | CHORD BEARING | TANGENT IN    | TANGENT OUT   |
|---------------------|---------|-----------|----------|------------|---------------|---------------|---------------|
| C1                  | 25.00'  | 84°22'53" | 36.82'   | 33.58'     | S 12°48'01" E | S 29°23'25" W | S 54°59'28" E |
| C2                  | 230.00' | 19°53'55" | 79.88'   | 79.48'     | N 19°26'16" E | N 29°23'13" E | N 09°29'18" E |
| (RECORD CURVE DATA) |         |           |          |            |               |               |               |
| CURVE #             | RADIUS  | DELTA     | ARC DIST | CHORD DIST | CHORD BEARING | TANGENT IN    | TANGENT OUT   |
| C1                  | 25.00'  | 84°22'53" | 36.82'   | 33.58'     | N 14°03'34" W | S 28°07'52" W | S 56°15'00" E |
| C2                  | 230.00' | 19°53'55" | 79.88'   | 79.48'     | N 18°10'43" E | N 28°07'40" E | N 08°13'46" E |

BEARINGS BASED ON GRID NORTH OF THE  
WISCONSIN COUNTY COORDINATE SYSTEM,  
WAUKESHA COUNTY ZONE (NAD 83  
WISCONS 2018) AND REFERENCED TO THE  
SOUTH LINE OF LOT 8 OF BOWLING GREEN  
ESTATES MEASURED AS N54°59'13"W.

TOTAL PARCEL AREA  
19,323 S.F.  
0.444 ACRES



NOTE:

- LIMITED COMMON ELEMENTS (L.C.E.) CONSIST OF THE DRIVEWAYS, WALKS, DECKS, PATIOS, OR PORCHES, AND YARD AREAS PER UNIT DIVIDING LINES AS SHOWN. THE LIMITED COMMON ELEMENTS SHALL BE RESERVED FOR THE EXCLUSIVE USE OF THE UNIT TO WHICH THEY ARE APPURTENANT.

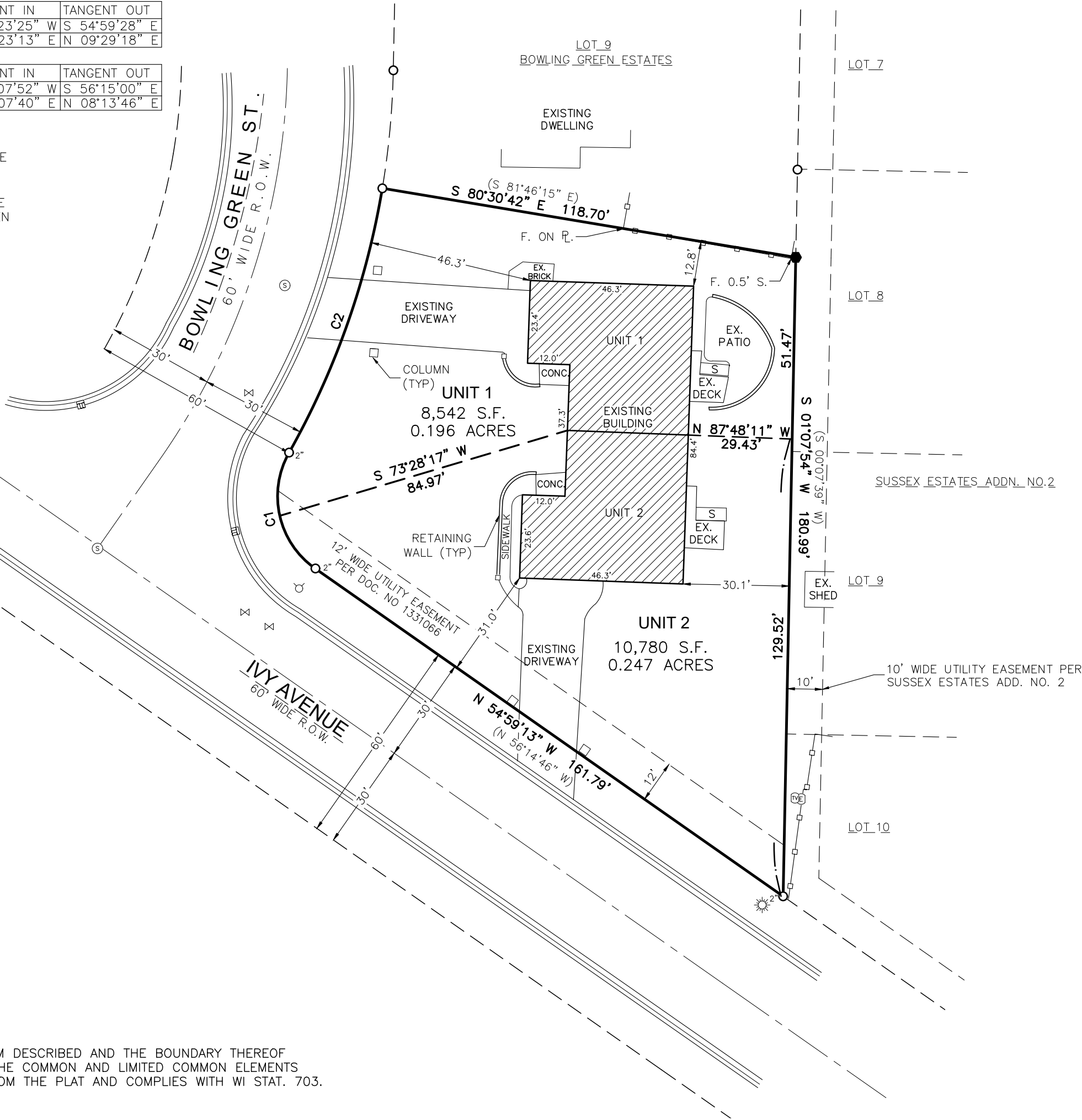


I, MATTHEW T. O'ROURKE,

CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF THE CONDOMINIUM DESCRIBED AND THE BOUNDARY THEREOF  
DEPICTED AND THAT THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON AND LIMITED COMMON ELEMENTS  
ARE DEPICTED AS PROVIDED BY THE DECLARANT AND CAN BE DETERMINED FROM THE PLAT AND COMPLIES WITH WI STAT. 703.

MATTHEW T. O'ROURKE, PLS-2771

DATE:



ADDRESSES:

UNIT 1: W245N6566 BOWLING GREEN STREET  
UNIT 2: W245N6564 BOWLING GREEN STREET

LEGEND

- FOUND 1" IRON PIPE OR NOTED SET 0.75" O.D. X 18" REBAR WEIGHING 1.502 LBS/FT.
- SANITARY MANHOLE
- CURB INLET
- LIGHT
- WATER VALVE
- HYDRANT
- TV PED
- ELECTRIC PED
- WOOD FENCE
- RECORD DIMENSION



LAND SURVEYING • LAND PLANNING  
111 W. SECOND STREET  
OCONOMOWOC, WI 53066  
WWW.LANDTECHWI.COM  
(262) 367-7599

DATED THIS 25TH DAY OF APRIL 2023  
JOB# 23069 PAGE 1 OF 1



Project Name \_\_\_\_\_

Tax Key # \_\_\_\_\_

VILLAGE OF SUSSEX  
PLAN OF OPERATION  
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to [ggilbertson@villagesussex.org](mailto:ggilbertson@villagesussex.org).

The following fees are required at the time of submittal:

|   |          |
|---|----------|
| <input checked="" type="checkbox"/> Plan of Operation fee   | \$175.00 |
| <input type="checkbox"/> Conditional Use fee (if necessary) | \$210.00 |
| <input type="checkbox"/> Pre Occupancy inspection fee       | \$100.00 |

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: \_\_\_\_\_

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Kelly Semb Phone # (414) 460-1398  
E-mail: Kelly@latzrg.com

For office use only:

Met with staff on: \_\_\_\_\_

Paid fees on: \_\_\_\_\_

To be on the Plan Commission Agenda for: \_\_\_\_\_

Original forms to the following:

Plan of Operation to Jeremy \_\_\_\_\_

Service reimbursement \_\_\_\_\_

Emergency Contact to Sheriff Dept \_\_\_\_\_

Wastewater Permit to WWTP \_\_\_\_\_

Any outstanding fees owed on the property? \_\_\_\_\_



## PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? NO If yes, is this a new CU? \_\_\_\_\_

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? \_\_\_\_\_

Tax Key # \_\_\_\_\_

Zoning: \_\_\_\_\_

Address of Tenant Space: N64W23180 Main St. Sussex 53089

1. Name of Business:

Thirsty Duck

Business

N64W23180 Main St. Sussex, WI 53089

Address

City, State, Zip

Phone #

Kelly@eat2rg.com (414) 460-1398

Fax #

Email address

2. Business owner contact information:

Daniel Zierath

Contact

975 Pinehurst Ct. #14 Brookfield, WI 53005

Address

City, State, Zip

Phone #

Dan@eat2rg.com (414) 526-5489

Fax #

Email address

3. Building/Land owner contact information:

Contact

Same as above

Address

City, State, Zip

Phone #

Fax #

Email address

4. Number of Employees/Shifts:

varies (6-15)

Employees

2 shifts

Shifts

per day

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

| Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday  |
|--------|---------|-----------|----------|--------|----------|---------|
| 3:00-? | 3:00-?  | 3:00-?    | 3:00-?   | 3:00-? | 11:00-?  | 11:00-? |

6. Is this an extension of an existing operation? yes
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? \_\_\_\_\_ Do you need an Outdoor Establishment Permit? NO  
If yes, explain: \_\_\_\_\_  
If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? alcohol in the parking lot
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? NO If yes, explain: \_\_\_\_\_
11. Dimension of area to be occupied parking lot Total square footage \_\_\_\_\_  
If applicable list square footage according to 1<sup>st</sup> floor \_\_\_\_\_ 2<sup>nd</sup> floor \_\_\_\_\_

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:  
Total Number of Parking Spaces 120 Number of spaces needed per code \_\_\_\_\_  
Number of spaces allocated for employee parking 10  
Dimensions of parking lot \_\_\_\_\_ Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?

N/A  
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Kelly Semb  
Name  
General Manager  
Title or Position

4/24/23  
Date

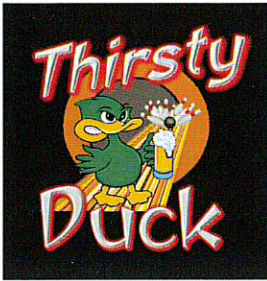
I am aware and approve of the business to be operating in the building owned by N/A

\_\_\_\_\_  
Name  
\_\_\_\_\_  
Title or Position

\_\_\_\_\_  
Date



We are looking to host a "bike night" on Tuesday nights in the months of May, June and July. That would consist of motorcycles parking in our lot, providing alcohol in the parking lot and possibly having a speaker for music. It would be from 5:00pm-8:00pm. (approx) The amount of parking spots used would vary from week to week depending on the amount of guests that show up. We do have 120 parking spots in our lot and two motorcycles would fit per spot. Our Tuesday nights are slow at the Thirsty Duck and this would not hinder public parking in any way.



4/25/2023

To Whom It May Concern,

The Thirsty Duck is looking to have our Class B combination liquor license ammended so that we can provide alcohol in our parking lot. This would not be something we would offer on a regular basis, just during special events. In particluar, we are looking to host a "Morotcycle Bike Night" in our lot Tuesday nights in the summer months. We would like to allow customers to walk around our lot with a alcholic beverage as they view the motorcycles on site. We also have a few cornhole tournaments and an annual car show in which we would like to offer alcohol in our parking lot as well. If approved, we would be extremely responsible with the privledge.

Owner/Member/agent: Daniel P Zierath

Address: 975 Pinehurst Ct #114 Brookfiel, WI 53005

Email: Dan@eatzrg.com

Phone: (414) 526-5989

Kelly Semb

General Manager

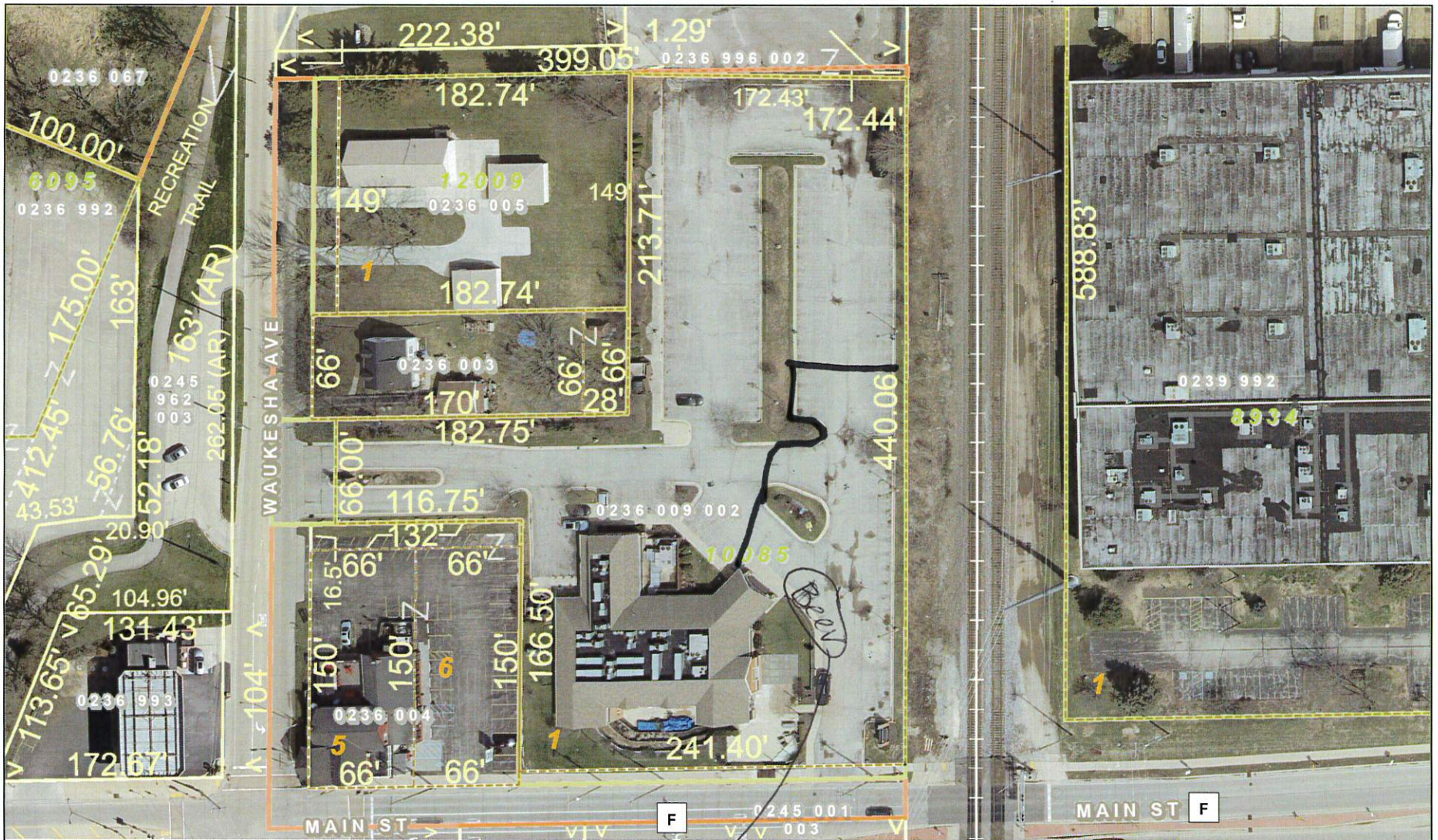
N64W23180 Main Street

Sussex, WI 53089

(414) 460-1398



Thirsty Duck



## Village of Sussex

### DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Sussex does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

Small beer cart

Alcohol from Main Street entrance down to the



1st 6 stalls north - west to the entrance of the building -

SCALE: 1 = 89'



## Village of Sussex

N64 W23760 Main Street  
Sussex, WI 53089  
262-246-5200

Print Date: 4/27/2023