



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, MARCH 21, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of February 21, 2023.
3. Consideration and possible action on Permitted Uses and Plans.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. T-Mobile Freiheit Court Communication Tower Non-Substantial Modification Determination.
 - b. T-Mobile Freiheit Court Communication Tower Site and Plan of Operation Approval.
 - c. Rezoning Ordinance for the parcel identified as Tax Key No. 203.993.001 to the TS-1 Traditional Suburban Single Family Residential District with a Planned Development Overlay District.
 - d. Preliminary Plat for the Golden Fields of Sussex development located at N74W24659 Lauren Drive.
 - e. Special Event Permit review for a proposed car and bike night at Sussex Bowl located at N64W24576 Main Street.
 - f. Consideration and possible action on an Ordinance to repeal and recreate Section 17.0807(C)(1) regarding Electronic Message Signs in Section 17.0800 Signs and Section 17.0704 regarding Accessory Uses and Structures in the Village.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**VILLAGE OF SUSSEX
PLAN COMMISSION
6:30PM TUESDAY, FEBRUARY 21, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:30pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Trustee Greg Zoellick, Commissioners, Roger Johnson, Debbie Anderson, and Village President Anthony LeDonne

Members excused: Commissioners Mike Schulist, Jim Muckerheide, and Mike Knapp

Others present: Community Development Director Gabe Gilbertson, Village Administrator Jeremy Smith, Village Attorney John Macy, Assistant Village Administrator Kelsey McElroy-Anderson.

A quorum of the Village Board was not present at the meeting.

Consideration and possible action on the minutes on the Plan Commission meeting of January 17, 2023.

A motion by LeDonne, seconded by Johnson to approve the minutes of the Plan Commission meeting of January 17, 2023 as presented. Motion carried 4-0

Reconvene Public Hearing on a consideration of a Conditional Use Permit for a commercial recreation facility located at N66W25201 County Hwy VV, Sussex, WI 53089

The petitioner was present, stated the draft Conditional Use Permit was received and acceptable. Motion by Johnson, seconded by LeDonne to close the public hearing. Motion carried 4-0

Consideration and possible action for a Conditional Use Order for a commercial recreation facility located at N66W25201 County Hwy VV, Sussex, WI 53089

Motion by Johnson, seconded by Zoellick to approve the Conditional Use Order based upon the evidence presented at the Public Hearings, for a solar panel installation at W232N6274 Waukesha Avenue subject to the standard conditions of Exhibit A. Motion carried 4-0

Consideration and possible action on an exception from the Village of Sussex Design Standards as it relates to the material for sheds for Peter Meissner (N67W25727 Silver Spring Drive.)

Commissioner Johnson, as the one of the co-authors of the standards, stated they did not consider the unique aspect of farming structures when writing the standards. Motion by Johnson, seconded by LeDonne to grant an exception from the Village of Sussex Design Standards as it relates to the material for sheds for Peter Meissner (N67W25757 Silver Spring Drive) because it is an agricultural use and will match other buildings on the property. Motion carried 4-0

Consideration and possible action on the Freiheit Court Communication Tower Non-Substantial Modification Determination

The petitioner requested this item be tabled.

Consideration and possible action on the Freiheit Court Communication Tower Plan of Operation

Approval

The petitioner requested this item be tabled.

Consideration and possible action on a CSM to divide Tax Key No. 227.999.011 to create four lots in association with the Vista Run Development

A representative was present to answer questions. Motion by LeDonne, seconded by Zoellick to recommend to the Village Board approval of the Certified Survey Map to divide Tax Key No. 227.999.011 to create four lots in association with the Vista Run Development.

Motion carried 4-0

Other Items for Future Discussion

Commissioner Johnson would like an update of the patio at Tekila.

Adjournment

A motion by LeDonne, seconded by Zoellick to adjourn the meeting at 7:08p.m.

Motion carried 6-0

Respectfully submitted,
Jennifer Moore
Village Clerk



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of March 21, 2023
DATE March 8, 2023

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. **Minutes of the Plan Commission meeting of February 21, 2023.**
03. **Consideration and possible action on Permitted Uses and Site Plans:**
04. **Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans:**
05. **Consideration and possible action on CSM's, Plats, Zoning and Planning Items:**

A. T-Mobile Freiheit Court Cell Tower Not Substantial Modification Determination

The subject property is zoned B-2 Regional Business District. Plans were submitted on behalf of T-Mobile to add a new antenna array and associated ground equipment to the cell tower located at the end of Freiheit Ct. The applicant has submitted responses of their determination of a not-substantial increase according to the Wisconsin State Statutes. Their responses are attached.

Wisconsin State Statutes classifies a substantial modification that does any of the following:

1. Increases the overall height of the structure by more than 20 feet for structures with an overall height of 200 feet or less.
2. For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10% or more.
3. Measured at the level of the appurtenance added to the structure as a result of the modifications, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation.
4. Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet.

The existing cell tower is 120 feet tall, and the proposed collocation is not increasing the height of the tower. The proposed antenna array is not increasing the width of the support structure by more than 20 feet. The equipment compound area is not changing.

Policy Questions:

1. Are the proposed amendments to the site plan considered not substantial?

Action Item:

1. Section 17.0509(D)(2)(e) states that the Plan Commission shall make a decision on the application to determine if the modifications are not substantial.

Staff Recommendation:

Staff recommends the Plan Commission make the determination that the proposed collocation on the cell tower located at N64W24837 Freiheit Court are not substantial.

B. T-Mobile Freiheit Court Cell Tower Plan of Operation and Site Plan Review

Section 17.0206 states that no structure shall be located, erected, moved, reconstructed, extended, enlarged, or structurally altered until after the owner or his agent has secured a building permit from the building inspector. Section 17.1001 states that the Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, utilization of landscaping and open space, parking areas, driveway locations, loading and unloading, highways access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation in the following districts Q-1, M-1, I-1, OP-1, BP-1, B-4, B-3, B-2, B-1, RM-1, and SFRD-3. The subject property is located in the B-2 Regional Business District.

Section 17.0500(A)(11)(a) states that outside storage maybe permitted for commercial uses in the B-2 District and that in all cases, outside storage shall be screened from all sides. The submitted plans is proposing to install the ground equipment on a rack rather than in an equipment shelter. Because the equipment is not located in a shelter, it is considered outdoor storage and per Section 17.0500(A)(11)(a) the applicant would be required to apply for a conditional use permit for the outdoor storage and to have the screening plan approved by the Plan Commission.

Policy Questions:

1. Are there any concerns with the Site Plan?
2. Are there any property maintenance concerns that need to be addressed at this time?
 - a. The submitted site plans are showing a future generator location. The approval at this time is for the collocation only. If the applicant wishes to install a generator, they would need to submit a separate application.

Action Item:

1. Act on the Site Plan.

Staff Recommendation:

Staff recommends the Plan Commission approve the site plan subject to the applicant submitting revised plans with the equipment located inside an equipment shelter or applying for a conditional use permit for the outdoor storage in conformance with Section 17.0500(A)(11)(a).

C. Rezoning Ordinance for the parcel identified as Tax Key No. 203.993.001 to the TS-1 Traditional Suburban Single Family Residential District with a Planned Development Overlay District.

The petitioners have filed a petition to rezone the approximately 20-acre parcel to accommodate a proposed single family residential development. The subject parcel

was recently transferred to the Village of Sussex as part of the Border Agreement with Lannon and currently does not have a Zoning classification.

The petitioners are requesting to rezone property identified by Tax Key No. 203.993.001 to the TS-1 Traditional Suburban Single-Family Zoning District with a Planned Development Overlay District

The petitioner should address all the conditions as required in Section 17.0435 (D) of the PDO zoning Ordinance. The PDO is intended to allow for a more effective layout of lots, Park space and the uniqueness of the different types of housing options.

Staff has prepared an Ordinance for consideration to rezone the property. The next step is for the Plan Commission to recommend to the Village Board and schedule a public hearing.

Policy Questions:

1. Are there any concerns with the petition?
2. Are there any concerns with the proposed zoning change?
3. Are there any concerns with the Ordinance?

Action Item:

1. Act on the Ordinance.
2. Direct staff to schedule a public hearing.

Staff Recommendation: Staff recommends the Plan Commission recommend to the Village Board to approve the Ordinance to rezone the parcel identified by Tax Key No. 203.993.001 to TS-1 Traditional Suburban Single-Family Residential with a Planned Development Overlay District conditioned upon the approval of the Preliminary Plat and the Developer's Agreement.

D. Preliminary Plat for the Golden Fields of Sussex development located at N74W24659 Lauren Drive.

The Plan Commission reviewed a site concept plan for this proposed single-family subdivision on the 20-acre subject property at their December 20, 2022 meeting. The concept that was reviewed proposed 27 single family lots with a minimum lot size of 20,000 square feet. Based on feedback from the Plan Commission, the developer is proceeding with the Preliminary Plat.

The Preliminary Plat is largely consistent with the concept that the Plan Commission originally reviewed except for two major changes:

1. The Village of Lisbon requested the north/south roadway in the proposed subdivision also connect to Carol Ann Circle to the south. The submitted preliminary plat shows this connection.
2. The stormwater pond increased in size.

As a result of these two changes, the number of lots decreased from 27 to 26 and the average lot size increased from 26,692 square feet to 28,096 square feet.

Policy Questions:

1. Are there any concerns with the Preliminary Plat?

Action Items:

1. Act on the Plat.

Staff Recommendation: Staff recommends the Plan Commission approve the Preliminary Plat and recommend to the Village Board to approve the Preliminary Plat for Golden Fields of Sussex subdivision on the property identified by Tax Key No. 203.999.001 subject to the following conditions of approval:

1. Standard conditions of approval for Preliminary Plats.
2. Final review and conditions by the Village Engineer in the memo dated March 10, 2023.
3. Final review and conditions from Waukesha County and the Wisconsin DOA.
4. The PDO Rezoning Ordinance being approved by the Village Board.
5. A Developer's Agreement being approved by the Village Board.
6. A Tree Preservation Plan being approved by the Parks and Rec Board.
7. The standard conditions of Exhibit A.

E. Special Event Permit review for a proposed car and bike night at Sussex Bowl located at N64W24576 Main Street.

The subject property is zoned B-1 Neighborhood Business District. Sussex Bowl is proposing a new temporary event at the subject property that would consist of a Monday night weekly Cruise In car and bike night. According to the submitted application, the Sussex Bowl parking lot would close at 4:00 pm on the Monday of the event to reserve the parking lot and Sussex Bowl Staff would be present to direct incoming cars and bikes to their parking spot.

There would be live music or a DJ on a stage located by the volleyball courts from 6:00 pm until 9:00 pm. An additional beer/soda/food stand would be located on the backside of the building. The application is proposing the weekly Cruise In would begin May 8th and alternate between car nights and bike nights through August 28th.

A Conditional Use Permit was issued in 2020 for the installation of the outdoor bags tournament area and outdoor bar. This Conditional Use Permit includes a condition that any temporary use or special activity or event shall not be permitted without prior approval of the Plan Commission.

Policy Questions:

1. Are there any concerns with the proposed special event?
 - a. The Police Department and Fire Department submitted memos with their concerns and comments. Those memos are attached. Staff expressed concerns over the number of proposed dates and feel that having this event

weekly is not the intention of a special event permit and that the number of events should be reduced to either 1-2 times per month. If the applicant wishes for this event to occur on a routine basis, the conditional use permit for the property should be amended to include the Cruise In events.

- b. Staff also had concerns about the bike nights and noise that may be generated given the close proximity to residential units at the subject property. The Plan Commission may want to take this into consideration when reviewing the plan of operation.
- c. The submitted site plan is proposing the stage on the north side of the property adjacent to the volleyball court. Staff suggests that this stage be located on the south of the building to reduce the impact from the noise on the residences to the north and east as much as possible.
- d. Rumors received a Conditional Use Permit in 2012 to hold a Tuesday and Thursday night car and bike event for total of ten times a year. This Conditional Use Permit is attached for the Plan Commission to refer to. Sections are highlighted that Staff consider applicable to this request.
- e. Staff proposed dates and times for the event in the conditions of the recommendation. The Plan Commission will want to discuss the appropriate number of times the event should occur, and if the Board wishes to change those dates, the approval should reflect the revised dates and times.
- f. The applicant should address where customers will park who are not showing a car or bike and would not be permitted to park in the business' parking lot.

Action Items:

1. Act on the submitted Application for Special Event.

Staff Recommendation: Staff recommends the Plan Commission approve the application for a special event with a reduced number of dates and subject to the following conditions:

1. The applicant shall adhere to a site plan approved by the Plan Commission that depicts the designated area for the car/bike show, concession/drink stand, and outdoor music. The site plan is attached as Exhibit A.
2. The applicant adheres to the submitted Plan of Operation for the subject property. The Plan of Operation shall be reviewed and approved by the Police and Fire Departments. The Plan of Operation is attached as Exhibit B.
3. If the applicant uses the private parking to the west, an agreement between the two property owners will need to be submitted to Village Staff. The parking plan shall also indicate where pedestrians will be crossing Pewaukee Road. This plan will be attached as Exhibit C.
4. The Village reserves the right to rescind its approval of this Temporary Use Permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Applicant is given an opportunity to be heard on the matter and correct the incompatibilities.

5. The activities approved for the event are approved for the following Mondays for the year 2023: May 8th, June 12th, July 10th, and August 14th. The event is permitted to begin at 4:00 pm, music on the outdoor stage to start at 5:00 pm and ending at 8:00 pm, and the event ending at 9:00 pm. Clean up and securing the event area shall be completed within 1 hour after end time.

F. Consideration and possible action on an Ordinance to repeal and recreate Section 17.0807(C)(1) regarding Electronic Message Signs in Section 17.0800 Signs and to repeal and recreate sub section 17.0704(a) regarding Emergency Generators in Section 17.0704 Accessory Use and Structures Regulations.

Section 17.0807 of the Code related to electronic messages signs as written today excludes the use of electronic message signs in the B-1 Neighborhood Business District. Today, there are only five remaining parcels with the B-1 Neighborhood Business District zoning classification. Two of these parcels are undeveloped, one is the Post Office, one is the multi-tenant Wessex Center, and the other is Sussex Bowl.

Staff is recommending this Section of the Code be amended to allow for properties within the B-1 Neighborhood Business District to submit sign permit applications for monument signs with integrated electronic message readers. The Code continues to require Plan Commission review and approval for all signs with electronic message readers and that will remain the same. The Code regulating electronic message signs currently reads as follows:

- c. Electronic Message Signs are a special privilege sign granted under unique circumstances for orderly and pleasing development. The signs are intended to promote the effective display of brief messages in a clear and pleasing manner.*
 - 1. These signs are permitted for buildings in the B-2, B-3, B-4 BP-1, OP-1, OP-2, I-1 and M-1 Districts. The Plan Commission must find the following for a permit to be issued:*
 - a. The message sign is part of a ground or monument sign. Electronic Message Signs that are time and temperature devices only may be allowed as a wall sign, or projecting sign, although no time and temperature device shall be located closer than 750 feet from another time and temperature device.*
 - b. The sign will not interfere with the visibility of any traffic signal.*
 - c. The character and design of the sign is compatible with the general area and building, and that the impact of such a sign will not visually impact any nearby residential areas.*
 - d. Multi-tenant buildings shall coordinate such that only one electronic message sign shall be allowed for the Development.*

Section 17.0704 of the Code regulates Accessory Uses and Structures in the Village. Currently, the Code does not have language regarding the regulation of Emergency Generators. The proposed language Staff is recommending is intended to address potential issues of aesthetics and noise that may be caused by the installation of an emergency generator.

Staff has provided an Ordinance for consideration.

Policy Question:

1. Are there any concerns with the Ordinance?

Action Items:

1. Act on the Ordinance.

Staff Recommendation:

Staff recommends the Plan Commission recommend to the Village Board to approve the Ordinance to repeal and recreate Section 17.0807(C)(1) regarding Electronic Message Signs in Section 17.0800 Signs and Section 17.0704(a) regarding Emergency Generators in Section 17.0704 Accessory Use and Structures Regulations.

6. **Other Items for future discussion.**

7. **Adjournment.**

From: [Jenny Cederberg](#)
To: [Gabe Gilbertson](#); [Building Inspection](#)
Cc: [shawn.stafford@nokia.com](#); [Karol Fahey](#)
Subject: RE: ML89143A-Village of Sussex Collocation Building Permit-Written Application
Date: Tuesday, January 3, 2023 4:31:25 PM
Attachments: [image001.png](#)

Gabe,

We agree to the 45-day extension. I will note the 2/21/23 Plan Commission meeting. Which address should I have A&E put on the FCDs- Freiheit Ct as the address and Tax Key No.

SUXV0231989007. **Kindly, advise.**

See responses to questions in red below.

Thanks, Gabe.

Best,

Jenny Cederberg


Insite inc.
Wireless Consulting Services
1S660 Midwest Rd., Suite 140
Oakbrook Terrace, IL 60181
cederberg@insite-inc.com
224-301-0719

From: Gabe Gilbertson <ggilbertson@villagesussex.org>
Sent: Tuesday, January 3, 2023, 4:11 PM
To: Jenny Cederberg <cederberg@insite-inc.com>; Building Inspection <building@villagesussex.org>
Cc: shawn.stafford@nokia.com; Karol Fahey <kfahey@insite-inc.com>
Subject: RE: ML89143A-Village of Sussex Collocation Building Permit-Written Application

Jenny:

I have the application and letter. The January Plan Commission agenda has been put together already, will you agree to an extension of the 45 day period for it to be placed on the February 21, 2023 Plan Commission agenda?

I would need two more things:

- Updated plan set with the correct location.
- Responses to each of these items confirming it is non-substantial modification:
 - Increases the overall height of the structure by more than 20 feet for structures with an overall height of 200 feet or less. **No.**
 - For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10% or more. **No.**

Measured at the level of the appurtenance added to the structure as a result of the modifications, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation. **No.**

- Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet. **No.**

Let me know if you have any questions.

Thanks,

Gabe Gilbertson
Community Development Director

(262) 246-5215

[Village of Sussex](#)

CONFIDENTIALITY NOTICE:

This e-mail, including any files transmitted with it, is the property of the Village of Sussex, Wisconsin. It is confidential and is intended solely for the use of the individual, or entity, to whom the e-mail is addressed. If you are not a named recipient, or otherwise have reason to believe that you have received this message in error, please notify the sender at 262-246-5200 and delete this message immediately from your computer. Any other use, retention, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited.

From: Jenny Cederberg <cederberg@insite-inc.com>

Sent: Tuesday, January 3, 2023 3:42 PM

To: Gabe Gilbertson <ggilbertson@villagesussex.org>; Building Inspection <building@villagesussex.org>

Cc: shawn.stafford@nokia.com; Karol Fahey <kfahey@insite-inc.com>

Subject: RE: ML89143A-Village of Sussex Collocation Building Permit-Written Application

Good afternoon, Gabe,

Happy New Year! Per your below email, I have attached an updated permit application, as well as, a written application covering the points which you laid out.

Per the Wisconsin State statute, the proposed co-location by T-Mobile is considered permitted use. For your convenience, I have provided the relevant portion of the statute in the attached Plan Commission Review Letter. Regarding the \$250 application fee, can I pay it online or over the phone? If not, I will request a check. **Kindly, confirm receipt of this email and Plan Commission Review timeline.**

Thanks, Gabe. Your time and assistance are greatly appreciated.

Best,

Jenny Cederberg

T-Mobile® stick together®

T-Mobile®

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS
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T-MOBILE.

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

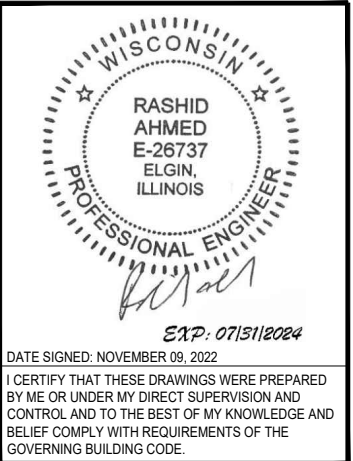
SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

| REV. | SUBMITTAL | APPROVED | DATE |
|------|---------------|----------|----------|
| | Lease Exhibit | AE | 05/23/22 |
| A | PRELIM CD | AE | 07/06/22 |
| B | PRELIM CD | AE | 08/09/22 |
| 0 | FINAL CD | AE | 08/22/22 |
| 1 | REVISED CD | AE | 11/09/22 |
| | | | |
| | | | |



DATE SIGNED: NOVEMBER 09, 2022
I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

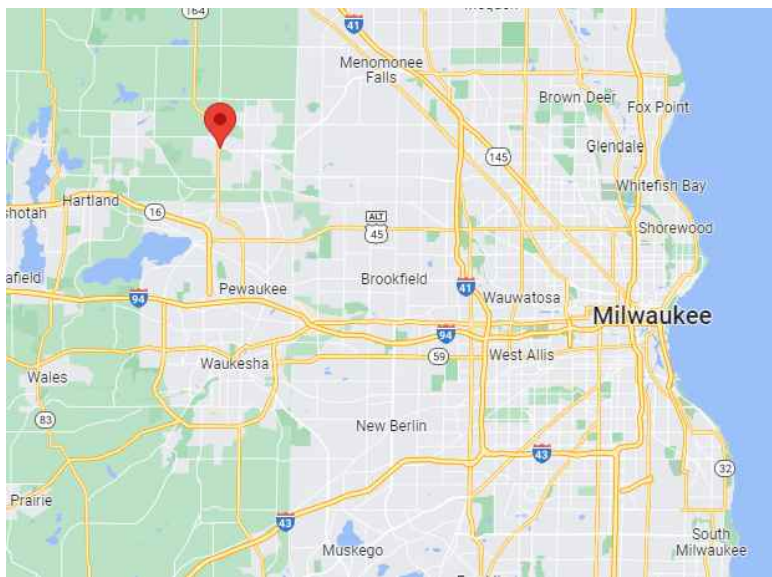
SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

VICINITY MAP



LOCATION MAP



NOTES TO GENERAL CONTRACTOR:

GC SHALL VERIFY ALL EXISTING PLANS, DIMENSIONS & CONDITIONS ON JOB SITE.
GC SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY
DISCREPANCIES PRIOR TO CONSTRUCTION.
GC SHALL COMPLY WITH OSHA SAFETY REQUIREMENTS AT ALL TIME DURING SITE
CONSTRUCTION.
G.C SHALL HAVE THE SITE MANNED WITH A CREW AND SUPERVISOR DURING
CONSTRUCTION.
G.C. SHALL CONFIRM WITH T-MOBILE CONSTRUCTION MANAGER AND A&E FIRM FOR THE
MOST RECENT SET OF DRAWINGS AND STRUCTURAL ANALYSIS PRIOR TO BIDDING ON
SITE.

PROJECT INFORMATION

T-MOBILE SITE NUMBER: ML89143A
T-MOBILE SITE NAME: USCC - 784760
SITE TYPE: MONOPOLE
PROJECT TYPE: NSD - COVERAGE

SITE ADDRESS:

FREIHEIT CT.
Tax Key No: SUXV0231989007

JURISDICTION: VILLAGE OF SUSSEX
COUNTY: WAUKESHA

SITE COORDINATES:

LATITUDE NORTH: 43.134113°
LONGITUDE WEST: -88.241554°

SCOPE OF WORK

BASED ON RFDS DATED: 4/25/2022
THE SCOPE OF WORK CONSISTS OF:

ANTENNA LEVEL:

- (6) NEW ANTENNAS TO BE INSTALLED
- (1) NEW VM DISH ANTENNA & ODU TO BE INSTALLED
- (3) NEW AHFIG RRU's TO BE INSTALLED
- (3) NEW AHLOA RRU's TO BE INSTALLED
- (2) NEW HCS 2.0 PENDANT TO BE INSTALLED
- (1) NEW ANTENNA PLATFORM WITH KICKER BRACE KIT

GROUND LEVEL:

- INSTALL A NEW 10'X10' STEEL PLATFORM WITH CANOPY ABOVE
- INSTALL A NEW ICE BRIDGE
- INSTALL A NEW DELTA SITE SUPPORT CABINET (HPL3)
- VERIFY WITH FINAL RFDS FOR NEW RAN EQUIPMENT
TO BE INSTALLED INSIDE HPL3 CABINET.
- INSTALL A NEW DELTA BATTERY BACKUP CABINET (LB3)
- INSTALL A NEW PPC CABINET
- INSTALL A NEW CIENA
- INSTALL (2) NEW HCS 2.0 TOWER JUNCTION BOX
- INSTALL (2) NEW HCS 2.0 TRUNK

GENERAL CONTRACTOR NOTES:

- OBTAIN CURRENT RFDS WITHIN 48 HRS. PRIOR TO CONSTRUCTION
- FOLLOW PORT MATRIX PER RF CONFIGURATION
- FOLLOW CURRENT T-MOBILE STANDARDS AND OPERATING
PROCEDURES
- RETURN ALL UNUSED NEW AND USED EQUIPMENT/MATERIALS TO
WAREHOUSE IN THE SAME CONDITIONS WHEN IT WAS REMOVED
- PROVIDE CLOSEOUT DOCUMENT WITHIN 72 HRS AFTER SITE
COMPLETION
- CLOSE OPEN PERMITS AFTER SITE COMPLETION

APPLICABLE CODES:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
AS AMENDED BY THE STATE OF WISCONSIN

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND
INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS
OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING
AUTHORITIES. NOTHING IN THESE PLANS IS TO BE
CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE
LATEST EDITIONS OF THE ADOPTED CODES:

APPLICANT:

T-Mobile®

T-MOBILE USA,
1400 OPUS PLACE
DOWNERS GROVE, IL 60515

CONTACT:
CONSTRUCTION MANAGER: CHRISTOPHER LYTL
PH: 815-641 5714
EMAIL: CHRIS.LYTL@T-MOBILE.COM

A&E FIRM:

WESTIN
Engineering Consultants, Ltd.

650 CHASE AVE.
ELK GROVE VILLAGE, IL 60007
EMAIL: A&E@WESTINENGINEERING.COM
PHONE: 773-551 9814

SITE ACQUISITION:

Insite inc.
Real Estate Consulting Services

18660 MIDWEST ROAD, SUITE 140
OAKBROOK TERRACE, IL 60161
CONTACT : RAY SHINKLE
PH: 773-960 8781



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WILL NOT PRODUCE ANY SEWAGE.

SHEET INDEX

| SHEET | DESCRIPTION | REV. |
|------------|---|------|
| T-1 | TITLE SHEET | ▲ |
| C-1 | OVERALL SITE PLAN | ▲ |
| C-2 | ENLARGED SITE PLAN | ▲ |
| C-3 | TOWER ELEVATION & ANTENNA PLAN | |
| C-4 | UTILITY H-FRAME & UTILITY LIGHT DETAILS | |
| C-5 | ICE BRIDGE & TOWER JUNCTION BOXES H-FRAME DETAILS | |
| E-1 | PROPOSED UTILITY SITE PLAN AND NOTES | ▲ |
| E-2 | UTILITIES CONDUITS SCHEDULE & NOTES | |
| E-3 | UTILITIES DIAGRAM & ELECTRICAL PANEL SCHEDULE | ▲ |
| RF-1 | ANTENNA AND CABLE SCHEDULE | |
| RF-2 | SYSTEM CONNECTION DIAGRAM | |
| RF-3 | TOWER J. BOX & PENDANT SPECS & WIRING DIAGRAM | |
| RF-4 | POWER BOOSTER WIRING DIAGRAM | |
| SP-1 | NEW ANTENNAS & RRUs MFR. SPECS | |
| SP-2 | NEW ANTENNAS & RRUs MFR. SPECS | |
| SP-3 | NEW HPL3 DELTA CABINET MFR. SPECS | |
| SP-4 | NEW LB3 DELTA BATTERY CABINET MFR. SPECS | |
| SP-5 | NEW PPC CABINET MFR. SPECS | |
| SP-6 & 6.1 | NEW EQUIPMENT PLATFORM MFR. SPECS | |
| SP-7 & 8 | NEW ANTENNA PLATFORM & KICKER BRACE MFR. SPECS | ▲ |
| GR-1,2,3 | GROUNDING PLAN, RISER DIAGRAM, DETAILS AND NOTES | |
| GN-1 & 2 | GENERAL NOTES AND SPECIFICATIONS | |

APPROVALS

T-MOBILE OPS _____
R.F OPS _____
R.F ENGINEER _____
SITE ACQUISITION _____
CONSTRUCTION _____
LAND LORD _____

CONSTRUCTION NOTES:

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING ARE GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING SHALL BE HAND DUG.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY NEW SERVICE HAS BEEN APPLIED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.
- DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.
- COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION
- ALL CLEAN SOIL MAY BE USED ON SITE UNLESS OTHERWISE NOTED IN THE REGULATORY COMMENTS OR BID DOCS.
- ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .
- ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
- PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
- ANY ACCIDENTS ON SITE MUST BE REPORTED TO THE T-MOBILE MANAGER IMMEDIATELY AFTER ATTENDING TO THE PERSON(S) NEEDS AND ADMINISTERING FIRST AIDE IF NEEDED.
- GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGEMENT TEAM.
- PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.
- ALL CONDUITS MUST BE PROPERLY INSTALLED AND SEALED TO PREVENT FREEZING AND DAMAGE
- GC SHALL USE 3/4" PLYWOOD AROUND AREAS OF EGRESS/INGRESS TO CONSTRUCTION SITE IN ORDER TO PROTECT GRASSY AREAS FROM DAMAGE FROM EXCAVATIONS AND CONCRETE WORK.
- GC TO REPAIR GRASSY AREAS TO LIKE CONDITION USING SOD AND SHALL WATER TO SATURATION ONCE WEEKLY UNTIL NEW GRASS SOD IS ESTABLISHED. MINIMUM OF 4 WATERING.

NOTES:

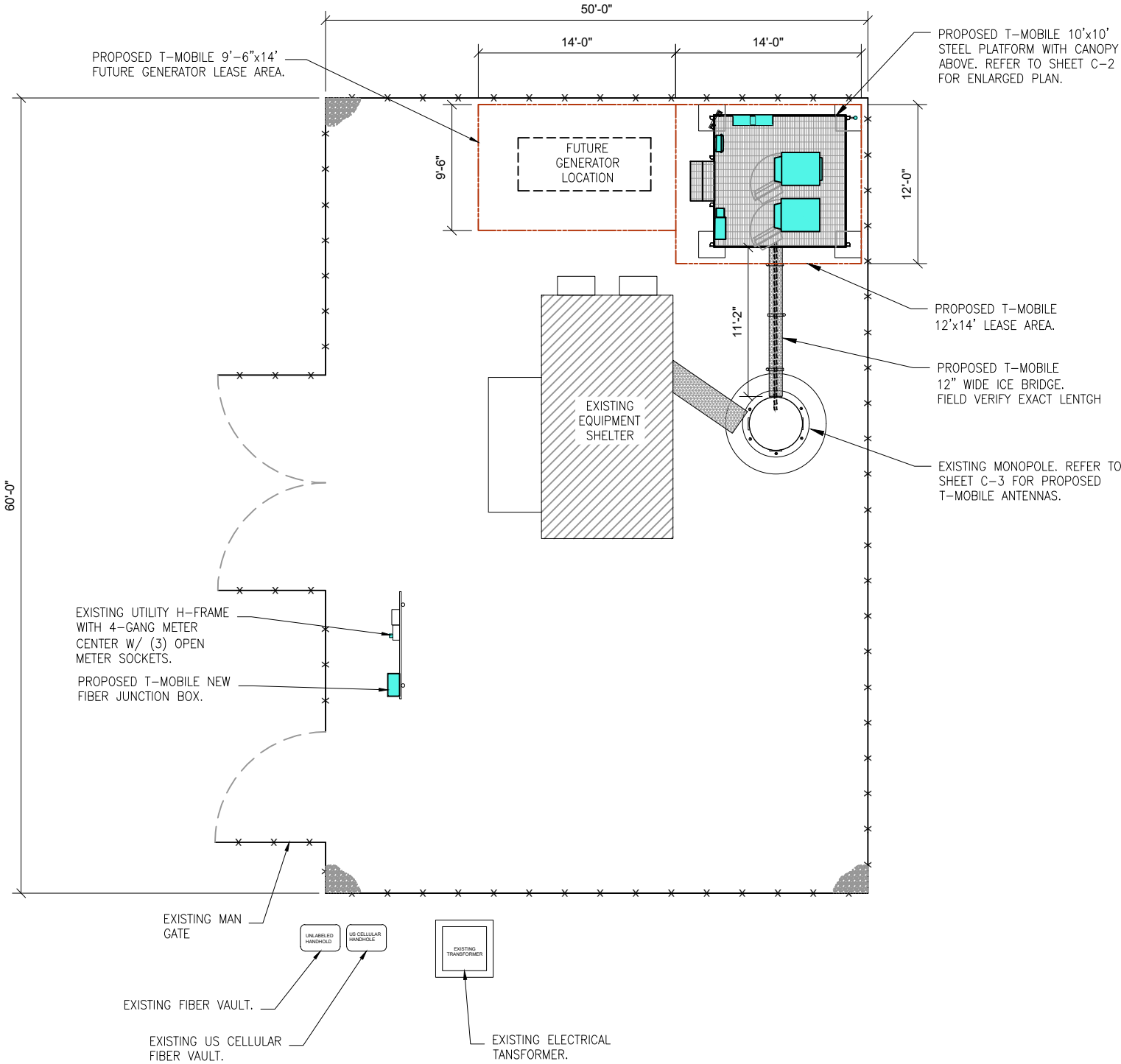
- G.C. MUST RETURN THE SITE TO PRE-CONSTRUCTION CONDITION AFTER CONSTRUCTION COMPLETE.
- HAND DIG IS REQUIRED WITHIN THE COMPOUND TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES.

NOTES:

- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINTES AND SET COMBO TO 0007.
- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING EQUIPMENT TO BE RELOCATED
- EXISTING EQUIPMENT TO BE REMOVED
- PROPOSED EQUIPMENT TO BE INSTALLED



1 OVERALL SITE PLAN
SCALE: N.T.S

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| ML89143A | | | |
| SITE NAME | | | |
| USCC - 784760 | | | |
| SITE ADDRESS | | | |
| FREIHEIT CT. | | | |
| TAX KEY NO: SUXV0231989007 | | | |
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WISCONSIN PROFESSIONAL ENGINEER RASHID AHMED E-26737 ELGIN, ILLINOIS

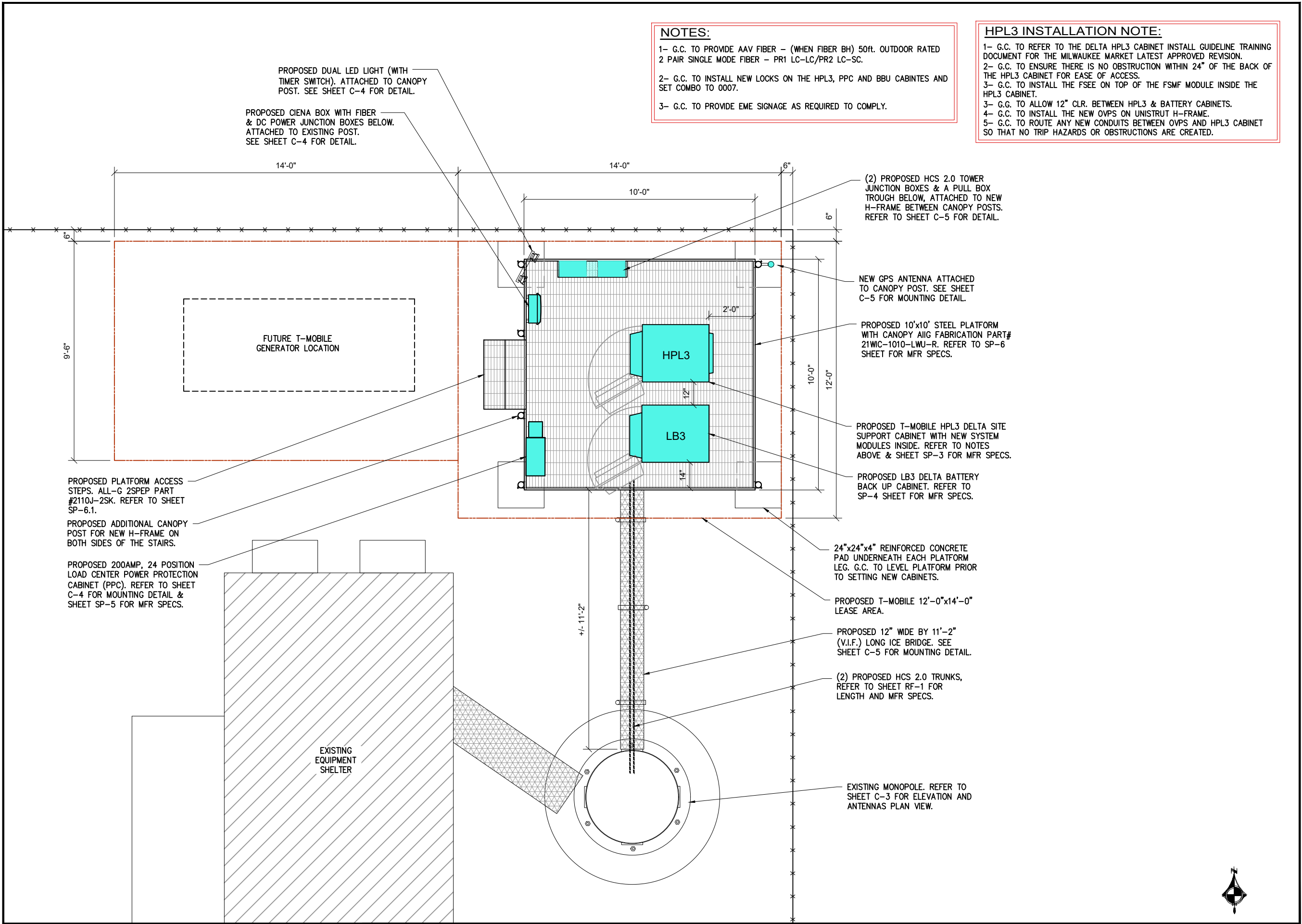
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PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
C-1



NOTES:

- 1- G.C. TO PROVIDE AAV FIBER - (WHEN FIBER BH) 50ft. OUTDOOR RATED 2 PAIR SINGLE MODE FIBER - PR1 LC-LC/PR2 LC-SC.
- 2- G.C. TO INSTALL NEW LOCKS ON THE HPL3, PPC AND BBU CABINETES AND SET COMBO TO 0007.
- 3- G.C. TO PROVIDE EME SIGNAGE AS REQUIRED TO COMPLY.

HPL3 INSTALLATION NOTE:

- 1- G.C. TO REFER TO THE DELTA HPL3 CABINET INSTALL GUIDELINE TRAINING DOCUMENT FOR THE MILWAUKEE MARKET LATEST APPROVED REVISION.
- 2- G.C. TO ENSURE THERE IS NO OBSTRUCTION WITHIN 24" OF THE BACK OF THE HPL3 CABINET FOR EASE OF ACCESS.
- 3- G.C. TO INSTALL THE FSEE ON TOP OF THE FSMF MODULE INSIDE THE HPL3 CABINET.
- 3- G.G. TO ALLOW 12" CLR. BETWEEN HPL3 & BATTERY CABINETES.
- 4- G.C. TO INSTALL THE NEW OVPS ON UNISTRUT H-FRAME.
- 5- G.C. TO ROUTE ANY NEW CONDUITS BETWEEN OVPS AND HPL3 CABINET SO THAT NO TRIP HAZARDS OR OBSTRUCTIONS ARE CREATED.

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EXP: 07/31/2024

DATE SIGNED: NOVEMBER 09, 2022

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CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE

ENLARGED
EQUIPMENT PLAN

SHEET NUMBER

C-2

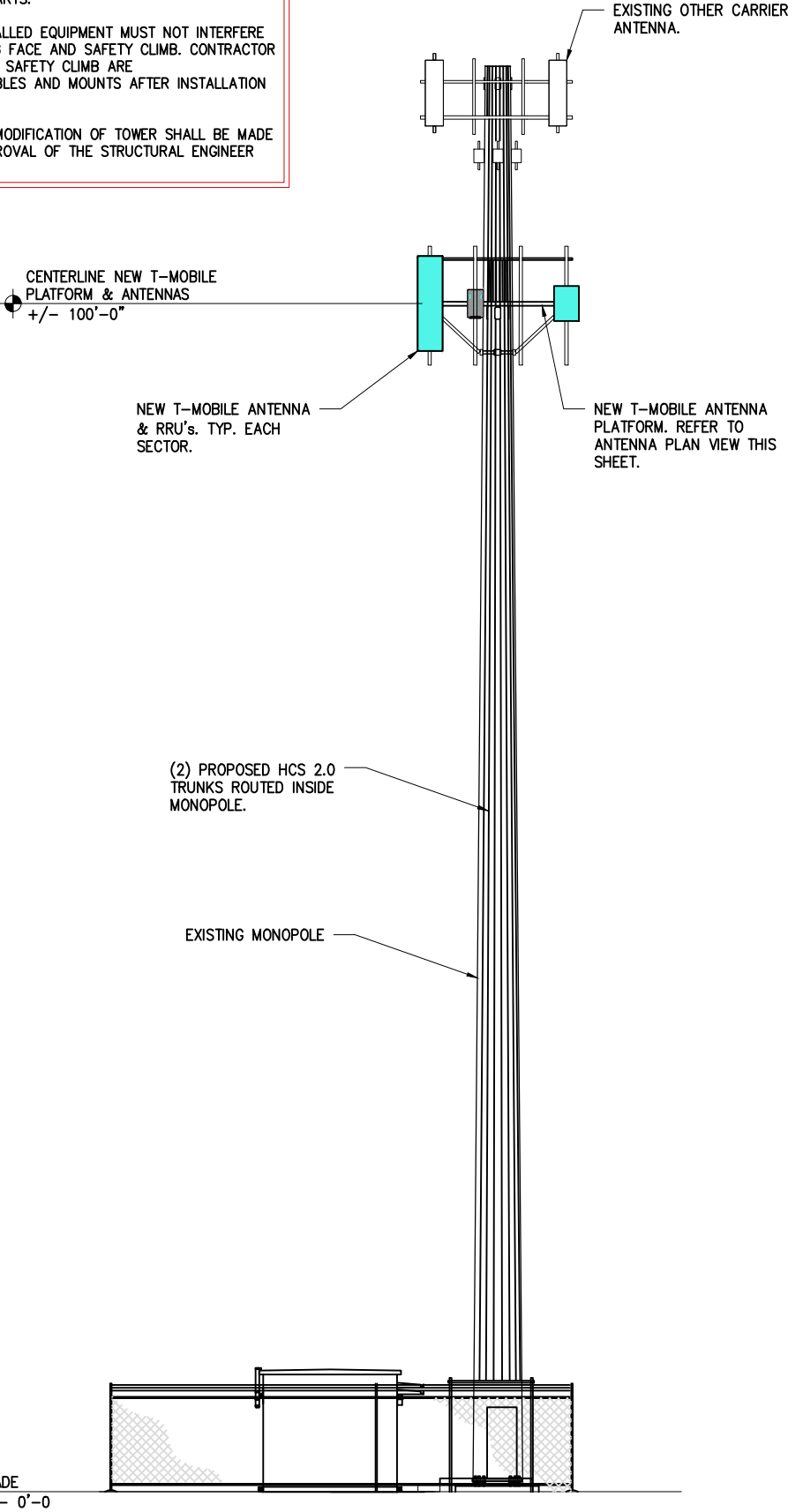
1 ENLARGED EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

STRUCTURAL NOTE:

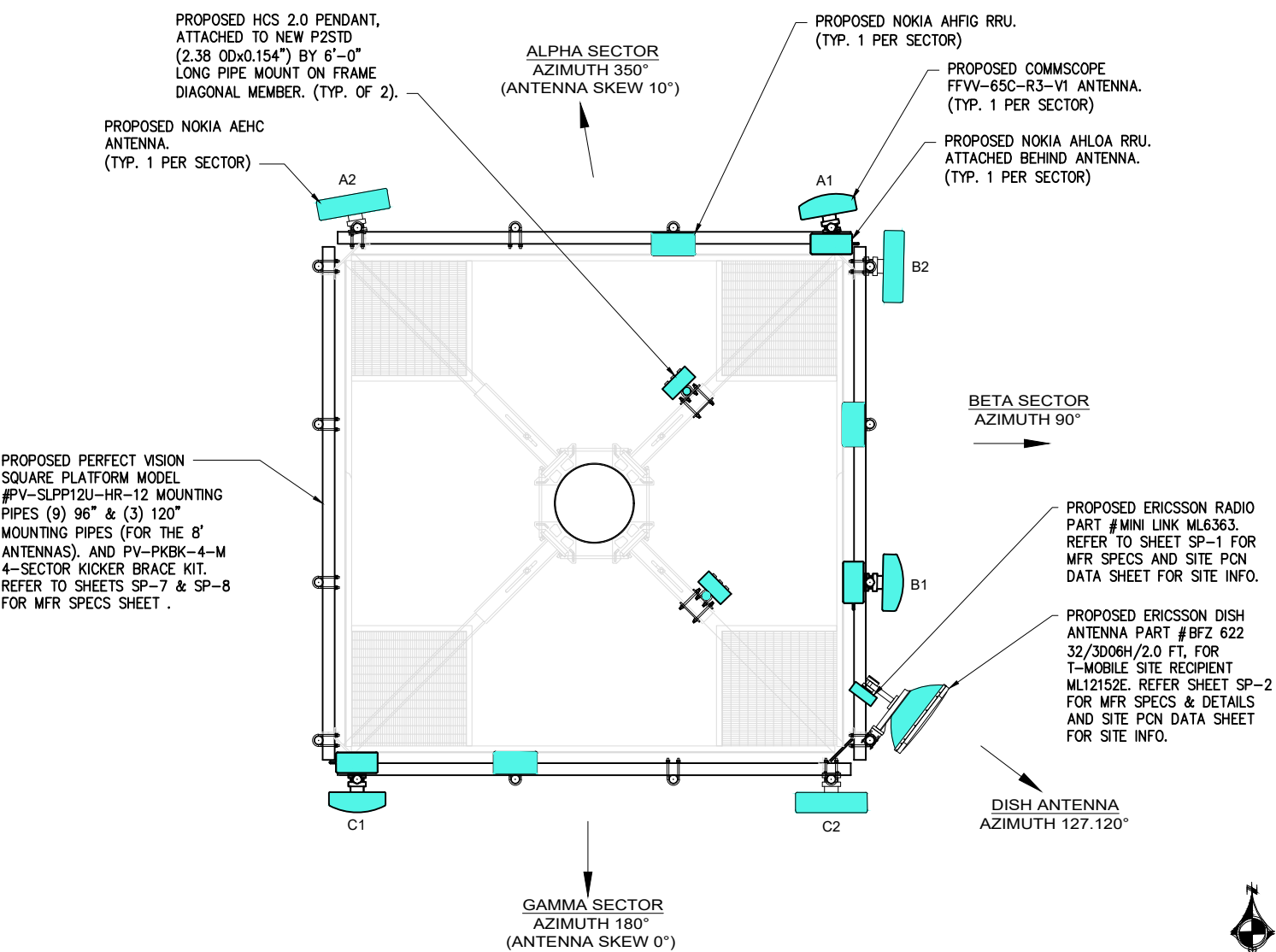
1- G.C. TO REFER TO LATEST TOWER STRUCTURAL ANALYSIS BY OTHERS AND MOUNT ANALYSIS BY WESTIN ENGINEERING CONSULTANTS DATED 08/22/2022 PRIOR TO CONSTRUCTION STARTS.

2- ALL NEW INSTALLED EQUIPMENT MUST NOT INTERFERE WITH THE CLIMBING FACE AND SAFETY CLIMB. CONTRACTOR SHALL MAKE SURE SAFETY CLIMB ARE 100% FREE OF CABLES AND MOUNTS AFTER INSTALLATION IS COMPLETE.

NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER

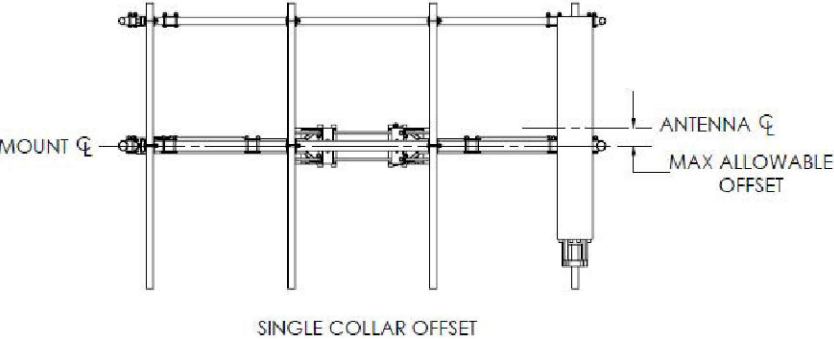


1 TOWER ELEVATION
SCALE: N.T.S.



2 ANTENNA PLAN VIEW
SCALE: N.T.S.

NOTE:
6" MAXIMUM ALLOWABLE OFFSET BTW. ANTENNA C.L. & MOUNT C.L.



3 ANTENNA CENTER LINE DETAIL
SCALE: N.T.S.

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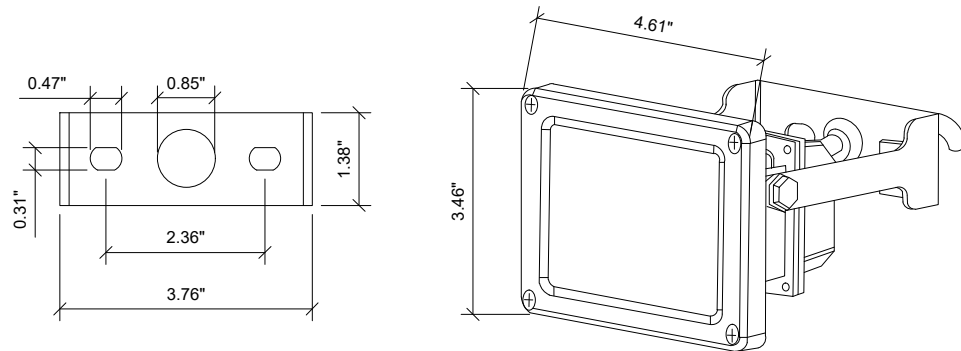
WISCONSIN
RASHID AHMED
E-26737
ELGIN, ILLINOIS
PROFESSIONAL ENGINEER
EXP: 07/31/2024
DATE SIGNED: NOVEMBER 09, 2022
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CHECKED BY: AB
APPROVED BY: RA

SHEET TITLE
ELEVATION AND ANTENNAS PLAN VIEW

SHEET NUMBER
C-3

- (1) SIGMA TWO GANG CLEAR COVER, EXTRA DUTY WITH LOCKABLE ENCLOSURE.
- (1) INTERMATIC 60 MINUTE MECHANICAL TIMER, FF60MC.
- (1) CAST ALUMINUM, 2 GANG WEATHERPROOF FS BOX, NO LUGS, DEEP BOX. APPLETON FS-2-75A OR HUBBELL-KILLARK 2FS-1.
- USE BACK OF GANG BOX FOR ENTRY INTO PPC, SEAL FLUSH AGAINST PPC WITH GASKETING MATERIAL, AND/OR SEAL EXTERIOR PERIMETER WITH SILICONE BEAD TO PREVENT WATER INTRUSION.
- (1) GFCI 15 AMP LEVITON WEATHER RESISTANT GFWT1-HGT WITH SELF-TEST FEATURE (SEE [HTTP://WWW.LEVITON.COM/EN/PRODUCTS/GFCIS-AND-AFCIS/GFCI-RECEPTACLES/](http://www.leviton.com/en/products/gfcis-and-afcis/gfci-receptacles/) WEATHERRESISTANT-DUPLEX FOR ALTERNATES), 2-POLE, 3-WIRE, 15AMP, 125 VOLT, 5-15R NEMA, WALL BOX MOUNT, LIGHT ALMOND, HEAVY DUTY, COMMERCIAL GRADE. NOTE: NO RESIDENTIAL GRADE GFCI ALLOWED.
- (2) OUTDOOR FLOOD LIGHTS, RATED INITIAL LUMENS > 1,260 EACH FLOOD. [HTTP://WWW.MAXLITE.COM/PRODUCTS/SMALL-FLOOD-LIGHTS/FLS15U50B](http://www.maxlite.com/products/small-flood-lights/fls15u50b) OR EQUIVALENT MAXLITE MODEL FLS15U50B/N, @ 1,235 LUMENS.
- TYPICAL INSTALLATION, REGARDLESS OF PPC STYLE OR TYPE OR EXISTING OUTLETS.
- LIGHT TIMER ON 15A CIRCUIT, LIGHT CONTROLLED BY COUNTDOWN TIMER. GFCI ON SEPARATE 15A CIRCUIT.
- IF PPC HAS EXISTING INTERIOR MOUNTED GFCI, IT TOO SHALL BE WIRED FOR SERVICE.
- EQUIVALENT MEETING SERVICE REQUIREMENTS, OR BETTER, EQUIPMENT MAY BE SUBSTITUTED AND INSTALLED WITH PRIOR T-MOBILE PM OR CM APPROVAL.



SAMPLE INSTALATION

1 LIGHT DETAIL (MAXLITE PART# FLS15U50B)
SCALE: N.T.S.

NOTE:

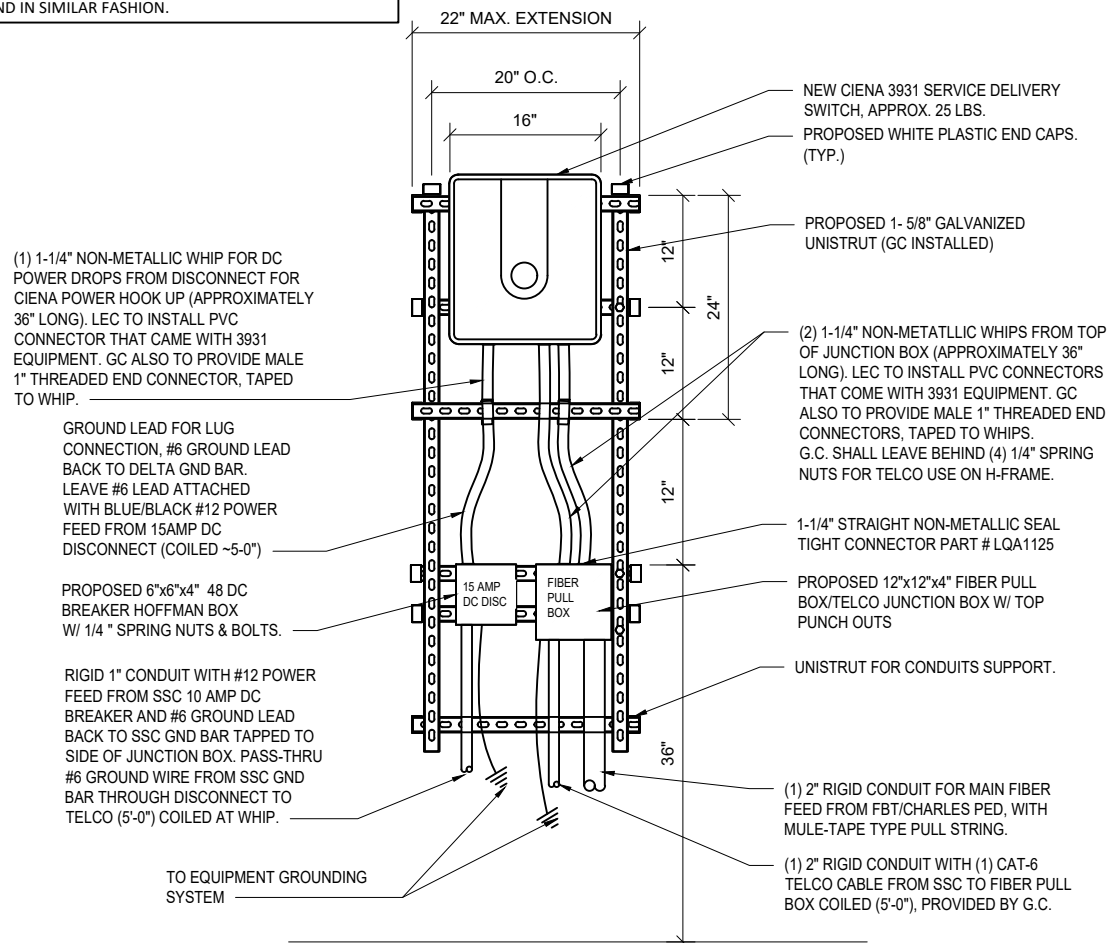
G.C. TO PROVIDE A SET OF 1/4" SPRING NUTS IN BAG FOR AT&T USE FOR CIENA. IF THIS IS A RAC24 G.C. TO BE PROVIDED CABINET AND SHALL MOUNT IN LIKE LOCATION AND IN SIMILAR FASHION.

ABBREVIATIONS:

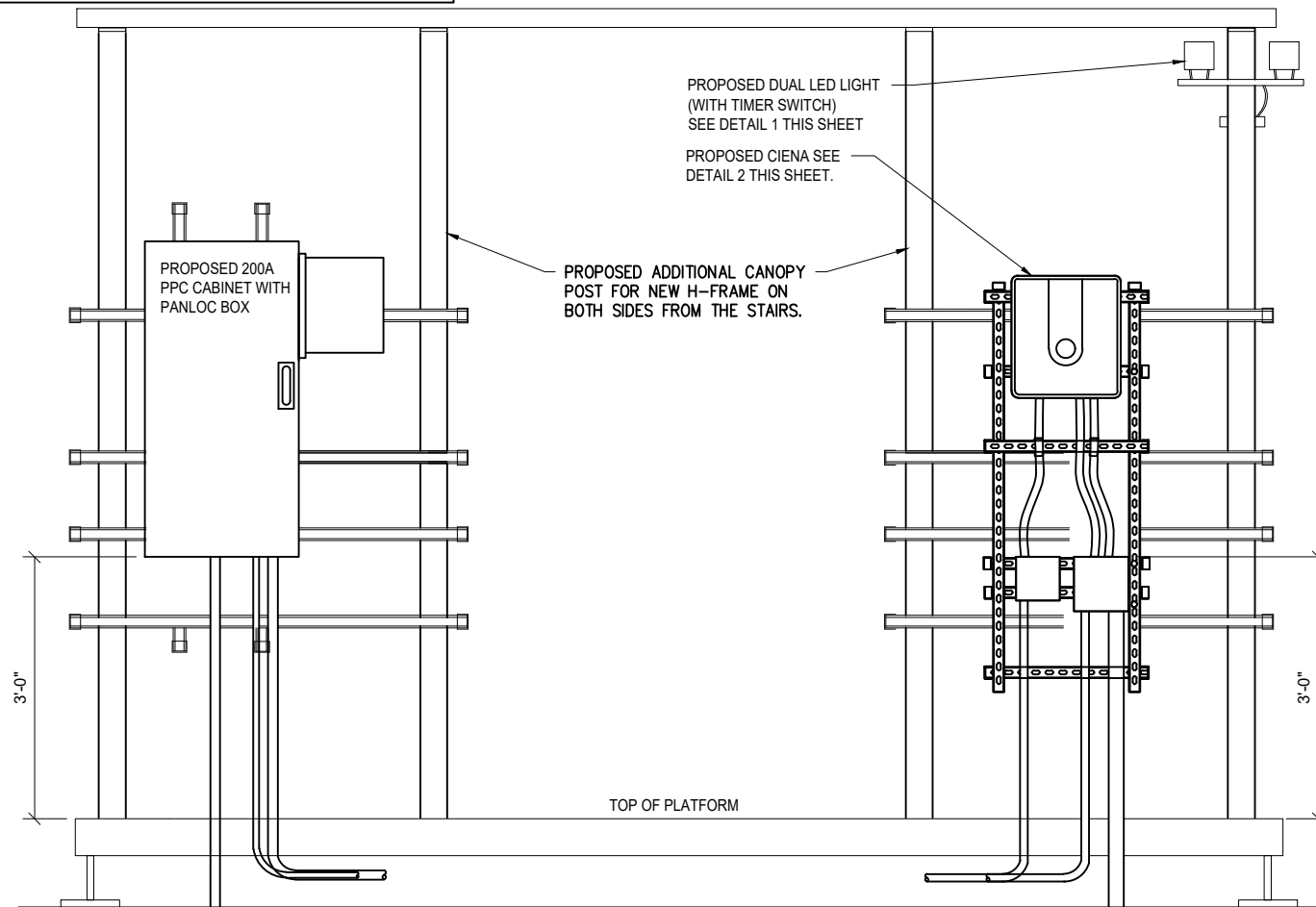
G.C. : GENERAL CONTRACTOR
LEC : LOCAL EXCHANGE CARRIER

NOTE:

ALL UNISTRUT, FASTENERS, HARDWARE, ETC, ARE TO BE EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL.
G.C. IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



2 CIENA DETAIL
SCALE: N.T.S.



3 UTILITY H-FRAME DETAIL
SCALE: N.T.S.

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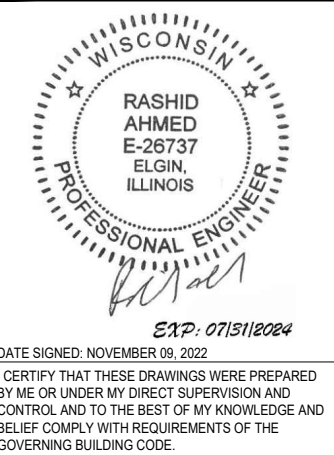
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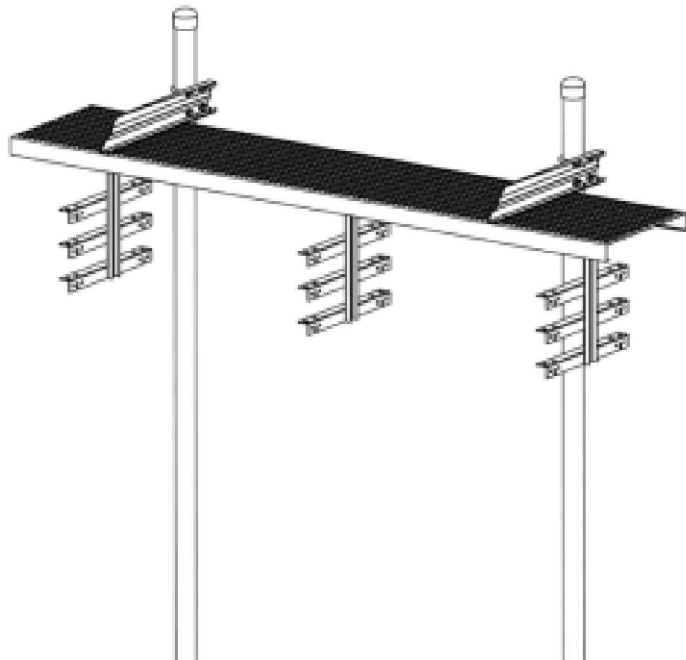
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SHEET TITLE

SITE
DETAILS

SHEET NUMBER

C-4

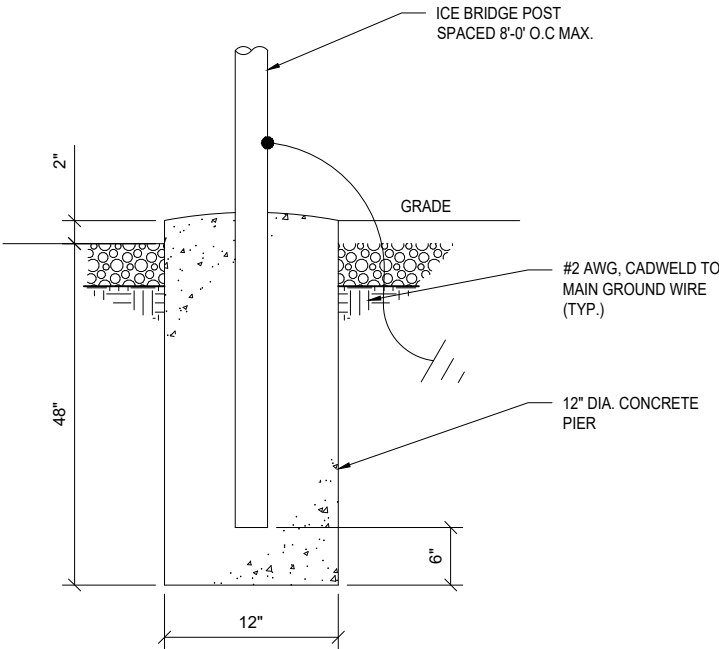


GENERAL SPECIFICATIONS

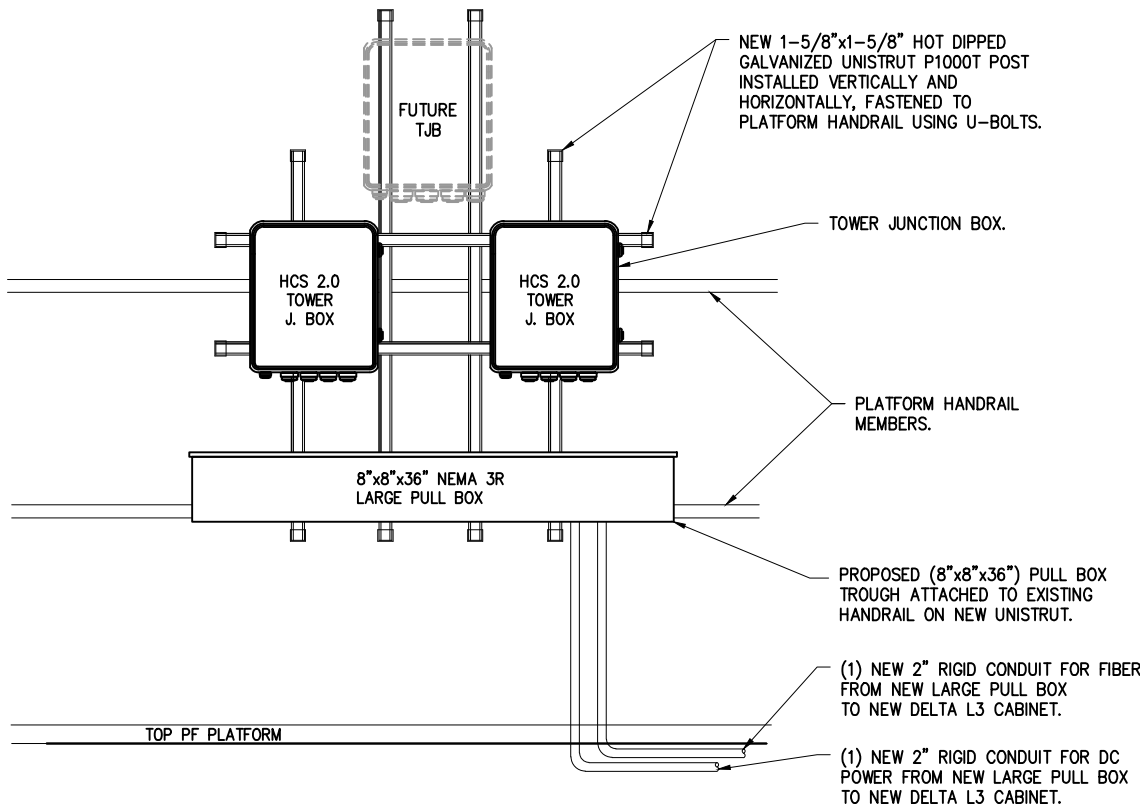
| | |
|------------------|---|
| Product Type | Waveguide Bridge |
| Includes | Grip strut, support brackets, posts, trapeze kits, pipe caps |
| Material Type | Hot-dip galvanized, minimum A36 Steel, 14 gauge galvanized grip strut |
| Package Quantity | Kit of 1 |

MECHANICAL CHARACTERISTICS

| | |
|--------|--------|
| Length | 120 in |
| Width | 12 in |
| Height | 174 in |
| Weight | 330 lb |

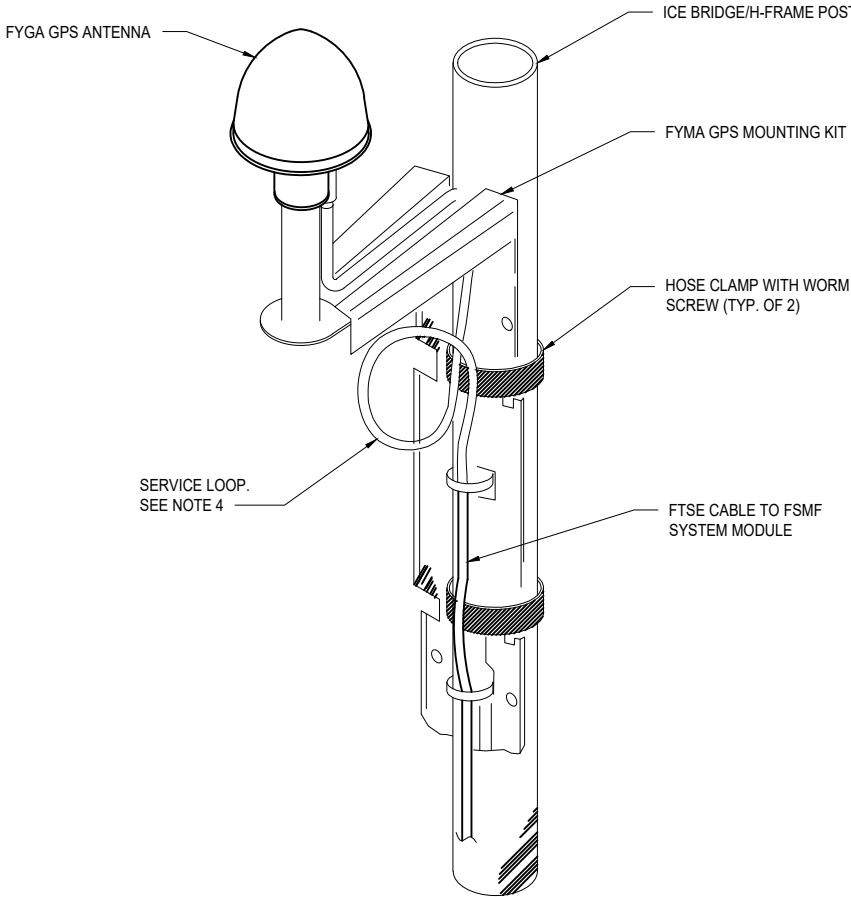


1 ICE BRIDGE DETAIL
SCALE: N.T.S.



2 HCS 2.0 TOWER JUNCTION BOX H-FRAME DETAIL
SCALE: N.T.S.

- NOTES:
1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIA. SCH 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE MINIMUM OF 18 INCHES IN LENGTH TO FUNCTION PROPERLY. THE CUT PIPE END SHALL BE DEBARRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.
 2. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" LEVEL FOR MAXIMUM PERFORMANCE.
 3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE BRIDGE ENSURE THAT GPS IS A MINIMUM OF 10' ABOVE GRADE ON THE FURTHEST POINT FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.
 4. GENERAL CONTRACTOR SHALL ENSURE THE GPS ANTENNA HAS THE REQUIRED FULL EXPOSURE TO THE SOUTHERN HEMISPHERE/HORIZON.
 4. GENERAL CONTRACTOR TO PROVIDE 4" TO 5" Ø SERVICE LOOP.
 5. GC TO ENSURE THAT GPS ANTENNA IS EXTENDED ABOVE CANOPY.



3 FYGA GPS ANTENNA DETAIL
SCALE: N.T.S.

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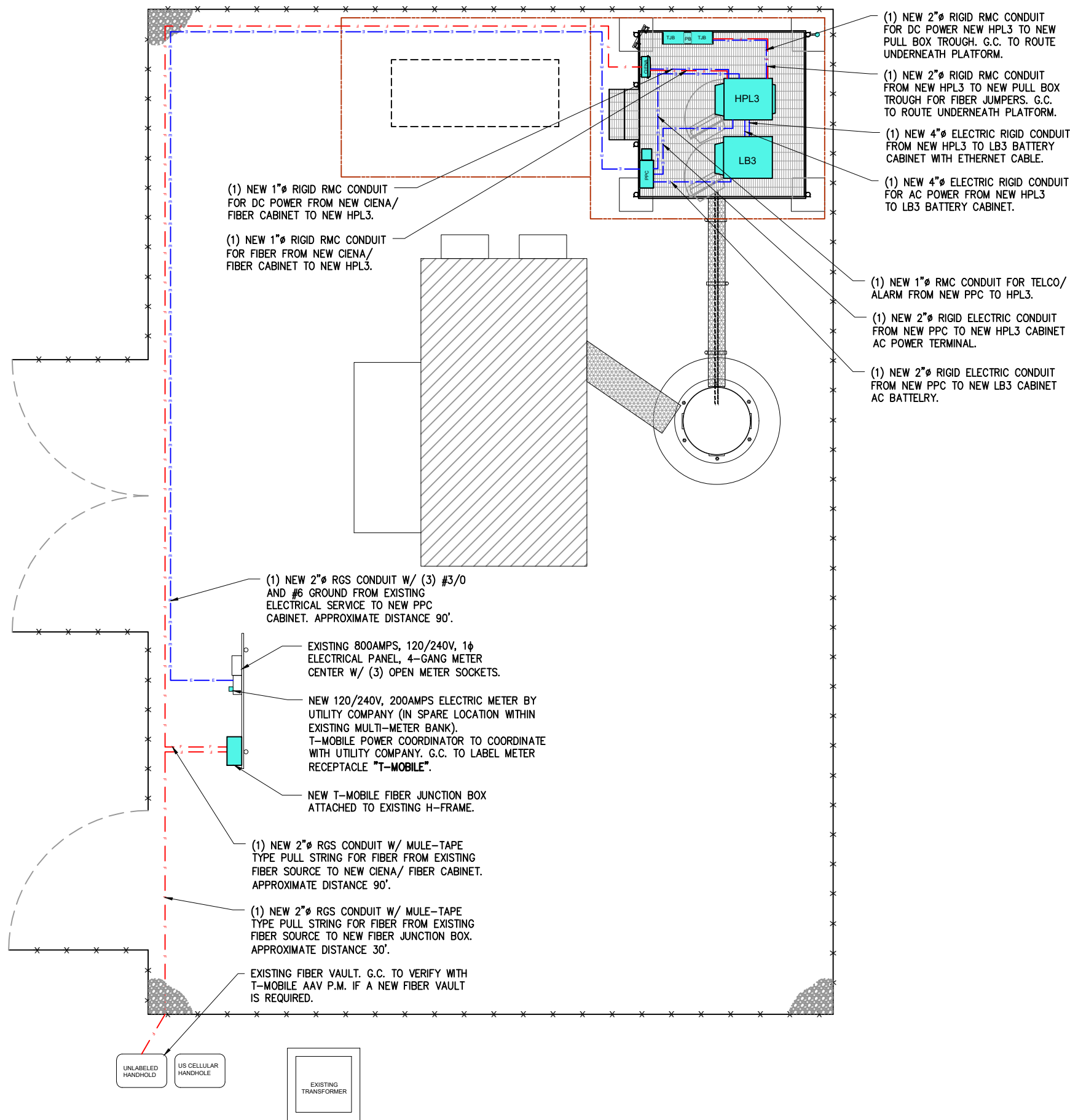
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| PREPARED BY: AE |
| CHECKED BY: AB |
| APPROVED BY: RA |

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|--------------|
| SHEET TITLE |
| SITE DETAILS |

| |
|--------------|
| SHEET NUMBER |
| C-5 |



NOTES:

1. CONTRACTOR SHALL COORDINATE METER SOCKET LOCATION AND TYPE WITH POWER COMPANY.
2. CONTRACTOR SHALL INSTALL CONDUIT AND WIRE TO THE BTS SITE. COIL WIRES, SEAL CONDUIT WIRE ENDS FROM MOISTURE INFILTRATION. LEAVE WIRE TO TERMINATE AT RADIO CABINET PANEL, (MINIMUM OF 10 FEET).
3. COPPER GROUND WIRE SHALL BE BONDED TO SITE GROUNDING SYSTEM.
4. UNDERGROUND CONDUITS SHALL TRANSITION FROM PVC TO RIGID THROUGH THE SWEEP AND REMAIN RIGID INTO PANELS.
5. CONTRACTOR MAY MODIFY KNOCKOUT HOLES IN EQUIPMENT CABINETS TO ACCOMMODATE THE REQUIRED CONDUIT SIZES.
6. COORDINATE WITH RADIO CABINET MFG REQUIREMENTS FOR SIZE & NUMBER OF CONDUITS.
7. THE MINI- PPC IS SHIPPED IN TWO SECTIONS TO BE BOLTED TOGETHER ON SITE. THE COMBINED WEIGHT IS APPROX. 300 LBS.
8. SURGE PROTECTION IN TELCO CHAMBER IS REQUIRED ON ALL SITES WITH EXTERNAL. ALARM POINT MONITORING. NORTHERN TECHNOLOGIES INC DLP-43 DATA LINE PROTECTOR SHALL BE USED.
9. SERVICE POWER SHALL BE (120/240VAC, 200A, 1Ø, 3W) OR (120/208VAC, 200A, 3Ø, 4W)
10. 200A METER BASE SHALL BE INSTALLED WHERE IT IS ACCESSIBLE FOR READOUT. THE NUMBER OF JAWS IN THE METER SOCKET AND THEIR ARRANGEMENT DEPENDS ON THE VOLTAGE SERVICE. COORDINATE WITH POWER COMPANY
11. CABLE SIZES SHALL BE ADJUSTED TO COMPENSATE FOR VOLTAGE DROP IF LONGER THAN 180FT. VERIFY CONDUIT SIZE WHEN CHANGING CABLE SIZE.
12. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY PPC MANUFACTURER.
13. ADDRESS SHALL BE POSTED BELOW THE METER
14. ANY 120 VOLT OUTLET LOCATED ON THE PPC SHALL HAVE GFCI PROTECTION PER NEC SECTION 210-8.
15. CONTRACTOR TO SUPPLY AVAILABLE FAULT CURRENT CALCULATIONS AT THE SERVICE EQUIPMENT LINE TERMINATION POINT; AS WELL AS IMPEDANCE VALUE AND SIZE OF SERVICE CONDUCTORS. ALL SERVICE AND BRANCH PANELS SHALL BE RATED FOR THE AVAILABLE FAULT CURRENT. DISTANCE AND CONDUCTOR SIZES MUST BE FURNISHED TO INSPECTOR.
16. EMERGENCY AND BATTERY BACKED UP EXIT LIGHTING CIRCUITS SHALL BE MARKED SPECIFICALLY IN THE ELECTRICAL PANEL AS SUCH. (NEC 700.12.E). THE FIRE DEPARTMENT WILL BE TESTING THESE DEVICES EVERY SIX MONTH DURING BUSINESS HOURS BY SHUTTING THESE CIRCUITS (KEEP CRITICAL LOADS OFF THESE CIRCUITS). IF THE PRIMARY SOURCE OF ILLUMINATION IS HID, THE EMERGENCY LIGHTS SHALL BE REQUIRED TO OPERATE UNTIL NORMAL ILLUMINATION IS RESTORED. (NEC 700.16).
17. CONTRACTOR SHOULD ENSURE THAT ANY GENERATOR SUPPLYING THIS SITE SHOULD HAVE THE GROUND TO NEUTRAL STRAP REMOVED AS THIS IS A 2 POLE TRANSFER SWITCH WITH A SOLID NEUTRAL.

CONDUITS AND WIRING

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.

COORDINATION WITH UTILITY COMPANY

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANIES FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS

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SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

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EXP: 07/31/2024

DATE SIGNED: NOVEMBER 09, 2022

I CERTIFY THAT THESE DRAWINGS WERE PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND
CONTROL AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

PROPOSED UTILITY
SITE PLAN AND NOTES

SHEET NUMBER

E-1

1

PROPOSED UTILITY EQUIPMENT PLAN VIEW

SCALE: 1/4" = 1'-0"

| UTILITY CONDUITS SCHEDULE | | | | | | |
|---------------------------|---------------------------|---------------------------|--|---------|--------------|-----------------|
| NO. | FROM | TO | WIRES | GROUND | CONDUIT SIZE | FUNCTION |
| ① | PPC CABINET | HPL3 SITE SUPPORT CABINET | (2) 3/0 & (1) #4 NEUTRAL | (1) 3/0 | 2" RCM | AC POWER FEEDER |
| ② | PPC CABINET | HPL3 SITE SUPPORT CABINET | (1) PAIR OF BELDEN 27916A #16 AWG | N/A | 1" RCM | ALARM |
| ③ | CIENA DELIVERY SWITCH | HPL3 SITE SUPPORT CABINET | 40' SM FIBER | N/A | 1" RCM | FIBER TO SSC |
| ④ | HPL3 SITE SUPPORT CABINET | CIENA POWER J. BOX | (2) #12 | (1) #6 | 1" RCM | DC POWER |
| ⑤ | HPL3 SITE SUPPORT CABINET | OVP/ FIBER J. BOX | (3) PAIRS OF #2 | N/A | 2" RCM | DC POWER |
| ⑥ | HPL3 SITE SUPPORT CABINET | OVP/ FIBER J. BOX | 30' FIBER JUMPERS | N/A | 2" RCM | FIBER TO SSC |
| ⑦ | HPL3 SITE SUPPORT CABINET | LB3 BATTERY CABINET | (2) CAT-5 CABLES | N/A | 4" RCM | BATTERY ALRAM |
| ⑧ | HPL3 SITE SUPPORT CABINET | LB3 BATTERY CABINET | (2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12 | N/A | 4" RCM | DC POWER |

| CONDUITS USE CASES | | | |
|--------------------|---------------------|--|--|
| CONDUIT TYPE | USE CASE | LOCATION | USE CASE EXAMPLE |
| RIGID | AC POWER | ABOVE GROUND | ABOVE GROUND PPC TO SSC |
| PVC | AC POWER | UNDER GORUND | UNDERGROUND PPC TO SSC OR BACK HAUL TRANSPORT HUB TO SSC |
| LFMC | AC, DC, COMM | MAX 6' PER RUN, ABOVE GROUND ONLY | TIGHT LOCATION BTW HUB AND CONDUIT, BUT NOT TO BE USED WHERE IT CAN BE STEPPED ON |
| EMTT | INDOOR AC, DC, COMM | INDOORS NOT EXPOSED TO THE OUTDOOR ENVIRONMENT (MUST BE DRY) | PPC TO JUNCTION BOX |
| LFNC | GROUND WIRE | CONCEALING AND PROTECTING BTCW RISERS ONLY | GROUNDING TO MGB OR SSC |

CONDUIT NOTES:

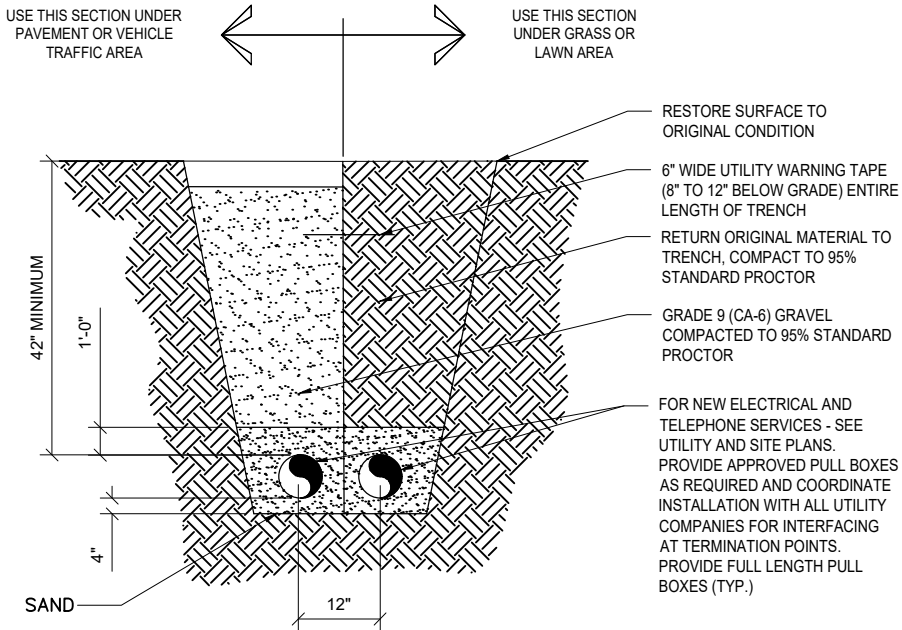
1. CONTRACTOR TO PRIVATELY LOCATE ALL EXISTING UNDERGROUND CONDUITS AND GROUND RING WITHIN CONSTRUCTION AREA PRIOR TO TO ANY EXCAVATION AND HAND DIG WHEN CRITICAL AREAS.
2. CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS.
ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS
3. ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)
4. ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.
5. ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.
6. SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT
7. ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".
8. IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS
9. EMT IS ONLY ALLOWED INDOOR.
10. CONTRACTOR TO PROPERLY SEALED AND WEATHERPROOF ALL CONDUITS AND TANK PENETRATIONS THAT ARE NO LONGER BEING USED.

CONDUIT NOTES:

- A- ALL FIBER AND COMMUNICATION CABLES MUST BE IN THEIR OWN CONDUIT UNLESS SPECIFICALLY STATED TO DO OTHERWISE
- B- ALL CONDUIT MUST BE PROPERLY SECURED, AND WEATHER PROOFED TO PREVENT CABINET/CABLE DAMAGE/WATER INGRESS.
- C- NO LB CONDUIT BODIES ARE TO BE USED BETWEEN THE HPL3 AND BATTERY CABINETS.
- D- ALL EXPOSED CONDUIT THREADS OR CUT EDGES ARE TO BE COATED WITH COLD GALVANIZING SPRAY.
- E- FLEXIBLE CONDUIT IS MAX 6' LENGTH, ONLY IN TIGHT LOCATIONS. NOT TO BE USED AS A RIGID CONDUIT REPLACEMENT.
- F. ALL CONDUITS (OTHER THAN COVP POWER / FIBER) ARE TO BE BURIED WHEN APPLICABLE.
- ALL DARK CONDUITS ARE TO BE FULLY REMOVED AND PORT HOLES PROPERLY CAPPED AS NEEDED.
- G. ANY TIME A DUCT BACK OR PORT IS ALTERED, IT NEEDS TO PE PROPERLY SEALED WITH A PORT BOOT. EXPANDING FOAM IS NOT ALLOWED.

NOTES:

- 1- G.C. SHALL MAKE SURE TO PROPERLY INSTALL & WIRE THE OVP's PER MANUFACTURER SPECIFICATION.
- HCS 1.0 SHALL EQUIPPED WITH (4) SETS OF 2#6 AWG WIRES (BLUE & BLACK INSULATED), PROTECTED BY A 200A DC BREAKER INSIDE THE HPL3 POWER SYSTEM.
- HCS 2.0 SHALL EQUIPPED WITH (3) SETS OF 2#2 AWG WIRES (BLUE & BLACK INSULATED), EACH PROTECTED BY A 100A DC BREAKER (TOTAL OF 3 100A BREAKERS) INSIDE THE HPL3 POWER SYSTEM.
- IF TOWER J. BOX REQUIRES VOLTAGE BOOSTER, THE CIRCUITS SHALL BE FED FROM VOLTAGE BOOSTER OUTPUT TERMINAL. REFER TO SHEET RF-4 FOR BOOSTER WIRING DIAGRAM.
- 2- G.G. TO KEEP FUTURE GROWTH AREA CLEAR FROM CONDUITS AND OR EQUIPMENT.



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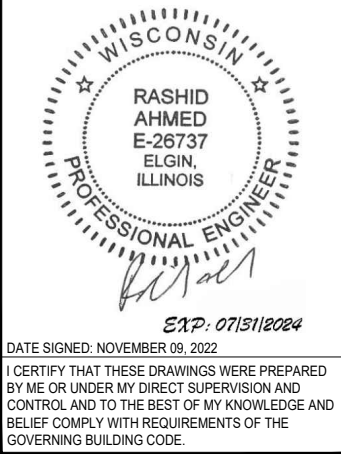
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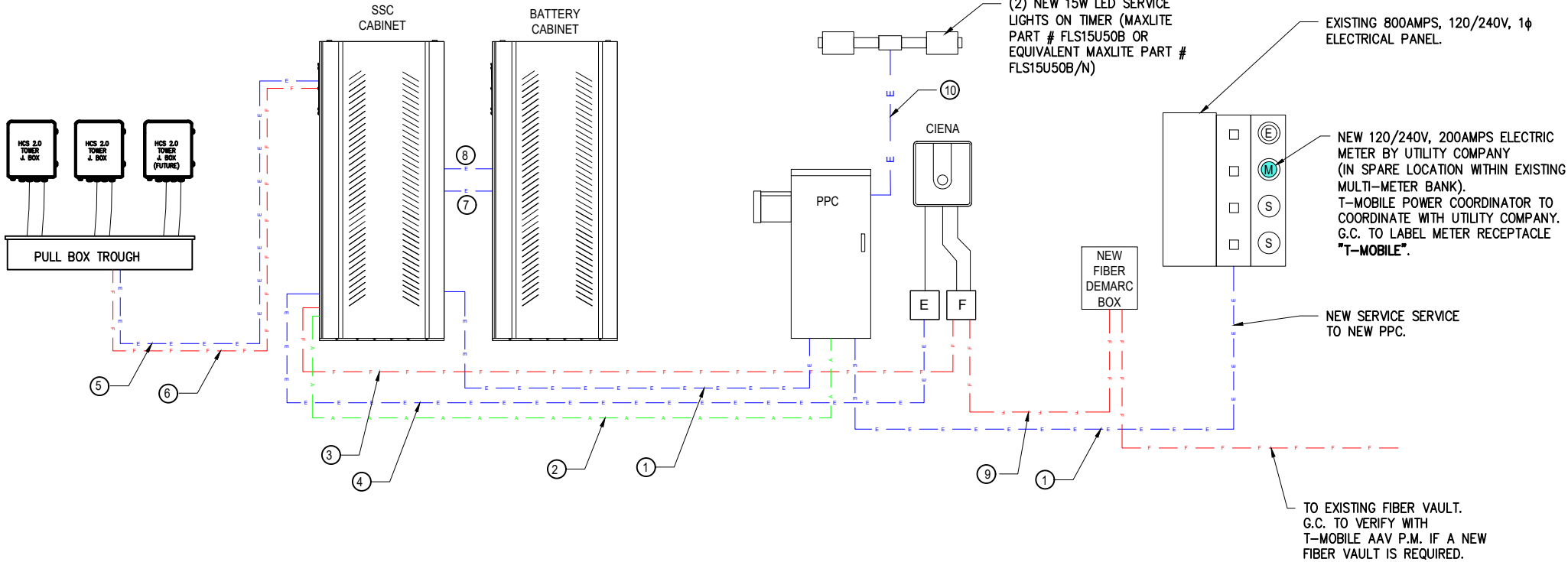
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APPROVED BY: RA

SHEET TITLE
UTILITY CONDUITS
SCHEDULE AND NOTES

SHEET NUMBER
E-2

SYMBOL LEGEND:

- 2" RMC FOR AC POWER WITH (2) 3/0 & (1) #4 NEUTRAL AND (1) 3/0 GROUND
- 1" RMC FOR ALARM WITH (1) PAIR OF BELDEN 27916A #16 AWG
- 1" RMC FOR FIBER WITH 40' SM FIBER.
- 1" RMC FOR DC POWER WITH (2) #12 & (1) #6 GROUND
- 2" RMC FOR DC POWER WITH (3) PAIRS OF #2
- 2" RMC FOR FIBER WITH FIBER JUMPERS
- 4" RMC FOR BATTERY ALARM WITH (2) CAT-5 CABLES
- 4" RMC FOR DC POWER WITH (2) PAIRS OF 4/0 TELCO FLEX POWER CABLES & (3) #12
- 2" RMC FOR NEW FIBER SERVICE
- 3/4" RMC WITH #6 AWG WIRES FOR LIGHT



FIBER CONNECTION SOURCE TO BE CONFIRMED WITH T-MOBILE PRIOR TO CONSTRUCTION START

1 UTILITIES DIAGRAM
SCALE: N.T.S

| | | | | | | | | | | | | | | | | |
|--|------------------|--------------|---------------|---|-----------------|--------------|------------|---|--------------|-----------------|----------------|--|--------------|-------------------------|-----|--|
| T-MOBILE SITE NUMBER: VOLTAGE: MAIN BREAKER: MOUNT: ENCLOSURE TYPE: PANEL STATUS: | | | | 240V/120 200AMP H-FRAME NEMA 3R NEW | | | | MODEL: PHASE: BUSS RATING: NEUTRAL BAR: N TO GROUND BOND: INTERNAL TVSS: | | | | POWER TRANSFER CABINET OR APPROVED EQUAL 1 WIRE: 3 200AMPS AIC: 22,000 YES GROUND BAR: YES YES | | | | |
| CKT | LOAD DESCRIPTION | BREAKER AMPS | BREAKER POLES | BREAKER STATUS | SERVICE LOAD VA | USAGE FACTOR | PHASE A VA | PHASE B VA | USAGE FACTOR | SERVICE LOAD VA | BREAKER STATUS | BREAKER POLES | BREAKER AMPS | LOAD DESCRIPTION | CKT | |
| 1 | SURGE APPROX | 30 | 2 | ON | 400 | 1.25 | 1000 | | 1.25 | 4200 | ON | 4 | 200 | HP SITE SUPPORT CABINET | 2 | |
| 3 | | | | ON | | 1.25 | 10500 | 4 | | | | | | | | |
| 5 | SERVICE LIGHT | 20 | 1 | ON | 500 | 1 | 500 | | | | | | | | 6 | |
| 7 | | | | ON | 0 | 0 | | 10500 | | | | | | | 8 | |
| 9 | | | | N/A | 0 | 0 | 0 | | 0 | 0 | N/A | | | | 10 | |
| 11 | | | | N/A | 0 | 0 | | 0 | 0 | 0 | N/A | | | | 12 | |
| 13 | | | | N/A | 0 | 0 | 0 | | 0 | 0 | N/A | | | | 14 | |
| 15 | | | | N/A | 0 | 0 | 0 | | 0 | 0 | N/A | | | | 16 | |
| 17 | | | | N/A | 0 | 0 | | 0 | 0 | 0 | N/A | | | | 18 | |
| 19 | | | | N/A | 0 | 0 | 0 | | 0 | 0 | N/A | | | | 20 | |
| 21 | | | | N/A | 0 | 0 | | 0 | 0 | 0 | N/A | | | | 22 | |
| 23 | | | | N/A | 0 | 0 | 0 | | 0 | 0 | N/A | | | | 24 | |
| | | | | | | | 1500 | 21000 | VA | | | TOTAL KVA | 22500 | | | |
| | | | | | | | | | | | | | AMPS | 93.75 | | |

CONTRACTOR NOTES - PPC:

- FURNISH & INSTALL ALL CIRCUIT BREAKERS PER PANEL SCHEDULE
- LABEL CIRCUIT BREAKER W/ PERMANENT PLASTIC LABELS NOTING FUNCTION OF BREAKER
- REPLACE MISSING COMPARTMENT ACCESS SCREWS LOST DURING INSTALLATION
- VERIFY ENCLOSURE IS RODENT-PROOF AFTER INSTALLATION OF CABINET AND CONDUITS
- FACTORY INSTALLED NEUTRAL-GROUNDING BOND JUMPER INSIDE THE PPC SHALL BE REMOVED

2 ELECTRICAL PANEL SCHEDULE
SCALE: N.T.S

T-MOBILE ELECTRICAL SCOPE OF WORK:

1. CONTRACTOR IS TO INSTALL POWER AND TELCO PER THE APPROVED T-MOBILE DRAWINGS. ALL TRENCHES MUST BE A MINIMUM OF 42 INCHES IN DEPTH AND MARKED WITH METALLIC, DETECTABLE TAPE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

ANY CHANGES TO LOCATION OR DEPTH OF TRENCHES MUST BE APPROVED BY PROJECT MANAGEMENT TEAM IN WRITING, AND MUST BE REFLECTED PROMPTLY WITH AS-BUILT DOCUMENTS

2. ALL UNDERGROUND CONDUITS ARE TO BE A MINIMUM SCHEDULE 40, GREY PVC. TWO (2) PULL-STRINGS MUST ALSO BE INSTALLED IN ALL CONDUITS, AND ALL CONDUIT MUST BE CLEARLY LABELED ABOVE GRADE AS TO THEIR INTENDED PURPOSE (I.E. POWER/ TELCO)

3. ALL FLEX CONDUIT USED FOR POWER OR TELCO NEEDS TO BE METALLIC AND SEAL-TIGHT.

4. ALL CONDUITS MUST BE SUPPORTED WITHIN 3' COMING OUT OF THE BOX AND SUPPORTED EVERY 5FT THEREAFTER.

5. 3/4" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO NSN SYSTEM MODULES FOR POWER DELIVERY.

6. 1" CONDUIT IS TO BE RUN FROM THE 12X12X4 HOFFMAN BOX TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR POWER DELIVERY.

7. 2" CONDUIT IS TO BE RUN FROM 12X12X4 HOFFMAN BOX TO COVP FOR POWER DELIVERY.

8. 1" CONDUIT IS TO BE RUN FROM THE 6X6X4 HOFFMAN TO CIENA (OR OTHER FIBER DELIVERY ENCLOSURE, RAC 24 ETC.) FOR ETHERNET DELIVERY.

9. 3/4" CONDUIT IS TO BE UTILIZED TO DELIVER ETHERNET FROM CSR TO NSN SYSTEM MODULES.

10. SEAL TIGHT CONNECTIONS TO SYSTEM MODULES MUST BE 45 DEGREE, NOT 90 DEGREE OR STRAIGHT

11. 2" CONDUIT IS TO BE USED TO DELIVER POWER FROM PPC TO SSC.

12. 2" CONDUIT IS TO BE RUN TO BRING POWER FROM OUR SOURCE TO T-MOBILE METER.

13. 2" CONDUIT IS TO BE RUN FROM OUR METER TO OUR PPC (UNLESS LARGER THAN 3 AWG I.E. 300 OR 500 MCM IS REQUIRED DUE TO VOLTAGE DROP WITH A LONG RUN)

14. 2" CONDUIT IS TO BE RUN FROM FBT, CIENA, OR OTHER TELCO SOURCE TO T-MOBILE TELCO H-FRAME

15. ALL CONDUIT USED OUTDOOR THAT IS LESS THAN 42" BELOW GRADE MUST BE RMC. IMC IS NEVER ACCEPTABLE, AND PVC CAN ONLY BE USED AT 42".

16. IF USING PVC BURIED AT 42" GC MUST UTILIZE RMC FOR ANY AND ALL STUB-UPS

17. EMT IS ONLY ALLOWED INDOOR.

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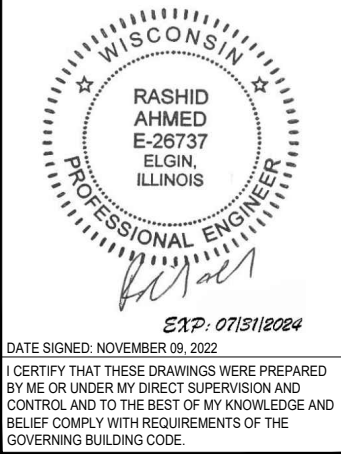
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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

UTILITIES DIAGRAM &
ELECTRICAL PANEL
SCHEDULE

SHEET NUMBER

E-3

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PREPARED BY: AE
CHECKED BY: AB
APPROVED BY: RA

CUSTOM CONFIGURATION – TOWER TOP EQUIPMENT SCHEDULE

| ANTENNA SECTOR | ANTENNA MARK | ANTENNA MODEL # | TECHNOLOGY | ELECTRICAL TILT | MECHANICAL TILT | RAD CENTER | AZIMUTH | RRU MODEL | DIPLEXER MODEL | TOWER TOP COVP MODEL | RF JUMPERS | HYBRID JUMPERS | ESTIMATED MFR. HCS 2.0 TRUNK LENGTH (TO BE VERIFIED IN FIELD) |
|----------------|--------------|----------------------------------|---|-----------------|-----------------|------------|----------|---|----------------|--------------------------|-----------------|---------------------|---|
| ALPHA | A1 | FFVW-65C-R3-V1 (P) | L700/N600 L2100+1900/ UMTS 2100/ GSM1900 | - | - | 100'-0" | 90° | AHLOA (P) AHFIG (P) | - | HCS 2.0 PENDANT A (P) | (8) 15'/15' (P) | (2) 15' HCS 2.0 (P) | (1) 150' HCS 2.0 TRUNK A (P) (EXACT LENGTH TO BE FIELD VERIFY) |
| | A2 | AEHC (P) | N2500/LTE 2500 | - | - | | | - | - | SHARED PENDANT B | - | (1) 15' HCS 2.0 (P) | SHARED HCS 2.0 TRUNK B |
| BETA | B1 | FFVW-65C-R3-V1 (P) | L700/N600 L2100+1900/ UMTS 2100/ GSM1900 | - | - | 100'-0" | 180° | AHLOA (P) AHFIG (P) | - | SHARED PENDANT A | (8) 15'/15' (P) | (2) 15' HCS 2.0 (P) | SHARED HCS 2.0 TRUNK A |
| | B2 | AEHC (P)) | N2500/LTE 2500 | - | - | | | - | - | HCS 2.0 PENDANT B (P) | - | (1) 15' HCS 2.0 (P) | (1) 150' HCS 2.0 TRUNK B (P) (EXACT LENGTH TO BE FIELD VERIFY) |
| | - | ERICSSON BFZ 622 32/3D06H/2.0 FT | - | - | - | 100'-0" | 127.120° | ERICSSON RADIO PART # MINI LINK ML6363 | - | - | - | - | (1) 150' CMR/UL 1666, OD 10 MM, 50 Ω, COAXIAL CABLE (P) |
| GAMMA | C1 | FFVW-65C-R3-V1 (P) | L700/N600 L2100+1900/ UMTS 2100/ GSM1900 | - | - | 100'-0" | 350° | AHLOA (P) AHFIG (P) | - | SHARED PENDANT A | (8) 15'/15' (P) | (2) 15' HCS 2.0 (P) | SHARED HCS 2.0 TRUNK A |
| | C2 | AEHC (P) | N2500/LTE 2500 | - | - | | | - | - | SHARED PENDANT B | - | (1) 15' HCS 2.0 (P) | SHARED HCS 2.0 TRUNK B |

NOTE:

G.C. SHALL FIELD MEASURE AND DETERMINE THE EXACT REQUIRED NEW
HCS 2.0 TRUNK LENGTH TO EACH SECTOR AND PROVIDE CABLES LENGTHS
TO T-MOBILE CONSTRUCTION MANAGER TO ENSURE THE CORRECT LENTHS ARE
CAPTURES ON THE FINAL RFDS AND T-MOBILE BILL OF MATERIAL (B.O.M).

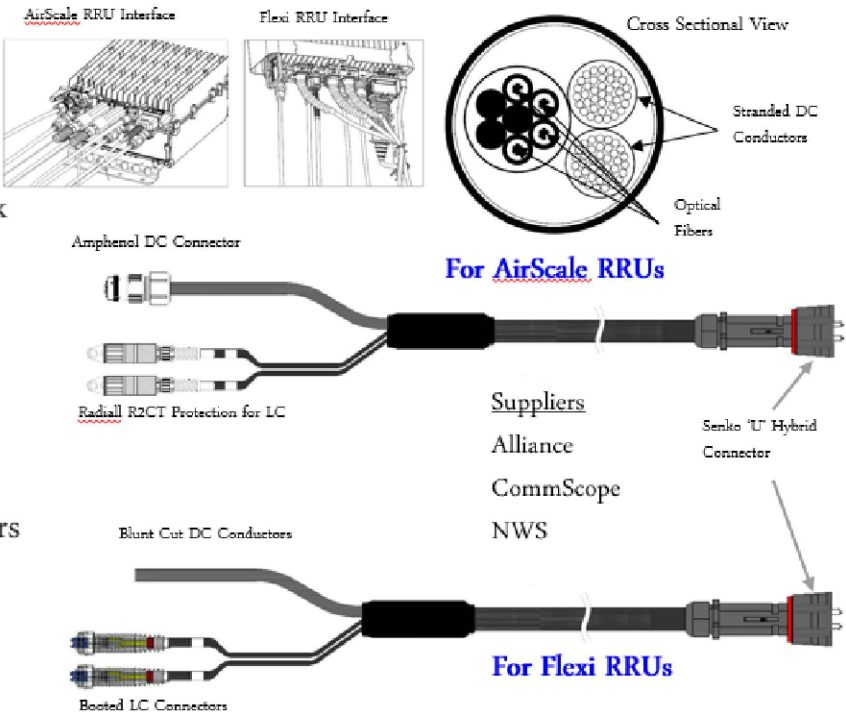
NOTE: ANTENNAS PLACEMENT, ELCT. & MECH. TILT, AND RRU's TO BE VERIFIED WITH T-MOBILE C.M. PRIOR TO CONSTRUCTION STARTS

1

ANTENNA SCHEDULE

SCALE: N.T.S.

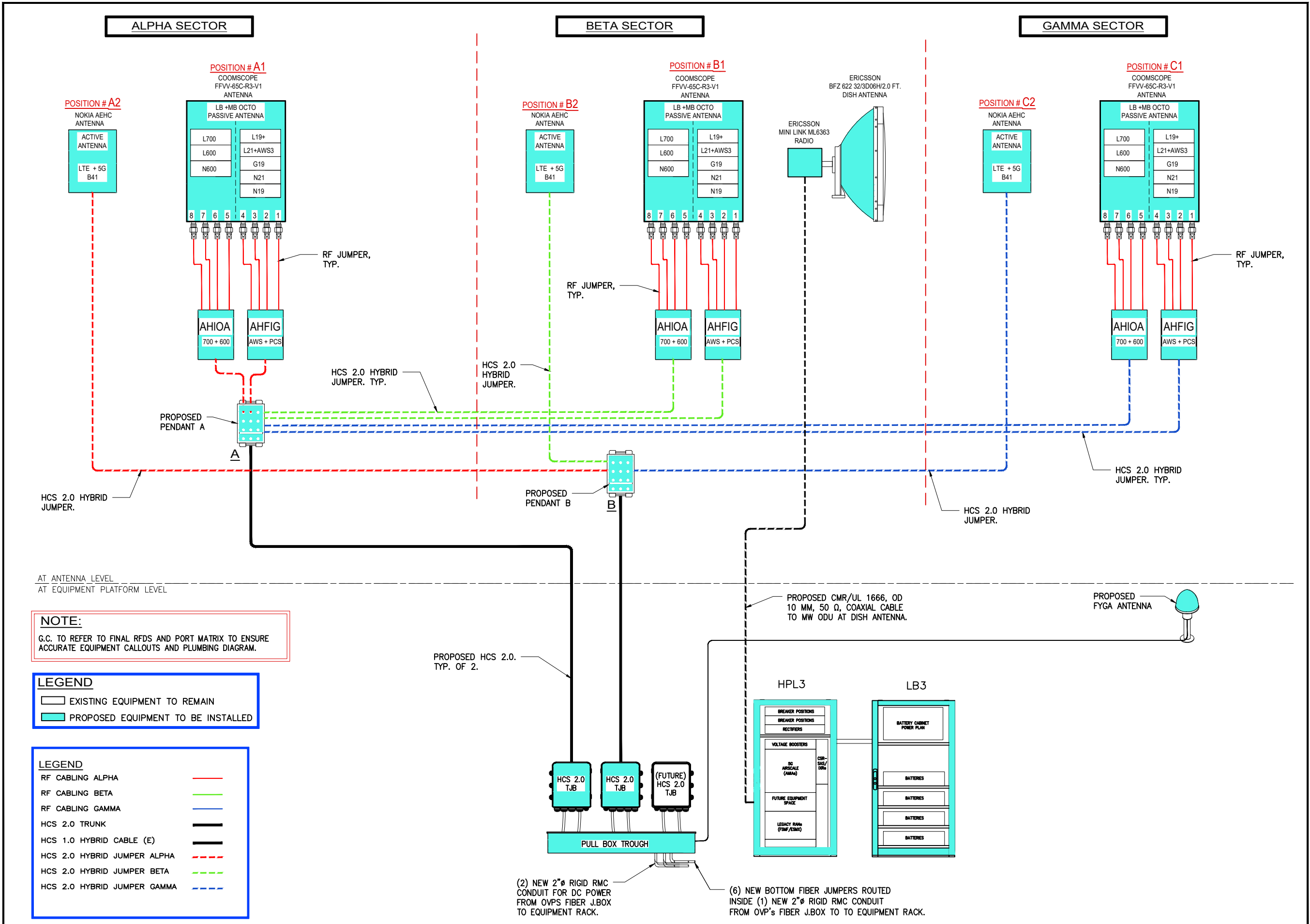
- Outer diameter: 0.72"
- Weight: 0.34 lb/ft
- Operating Temp: -40 °C to +75 °C
- Connectorized for mating with tower top trunk cable breakout or roof top box
- DC and fiber interfaces versions for Nokia Airscale and Flexi RRUs
- Short (tower top 15') & long (roof top 20' - 250') Airscale versions available
- Also available with legacy booted LC connectors and blunt cut DC conductors for Flexi RRU applications



2

HYBRID JUMPER CABLE GENERAL SPECIFICATIONS

SCALE: N.T.S.



1

PROPOSED RF PLUMBING DIAGRAM

SCALE: N.T.S.

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WISCONSIN

RASHID AHMED
E-26737
ELGIN, ILLINOIS

PROFESSIONAL ENGINEER

EXP: 07/31/2024

DATE SIGNED: NOVEMBER 09, 2022

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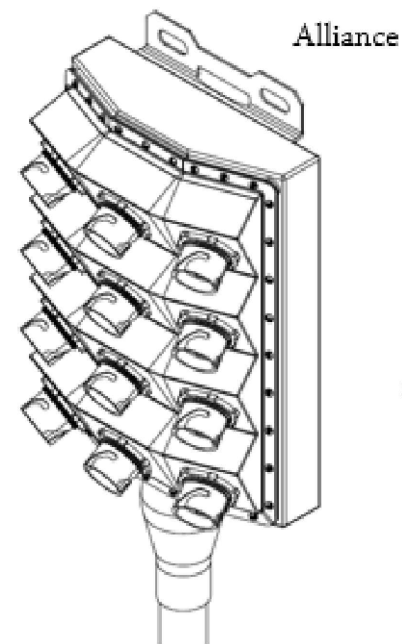
APPROVED BY: RA

SHEET TITLE
SYSTEM CONNECTION
DIAGRAM

SHEET NUMBER
RF-2

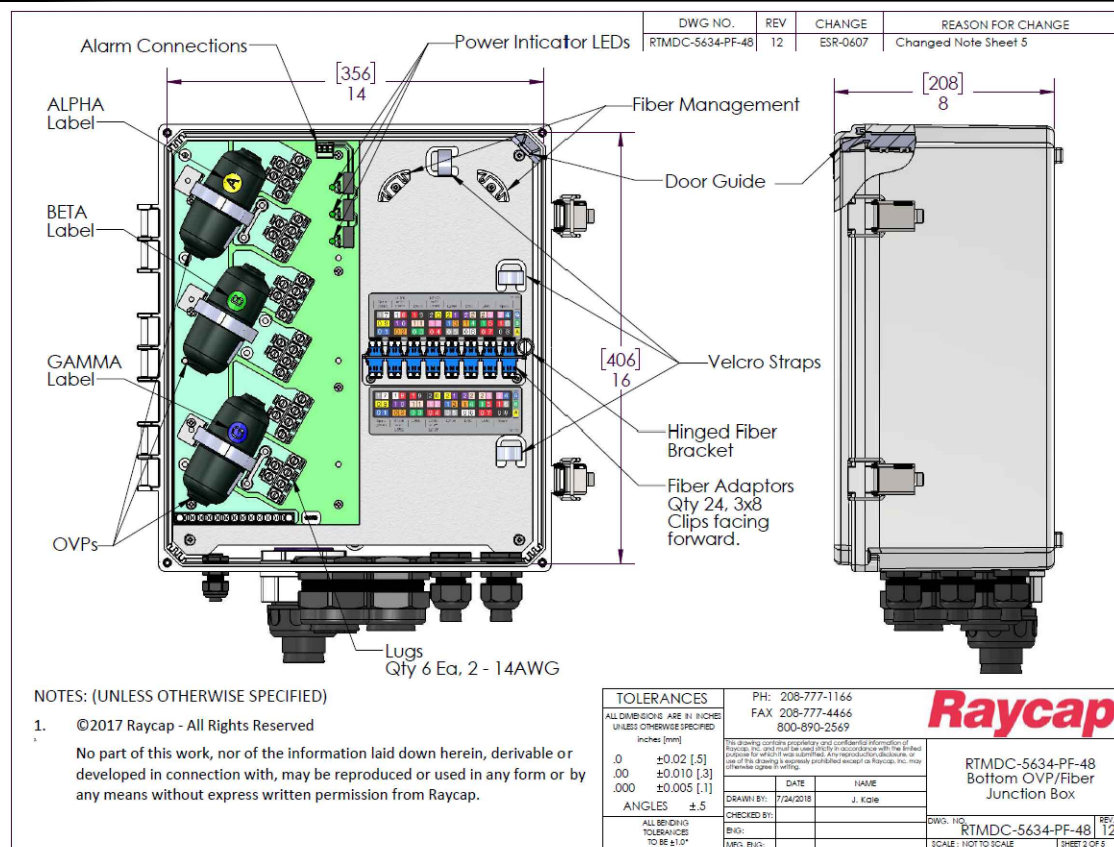
THE BREAKOUT BOX (PENDANT) IS PERMANENTLY ATTACHED TO THE TRUNK CABLE, IT IS NOT FIELD REMOVABLE/REPLACEABLE WITHOUT REPLACING THE ENTIRE TRUNK CABLE.

| | |
|----------------------------------|-------------------|
| Dimensions, in. in. | 9.3x14.9x5.8 8 |
| Weight | 1.61 <u>lb/ft</u> |
| Port Interface Interface | Senko U |
| Hybrid Ports | 12 |
| Conductor Termination | None |
| Single Mode Fibers Fibers | 48 |
| Fiber Termination Termination | LC pair |
| Max RRU | 12 |



BREAKOUT BOX (PENDANT) WEIGHT: 3.59lbs

SCALE: N.T.S.



SCALE: N.T.S.

| Gamma | Beta | Alpha | |
|-------|------|-------|---------|
| | | | Radio 0 |
| | | | Radio 1 |
| | | | Radio 2 |
| | | | Radio 3 |

Bottom Junction Box Fiber

Patch Panel

| Radio 0 | | | | Radio 1 | | | | Radio 2 | | | | Radio 3 | | | |
|-----------|---|-----------|---|-----------|---|-----------|---|-----------|---|-----------|---|-----------|---|-----------|---|
| Optical 1 | | Optical 2 | | Optical 1 | | Optical 2 | | Optical 1 | | Optical 2 | | Optical 1 | | Optical 2 | |
| 1 | 7 | 1 | 8 | 1 | 9 | 2 | 0 | 2 | 1 | 2 | 2 | 2 | 3 | 2 | 4 |
| 0 | 9 | 1 | 0 | 1 | 1 | 1 | 2 | 1 | 3 | 1 | 4 | 1 | 5 | 1 | 6 |
| 0 | 1 | 0 | 2 | 0 | 3 | 0 | 4 | 0 | 5 | 0 | 6 | 0 | 7 | 0 | 8 |

← Gamma

← Beta

← Alpha



SCALE: N.T.S.

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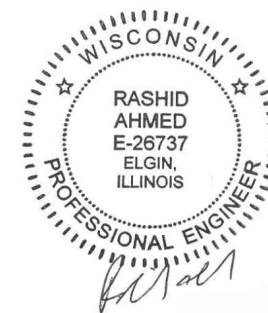
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CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

NEW EQUIPMENT MFR.
SPECS & CONNECTION
DIAGRAM

SHEET NUMBER

RF-3

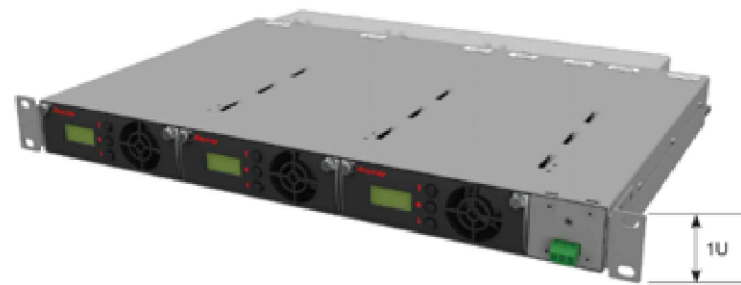


Figure 1 Raycap PowerPlus Voltage Booster (front view)

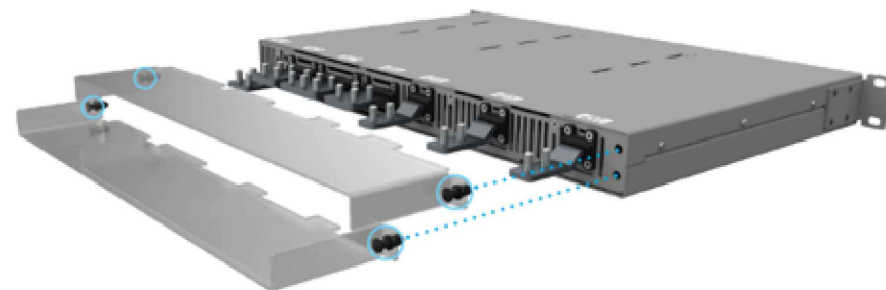
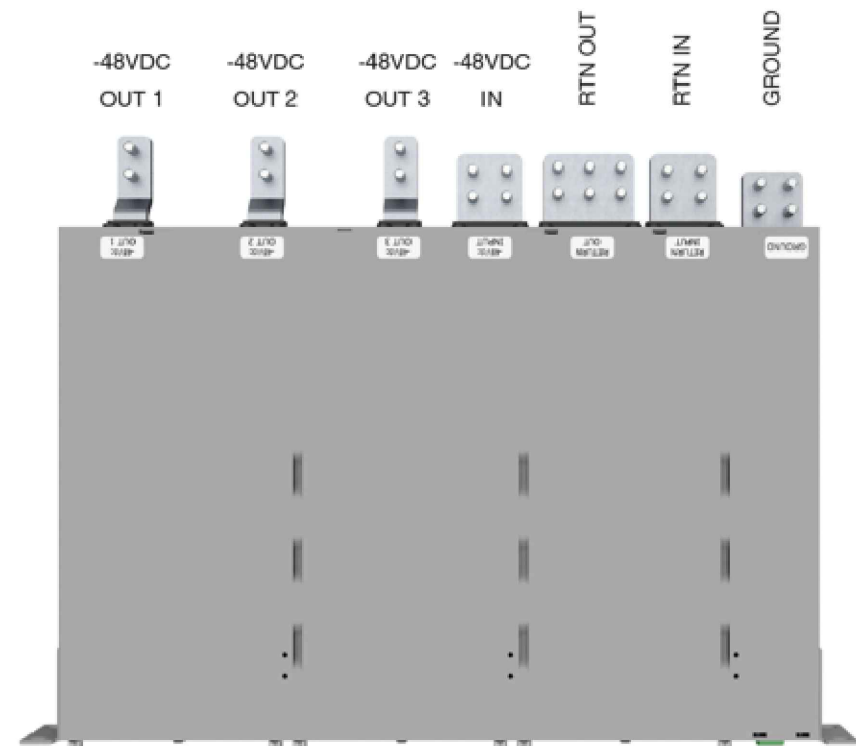


Figure 2 Raycap PowerPlus Voltage Booster (rear view; with touch guard)



3.2.2 Single Mode

For applications where the radios are fed power on a sector basis, i.e. HCS 2.0 tower and roof top, the PowerPlus shall be configured for Single Mode operation. Each output terminal pair feeds a sector in HCS 2.0.

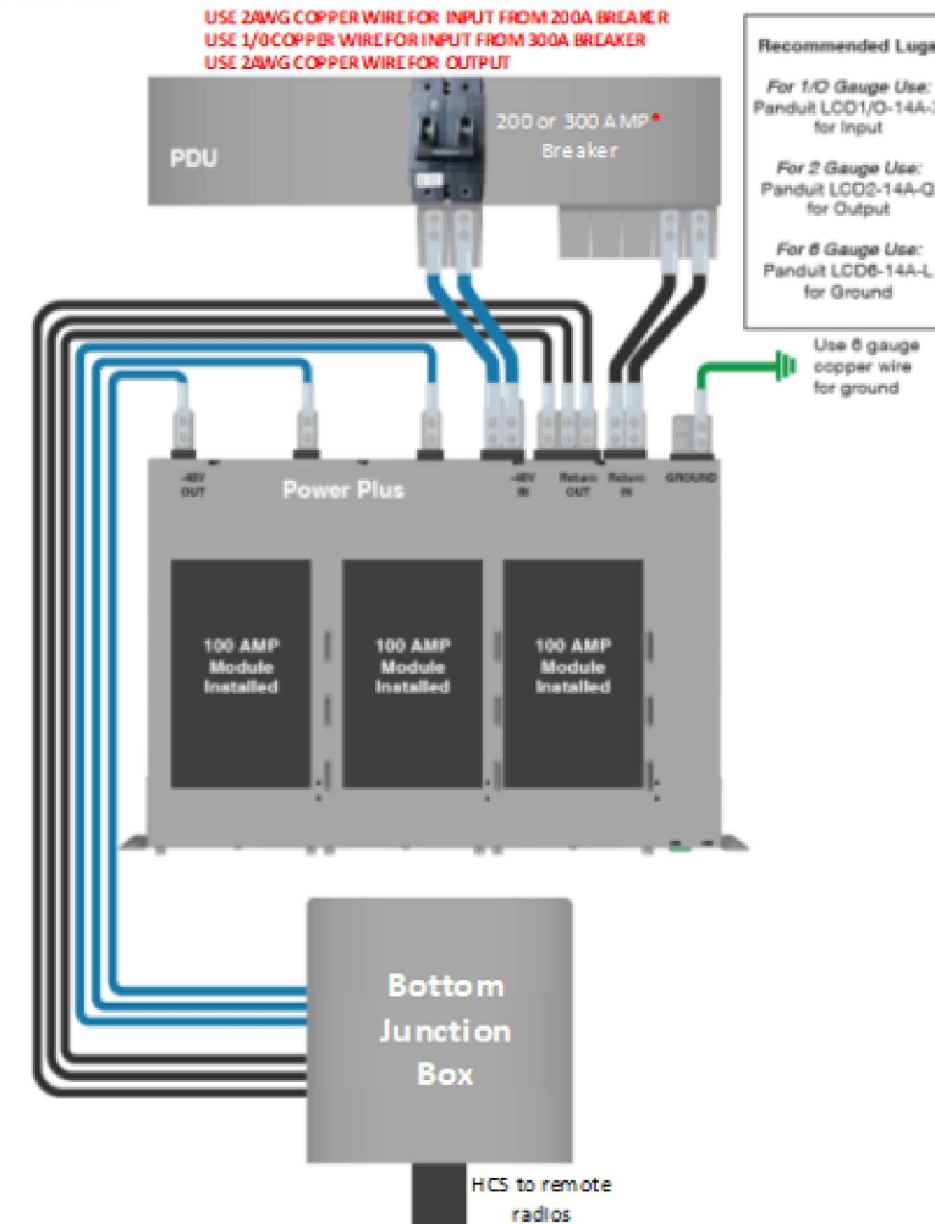


Figure 6 Single Mode Wiring (*300A solution under development for exceptional cases)

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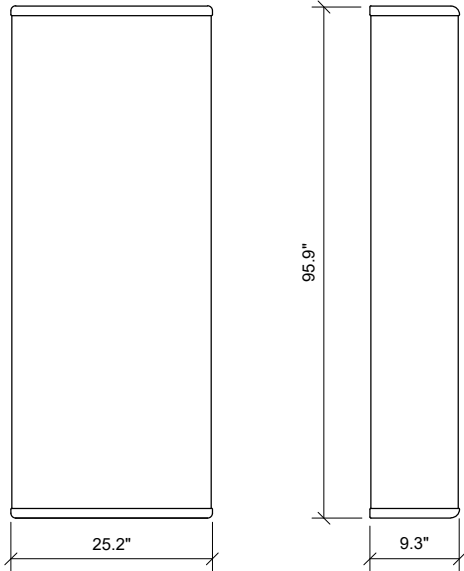
SHEET TITLE

RAYCAP POWERPLUS
VOLTAGE BOOSTER
MFR SPECS.

SHEET NUMBER

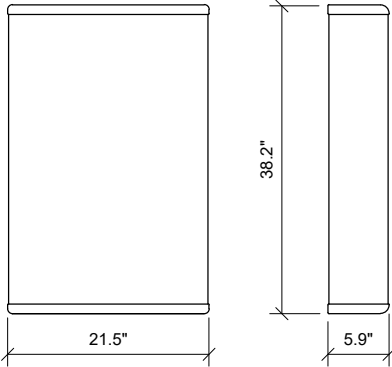
RF-4

| | |
|--------------------|-----------------------------|
| MODEL # | COMMSCOPE/ FFV-65C-R3-V1 |
| DIMENSIONS (HxWxD) | 95.9" x 25.2"x 9.3" |
| NET WEIGHT | 124.6 lbs |



1 FFV-65C-R3-V1 ANTENNA DETAIL
SCALE: N.T.S.

| | |
|--------------------|-----------------------------|
| MODEL # | NOKIA AEHC/ MASSIVE MIMO |
| DIMENSIONS (HxWxD) | 38.2" x 21.5"x 5.9" |
| NET WEIGHT | 108.0 lbs |



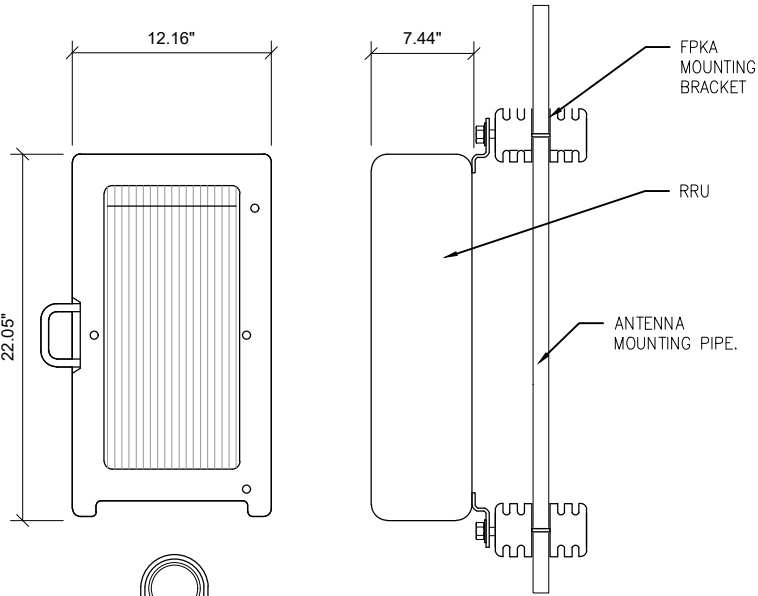
2 AEHC - NOKIA ANTENNA SPECS.
SCALE: N.T.S.

Technical specification
MINI-LINK 6363



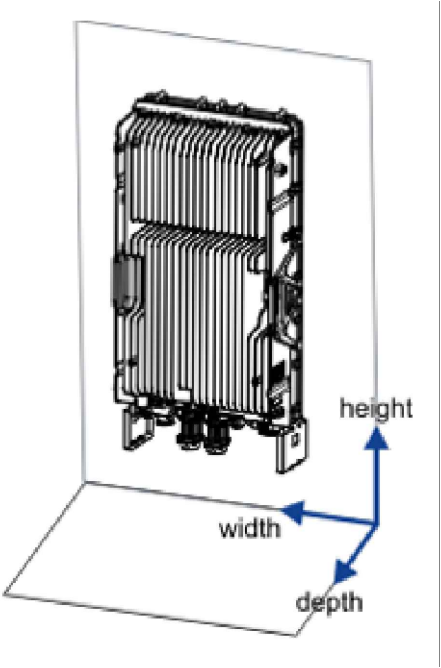
| | |
|---------------------------|--|
| Weight | 2.5 kg / 5.5 lbs |
| Dimensions (H x W x D) | 179 x 197 x 79 mm (2.8 liters) 7.0 x 7.8 x 3.1 in (170 in³) |

5 ERICSSON MW RADIO MFR SPECS
SCALE: N.T.S.



| | |
|--------------------|------------------------|
| MODEL # | NOKIA AHLOA RRH |
| DIMENSIONS (HxWxD) | 22.05" x 12.16"x 7.44" |
| NET WEIGHT | 83.78lbs |

3 AHLOA RRH DETAIL
SCALE: N.T.S.



| | |
|-------------------------------|---------------------|
| MODEL # | NOKIA AHFIG RRH |
| DIMENSIONS (HxWxD) | 27.4" x 12.1"x 5.2" |
| NET WEIGHT (WITHOUT COVER) | 70.5lbs |

4 AHFIG RRH DETAIL
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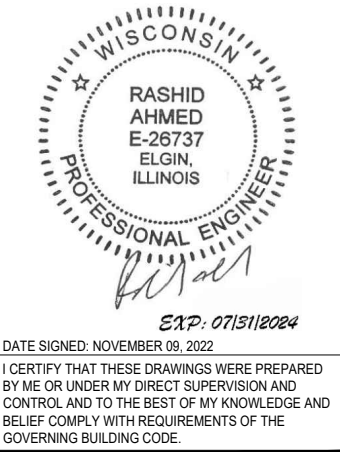
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SHEET TITLE

EXISTING & NEW EQUIPMENT
SPECIFICATIONS

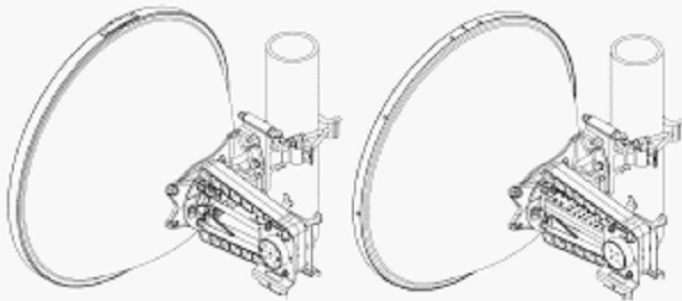
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SP-1

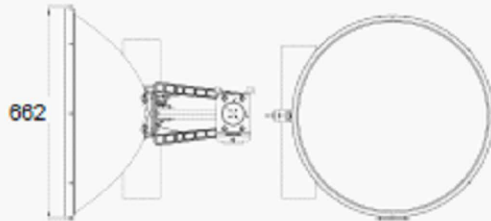
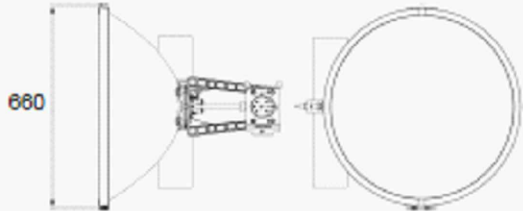
ERICSSON
BFZ 622 32/3D06H/2.0 FT.
DISH ANTENNA

ERICSSON BFZ 622 32/3D06H/2.0 FT.

ANT3 A 0.6 HPX

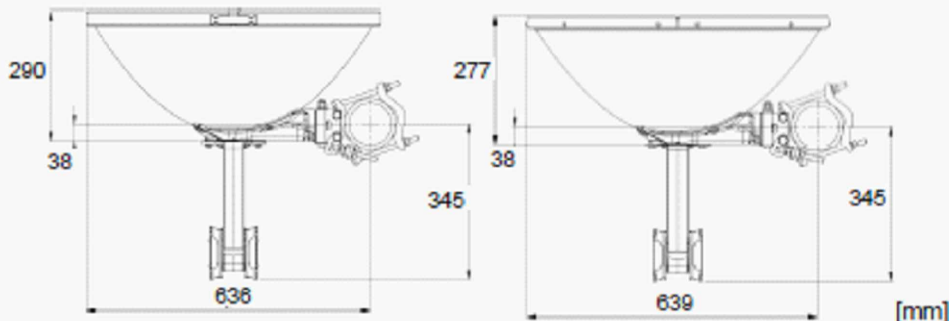


Antenna 7-42 GHz and 80 GHz.



[mm]

Antenna 7-42 GHz and 80 GHz, side and front view.

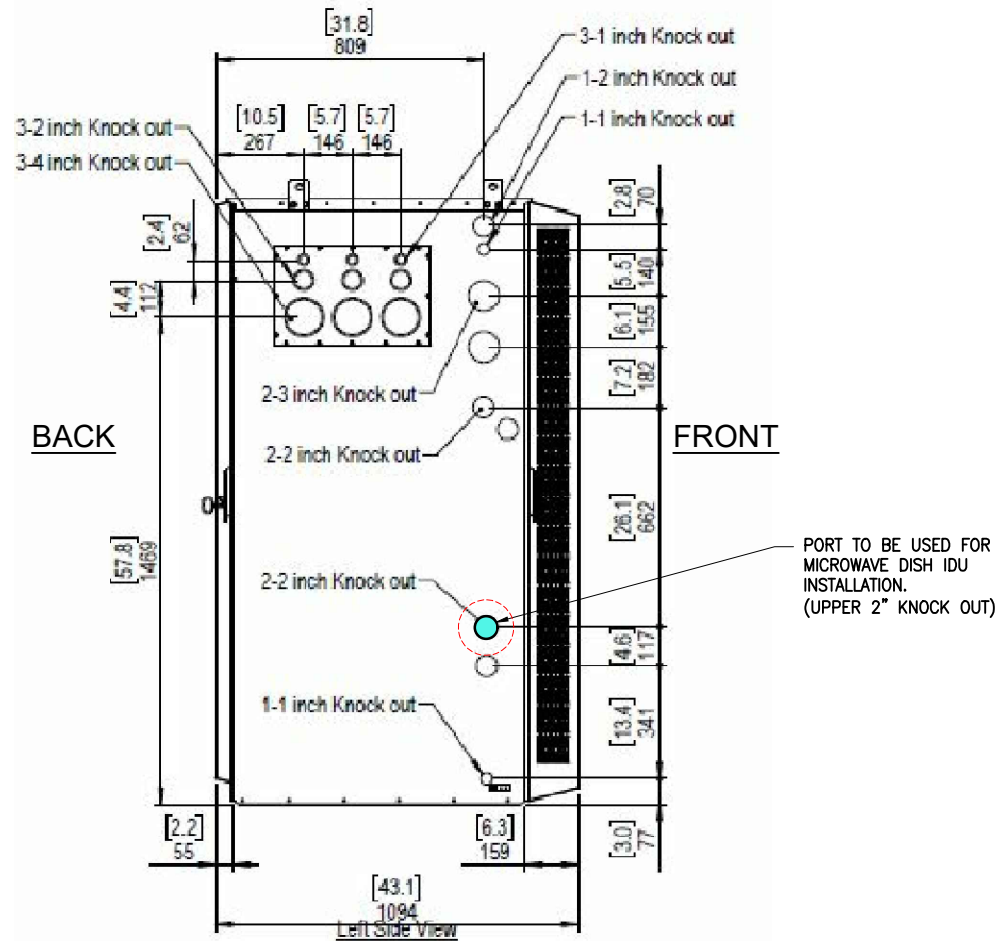


Antenna 7-42 GHz and 80 GHz, top view.

ANTENNA WEIGHT = 10 KG.

1

MICROWAVE DISH ANTENNA DETAIL
SCALE: N.T.S.



DELTA HPL3 CABINET



G.C. TO UTILIZE 2" THREADED LB WITH MEYER HUB FOR INITIAL CABINET PENETRATION.

G.C. TO UTILIZE ROXTEC 2" THREADED ADAPTER FOR TRANSITION TO M63 CABLE GLAND. PARTS NEEDED:
- (1) 5X8100000087
- (1) M63(F)x2"NP(F) ANODIZED

ROXTEC M63 CABLE ENTRY GLAND.

PROPOSED CMR/UL 1666, OD 10 MM, 50 Ω, COAXIAL CABLE TO MW ODU AT DISH ANTENNA.

CONNECTION DETAIL

2

MICROWAVE DISH IDU PENETRATION DETAIL INTO HPL3
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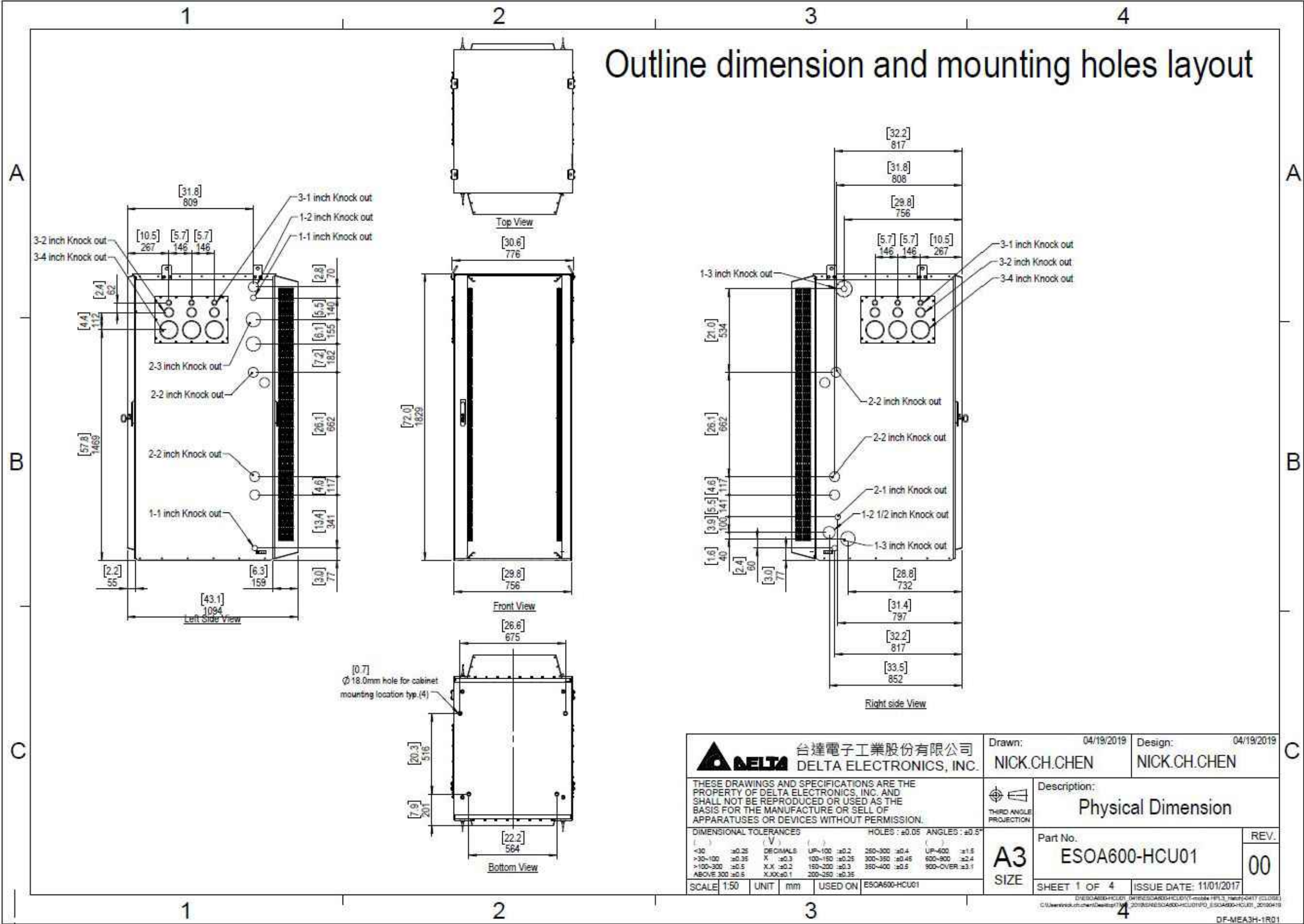
SHEET TITLE


DISH ANTENNA MRF SPECS
& CONNECTION DETAIL

SHEET NUMBER

SP-2

Outline dimension and mounting holes layout



| | | | |
|--|--|---|------------------------------------|
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| DIMENSIONAL TOLERANCES () DECIMALS () FRACTIONS <30 ±0.25 X ±0.3 >30-100 ±0.35 X.X ±0.2 >100-300 ±0.5 X.XX ±0.1 ABOVE 300 ±0.5 X.XXX ±0.1 | | HOLES : ±0.05 ANGLES : ±0.5° UP-100 ±0.2 250-300 ±0.4 UP-600 ±1.5 100-150 ±0.25 300-350 ±0.45 600-900 ±2.4 150-200 ±0.3 350-400 ±0.5 900-OVER ±3.1 | |
| SCALE: 1:50 UNIT: mm USED ON: ESOA600-HCU01 | | Part No. ESOA600-HCU01 | |
| A3 SIZE | | SHEET 1 OF 4 ISSUE DATE: 11/01/2017 | |
| | | REV. 00 | |

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SHEET TITLE

HPL 3 DELTA POWER
CABINET MFR. SPECS

SHEET NUMBER

SP-3

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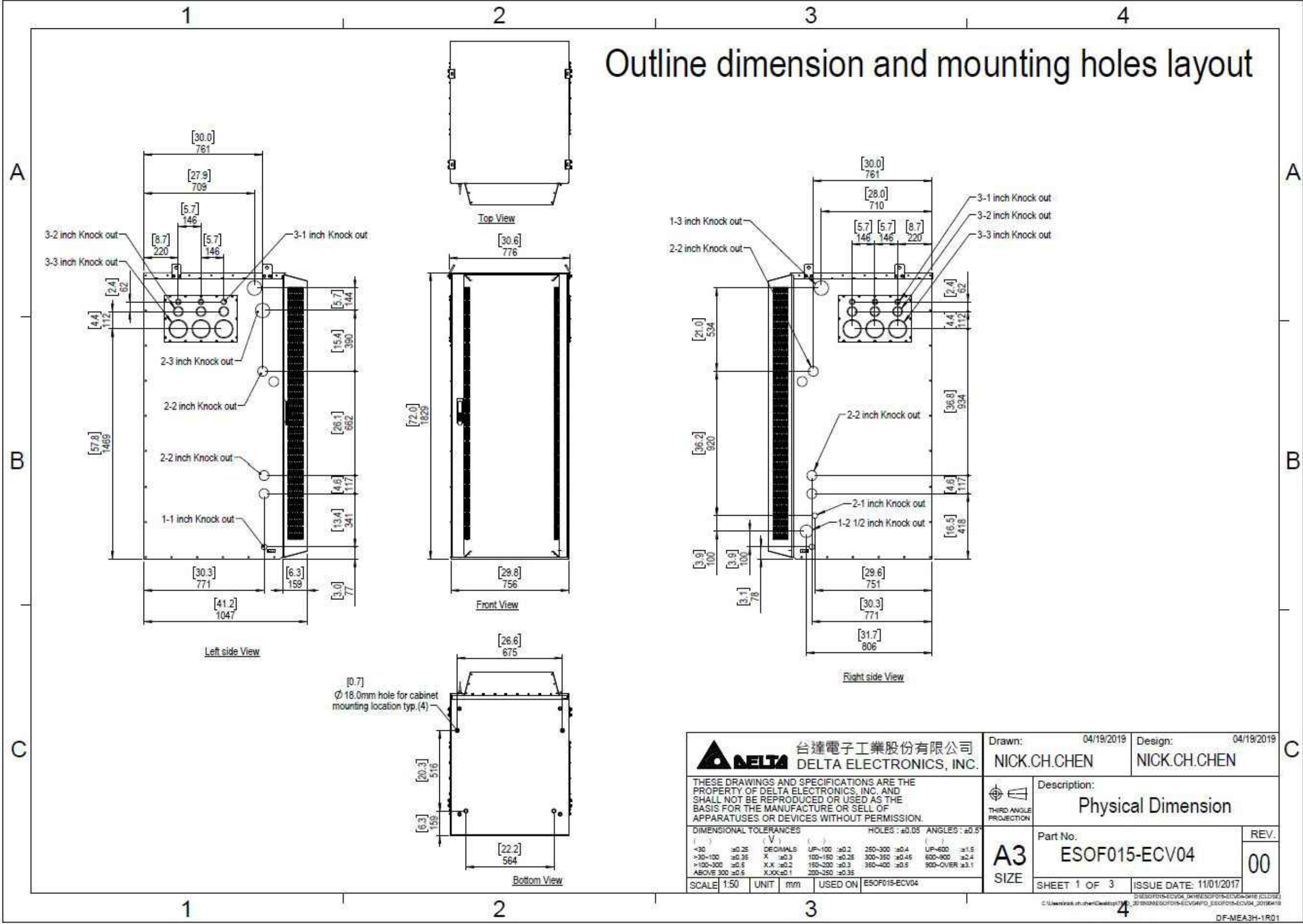
SHEET TITLE

LB3 BATTERY 3 BACK-UP
CABINET MFR. SPECS

SHEET NUMBER

SP-4

Outline dimension and mounting holes layout





Power Protection Cabinet (PPC) 200A

Product Features

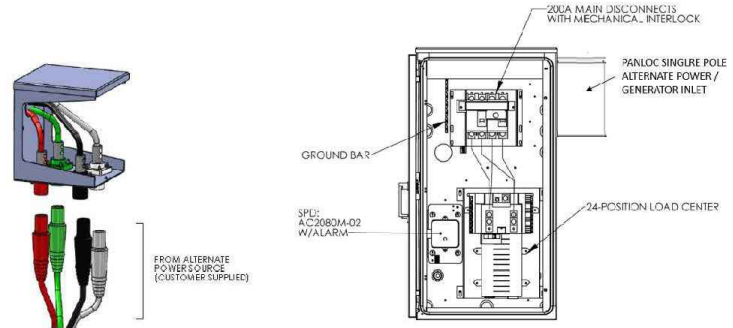
- Single wall Aluminum enclosure
- Powder coated finish
- Pad lockable 3-point door latch
- Type 3R & IP55 rated
- Metal oxide varistor surge protection
- Camlok generator connection

www.deltaww.com



Specifications

| Model / Part Number | 5811130508 |
|--------------------------------|--|
| 1. General | |
| Construction | Single layer Aluminum enclosure, Type 3R |
| Dimensions (W x H x D) | 20 x 39 x 10 inch excludes generator connections |
| Weight | 71 lbs (without packaging) |
| Finish | Polyester Powder Paint |
| Door Latch | 3-Point latching, pad lockable |
| | UL50 (Cabinet) |
| Safety | UL891 Dead Front Switchboard Listed Suitable for Use as Service Equipment (N-G Bonding kit included) |
| 2. Environment | |
| Operating temperature | -40°C to +46°C (-40°F to 115°F) |
| Humidity (relative) | 95%, non-condensing (Max.) |
| Protection class | Type 3R |
| 3. AC Section | |
| Voltage | 240/120 Single Phase (3 wire + Ground) |
| Current | 200A |
| AIC Rating | Utility 65,000 Amps |
| | Generator Interface: Camlok Connections (Right Mount) Service Disconnect: Square D 200 Amp (65kAIC) Mechanical Slide Bar Interlock Load Center: Square D 200 Amp, QO Series, 24 Position Surge Protection Device (SPD) - 1 ea. AC2080M-02 Square D 30 Amp, 2-Pole Breaker for SPD Ground Bar Silkscreen Dead-Front Lift Off Style Captive Dead-Front Fasteners |
| Other features | |
| 5. Ordering information | |
| PPC | 5811130508 Power Pedestal Cabinet - 200A |



GENERATOR INPUT

*Male Receptacle Twist Lock Panel Mount connectors (not included)

*All specifications are subject to change without prior notice.



EN_z20n8P21/ SY

Delta Group Website:
www.deltaww.com

Product Website:
www.deltapowersolutions.com

United States of America & Canada:
Delta Electronics (USA) Inc.
2925 E. Plano Parkway
Plano, TX (Texas) 75074

Sales and Orders:
DEUSTPS.Sales@deltaww.com
DEUSTPS.Orders@deltaww.com

Field Support:
1-877-DELTA-08 option 3
(877-335-8208 option 3)
DEUSTPS.Support@deltaww.com

Installation Services:
DEUSTPS.Services@deltaww.com

RMA:
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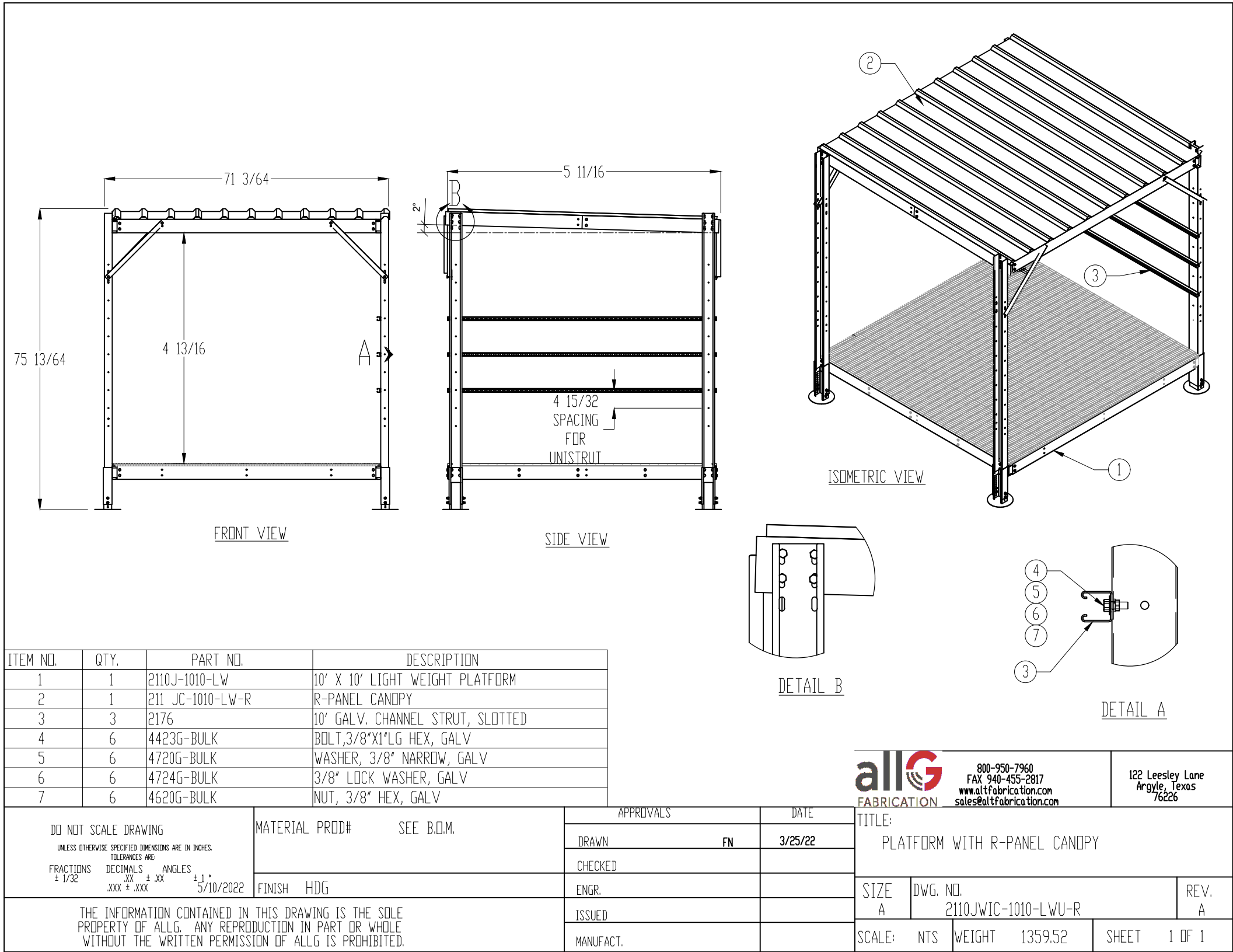
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SHEET TITLE

PPC CABINET SPECS
SHEETS

SHEET NUMBER

SP-5



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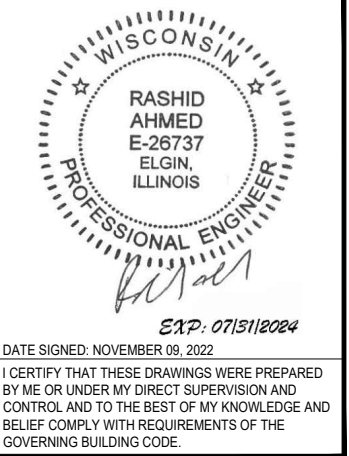
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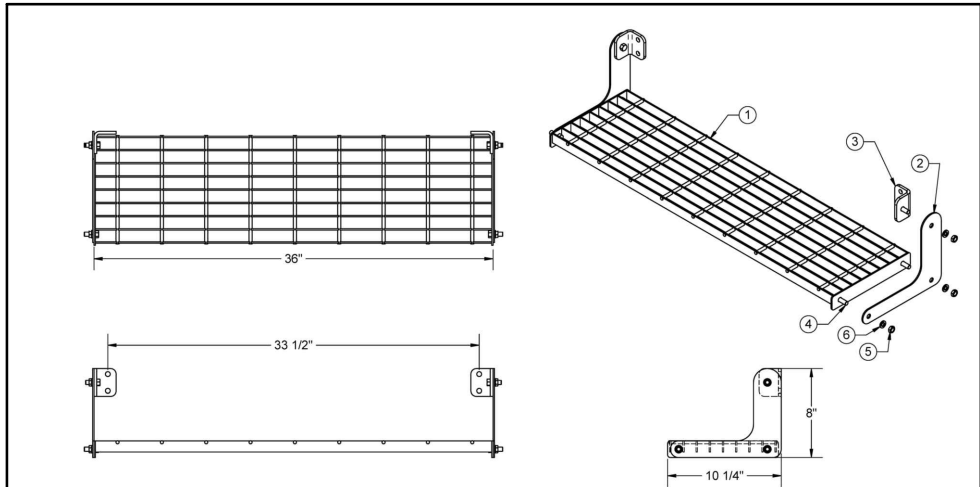
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APPROVED BY: RA

SHEET TITLE
EQUIPMENT PLATFORM
MFR. SPECS.

SHEET NUMBER

SP-6

1 EQUIPMENT PLATFORM MFR. SPECS.
SCALE: N.T.S.



| ITEM NO. | QTY. | PART NO. | DESCRIPTION | MATERIAL |
|----------|------|---------------------|----------------------------|-----------------------|
| 1 | 1 | 7000-2110J-LW-1SK-1 | 1" X 10" X 36" STAIR TREAD | 1" X 1/8" BAR GRATING |
| 2 | 2 | 7000-2110J-LW-1SK-2 | STEP BRACKET | 1/8" STEEL PLATE |
| 3 | 2 | 7000-2110J-LW-1SK-3 | STEP L-BRACKET | 1/4" STEEL PLATE |
| 4 | 6 | 4423G-BULK | BOLT, 3/8"X1"LG HEX, GALV | |
| 5 | 6 | 4620G-BULK | NUT, 3/8" HEX, GALV | |
| 6 | 6 | 4724G-BULK | 3/8" LOCK WASHER, GALV | |

DO NOT SCALE DRAWING

UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES

TOLERANCES ARE:

FRACTIONS DECIMALS ANGLES

± 1/32 ± .005 ± 1°

XXX ± .000 1/16/2019

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MATERIAL PROD# SEE B.O.M.

FINISH HDG

APPROVALS

DRAWN SF

CHECKED BTM

ENGR.

ISSUED

MANUFACT.

DATE

01/11/19

01/15/19

TITLE:

10" X 36" SINGLE STEP KIT

SIZE DWG. NO.

A 2110J-LW-1SK

REV.

A

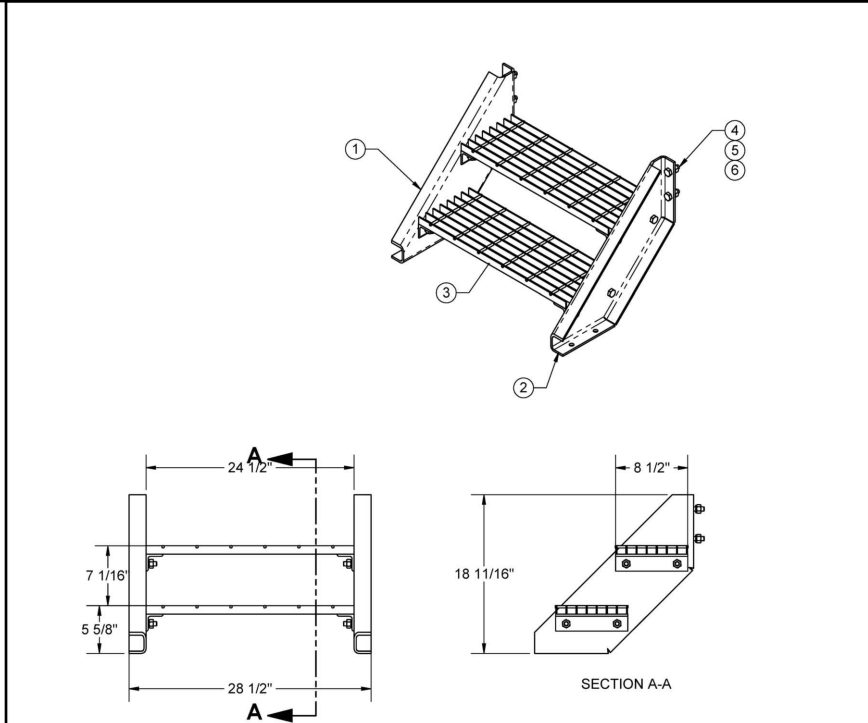
SCALE: NTS

WEIGHT 17.61

SHEET 1 OF 1

NOTES:
1. ASSEMBLE AS SHOWN
2. FIELD DRILL FOR ITEM 2

ALT 800-950-7980 FAX 940-455-2817 www.altfabrication.com sales@altfabrication.com 122 Leesley Lane Argyle, Texas 76226



NOTES:
1. ASSEMBLE AS SHOWN

| ITEM NO. | QTY. | PART NO. | DESCRIPTION | MATERIAL |
|----------|------|------------------|-----------------------------------|-----------------------|
| 1 | 1 | 7000-2110J-2SK-1 | LEFT STAIR STRINGER | 1/4" STEEL PLATE |
| 2 | 1 | 7000-2110J-2SK-2 | RIGHT STAIR STRINGER | 1/4" STEEL PLATE |
| 3 | 2 | 7000-2110J-2SK-3 | STEP | 1/8" X 1" BAR GRATING |
| 4 | 12 | 4454G-BULK | 1/2" X 1-1/2" A325 GLAV. HEX BOLT | |
| 5 | 12 | 4650G-BULK | NUT, 1/2" HEX, A563 GALV | |
| 6 | 12 | 4754G-BULK | WASHER, 1/2" RGLR LOCK, GALV | |

FINISH HDG

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TOLERANCES ARE:

FRACTIONS DECIMALS ANGLES

± 1/32 ± .005 ± 1°

XXX ± .000 11/29/2016

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MATERIAL PROD# SEE B.O.M.

APPROVALS

DRAWN SF

CHECKED DMR

ENGR.

ISSUED

MANUFACT.

DATE

11/29/16

11/29/16

TITLE:

2 STEP KIT

SIZE DWG. NO.

A 2110J-2SK

REV.

A

SCALE: NTS

WEIGHT 58

SHEET 1 OF 1

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SITE NAME

USCC - 784760

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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

EQUIPMENT PLATFORM
STAIRS MFR. SPECS.

SHEET NUMBER

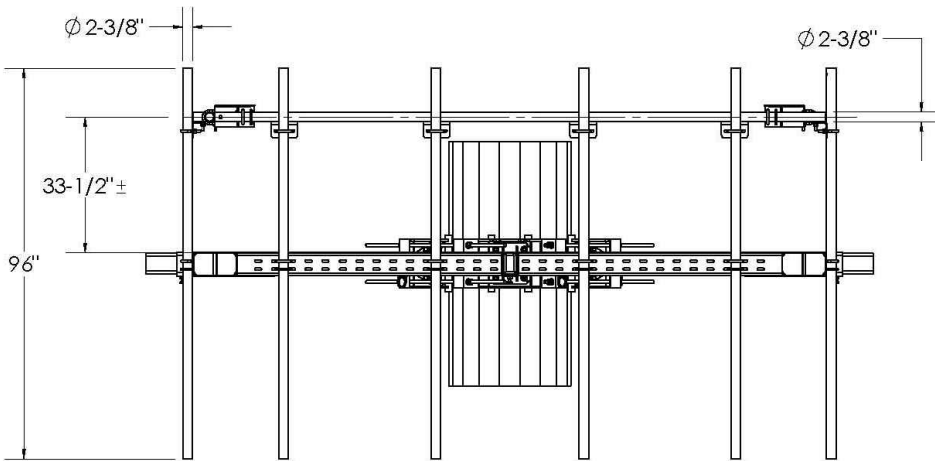
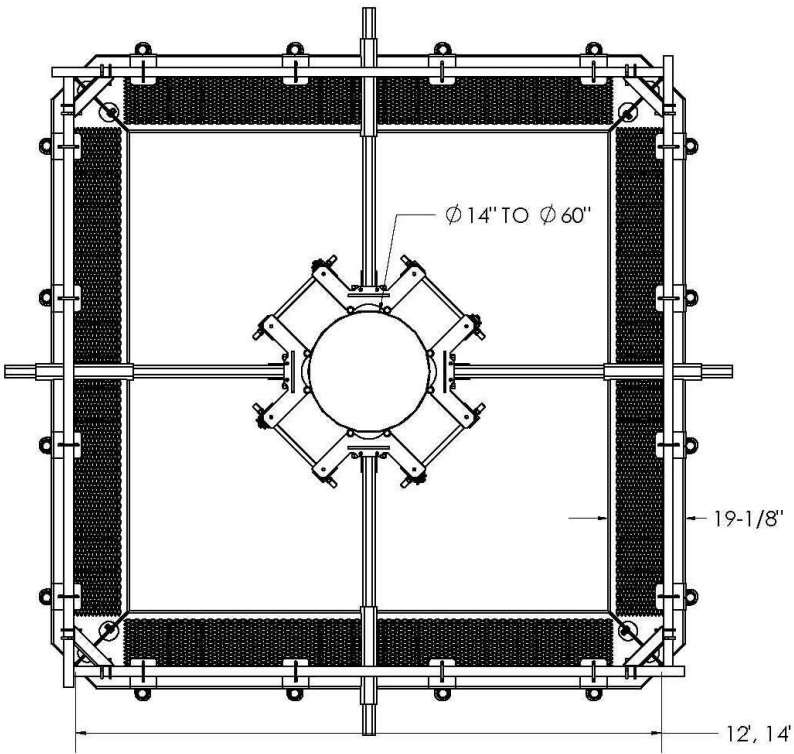
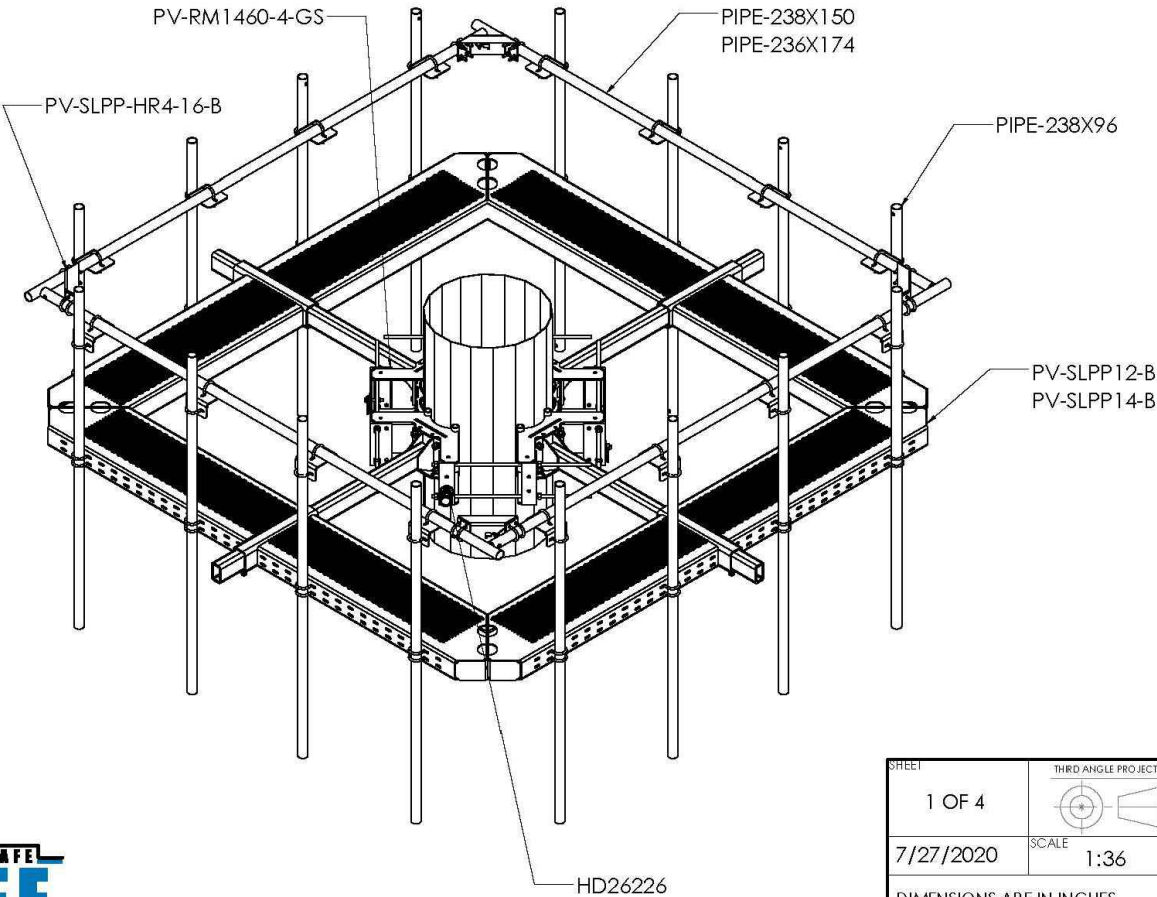
SP-6.1

1 EQUIPMENT PLATFORM STAIRS MFR. SPECS.
SCALE: N.T.S



L.I.F.E. MOUNT™ MONOPOLE SQUARE PLATFORM

Table 1: Platform Configurations

| Part Number | Description | Weight (lbs) | Included Parts | | | | | | |
|---------------------|---|--------------|----------------|-------------|-------------|------------------|-------------|--------------|--------------|
| | | | PV-RM1460-4-GS | PV-SLPP12-B | PV-SLPP14-B | PV-SLPP-HR4-16-B | PIPE-238X96 | PIPE-238X150 | PIPE-238X174 |
| PV-SLPP12U-B | L.I.F.E. Mount™ 4 Sector Platform, 12' Face, 14"-60" Pole | 2511 | 1 | 1 | - | - | - | - | 4 |
| PV-SLPP12U-HR-B | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole | 3188 | 1 | 1 | - | 1 | - | 4 | 4 |
| PV-SLPP12U-HR-12-96 | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (12) Antenna Pipe | 3539 | 1 | 1 | - | 1 | 12 | 4 | 4 |
| PV-SLPP12U-HR-16-96 | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 12' Face, 14"-60" Pole, (16) Antenna Pipe | 3656 | 1 | 1 | - | 1 | 16 | 4 | 4 |
| PV-SLPP14U-B | L.I.F.E. Mount™ 4 Sector Platform, 14' Face, 14"-60" Pole | 2863 | 1 | - | 1 | - | - | - | 4 |
| PV-SLPP14U-HR-B | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole | 3217 | 1 | - | 1 | 1 | - | - | 4 |
| PV-SLPP14U-HR-12-96 | L.I.F.E. Mount™ 4 Sector Platform, Horizontal Support Rail, 14' Face, 14"-60" Pole, (12) Antenna Pipe | 3569 | 1 | - | 1 | 1 | 12 | - | 4 |



CA:PV\steel\Caribdog\SW Working Files\Engineering Details\

| | | | | | | | |
|--|---|----------|----------------------------------|-----|------------------------------------|----------|---|
| SHEET 1 OF 4 |  | CATEGORY | 02_Monopole | 5 | KIT UPDATED WITH RM1460-GS COLLARS | 6/09/20 |  |
| | | SERIES | 02_Square | 4 | UPDATE TO NEW TEMPLATE | 4/30/20 | |
| 7/27/2020 | SCALE 1:36 | TYPE | PV-SLPP_Square Monopole Platform | 3 | UPDATE TO KIT | 8/03/19 | SQUARE MONOPOLE PLATFORM DOCUMENT NUMBER SLPP-ENG-01-R5 |
| DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16" | | BY | DJN | 2 | UPDATED TO 4 PIPES PER SECTOR | 10/26/18 | |
| | | CHECKED | SJS | 1 | ADDED CLASSIFICATIONS | 2/13/18 | |
| | | STATUS | APPROVED | REV | DESCRIPTION | DATE | 5 |

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CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

ANTENNA PLATFORM
MFR. SPECS.

SHEET NUMBER

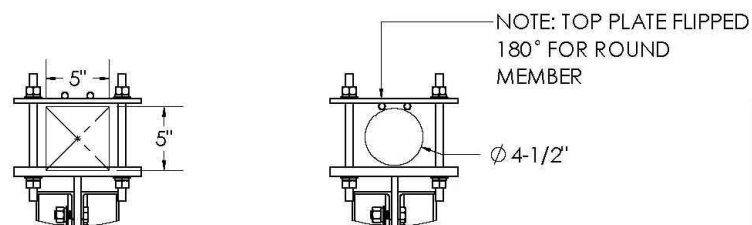
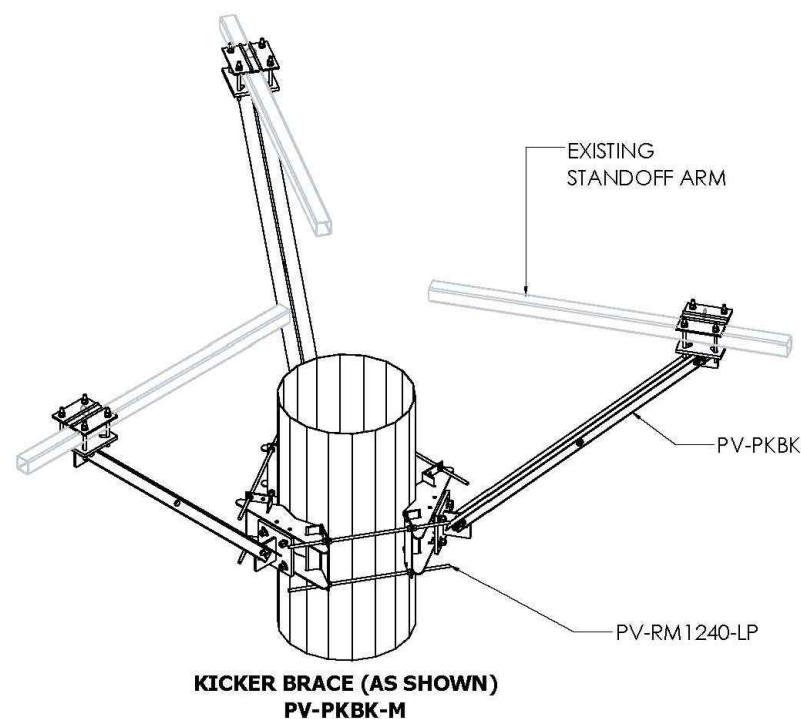
SP-7

1 ANTENNA PLATFORM MFR. SPECS.
SCALE: N.T.S.

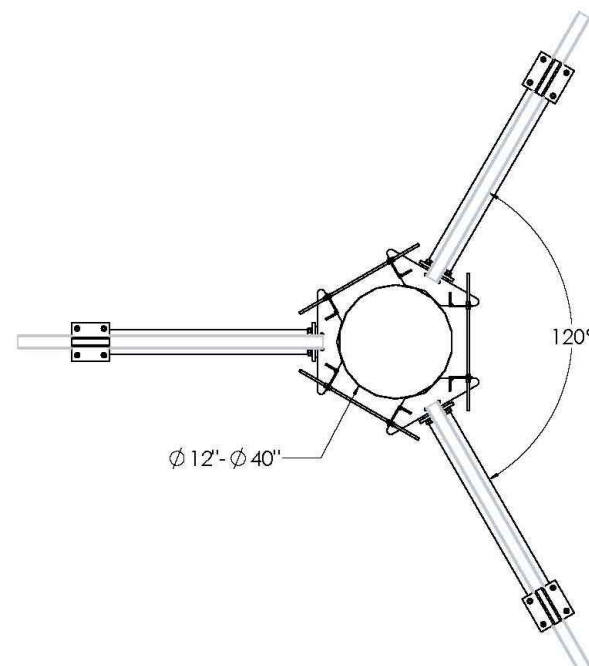
PKBK-ENG-01-R1
MONOPOLE KICKER BRACE KIT

Table 1: Monopole Kicker Brace Kit

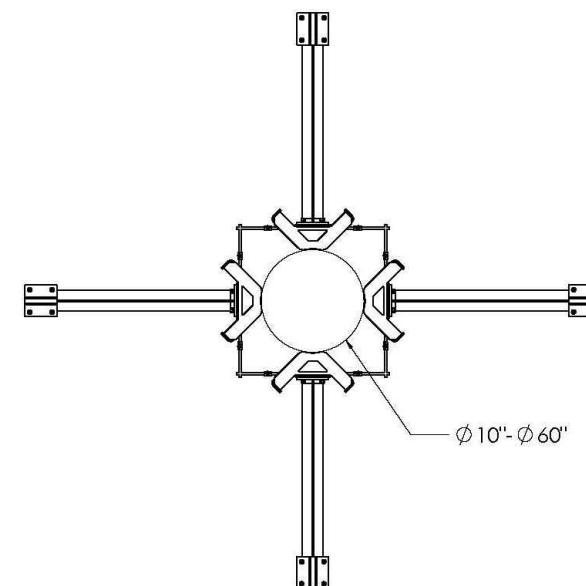
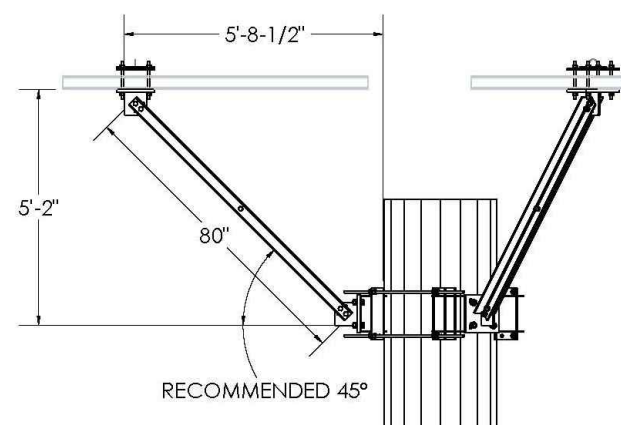
| Part Number | Description | Weight (lbs) | Included Parts | | | | |
|-------------|--|--------------|----------------|-----------|-------------|---------|-----------|
| | | | PV-RM1240-LP | PV-RM3060 | PV-RM1060-4 | PV-PKKB | PV-PKKB-4 |
| PV-PKKB-M | Brace Kit fits round Pipe OD up to 12"-40", 3 Sector | 510 | 1 | - | - | 1 | - |
| PV-PKKB-ML | Brace Kit fits round Pipe OD up to 30"-60", 3 Sector | 695 | - | 1 | - | 1 | - |
| PV-PKKB-4-M | Brace Kit fits round Pipe OD up to 10"-60", 4 Sector | 903 | - | - | 1 | - | 1 |




ARM ATTACHMENT
CLAMPS TO RECT HSS UP TO 5"X5" & ROUND PIPE UP TO 4-1/2" OD



PV-PKBK-M
3-SECTOR KICKER BRACE



PV-PKBK-4-M
4-SECTOR KICKER BRACE

| | | | | | | | | | |
|--|--|---|--|--|-----------------|---|------|--|--|
| SHEET 1 OF 1 | | <div>THIRD ANGLE PROJECTION</div>  | | CATEGORY 02_Monopole | | 4 | | <div>PERFECT VISION</div> <div>MANUFACTURING</div> <div>MONOPOLE KICKER BRACE KIT</div> <div>DOCUMENT NUMBER</div> <div>PKBK-ENG-01-R1</div> <div>REV</div> <div>1</div> | |
| | | SERIES 04_Platform Reinforcement | | 3 | | | | | |
| 5/17/2018 | | SCALE 1:48 | | TYPE PV-PKBK_Monopole Platform Kicker | | 2 | | | |
| DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE±1/4°, BEND±2° ALL OTHERS: ±1/16" | | BY INT | | 1 | 5/15/18 | | | | |
| | | CHECKED DJN | | 0 | INITIAL RELEASE | | | | |
| | | STATUS APPROVED | | REV | DESCRIPTION | | DATE | | |

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CHECKED BY: AB

APPROVED BY: RA

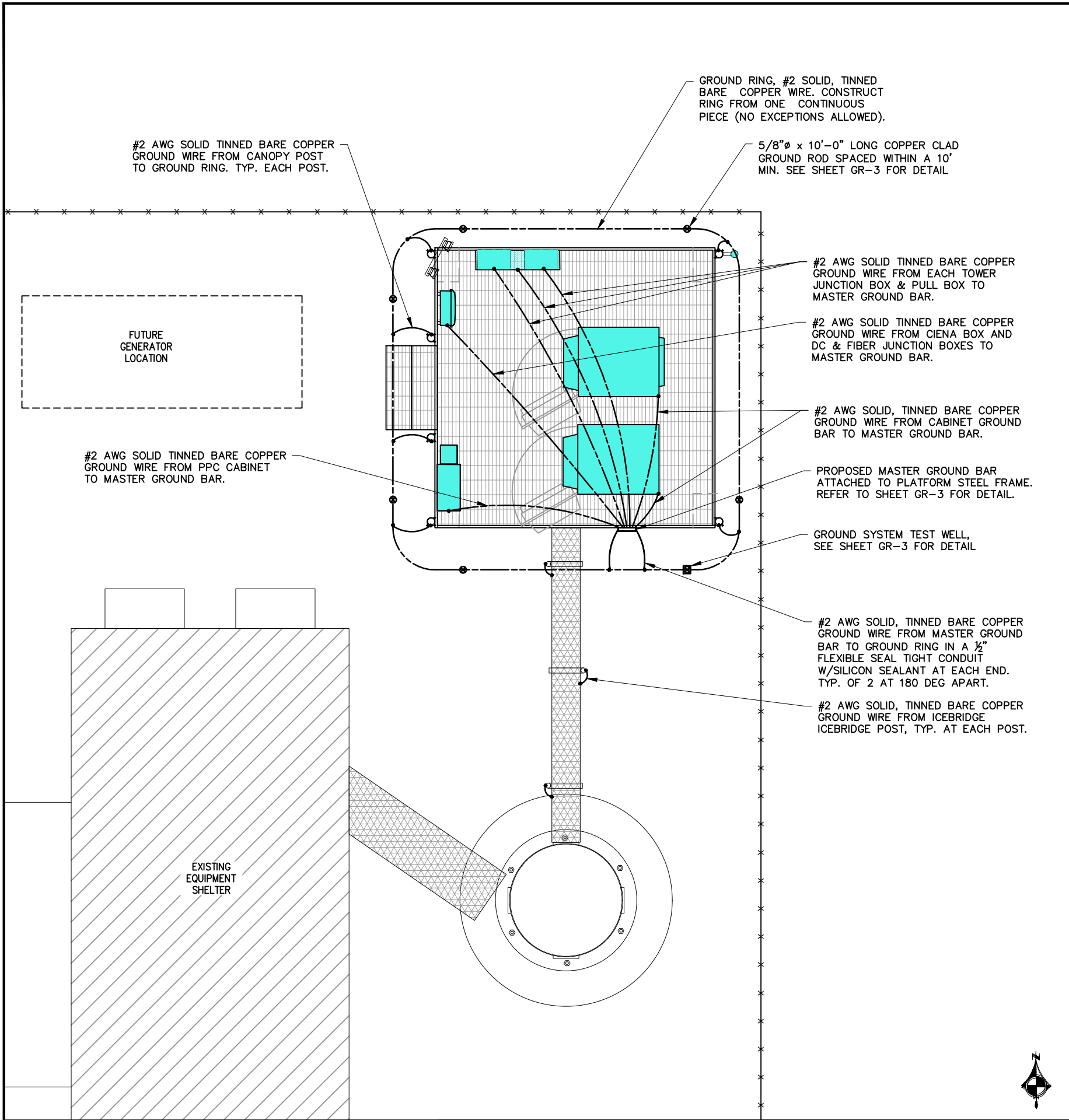
SHEET TITLE

SHEET TITLE
ANTENNA PLATFORM
KICKER BRACE
MFR. SPECS.

SHEET NUMBER

SP-8

1 ANTENNA PLATFORM KICKER BRACE MFR. SPECS.
SCALE: N.T.S



1 GROUNDING PLAN
SCALE: 1/8" = 1'-0"

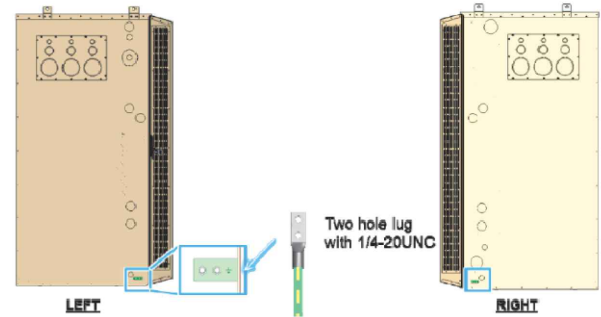
GROUNDING NOTES:

1. GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
2. GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE #2 AWG SOLID, TINNED BARE COPPER WIRE.
4. ALL BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELDS.
5. UNLESS PROVIDED W/ A FACTORY APPLIED LEAD, ALL CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYGROUND COMPRESSION LUGS OR EQUAL.
6. STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
8. ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
9. ALL MECHANICAL CONNECTIONS SHALL HAVE NOAX OR APPROVED EQUAL APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.

GROUNDING ELECTRODE SYSTEM

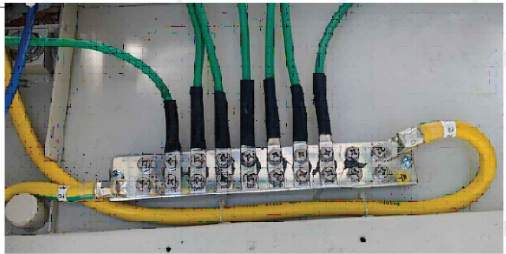
1. CONNECTIONS
ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE "CADWELD" PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEC. ALL CABLE TO GROUND RODS, GROUND OEDS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL CADWELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTIOXIDANT COMPOUND APPLIED TO CONNECTION.
4. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY T-MOBILE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.

Ground connections are to both external ground lug on the of the left and right sides of the cabinet.



A ground conductor of 2AWG minimum cross section terminated with a double lug shall be used..

Double Lug Grounds are mandatory on AMIA's & Booster connections in cab or equipment rack. Single Lug Connections allowed for all other andillary equipment in cab or equipment rack.



2 GROUNDING NOTES
SCALE: N.T.S.

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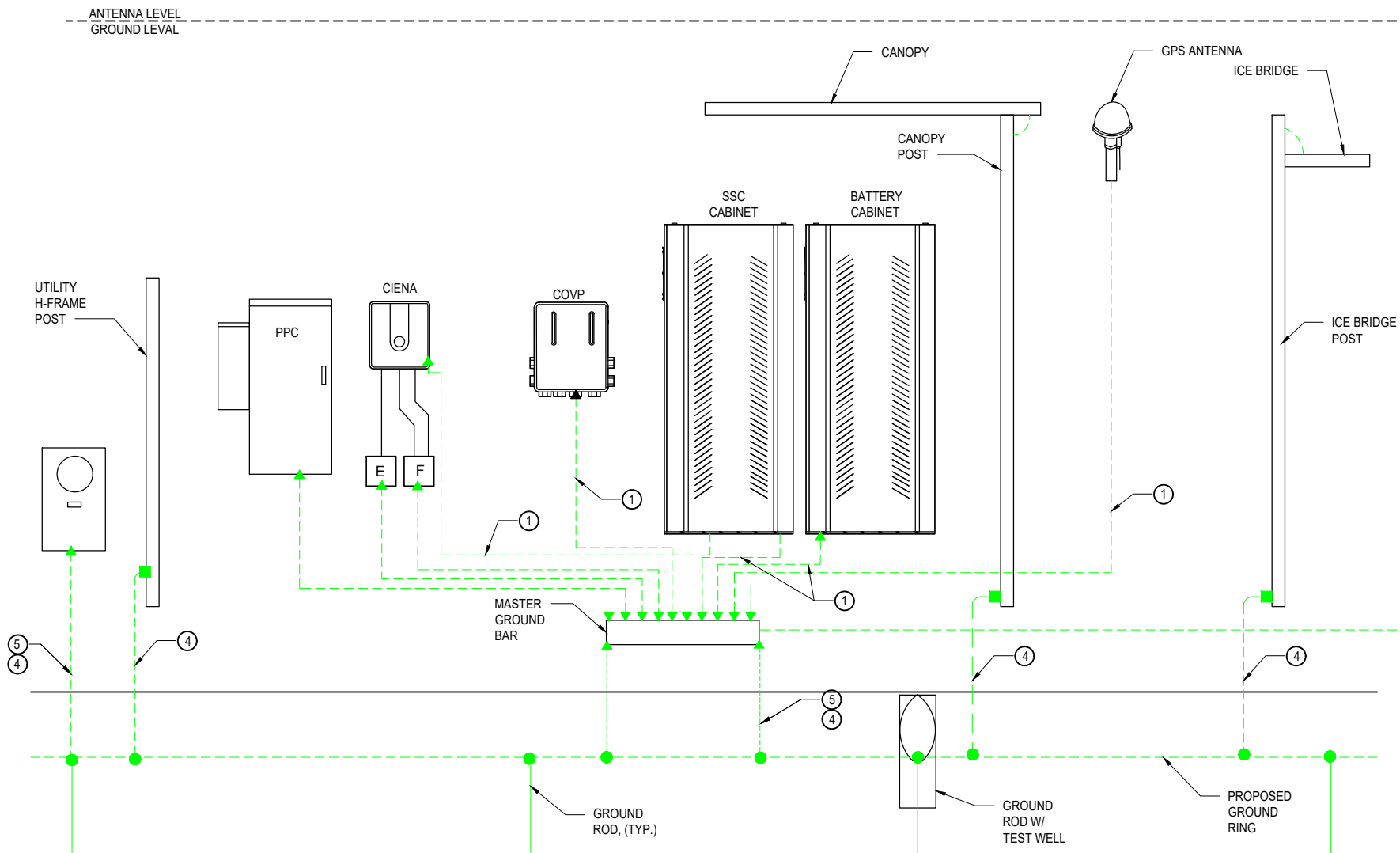
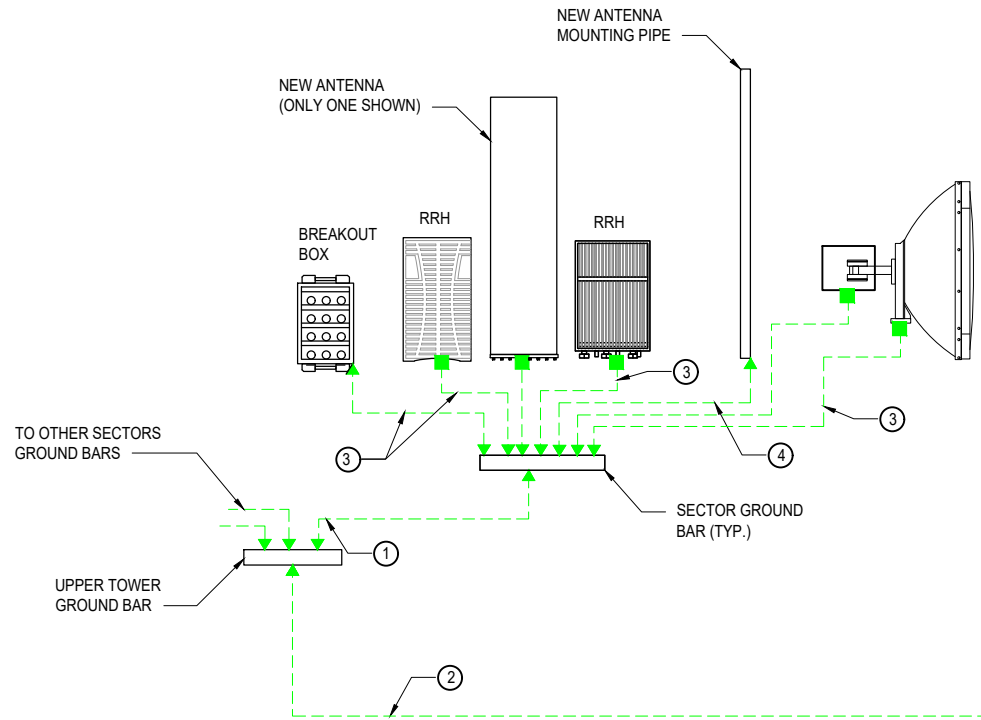
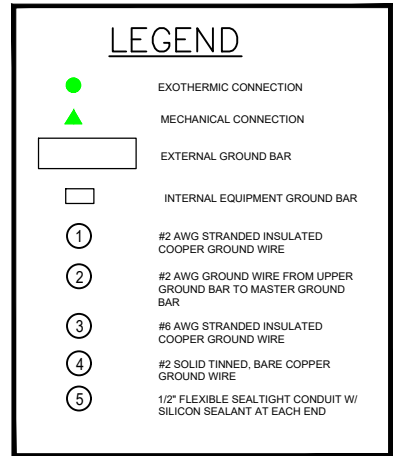
APPROVED BY: RA

SHEET TITLE

GROUNDING PLAN

SHEET NUMBER

GR-1



① TYPICAL GROUNDING RISER DIAGRAM
SCALE: N.T.S

GENERAL NOTES:

- PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB.
- IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE NOTE, SPECIFICATION OR CODE SHALL PREVAIL.
- ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS & AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT LIMITED TO, ALL LABOR MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUITS, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS OR AS REQUIRED BY CODE.
- ALL WORK SHALL COMPLY WITH THE N.E.C. (NATIONAL ELECTRICAL CODE) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS & LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO ORIGINAL OR BETTER CONDITION.
- UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, & FALL OF POTENTIAL GROUND TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO P. M. CLEAN SITE OF ALL DEBRIS RESULTING FROM WORK AND LEAVE IN A COMPLETE AND UNDAMAGED CONDITION.
- LL BROCHURES, MANUALS, CATALOGS, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.

SERVICE EQUIPMENT NOTES:

- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL.
- ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 90 M.P.H. WIND SPEED, EXPOSURE C.
- ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT UV STABLE, WEATHER PROOF, ENGRAVED PLASTIC LABELS.
- REPAIR ANY EQUIPMENT PAINT SURFACE THAT HAS BEEN DAMAGED IN THE COURSE OF INSTALLATION.

GROUNDING NOTES:

- GROUND RODS SHALL BE INSTALLED NOT MORE THAN 10 FOOT APART.
- GROUND RODS SHALL BE INSTALLED 42" MIN. BELOW GRADE.
- ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE # 2 AWG SOLID, TINNED BARE COPPER WIRE.
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Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.

TAX KEY NO: SUXV0231989007

| REV. | SUBMITTAL | APPROVED | DATE |
|------|---------------|----------|----------|
| | Lease Exhibit | AE | 05/23/22 |
| A | PRELIM CD | AE | 07/06/22 |
| B | PRELIM CD | AE | 08/09/22 |
| 0 | FINAL CD | AE | 08/22/22 |
| 1 | REVISED CD | AE | 11/09/22 |
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EXP: 07/31/2024

DATE SIGNED: NOVEMBER 09, 2022

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BELIEF COMPLY WITH REQUIREMENTS OF THE
GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

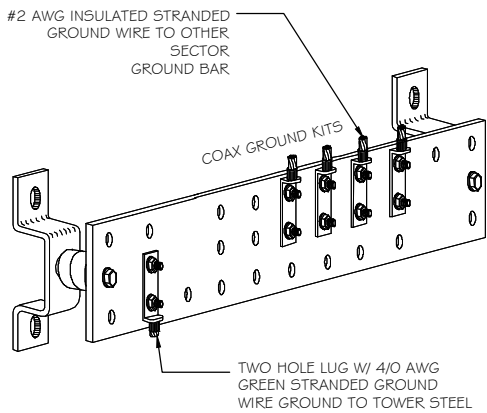
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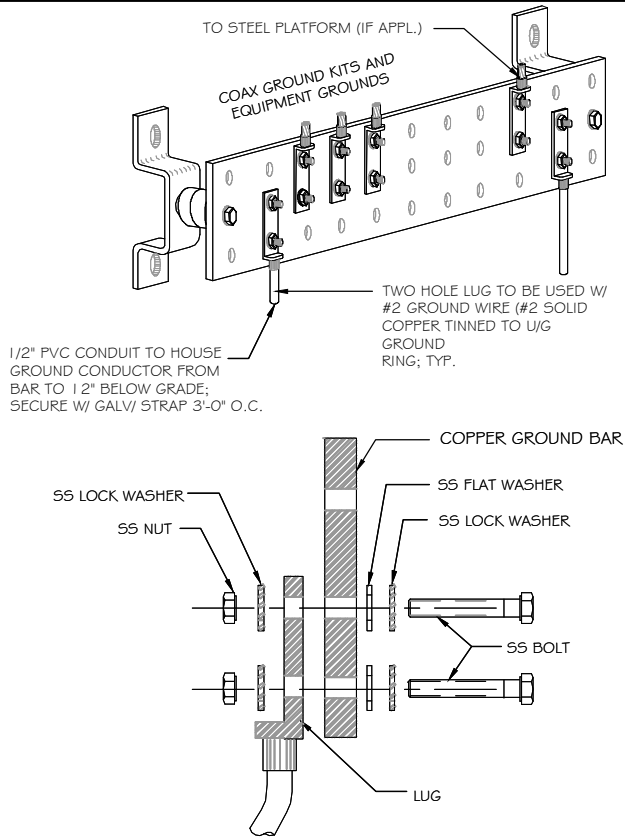
GROUNDING RISER
AND NOTES

SHEET NUMBER

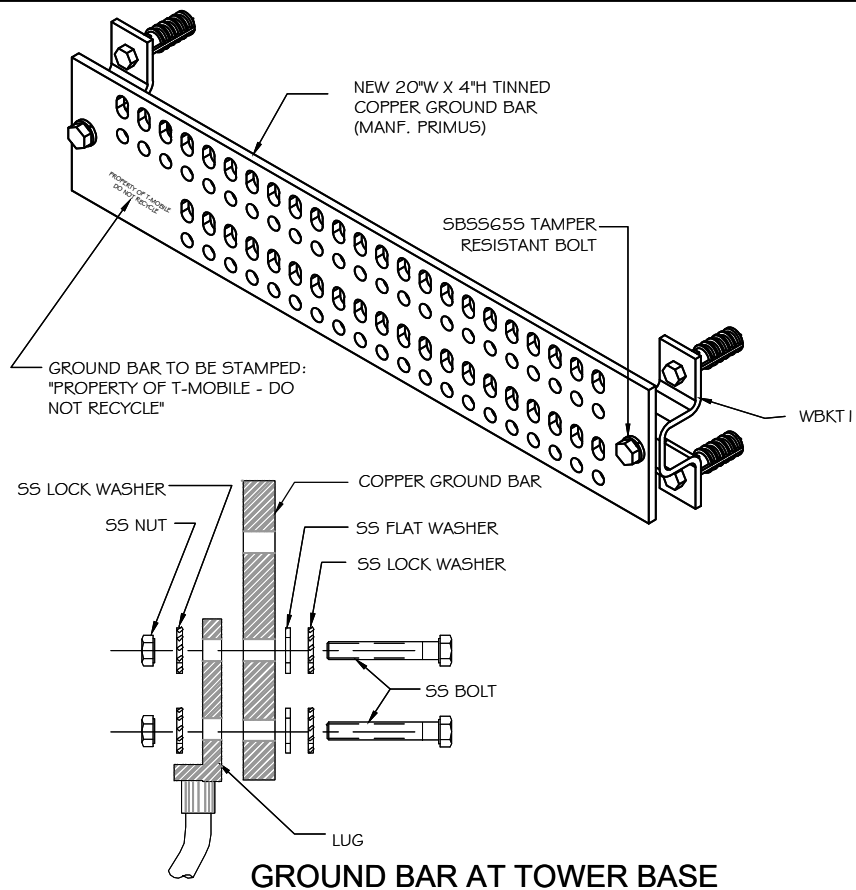
GR-2



GROUND COLLECTOR BAR



MASTER GROUND BAR

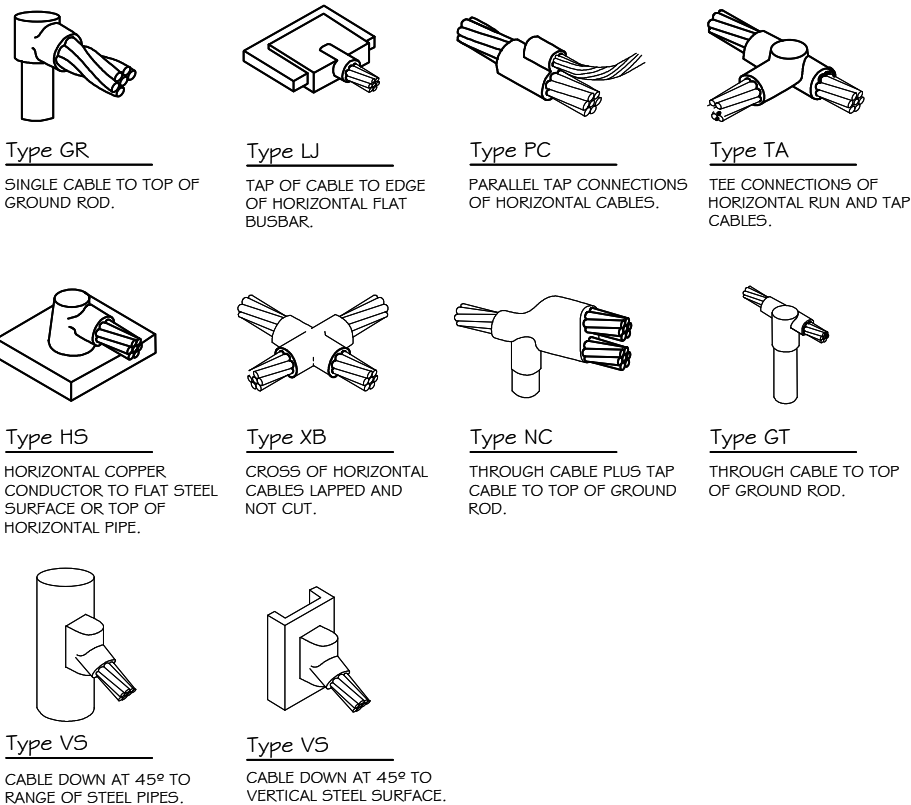


GROUND BAR AT TOWER BASE

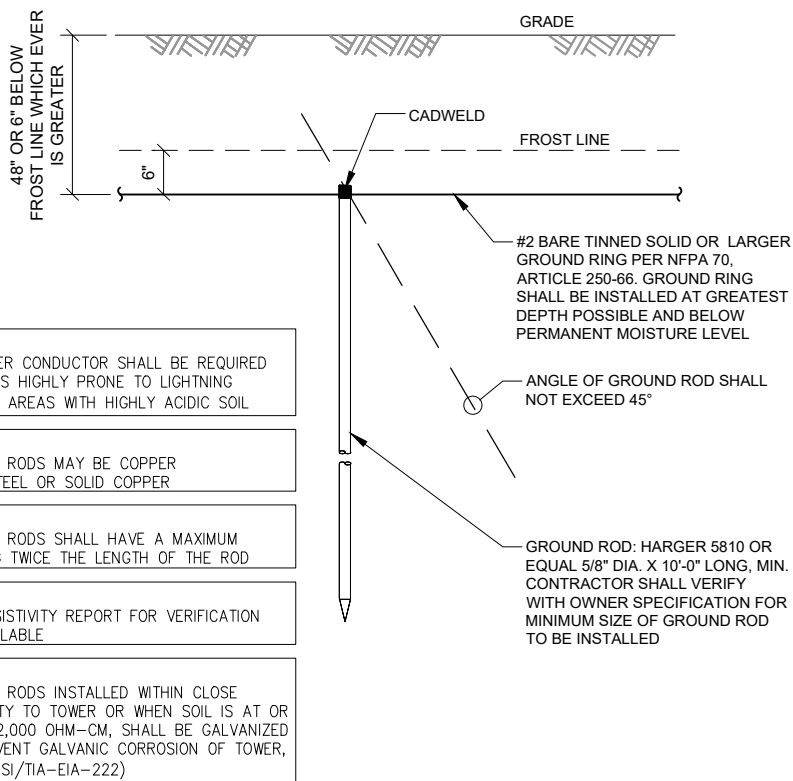
NOTES:

1. TINNED COPPER GROUND BAR, 1/4" X 4" X 20" NEWTON INSTRUMENTS CO. CAT. NO. B-6142 OR APPROVED EQUAL; HOLE CENTERS TO MATCH NEMS DOUBLE LUG CONFIGURATION
2. INSULATORS TO BE NEWTON CAT. NO. 3015-8 OR APPROVED EQUAL
3. 5/8" LOCK WASHERS; NEWTON CAT. NO. A-6056 OR APPROVED EQUAL
4. 5/8" - 11 X 1" M.M.C.S. BOLTS; NEWTON CAT. NO. 3012-1 OR APPROVED EQUAL
5. COAT ALL SURFACES WITH 'KOPER SHIELD' BEFORE MATING
6. ALL HARDWARE TO BE STAINLESS STEEL UNLESS OTHERWISE NOTED
7. NUTS TO FACE OUT

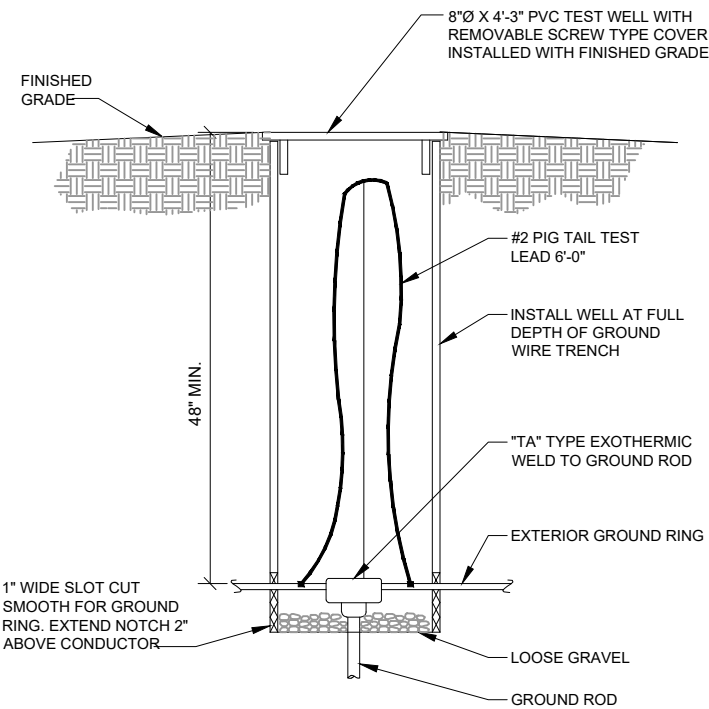
1 GROUND BAR DETAILS
SCALE: NTS



2 EXOTHERMIC WELD SCHEDULE
SCALE: NTS



3 GROUND ROD DETAIL
SCALE: NTS



4 TEST WELL DETAIL
SCALE: NTS

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PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GROUNDING TYPICAL
DETAILS

SHEET NUMBER

GR-3

PART 1 GENERAL

1.00 GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.

ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS. THE CONTRACTOR SHALL PROVIDE THE MATERIALS APPROVED BY THE FIRE MARSHALL FOR FILLING OR SEALING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM THE START OF THE PROJECT TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO ASSESS CONDITIONS THAT MAY ADVERSELY AFFECT THE WORK OR THE COST OF THE WORK. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION OF NEW PORTION OF THE WORK AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE A&E.

NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE A & E. ANY REFERENCE TO THE WORDS APPROVED OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES/SPECIFICATIONS:

- LATEST LOCAL JURISDICTIONAL BUILDING CODES.
- ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS
- AMERICAN CONCRETE INSTITUTE (ACI)
- AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
- ANSI/TIA – 222 – G
- UNIFORM BUILDING CODE (UBC)
- NATIONAL ELECTRICAL CODE (NEC) WITH ALL AMENDMENTS
- AMERICAN INSTITUTE FOR STEEL CONSTRUCTION OR SPECIFICATIONS (AISC)
- UFE SAFETY CODE NIFFA – 101
- FEDERAL AVIATION REGULATIONS

1.01 CARRIER REPRESENTATIVE

A. THE SITE DEVELOPMENT MANAGER (SDM) OR HIS DESIGNEE (INCLUDING BUT NOT LIMITED TO THE ARCHITECT/ ENGINEER, OR CONSTRUCTION MANAGER) SHALL SERVE AS THE SINGLE POINT OF CONTACT

B. BETWEEN THE CONTRACTOR AND OWNER, NOT WITHSTANDING THE REQUIREMENTS SPECIFIED HEREIN, THE SDM OR DESIGNATED REPRESENTATIVE IS EMPOWERED TO DIRECT THE CONTRACTOR TO VARY OR CHANGE FROM THE PLANS AND SPECIFICATIONS AS CIRCUMSTANCES OR CONDITIONS ARISE.

C. CONTRACTOR SHALL VARIFY ALL CHANGES ARE ACCEPTED BY THE ENGINEER OF RECORD.

1.02 INTENT

A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND COMPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.

B. THESE SPECIFICATIONS AND DESIGN DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS TO BE FURNISHED FOR THE CONSTRUCTION OF THE PROJECT.

C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS.D. THE PURPOSE OF THE SPECIFICATIONS IS

TO SUPPLEMENT THE INTENT OF THE DRAWINGS AND TO DESIGNATE A PROCEDURE, TYPE, OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. HOWEVER, NO CHANGES THAT ALTER THE CHARACTER INTENT OF THE DESIGN WILL BE MADE OR PERMITTED WITHOUT A CHANGE ORDER FROM THE OWNER.

1.03 CONFLICTS

A. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSION AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE SDM OR DESIGNATED REPRESENTATIVES FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH WORK IN THE AFFECTED AREAS.

B. THE CONTRACTOR SHALL NOTIFY A & E OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS AND NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AFTER THE START OF CONSTRUCTION THAT HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE A & E AND SHALL INCUR ANY7 EXPENSES REQUIRED TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE A & E.

C. THE CONTRACTOR, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING WHICH THE CONTRACTOR MIGHT NOT HAVE FULLY INFORMED HIMSELF PRIOR TO BIDDING.

D. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED WILL BE ACCEPTED AS A REASON FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL THE REQUIREMENTS OF THE CONTACT DOCUMENTS.

1.04 BIDDING PROCESS --- INSTRUCTIONS TO BIDDERS

A. CARRIER REQUESTS A FIRM LUMP SUM BID FOR ALL WORK DESCRIBED IN THE CONTRACT, AS INDICATED IN THESE CONSTRUCTION DRAWINGS/SPECIFICATIONS, APPARENT WITH FIELD VISIT, AND ACCORDING TO ANY OTHER AGREEMENTS AND DIRECTION.

B. BIDDER WILL GUARANTEE BIDS FOR 60 DAYS FROM BID DUE DATE. BIDS SHALL INCLUDE ALL APPLICABLE STATE AND FEDERAL TAXES.

C. PROPOSAL: (AS OUTLINED IN BID DOCUMENTS) IT IS UNDERSTOOD BY OWNER, THAT THE BIDDER IN SUBMITTING HIS BID, WARRANTS THAT HE HAS CAREFULLY EXAMINED THE SITE OF THE PROJECT TO ACQUAINT HIMSELF WITH:

1. SURROUNDING PROPERTIES.
2. MEANS OF APPROACH TO THE SITE.
3. CONDITIONS OF THE ACTUAL JOB SITE.
4. FACILITIES FOR DELIVERING, STORING, PLACING, HANDLING AND REMOVAL OF MATERIALS AND EQUIPMENT.
5. ANY AND ALL DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE EXECUTION OF ALL WORK IN ACCORD WITH THE CONTRACT DOCUMENTS.

1.05 CONTRACTS AND WARRANTIES

A. ABBREVIATED FORM OF AGREEMENT BETWEEN CARRIER REPRESENTATIVE AND CONTRACTOR MAY BE USED AND WILL BE EMPLOYED FOR CONTRACT PURPOSES.

B. UNLESS ARRANGED OTHERWISE, EACH CONTRACTOR IS RESPONSIBLE FOR FILING THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR OF RECORD, AND PROVIDE JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION.

C. A COPY OF THE APPROVED DRAWINGS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED DRAWINGS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF DRAWINGS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT DRAWINGS TO THE A & E AT THE CONCLUSION OF THE PROJECT, OR TO TMO, AS DIRECTED.

D. THE CONTRACTOR SHALL BE REIMBURSED, AT FACE VALUE, FOR THE AMOUNT OF ANY FEE PAID AS FOLLOWS:

1. PLAN REVIEW FEE.
 2. BUILDING PERMIT FEE.
 3. CONNECTIONS AND INSPECTION FEES.
- EACH CONTRACTOR IS RESPONSIBLE FOR APPLICATION &

1.06 STORAGE

A. DO NOT USE THE CARRIER EQUIPMENT SPACE FOR STORAGE OF TOOLS OR MATERIALS WITHOUT WRITTEN SDM APPROVAL.

B. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER THAT WILL NOT OBSTRUCT THE FLOW OF OTHER WORK. ANY EQUIPMENT OR MATERIAL STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE MANUFACTURER.

C. WHEN STORING MATERIALS ENSURE EVEN DISTRIBUTION OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OF SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.

1.07 PROTECTION

A. PROTECT FINISHED SURFACES, INCLUDING JAMBS AND WALLS USED AS PASSAGEWAYS THROUGH WHICH EQUIPMENT AND MATERIALS WILL PASS.

B. PROVIDE PROTECTION FOR EQUIPMENT ROOM SURFACES PRIOR TO ALLOWING EQUIPMENT OR MATERIAL TO BE MOVED OVER SUCH SURFACES.

C. MAINTAIN FINISHED SURFACES CLEAN, UNMARRED AND SUITABLY PROTECTED UNTIL JOB SITE IS ACCEPTED BY THE SDM.

D. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.

1.08 REPAIRS AND REPLACEMENTS

A. IN EVENT OF DAMAGES, THE CONTRACTOR SHALL NOTIFY OWNER SDM, THEN PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO OWNER.

B. ADDITIONAL TIME THAT IS REQUIRED TO SECURE REPLACEMENTS AND TO MAKE REPAIRS WILL NOT BE CONSIDERED BY OWNER TO JUSTIFY EXTENSION IN THE CONTRACT TIME FOR COMPLETION.

1.09 TEMPORARY FACILITIES

A. WATER: WATER IS NOT AVAILABLE TO THE CONTRACTORS ON SITE.

B. LIGHT, TELEPHONE AND POWER: LIGHT AND POWER ARE AVAILABLE ON SITE. IF NOT, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER (FOR THE OPERATION OF TOOLS, EQUIPMENT AND LIGHTING NECESSARY FOR FACILITY CONSTRUCTION), WATER AND TOILET FACILITIES. TELEPHONE: EACH CONTRACTOR TO PROVIDE HIS OWN TELEPHONE ACCESS IF REQUIRED. CONTRACTORS ARE NOT TO USE OWNER PHONES.

C. IF PERMANENT POWER IS COMPLETED, ALL CONTRACTORS MAY USE THE SERVICE CONNECTION FOR PRODUCTION WORK ONLY, PROVIDED THAT ELECTRICAL CORDS AND CONNECTIONS ARE FINISHED BY CONTRACTORS AND ARE DISCONNECTED AND PROPERLY STORED DURING NON-WORKING HOURS.

1.10 CLEAN UP

A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK, AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING, INCLUDING ALL TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK AREA CLEAN AND READY FOR USE EACH DAY.

B. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, DUST, SMUDGES, AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIAL, SMUDGES AND OTHER FOREIGN MATTER.

1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
2. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

D. CONTRACTOR SHALL WASH AND WAX FLOOR PRIOR TO FINAL ACCEPTANCE FROM SDM. WAX SHALL BE THE ANTI-STATIC TYPE.

PAYMENT OF CONTRACTOR LICENSES & BONDS.1.11CHANGE ORDER PROCEDURE

A. CHANGE ORDER MAY BE INITIATED BY THE SDM, AND OR THE CONTRACTOR. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE SDM, SHALL PREPARE WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT IT TO THE SDM FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPES OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE SDM SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR

1.12 RELATED DOCUMENTS AND COORDINATION

A. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK EACH CONTRACTOR JUST REFERS ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

B. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES, AND FOR SUPERVISING, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.

1.13 SHOP DRAWINGS

A. CONTRACTOR TO SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS AND THROUGH THE GENERAL CONTRACT TO THE SDM FOR APPROVAL.

B. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD UNLESS SPECIFICALLY NOTED OTHERWISE; CONTRACTOR SHALL NOT FABRICATE STEEL UNTIL DRAWINGS HAVE BEEN ACCEPTED IN WRITING

C. ALL SHOP DRAWINGS TO BE REVISED, CHECKED AND CORRECTED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE SDM

1.14 PRODUCTS AND SUBSTITUTIONS

A. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBMISSION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED INPSECTIONS AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

B. ALL NECESSARY PRODUCT DATA AND CUT SHEETS SHOULD PROPERLY INDICATES AND DESCRIBE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE SDM, SUBMIT ACTUAL SAMPLES TO THE SDM FOR APPROVAL IN LIEU OF CUT SHEETS.

1.15 COMPLIACE

A. ALL MATERIALS, DESIGN AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES (SOME ARE LISTED HEREIN) ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. UPON THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE CARRIER WITH THE CERTIFICATES OF OCCUPANCY (IF REQUIRED), JOB SITE PERMITTED PLANS AND INSPECTION CARD WITH ALL FINAL INSPECTION SIGNATURES AND OTHER LEGAL DOCUMENTS TO VERIFY SUCH COMPLIANCES. WHERE NO CODES EXIST, THE WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE AND/OR THE SPECIFICATIONS HEREIN, WHICHEVER IS MORE STRINGENT AND A DOCUMENT STATEMENT SHALL BE FURNISHED TO THIS EFFECT.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH THE GOVERNING CODES AND TO NOTIFY THE SDM OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.

C. REFERENCES TO ANY STANDARD OR CODE OF PRACTICES IN THIS SPECIFICATION SHALL BE DEEMED TO MEAN THE EDITION CURRENT AT THE TIME OF AWARD OF THE CONTRACT.

D. THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN IN THESE DRAWINGS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT TO MOBILITY, SIGHT OR HEARING, THEREFORE, PER THE APPLICABLE CODES; THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

E. THE CONTRACTOR SHALL COMPLY WITH ALL ZONING AND SITE ACQUISITION SPECIAL STIPULATIONS AS OUTLINED IN THE JOB SPECIFICATIONS, OR AS DIRECTED BY THE SDM.

1. ANSI/EIA – 222 – E
2. UNIFORM BUILDING CODE (UBC)
3. BUILDING OFFICIALS & CODE ADMINISTRATION (BOCA)
4. NATIONAL ELECTRICAL CODE (NEC) WITH ALL AMENDMENTS
5. AMERICAN INSTITUTE FOR STEEL CONSTRUCTION OR SPECIFICATIONS (AISC)
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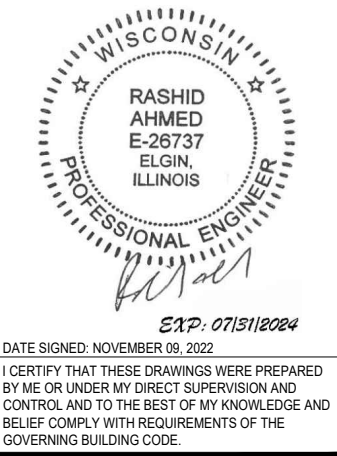
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CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE
GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER

GN-1

1.16 ADMINISTRATION

A. THE CONTRACTOR SHALL FURNISH TO THE SDM WITH THE NAME AND CONTACT TELEPHONE NUMBERS OF THE CARRIER APPROVED ON-SITE SUPERVISOR. ANY CHANGES IN SUPERVISION MUST BE REPORTED TO THE SDM IMMEDIATELY AND ARE SUBJECT TO CARRIER APPROVAL.

1.17 PERMIT AND LICENSES

A. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, STATE, AND/OR COUNTY CONSTRUCTION PERMITS AND LICENSES. COPIES OF ALL PERMITS SHALL BE SENT TO SDM. APPROVALS FROM RELEVANT PLANNING BOARD, ENVIRONMENTAL BOARDS, AND/OR OTHER COMMITTEE WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE APPLICATION FOR CONSTRUCTION PREMISES.

B. FAA APPROVAL WILL BE SUPPLIED BY OTHERS BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE SDM PRIOR TO THE ERECTING OF TOWER (IF APPLICABLE).

C. FOR CONSTRUCTION SCHEDULING REFER TO THE INSTRUCTIONS PROVIDED BY THE SDM ITEMS TO BE INCLUDED (WHEN APPLICABLE):

1. CLEARING AND GRUBBING
2. BUILDING PERMIT
3. SHELTER DELIVERY AND PLACEMENT
4. BUILDING FOUNDATION EXCAVATION
5. ACCESS ROAD
6. COMMERCIAL AC POWER
7. BUILDING FOUNDATION FORMING
8. INSPECTIONS
9. LANDSCAPING
10. GROUNDING SYSTEM
11. ANTENNA INSTALLATION

D. PRIOR TO COMMENCING THE WORK THE GENERAL CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES TO THE PROCESS. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE DESIGNATED REPRESENTATIVES OF EACH SUB-CONTRACTOR

E. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY & VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR QUESTIONS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION & INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED & CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO THE SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSES. CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE UNDERGROUND UTILITIES LOCATED & MARKED.

F. THE CONTRACTOR SHALL BE EQUIPPED WITH A MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A CELLULAR PHONE, AND BE AVAILABLE IN A REASONABLE AMOUNT OF TIME DURING CONSTRUCTION.

G. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY INCLUDING BUT NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE SITE CONSTRUCTION PERIOD. HE SHALL TAKE ALL REASONABLE PRECAUTIONS TO PLACE AND MAINTAIN BARRICADES, LAMPS, SIGN, AND ALL OTHER REQUIRED SAFETY MEANS.

CONSTRUCTION NOTES

1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
2. ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECTS KNOWLEDGE AS GATHER BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
3. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL., STATE, AND FEDERAL CODES.
4. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, UTILITIES, WALKWAYS, PAVEMENT AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE.; ALL NEW UNDERGROUND TRENCHING WITHIN WATER TANK SITES OR ADJACENT TO EXISTING UNDERGROUND UTILITIES SHALL BE HAND DUG.
5. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUITS, AND ALL OTHER UTILITIES EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UNDERGROUND SERVICES OR SYSTEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

6. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL PUBLIC UTILITIES SERVICES SUCH AS GAS, TELEPHONE, ELECTRIC, CABLE, AND WATER.

7. DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.

8. EROSION CONTROL MEASURES SUCH AS SILT FENCING AND/OR HAYBALES SHALL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM CONTAMINATING ADJACENT PROPERTIES, ROADS, AND AREAS.

9. COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING (WITH THE EXCEPTION OF THE TOWER) SHALL BE DONE WITH DRAWNGS LABELED "ISSUED FOR CONSTRUCTION

10. NO DUMPING SOILS ON SITE OR LEASE AREA, MUST BE HAULED OFF SITE.

11. ACCESS TO OTHER CUSTOMERS ON SITE CAN NOT BE BLOCKED AT ANYTIME .

12. ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.

13. PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.

14. ANY ACCIDENTS ON SITE MUST BE REPORTED TO CONTRACT OWNER WITHIN 2 HOURS OF EVENT.

15. GC'S ARE NOT TO CONTACT LANDOWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGER AND TOWER OWNER.

16. PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. THE PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THIS SITE PLAN.

GENERAL GRADING NOTES: (WHEN APPLICABLE)

1. CONTOURS AND SPOT ELEVATIONS SHOWN ARE ONLY CONTROLS AND THE PROFILES THEY FORM SHALL BE SMOOTH AND CONTINUOUS.
2. THE CONTRACTOR SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
3. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
4. DURING GRADING OPERATIONS AND PRIOR TO COMPLETION OF CONSTRUCTION, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND IMPROPER DRAINAGE.5. PRIOR TO THE START OF GRADING ALL EXISTING VEGETATION AND DEBRIS, INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE.
6. THE EXPOSED SOILS SHALL THEN BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES, BROUGHT TO PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY THE CURRENT UNIFORM BUILDING CODE.
7. FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEP FOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
8. THE MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1.

9. CONTRACTOR SHALL MAKE SURE ALL SURVEY STAKING IS PRESERVED AND PROTECTED BY MEANS OF OFFSETS OR WORKING AROUND STAKES. CONTRACTOR SHALL BE RESPONSIBLE FOR REESTABLISHING STAKES IF THEY ARE DISTURBED BY HIRING THE ORIGINAL SURVEYOR10. TOP SOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGATATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIIVE ELEMENTS.

10. TEMPORARY SILT FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS AS SHOWN ON THESE DRAWINGS OR REQUIRED BY LOCAL CODES.

11. MINIMUM BUILDING PAD DRAINAGE SHALL BE 2%. DRAINAGE SHALL BE A MINIMUM OF 0.3' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES. THE MINIMUM SLOPE OF SWALES SHALL BE 0.50%.

12. IF ANY UNFORESEEN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING FURTHER.

13. ALL DEPRESSIONS WHERE WATER MAY POND WILL BE FILLED IN MADE EQUAL TO ADJACENT GRADES, CREATING A LARGER DRAINAGE SCHEME FOR THE SITE.

UTILITY SERVICE NOTES:

A. ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY; VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS WITH OWNER; PLACEMENT AND ROUTING OF ALL COMPONENTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

B. SERVICE EQUIPMENT SHALL HAVE A FAULT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. INSTALLATION SHALL BE FREE FROM ALL FAULTS AND GROUNDS.

C. ALL ELECTRICAL EQUIPMENT, CONDUITS, AND SUPPORT SHALL BE ABLE TO WITHSTAND 90 M.P.H. WIND SPEED; EXPOSURE C.

D. ALL ELECTRICAL EQUIPMENT SHALL HAVE A PERMANENTLY AFFIXED NEOPRENE PLASTIC LABEL - BLACK ON WHITE; LETTER HEIGHT SHALL BE ¼"; ALL NAMEPLATES TO BE FASTENED WITH (2) STAINLESS STEEL SCREWS, NOT ADHESIVE.

E. ALL WRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600V, COLOR CODED, #12 AWG MINIMUM UNLESS NOTED OTHERWISE.

CONDUIT NOTES:

F. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS, OR EXPOSED ON BUILDING EXTERIOR.

G. ELECTRICAL METALLIC TUBING SHALL BE U.L. LABEL; FITTING SHALL BE GLAND RING COMPRESSION TYPE.

H. CORING THROUGH FLOORS AND WALLS SHALL NOT BE DONE WITHOUT FINAL APPROVAL OF BUILDING OWNER OR OWNER REPRESENTATIVE.

I. CORING SHALL NOT BE PERFORMED DURING WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER.

J. CONCRETE CORING OR DRILLING SHALL BE PERFORMED FOLLOWING THE REVISED & UPDATED OSHA 29 CFR 1926.1153 COMPLIANCE FOR HAZARDOUS DUST, SILICA DUST, USING HEPA VDCS DRILLING TECHNIQUES.

GENERAL NOTES:

J. SUBMITTAL OF BID INDICATES CONTRACTOR IS FAMILIAR WITH ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED AS DETAILED AND OUTLINED IN THESE DRAWINGS

K. THE ELECTRICAL PORTION OF THESE DRAWINGS IS ONLY A PART OF THE OVERALL DESIGN. IT IS NECESSARY FOR THE ELECTRICIAN TO CONSIDER ALL ASPECTS OF THIS PROJECT WHEN BIDDING AND PLANNING THE WORK

L. IN THE EVENT OF A CONFLICTING DESIGN OR NOTATION, THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OR RESTRICTIVE METHOD UNTIL A CLARIFICATION IS MADE

M. ALL THINGS, WHICH IN THE OPINION OF THE CONTRACTOR ARE DEFICIENCIES, OMISSIONS, CONTRADICTIONS, OR AMBIGUITIES, IN THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE WORK PROCEEDS; ALL CLARIFICATIONS MUST BE RECEIVED IN WRITING IN ORDER FOE THE MATTER TO BE CONSIDERED RESOLVED

N. ELECTRICAL WORK SHALL INCLUDE BUT NOT LIMITED TO ALL MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL SYSTEMS INCLUDING LIGHTING, LOW VOLTAGE SYSTEMS, PANELS, POWER AND TELEPHONE DATA SERVICE, CONTROL WIRING, AND GROUNDING.

T-Mobile

1400 OPUS PLACE
Downers Grove, IL 60515

THIS DOCUMENT AND INFORMATION HEREIN IS THE PROPERTY OF T-MOBILE. THE DOCUMENT AND INFORMATION SHALL NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF T-MOBILE

WESTIN

Engineering Consultants, Ltd.
Professional/Structural Design Firm
License # 184.007975-0006

CONTACT: A&E@WESTINENGINEERING.COM

SITE NUMBER

ML89143A

SITE NAME

USCC - 784760

SITE ADDRESS

FREIHEIT CT.
TAX KEY NO: SUXV0231989007

| REV. | SUBMITTAL | APPROVED | DATE |
|------|---------------|----------|----------|
| | Lease Exhibit | AE | 05/23/22 |
| A | PRELIM CD | AE | 07/06/22 |
| B | PRELIM CD | AE | 08/09/22 |
| 0 | FINAL CD | AE | 08/22/22 |
| 1 | REVISED CD | AE | 11/09/22 |
| | | | |
| | | | |
| | | | |



EXP: 07/31/2024

DATE SIGNED: NOVEMBER 09, 2022

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH REQUIREMENTS OF THE GOVERNING BUILDING CODE.

PREPARED BY: AE

CHECKED BY: AB

APPROVED BY: RA

SHEET TITLE

GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER

GN-2

ORDINANCE NO. 888

AN ORDINANCE TO CONDITIONALLY REZONE
CERTAIN LANDS IN THE VILLAGE OF SUSSEX TO
TS-1 TRADITIONAL SUBURBAN SINGLE-FAMILY RESIDENTIAL
WITH A PLANNED DEVELOPMENT OVERLAY DISTRICT

WHEREAS: A petition has been filed by Hartford Land Development LLC on behalf of the property owners Richard A Merske Revocable Trust (“Petitioner”) of certain lands in the Village of Sussex to rezone said properties as described in Exhibit A attached hereto and incorporated herein (“Subject Properties”); and

WHEREAS: Said rezoning petition was submitted to rezone the subject properties to TS-1 Traditional Suburban Single-Family Zoning District with a Planned Development Overlay District described on Exhibit A-1; and

WHEREAS: The Petitioner has supplied all required data pursuant to the Village of Sussex Zoning Code; and

WHEREAS: Upon due notice as required by Section 17.1300 of the Village Code, the Village Board held a public hearing on _____, 2023, as required by Section 17.0435(C)(4) of the Village Code; and

WHEREAS: The Plan Commission has reviewed the basis for approval described in Section 17.0435(D) of the Village Code and has made the following findings, subject to all terms and conditions of this zoning ordinance being satisfied:

1. That the petitioners for the proposed Planned Development Overlay District have indicated that they intend to begin the physical development of the PDO within nine (9) months following the approval of the petition and that the development will be carried out according to a reasonable construction schedule satisfactory to the Village.
2. That the proposed Planned Development Overlay District is consistent in all respects to the purpose of this Section and to the spirit and intent of this Ordinance; is in conformity with the adopted master plan or any adopted component thereof; and, that the development would not be contrary to the general welfare and economic prosperity of the community.
3. The proposed site shall be provided with adequate drainage facilities for surface and storm waters.
4. The proposed site shall be accessible from public roads that are adequate to carry the traffic that can be expected to be generated by the proposed development.

5. No undue constraint or burden will be imposed on public services and facilities, such as fire and police protection, street maintenance, and maintenance of public areas by the proposed development.
6. The streets and driveways on the site of the proposed development shall be adequate to serve the residents of the proposed development and shall meet the minimum standards of all applicable ordinances or administrative regulations of the Village.
7. Public water and sewer facilities shall be provided.
8. The entire tract or parcel of land to be included in a Planned Development Overlay District is held under single ownership.
9. Such development will create an attractive residential environment of sustained desirability and economic stability, including structures in relation to terrain, consideration of safe pedestrian flow, ready access to recreation space, and coordination with overall plans for the community.
10. The total net residential density within the Planned Development Overlay District will be compatible with the Village master plan or component thereof.
11. Provision has been made for the installation of adequate public facilities and the continuing maintenance and operation of such facilities.
12. Adequate, continuing fire and police protection is available.
13. The population composition of the development will not have an adverse effect upon the community's capacity to provide needed school or other municipal service facilities.
14. Adequate guarantee is provided for permanent preservation of open space areas as shown on the approved site plan either by private reservation and maintenance or by dedication to the public.

WHEREAS: The Village Plan Commission of the Village of Sussex has recommended to the Village Board of the Village of Sussex that said zoning change be made upon certain conditions; and

WHEREAS: The Village of Sussex has reviewed the basis for approval of the petition described in Section 17.0435(D) of the Village Code, and concurs with the Village Plan Commission, and makes the same findings, subject to all terms and conditions of this zoning ordinance being duly satisfied as required herein; and

WHEREAS: The Village Board of the Village of Sussex having carefully reviewed the recommendation of the Plan Commission of the Village of Sussex, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the health, safety and welfare of the community, immediate neighborhood in which said use will be

located, and having given due consideration to the municipal problems involved as well as the impact on the surrounding properties as to noise, dust, smoke and odor, and others hereby determine that the rezoning will not violate the spirit or intent of the Zoning Code for the Village of Sussex, will not be contrary to the public health, safety or general welfare of the Village of Sussex, will not be hazardous, harmful, noxious, offensive and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the operation is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendation found in the Village of Sussex master plan.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1: The subject property as described on **Exhibit A** is hereby zoned to TS-1 Traditional Suburban Single-Family Residential (20 acres) with a Planned Development Overlay District, and the Zoning Map of the Village of Sussex is hereby amended, subject to the terms and conditions described herein.

SECTION 2: The above rezoning and zoning map amendment is conditioned upon the following conditions, which must be complied with or this ordinance is null and void:

1. Presentation Compliance. The subject property must be developed in substantial conformity with the plans presented to the Plan Commission on March 21, 2023 and in substantial conformity with the presentation at the public hearing at the Village Board on _____, 2023 as presented shall be attached hereto and incorporated herein as **Exhibit B**.
2. Preliminary and Final Plat Conditions. The Petitioner shall submit and receive all necessary approvals for a preliminary plat and a final plat, and shall satisfy all conditions of the same.
3. Lot Sizes and Setbacks.
 - A. The proposed development will contain 26 single family detached homes. Lot sizes will not be less than 20,000 square feet. The average lot size is 28,096 square feet with the smallest lot containing 20,300 square feet and the largest containing 47,453 square feet. The lot width will be a minimum of 100 feet at the street yard setback line. The setbacks for these lots shall be 40 feet front yard, 15 feet side yard, and 25 feet rear yard.
 - B. The minimum living area of a one-story single-family home would be 2,000 square feet. The minimum living area of a two-story single-family home would be 2,400 square feet. The Minimum finished first floor of a two-story single-family home would be 1,200 square feet.
4. Phasing Plan. The proposed subdivision is to be platted and developed as a single

phase.

5. Road Width and Length. The Public Road widths shall be 33' measured back of curb to back of curb. The Plan Commission and Village Board find that this width is appropriate to provide safe and convenient access in accordance with this neighborhood plan, 18.0701 18.0703 of the Village Code.
6. Special Assessment. The payment of outstanding special assessments owed on this property must be paid in full prior to starting any site work.
7. Construction Sequencing Plan. Subject to the Developer submitting to and receiving approval from the Village Engineer a construction sequencing plan to ensure safe and adequate construction development of the site for public safety access, utility development, and customer access at all times.
8. Housing Monotony Clause. As required in the Village Design Standards and Chapter 17 Section 17.1002 (B)(2), no single family detached building shall be permitted that design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates monotony or drabness.
9. Required Plans and Engineer Satisfaction. Subject to the Petitioner submitting to and receiving written approval from the Village Plan Commission of all of the following plans for the entire subject property, prior to the rezoning ordinance taking effect. Said plans shall satisfy all comments, conditions, and concerns of the Village Engineer.
 - A. Utility Plans for the entire site including any necessary utility extensions or oversizing necessary to properly connect the development site's utilities with the Village system. Including, but not limited to:
 1. Sewer System Plans
 2. Water System Plans
 3. Storm water Management Plans with the appropriate maintenance requirements and outlots. The outlots for the stormwater ponds shall be owned by the Village.
 - B. Master Street Lighting Plan for the entire site.
 - C. Sidewalk and Path Plan for the entire site shown on the plat including location, width, and materials of the sidewalks. Sidewalk shall be established along the entirety of Overland Road, Carol Ann Circle, and Lauren Drive. Sidewalks shall be on one side of all non cul-de sac roads internal to the subdivision.
 - D. Street Tree Plan for the entire site, which shall be planted by the Developer no later than 12 months from the date of approval of the Final Plat within the optimal

spring or fall planting season.

- E. Landscape plan for common areas including necessary easements for ongoing maintenance by homeowners association as may be appropriate. In particular a specific plan for buffering the new lots with the existing subdivision to the East and West where appropriate.
 - F. Tree Mitigation and Preservation Plan and payment of any fees associated with said plan, and the proper deed restriction in a form approved by the Village Attorney being placed against said lots where the trees and soil are to be left preserved according to said plan.
 - G. Street plans and any necessary approvals from Waukesha County and the State of Wisconsin.
10. Developer's Agreement. Prior to development of the Subject Property or any portion thereof, the Developer of the Subject Lands or portion thereof is required to enter into a Developer's Agreement as approved by the Village prior to the approval of permits for grading and start of construction.
11. Professional Fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this rezoning petition, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional rezoning ordinance due to a violation of these conditions.
12. Payment of Charges. Any unpaid bills owed to the Village by the owner of subject lands or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village: shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of billing by the Village, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional rezoning ordinance that is subject to all remedies available to the Village, including possible cause for termination of the conditional rezoning ordinance.
13. Acceptance. Subject to the petitioner approving in writing the issuance of the conditional rezoning ordinance, and that the petitioner understands and accepts the same, and that upon failure to satisfy these conditions, this conditional rezoning ordinance is void, and the same is deemed not to have been approved, and the Petitioner will therefore need to re-commence the application process for rezoning of the property.
14. One Year to Satisfy Conditions. Subject to the petitioner satisfying all of the aforementioned conditions within one year of the Village Board adopting this conditional rezoning

ordinance. The Village Board may grant additional time solely at the discretion of the Village Board upon request for an extension by the Developer.

SECTION 3: The Village Engineer is hereby authorized and directed to note this rezoning on the Official Zoning Map of the Village of Sussex upon successful development of the property and satisfaction of all conditions in Section 2 of this Ordinance.

SECTION 4. SEVERABILITY. The sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE. This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2023.

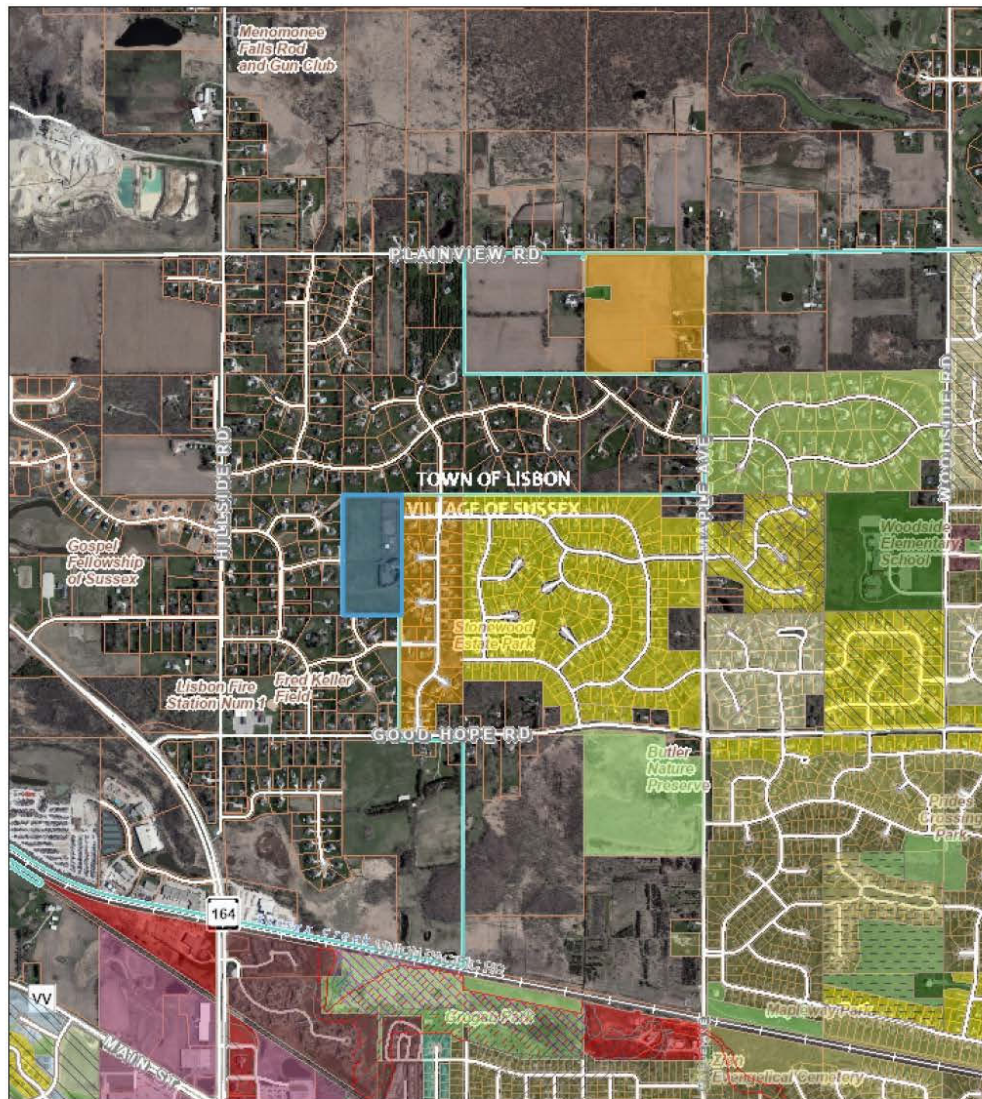
VILLAGE OF SUSSEX

Anthony LeDonne
Village President

ATTEST: _____
Jennifer Moore
Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2023.

EXHIBIT A



Village of Sussex

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Sussex does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



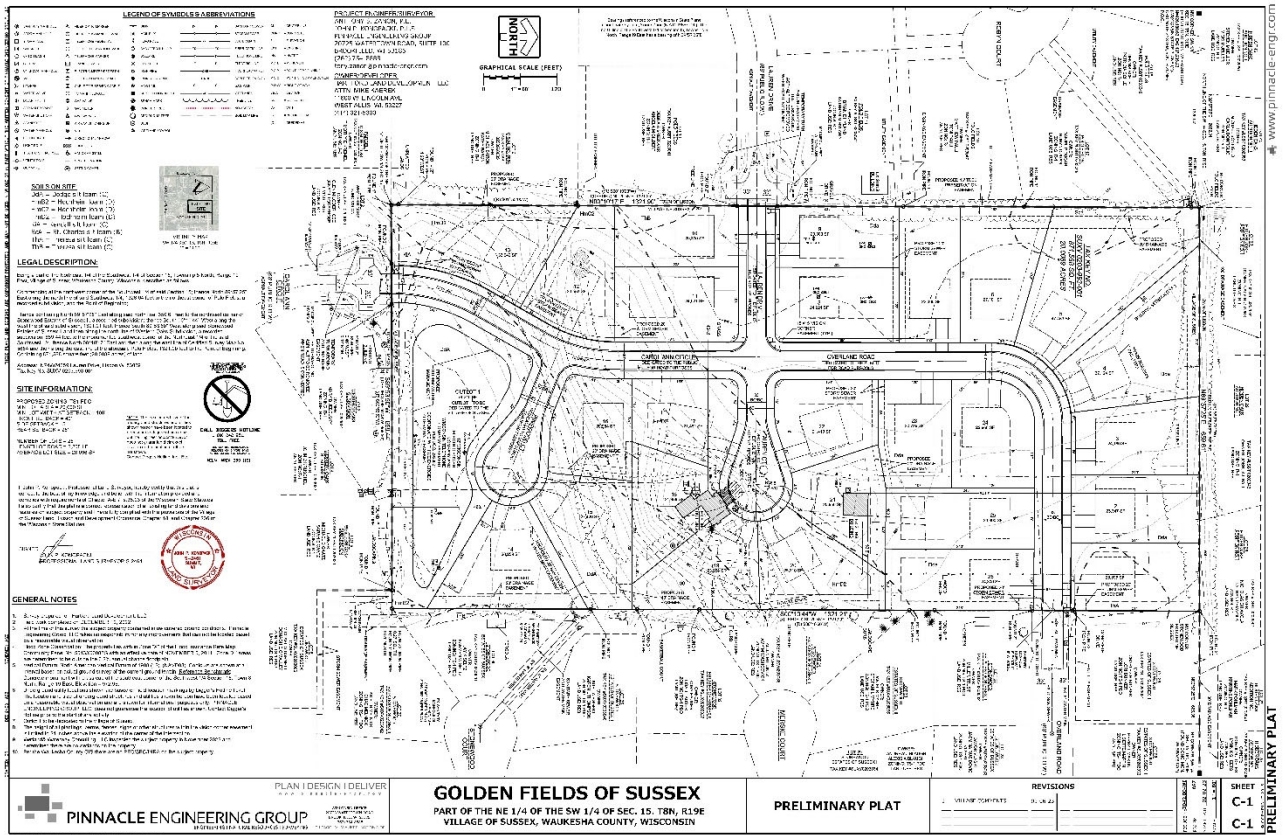
Village of Sussex

N64 W23760 Main Street
Sussex, WI 53089
262-246-5200

SCALE: 1 = 1429'

Print Date: 2/7/2023

EXHIBIT B



LEGAL DESCRIPTION - REZONING:

Being a part of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 8 North, Range 19 East, Village of Sussex, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 15; thence North 89°57'25" East along the north line of said Southwest 1/4, 1326.04 feet to the northeast corner of Polo Fields, a recorded subdivision, and the Point of Beginning;

Thence continuing North 89°57'25" East along said north line, 659.61 feet to the northwest corner of Stonewood Estates of Sussex II, a recorded subdivision; thence South 00°10'44" West along the west line of said subdivision, 1321.21 feet; thence South 89°53'50" West along said Stonewood Estates of Sussex II and then along the north line of Western Oaks Subdivision, a recorded subdivision, 659.44 feet to the monumented southwest corner of the Northeast 1/4 of the said Southwest 1/4; thence North 00°10'17" East and then along the east line of Certified Survey Map No. 5654 and then along the east line of the aforesaid Polo Fields, 1321.90 feet to the Point of Beginning. Containing 871,588 square feet (20.0089 acres) of land.

PDO Planned Development Overlay District Narrative
Golden Fields of Sussex
February 2, 2023

Golden Fields of Sussex is a single-family residential development that is being proposed by Hartford Land Development, LLC (Attention Mike Kaerek) on the former Merske property located just west of Stonewood Estates of Sussex II on the west side of the Village of Sussex. It is a 20-acre property that will be developed into 26 single-family residential lots, one outlot and just under 2,300 feet of public road.

The property currently does not have a zoning classification as it was recently annexed from the Town of Lisbon. The 2040 Village of Sussex Land Use Map lists the property as low density single-family residential (0-2.9 dwelling units per acre). The proposal is to rezone the property to TS1 PDO. Stonewood Estates of Sussex II located to the east of the subject site is in the Village of Sussex and is zoned TS-1 PDO with 30,000 square foot lots. The developments to the south, west and north are in the Town of Lisbon and are one-acre lots. (Western Oaks to the south, Polo Fields to the west and Hidden Oaks Addition No. 1 to the north). The developer is proposing a rezoning of TS-1 PDO to match the zoning of the development to the east. Below is a summary of TS-1 requirements with the proposed requirements for this development under the PDO:

| | TS-1 Requirements | Proposed Requirements |
|--------------------------------------|--------------------|---------------------------|
| Minimum lot area | 30,000 square feet | <i>20,000 square feet</i> |
| Minimum lot width at front setback | 100' | 100' |
| Open space per lot | 60% | 60% |
| Building height | 30' | 30' |
| Minimum living area 1 story | 2,200 square feet | <i>2,000 square feet</i> |
| Minimum living area 2 story | 2,600 square feet | <i>2,400 square feet</i> |
| Minimum finished first floor 2 story | 1,500 square feet | <i>1,200 square feet</i> |
| Front and street setback | 40' | 40' |
| Side setback | 20' | <i>15'</i> |
| Rear setback | 30' | <i>25'</i> |

The lot size, building sizes, side and rear setbacks are reduced as noted. Smaller lots are being proposed to make the development of the property feasible while still meeting the land use plan.

The site data table for the proposed development is:

| | |
|---|---|
| Total area in the PDO | 871,588 square feet (20.0089 acres) |
| Open space area (outlot, not including the required open space on each lot) | 74,216 square feet (1.7 acres) |
| Land Use Plan (0-2.9 du/acre) | 1.3 du/acre |
| Number of lots | 26 |
| Population | Assumed 3/lot = 75-100 people |
| Sewer and water availability | Yes, existing mains stubbed to property |

Road access will be from Overland Road at the northeast, Lauren Drive at the west and Carol Ann Circle to the south. All three existing roads have been stubbed to the property for future road extensions into

this property. There will be sidewalk on the north and west side of Overland Road and Carol Ann Circle and the north side of Lauren Drive. The development will have curb and gutter. Sanitary sewer and water main will be extended from the existing stubs located off the southeast corner of the property. Stormwater management will be addressed by a storm water pond in the outlot at the southeast corner of the property.

Home sizes will be 1,700 square foot ranch, 2,400 square foot two-stories. Average lot price is anticipated to be \$120,000 and lot and the average lot and home package would be \$550,000.

The outlot will be owned and maintained by the Homeowners Association which consists of the 26 lot owners.

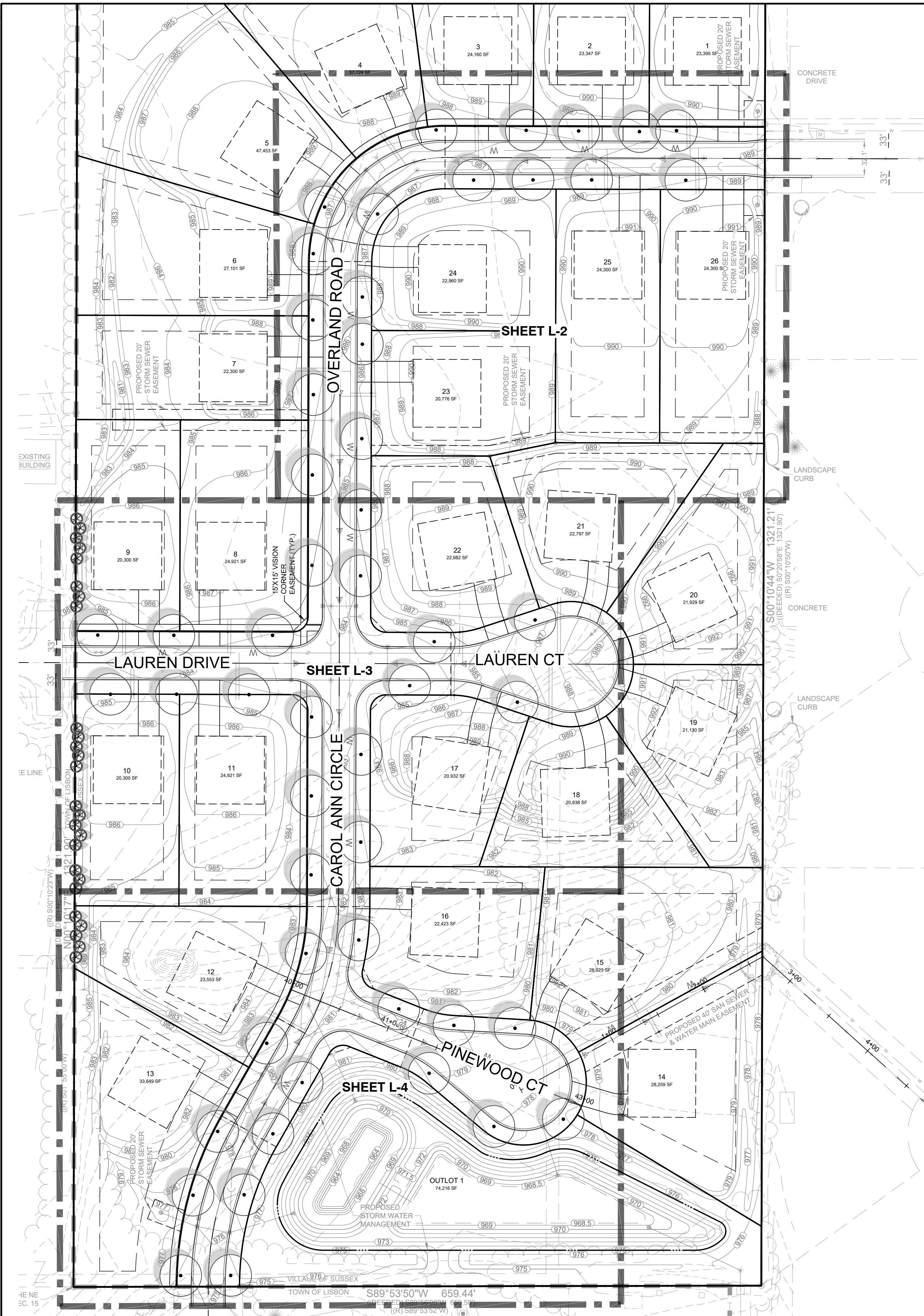
It is anticipated that best case is construction will start in summer 2023 with asphalt binder being placed in late fall 2023 (weather permitting). Home construction would begin after the asphalt binder is placed, final plat recorded and building permits issued.

In addition to the narrative, the developer also acknowledges the statements Village Ordinance Chapter 17.0435(D), which is the basis of approval of the PDO petition, as follows:

- The developer intends to start construction of the PDO within 9 months following the approval of the PDO petition and the development will be carried out according to a reasonable construction schedule satisfactory to the Village.
- The proposed PDO District is consistent in all respects to the purpose of the Section, and to the spirit and intent of the Ordinance; is in conformity with the adopted master plan or any adopted component thereof; and, that the development would not be contrary to the general welfare and economic prosperity of the community.
- The proposed site will provide adequate drainage facilities for surface and storm waters.
- The proposed site will be accessible from public roads that are adequate to carry the traffic that can be expected to be generated by the proposed development.
- No undue constraint or burden will be imposed on public services and facilities, such as fire and police protection, street maintenance, and maintenance of public areas by the proposed development.
- The streets and driveways on the site of the proposed development will be adequate to serve the residents of the proposed development and will meet the minimum standards of all applicable ordinances or administrative regulations of the Village.
- Public water and sewer facilities will be provided.
- The entire tract or parcel of land to be included in the PDO District will be held under single ownership and the legal description defines said PDO as a single parcel, lot or tract and be so recorded with the Register of Deeds for Waukesha County.
- The development will create an attractive residential environment of sustained desirability and economic stability, including structures in relation to terrain, consideration of safe pedestrian flow, ready access to recreation space, and coordination with overall plans for the community.
- The total net residential density within the PDO District will be compatible with the Village master plan or component thereof.
- A provision will be made for the installation of adequate public facilities and the continuing maintenance and operation of such facilities.

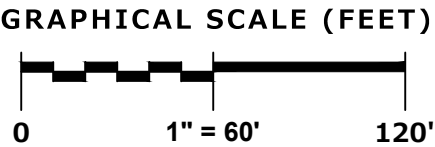
- Adequate, continuing fire and police protection will be available.
- The population composition of the development will not have an adverse effect upon the community's capacity to provide needed school or other municipal service facilities.
- Adequate guarantee will be provided for permanent preservation of open space areas as shown on the approved site plan by the Homeowners Association.

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CONCEPT PLANT SCHEDULE

| | | | |
|--|--|-----------|--|
| | EVERGREEN TREE | 26 | |
| | Juniperus chinensis 'Iowa' / Iowa Juniper | 5' Ht. | |
| | 13' T x 5' W | | |
| | Picea glauca 'Densata' / Black Hills Spruce | 5' Ht. | |
| | 30' T x 15' W | | |
| | Pinus strobus / White Pine | 5' Ht. | |
| | 65' T x 30' W | | |
| | | | |
| | STREET TREES | 52 | |
| | Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple | 2.5' Cal. | |
| | 48' T x 35' W | | |
| | Acer x freemanii 'Armstrong' / Armstrong Freeman Maple | 2.5' Cal. | |
| | 60' T x 15' W | | |
| | Gymnocladus dioicus / Kentucky Coffee Tree | 2.5' Cal. | |
| | 70' T x 45' W | | |
| | Tilia americana 'Redmond' / Redmond American Linden | 2.5' Cal. | |
| | 50' T x 35' W | | |
| | Ulmus x 'Morton Glossy' / Triumph Elm | 2.5' Cal. | |
| | 55' T x 40' W | | |
| | Ulmus x 'New Horizon' / New Horizon Elm | 2.5' Cal. | |
| | 35' T x 20' W | | |



PLAN | DESIGN | DELIVER

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BROOKFIELD, WI 53186
(262) 754-8888

ENGINEERING | NATURAL RESOURCES | SURVEYING CHICAGO | MILWAUKEE | NATIONWIDE

GOLDEN FIELDS OF SUSSEX
VILLAGE OF SUSSEX, WAUKESHA CO., WI

OVERALL STREET TREE
PLAN

REVISIONS

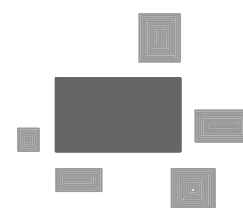
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|-------------|----------|
| REG JOB NO. | 3042.00 |
| REG PM | ASZ |
| START DATE | 02-02-23 |
| SCALE | 1"=60' |

SHEET
L-1
L-6

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DRAWN: SAT
REVIEWED: DUB



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GOLDEN FIELDS OF SUSSEX

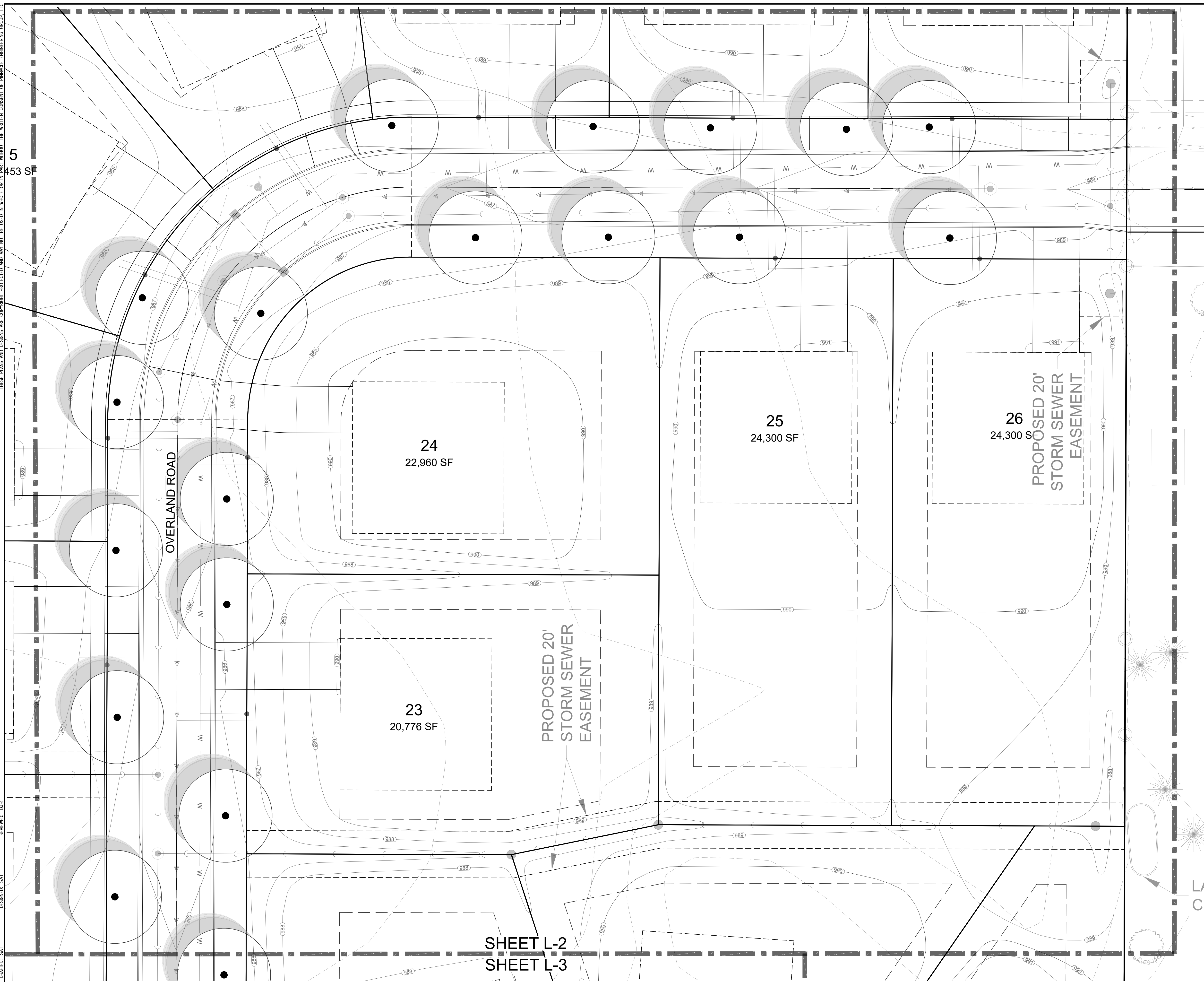
VILLAGE OF SUSSEX, WAUKESHA CO., WI

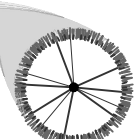
LANDSCAPE ENLARGEMENT

| REVISIONS | |
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REG. JOB No. 3042.00
REG. PM. ASZ
START DATE 02-02-23
SCALE 1" = 20'

SHEET
L-2
L-6

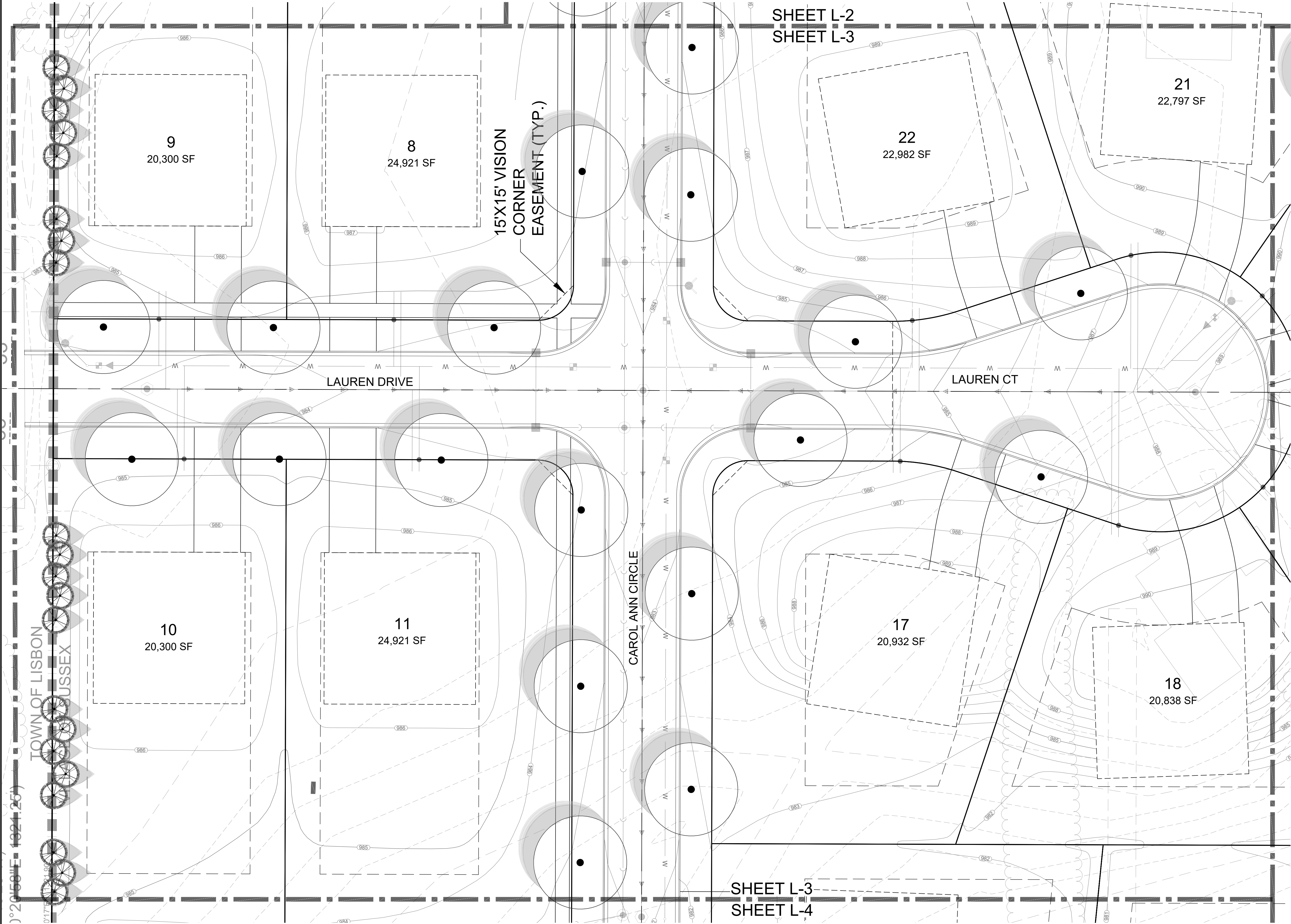


**CONCEPT PLANT KEY**

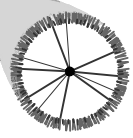
EVERGREEN TREE
Juniperus chinensis 'Iowa' / Iowa Juniper
Picea glauca 'Densata' / Black Hills Spruce
Pinus strobus / White Pine

STREET TREES
Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple
Acer x freemanii 'Armstrong' / Armstrong Freeman Maple
Gymnocladus dioica / Kentucky Coffee Tree
Tilia americana 'Redmond' / Redmond American Linden
Ulmus x 'Morton Glossy' / Triumph Elm
Ulmus x 'New Horizon' / New Horizon Elm

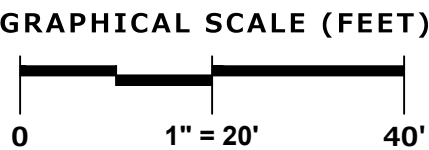
DESIGNED: SAT
DRAFTED: SAT
REVIEWED: DUB
TOWN OF LISBON
VILLAGE OF SUSSEX
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Z:\PROJECTS\2022\3042.00-WI\CAD\SHEETS\3042.00 LANDSCAPE - STREET TREE PLAN.DWG

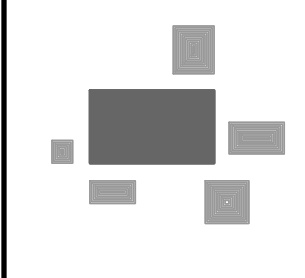


CONCEPT PLANT KEY



- EVERGREEN TREE**
Juniperus chinensis 'Iowa' / Iowa Juniper
Picea glauca 'Densata' / Black Hills Spruce
Pinus strobus / White Pine
- STREET TREES**
Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple
Acer x freemanii 'Armstrong' / Armstrong Freeman Maple
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Ulmus x 'Morton Glossy' / Triumph Elm
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VILLAGE OF SUSSEX, WAUKESHA CO., WI

LANDSCAPE ENLARGEMENT

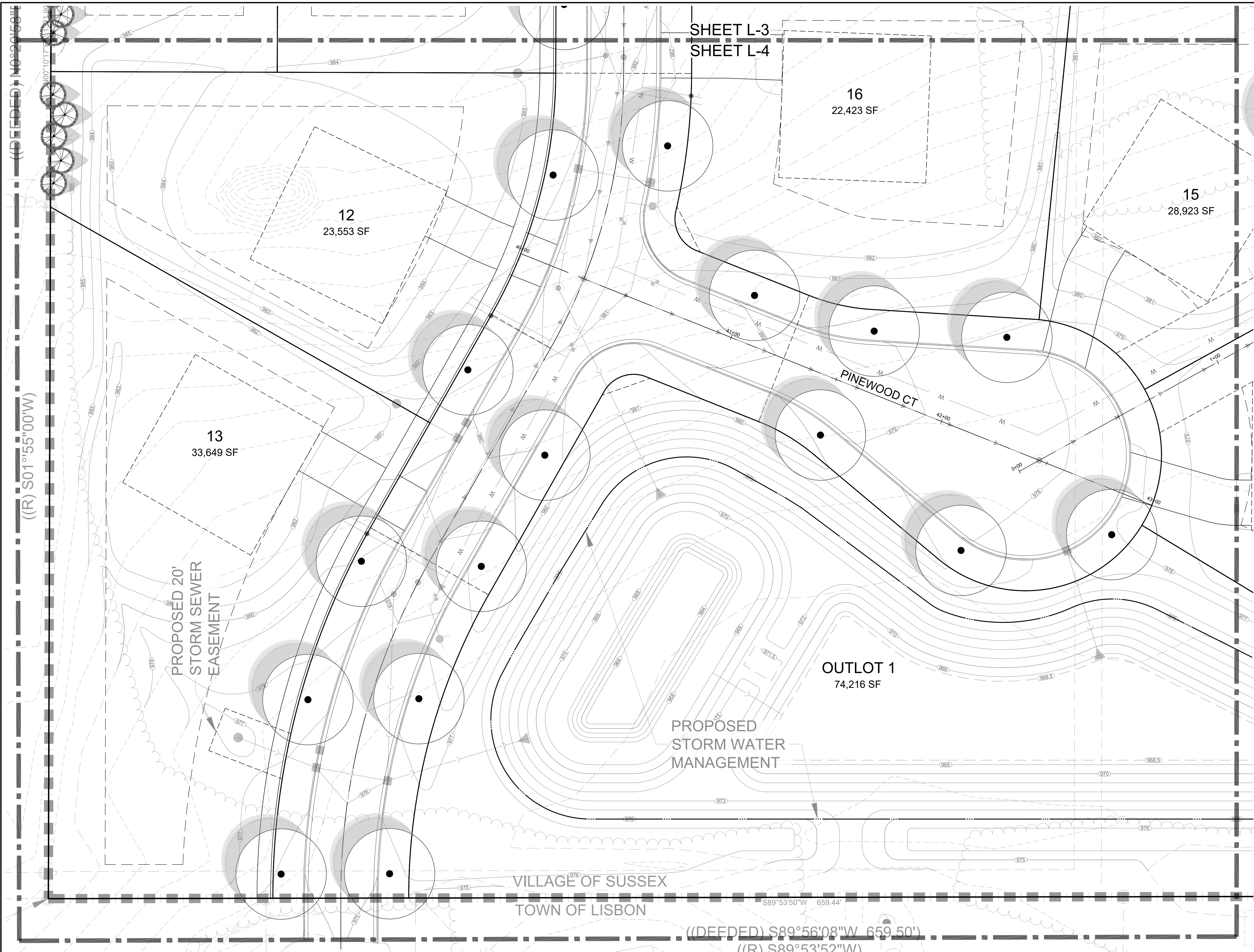
REVISIONS

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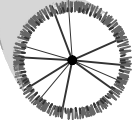
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| REG JOB No. 3042.00 |
| REG PM ASZ |
| START DATE 02-02-22 |
| SCALE 1" = 20' |

SHEET
L-3
L-6

DESIGNED: SAT
DRAFTED: SAT
REVIEWED: DUB
DATE: 02-02-22
PROJECT: 3042.00-WI-CAD-SHEETS-3042.00 LANDSCAPE - STREET TREE PLAN.DWG



CONCEPT PLANT KEY



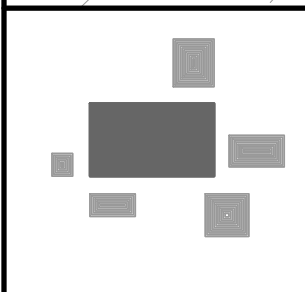
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Tilia americana 'Redmond' / Redmond American Linden
Ulmus x 'Morton Glossy' / Triumph Elm
Ulmus x 'New Horizon' / New Horizon Elm



GRAPHICAL SCALE (FEET)

0 1" = 20' 40'



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LANDSCAPE ENLARGEMENT

REVISIONS

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|---------------------|
| REG JOB No. 3042.00 |
| REG PM ASZ |
| START DATE 02-02-22 |
| SCALE 1" = 20' |

| |
|-------|
| SHEET |
| L-4 |
| L-6 |

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DRAFTED: SAT

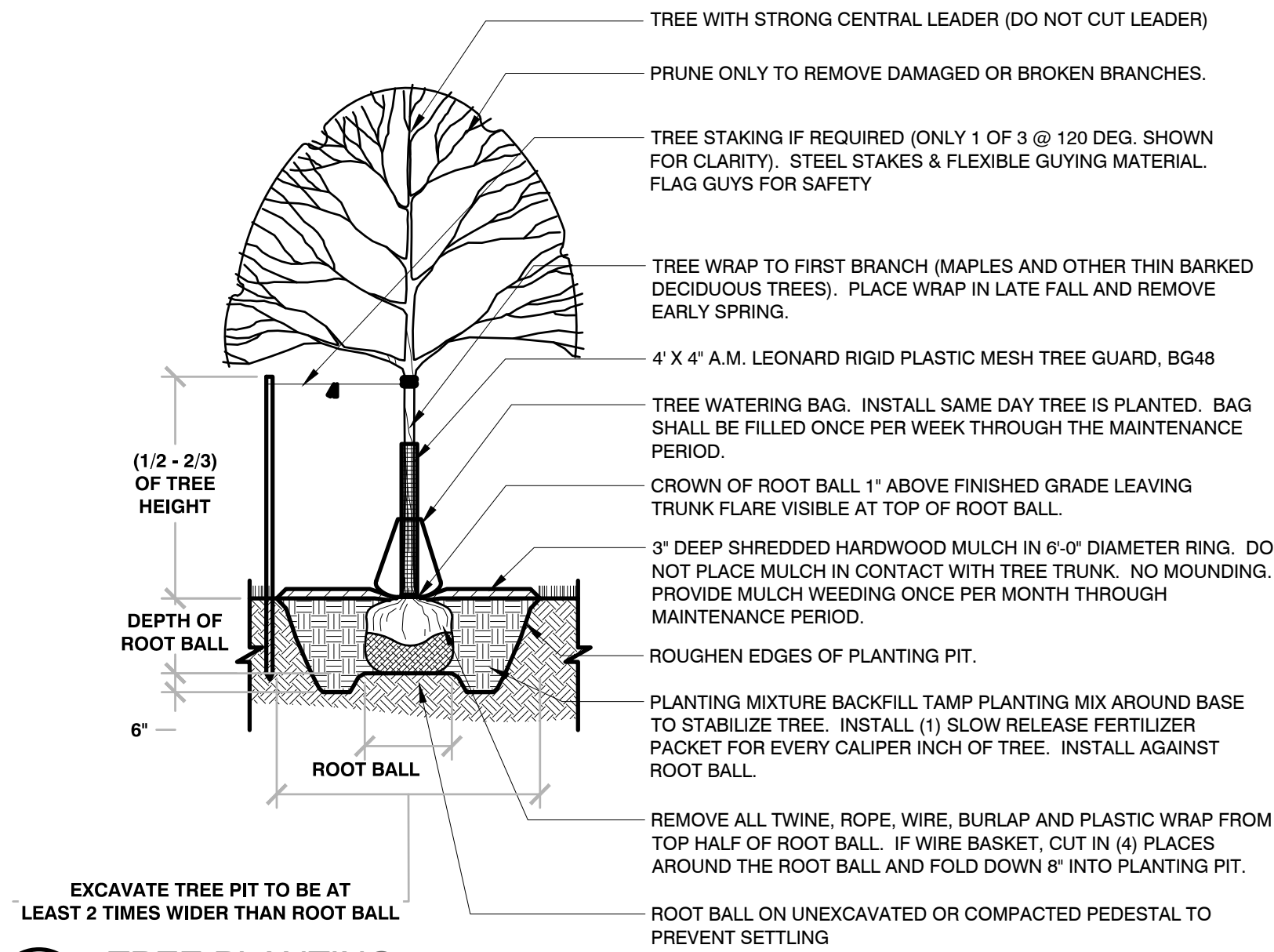
REVIEWED: DUB

GENERAL PLANTING NOTES

- THE LAYOUT OF ALL INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MUTLI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- WHILE PLANTING TREES, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN. .
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. EDGES ARE TO BE CUT CLEAN AND SMOOTH WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 15 FEET FROM ANY FIRE HYDRANT, DRIVEWAY, AND INTERSECTION
 - 8 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

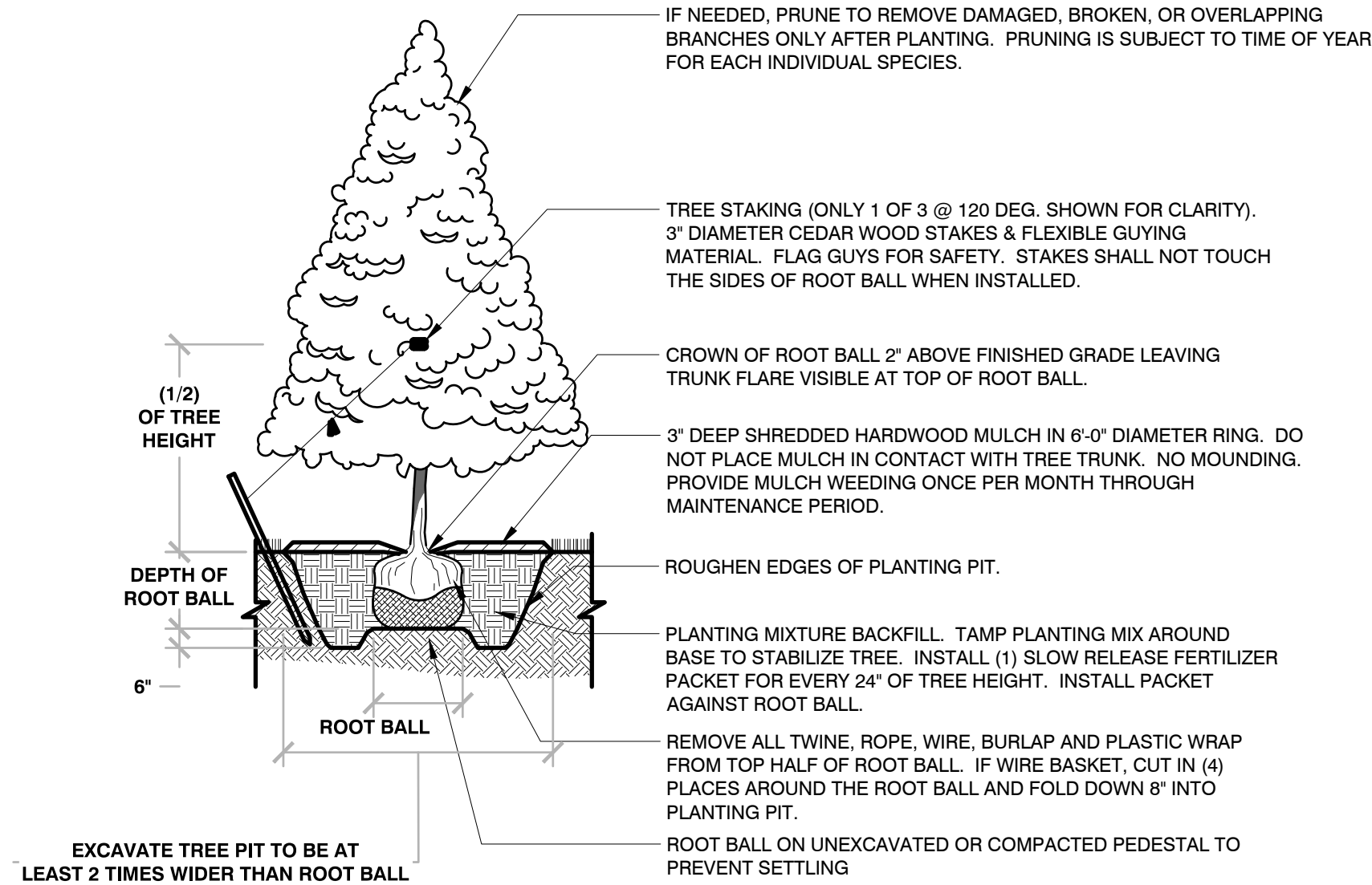
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL.
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



1 TREE PLANTING

1/4" = 1'-0"

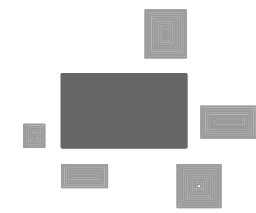
329343-01



2 EVERGREEN TREE PLANTING

1/4" = 1'-0"

329343-03



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GOLDEN FIELDS OF SUSSEX
VILLAGE OF SUSSEX, WAUKESHA CO., WI

LANDSCAPE NOTES &
DETAILS

REVISIONS

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REG JOB No. 3042.00
REG PM ASZ
START DATE 02-02-23
SCALE VARIES

SHEET

L-5

L-6

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PRELIMINARY

LANDSCAPE NOTES & DETAILS

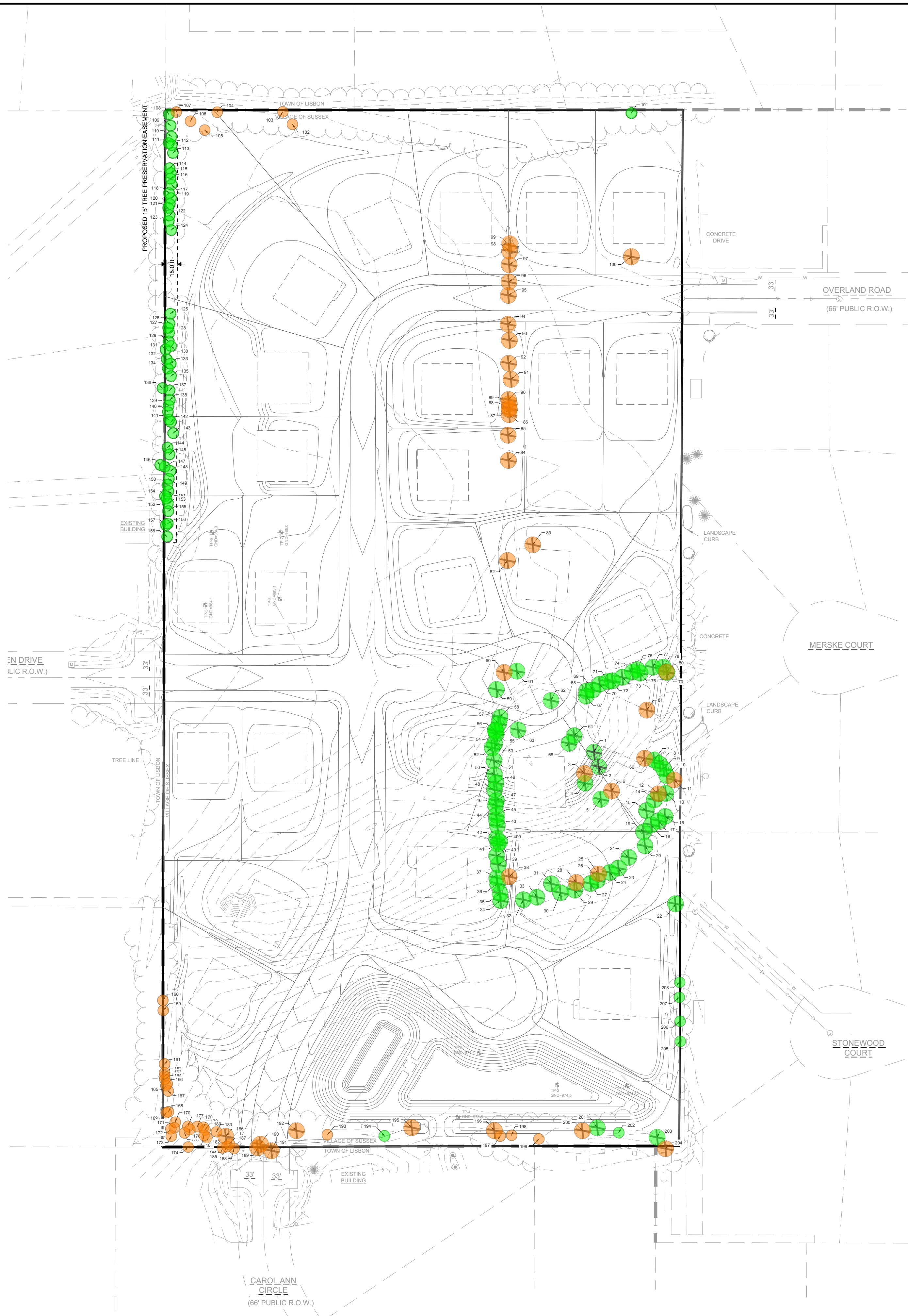
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REVIEWED: DUB

DESIGNED: SAT

DRAFTED: SAT



EXISTING TREE KEY

EXISTING DECIDUOUS TREE TO REMAIN

EXISTING EVERGREEN TREE TO REMAIN

EXISTING DECIDUOUS TREE TO BE REMOVED

EXISTING EVERGREEN TREE TO BE REMOVED

*

DENOTES TREE REMOVAL IN CHART

TOTAL TREES ON-SITE - 209
TOTAL CALIPER INCHES ON-SITE = 3,415
TOTAL TREES TO BE REMOVED - 113
REQUIRED MITIGATION - 994 CAL INCHES (SEE BELOW)
PROPOSED ON-SITE MITIGATION - 182" (SEE SHEET L-1)

TREE SPECIES ON SITE DEEMED TO BE OF VALUE (2,225 CAL INCHES)

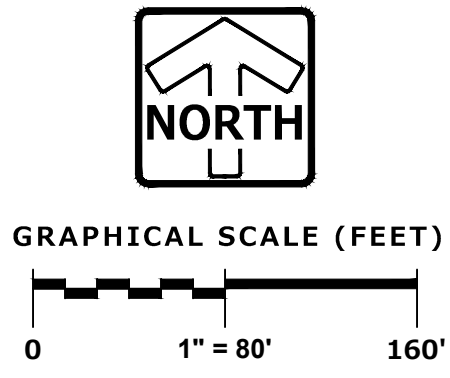
- ACER - MAPLE
- ARBORVITAE
- BETULA - BIRCH
- CARYA OVATA - SHAGBARK HICKORY
- PICEA - SPRUCE
- PINUS - PINE
- QUERCUS - OAK

TOTAL CALIPER INCHES OF "TREES OF VALUE" RATED IN FAIR OR BETTER CONDITION WHICH ARE BEING REMOVED AND REQUIRE MITIGATION:
INCHES BEING REMOVED: 1,216"
10% ALLOWABLE IMPACT: 222"
1216-222= 994 (REQUIRED MITIGATION)

TREE SPECIES ON SITE DEEMED TO BE OF LITTLE VALUE (1,190 CAL INCHES)

- ACER - BOXELDER MAPLE
- MORUS ALBA - MULBERRY
- MALUS - APPLE
- POPULUS - POPLAR
- PRUNUS - PLUM
- PRUNUS SEROTINA - BLACK CHERRY

TOTAL CAL INCHES OF "TREES OF LITTLE VALUE" RATED IN FAIR OR BETTER CONDITION WHICH ARE BEING REMOVED AND DON'T REQUIRE MITIGATION:
INCHES BEING REMOVED: 589"



| TreeNumber | TreeSpecies | Diameter" | TreeCondition | SingleMultiStem |
|------------|-----------------------|-----------|---------------|-----------------|
| * 1 | Acer - Maple | 34 | Fair | Multi-Stem |
| * 2 | Acer - Maple | 15 | Good | Multi-Stem |
| * 3 | Acer - Boxelder | 7 | Good | Single Stem |
| * 4 | Pinus - Pine | 14 | Good | Single Stem |
| * 5 | Acer - Maple | 14 | Good | Multi-Stem |
| * 6 | Acer - Boxelder | 8 | Good | Single Stem |
| * 7 | Pinus - Pine | 32 | Good | Single Stem |
| * 8 | Pinus - Pine | 19 | Good | Single Stem |
| * 9 | Pinus - Pine | 30 | Good | Single Stem |
| * 10 | Pinus - Pine | 18 | Good | Single Stem |
| * 11 | Acer - Boxelder | 6 | Good | Single Stem |
| * 12 | Morus Alba - Mulberry | 17 | Good | Multi-Stem |
| * 13 | Pinus - Pine | 20 | Fair | Single Stem |
| * 14 | Pinus - Pine | 20 | Good | Single Stem |
| * 15 | Pinus - Pine | 14 | Poor | Single Stem |
| * 16 | Pinus - Pine | 26 | Good | Single Stem |
| * 17 | Pinus - Pine | 16 | Poor | Single Stem |
| * 18 | Pinus - Pine | 20 | Good | Single Stem |
| * 19 | Pinus - Pine | 16 | Fair | Single Stem |
| * 20 | Pinus - Pine | 21 | Fair | Single Stem |
| * 21 | Pinus - Pine | 12 | Fair | Single Stem |
| * 22 | Quercus - Oak | 59 | Poor | Single Stem |
| * 23 | Pinus - Pine | 22 | Fair | Multi-Stem |
| * 24 | Pinus - Pine | 10 | Poor | Single Stem |
| * 25 | Acer - Boxelder | 10 | Good | Multi-Stem |
| * 26 | Pinus - Pine | 12 | Fair | Single Stem |
| * 27 | Pinus - Pine | 9 | Poor | Single Stem |
| * 28 | Acer - Boxelder | 11 | Good | Multi-Stem |
| * 29 | Pinus - Pine | 22 | Fair | Multi-Stem |
| * 30 | Pinus - Pine | 7 | Poor | Single Stem |
| * 31 | Pinus - Pine | 10 | Excellent | Single Stem |
| * 32 | Pinus - Pine | 14 | Poor | Single Stem |
| * 33 | Pinus - Pine | 19 | Good | Single Stem |
| * 34 | Pinus - Pine | 15 | Good | Single Stem |
| * 35 | Pinus - Pine | 16 | Good | Single Stem |
| * 36 | Pinus - Pine | 18 | Good | Single Stem |
| * 37 | Picea - Spruce | 18 | Good | Single Stem |
| * 38 | Acer - Boxelder | 10 | Good | Multi-Stem |
| * 39 | Pinus - Pine | 25 | Good | Single Stem |
| * 40 | Pinus - Pine | 18 | Good | Single Stem |
| * 41 | Pinus - Pine | 17 | Good | Single Stem |
| * 42 | Pinus - Pine | 15 | Good | Single Stem |
| * 43 | Pinus - Pine | 12 | Good | Single Stem |
| * 44 | Pinus - Pine | 15 | Good | Single Stem |
| * 45 | Pinus - Pine | 15 | Good | Single Stem |
| * 46 | Pinus - Pine | 18 | Good | Single Stem |
| * 47 | Picea - Spruce | 21 | Good | Single Stem |
| * 48 | Picea - Spruce | 13 | Good | Single Stem |
| * 49 | Picea - Spruce | 13 | Good | Single Stem |
| * 50 | Picea - Spruce | 13 | Good | Single Stem |
| * 51 | Picea - Spruce | 18 | Good | Single Stem |
| * 52 | Picea - Spruce | 11 | Fair | Single Stem |
| * 53 | Picea - Spruce | 11 | Fair | Single Stem |
| * 54 | Arborvitae | 30 | Good | Multi-Stem |
| * 55 | Arborvitae | 35 | Good | Multi-Stem |
| * 56 | Arborvitae | 13 | Good | Multi-Stem |
| * 57 | Arborvitae | 15 | Good | Multi-Stem |
| * 58 | Arborvitae | 26 | Good | Multi-Stem |
| * 59 | Acer - Maple | 35 | Good | Single Stem |
| * 60 | Malus - Apple | 7 | Good | Multi-Stem |
| * 61 | Acer - Maple | 33 | Good | Single Stem |
| * 62 | Betula - Birch | 26 | Good | Multi-Stem |
| * 63 | Acer - Maple | 13 | Fair | Single Stem |
| * 64 | Arborvitae | 16 | Good | Multi-Stem |
| * 65 | Arborvitae | 6 | Good | Single Stem |
| * 66 | Acer - Boxelder | 6 | Good | Single Stem |
| * 67 | Pinus - Pine | 22 | Fair | Single Stem |
| * 68 | Pinus - Pine | 16 | Fair | Single Stem |
| * 69 | Pinus - Pine | 23 | Good | Single Stem |
| * 70 | Pinus - Pine | 17 | Good | Single Stem |
| * 71 | Pinus - Pine | 13 | Fair | Single Stem |
| * 72 | Pinus - Pine | 21 | Poor | Single Stem |
| * 73 | Pinus - Pine | 28 | Good | Multi-Stem |
| * 74 | Pinus - Pine | 15 | Fair | Single Stem |
| * 75 | Pinus - Pine | 17 | Good | Single Stem |
| * 76 | Pinus - Pine | 20 | Good | Single Stem |
| * 77 | Pinus - Pine | 14 | Fair | Single Stem |
| * 78 | Pinus - Pine | 13 | Poor | Single Stem |
| * 79 | Pinus - Pine | 20 | Fair | Single Stem |
| * 80 | Acer - Boxelder | 28 | Poor | Multi-Stem |
| * 81 | Malus - Apple | 13 | Fair | Multi-Stem |
| * 82 | Prunus - Plum | 30 | Good | Multi-Stem |
| * 83 | Prunus - Plum | 10 | Good | Single Stem |
| * 84 | Prunus - Plum | 12 | Good | Single Stem |
| * 85 | Prunus - Plum | 8 | Good | Multi-Stem |
| * 86 | Prunus - Plum | 11 | Good | Single Stem |
| * 87 | Prunus - Plum | 6 | Good | Single Stem |
| * 88 | Prunus - Plum | 7 | Good | Single Stem |
| * 89 | Prunus - Plum | 6 | Good | Single Stem |
| * 90 | Prunus - Plum | 6 | Good | Single Stem |
| * 91 | Prunus - Plum | 13 | Good | Multi-Stem |
| * 92 | Prunus - Plum | 6 | Good | Single Stem |
| * 93 | Prunus - Plum | 16 | Good | Multi-Stem |
| * 94 | Prunus - Plum | 7 | Good | Single Stem |
| * 95 | Prunus - Plum | 7 | Good | Single Stem |
| * 96 | Prunus - Plum | 11 | Good | Multi-Stem |
| * 97 | Prunus - Plum | 12 | Good | Single Stem |
| * 98 | Prunus - Plum | 11 | Good | Single Stem |
| * 99 | Populus - Poplar | 14 | Good | Multi-Stem |
| * 100 | Malus - Apple | 30 | Good | Multi-Stem |
| 101 | Pinus - Pine | 17 | Fair | Single Stem |
| 102 | Prunus - Plum | 11 | Good | Multi-Stem |
| 103 | Populus - Poplar | 9 | Good | Single Stem |
| 104 | Acer - Boxelder | 9 | Good | Single Stem |

| | | | | |
|-------|--------------------------------|----|-----------|-------------|
| 105 | Acer - Boxelder | 12 | Good | Single Stem |
| 106 | Acer - Boxelder | 10 | Good | Single Stem |
| 107 | Acer - Boxelder | 6 | Good | Single Stem |
| 108 | Picea - Spruce | 14 | Fair | Single Stem |
| 109 | Picea - Spruce | 15 | Fair | Single Stem |
| 110 | Picea - Spruce | 16 | Good | Single Stem |
| 111 | Picea - Spruce | 13 | Fair | Single Stem |
| 112 | Picea - Spruce | 13 | Fair | Single Stem |
| 113 | Picea - Spruce | 15 | Fair | Single Stem |
| 114 | Picea - Spruce | 14 | Good | Single Stem |
| 115 | Picea - Spruce | 15 | Good | Single Stem |
| 116 | Picea - Spruce | 6 | Good | Single Stem |
| 117 | Picea - Spruce | 15 | Good | Single Stem |
| 118 | Picea - Spruce | 13 | Good | Single Stem |
| 119 | Picea - Spruce | 13 | Good | Single Stem |
| 120 | Picea - Spruce | 6 | Good | Single Stem |
| 121 | Picea - Spruce | 17 | Good | Single Stem |
| 122 | Picea - Spruce | 8 | Good | Single Stem |
| 123 | Picea - Spruce | 13 | Good | Single Stem |
| 124 | Picea - Spruce | 16 | Good | Single Stem |
| 125 | Picea - Spruce | 20 | Good | Single Stem |
| 126 | Picea - Spruce | 11 | Good | Single Stem |
| 127 | Picea - Spruce | 13 | Good | Single Stem |
| 128 | Picea - Spruce | 14 | Good | Single Stem |
| 129 | Picea - Spruce | 18 | Good | Multi-Stem |
| 130 | Picea - Spruce | 13 | Good | Single Stem |
| 131 | Picea - Spruce | 15 | Good | Single Stem |
| 132 | Picea - Spruce | 15 | Good | Single Stem |
| 133 | Picea - Spruce | 11 | Good | Single Stem |
| 134 | Picea - Spruce | 11 | Good | Single Stem |
| 135 | Picea - Spruce | 11 | Good | Single Stem |
| 136 | Picea - Spruce | 14 | Good | Single Stem |
| 137 | Picea - Spruce | 12 | Fair | Single Stem |
| 138 | Picea - Spruce | 14 | Fair | Single Stem |
| 139 | Picea - Spruce | 16 | Good | Single Stem |
| 140 | Picea - Spruce | 11 | Good | Single Stem |
| 141 | Picea - Spruce | 16 | Good | Single Stem |
| 142 | Picea - Spruce | 11 | Fair | Single Stem |
| 143 | Picea - Spruce | 16 | Good | Single Stem |
| 144 | Picea - Spruce | 12 | Good | Single Stem |
| 145 | Picea - Spruce | 17 | Good | Single Stem |
| 146 | Picea - Spruce | 13 | Good | Single Stem |
| 147 | Picea - Spruce | 17 | Good | Single Stem |
| 148 | Picea - Spruce | 16 | Good | Single Stem |
| 149 | Picea - Spruce | 17 | Good | Single Stem |
| 150 | Picea - Spruce | 11 | Good | Single Stem |
| 151 | Picea - Spruce | 17 | Good | Single Stem |
| 152 | Picea - Spruce | 16 | Good | Single Stem |
| 153 | Picea - Spruce | 16 | Fair | Single Stem |
| 154 | Picea - Spruce | 13 | Fair | Single Stem |
| 155 | Picea - Spruce | 17 | Fair | Single Stem |
| 156 | Picea - Spruce | 13 | Good | Single Stem |
| 157 | Picea - Spruce | 16 | Good | Single Stem |
| 158 | Picea - Spruce | 20 | Good | Single Stem |
| 159 | Acer - Boxelder | 18 | Good | Multi-Stem |
| 160 | Acer - Boxelder | 35 | Good | Multi-Stem |
| 161 | Acer - Boxelder | 6 | Good | Single Stem |
| 162 | Acer - Boxelder | 35 | Fair | Multi-Stem |
| 163 | Acer - Boxelder | 6 | Fair | Single Stem |
| 164 | Acer - Boxelder | 15 | Good | Single Stem |
| 165 | Acer - Boxelder | 12 | Good | Single Stem |
| 166 | Acer - Boxelder | 12 | Good | Single Stem |
| 167 | Acer - Boxelder | 10 | Fair | Single Stem |
| 168 | Acer - Boxelder | 28 | Fair | Multi-Stem |
| 169 | Acer - Boxelder | 7 | Good | Single Stem |
| 170 | Acer - Boxelder | 20 | Good | Multi-Stem |
| 171 | Acer - Boxelder | 11 | Poor | Single Stem |
| 172 | Acer - Boxelder | 9 | Good | Single Stem |
| 173 | Prunus Serotina - Black Cherry | 25 | Fair | Single Stem |
| 174 | Acer - Boxelder | 39 | Fair | Multi-Stem |
| 175 | Acer - Boxelder | 6 | Good | Single Stem |
| 176 | Acer - Boxelder | 16 | Good | Single Stem |
| 177 | Acer - Boxelder | 12 | Good | Single Stem |
| 178 | Acer - Boxelder | 11 | Poor | Single Stem |
| 179 | Acer - Boxelder | 9 | Fair | Single Stem |
| 180 | Acer - Boxelder | 8 | Fair | Single Stem |
| 181 | Prunus Serotina - Black Cherry | 22 | Good | Single Stem |
| 182 | Acer - Boxelder | 10 | Good | Single Stem |
| 183 | Acer - Boxelder | 15 | Good | Single Stem |
| 184 | Acer - Boxelder | 11 | Good | Single Stem |
| 185 | Acer - Boxelder | 16 | Good | Single Stem |
| * 186 | Prunus Serotina - Black Cherry | 17 | Good | Single Stem |
| 187 | Acer - Boxelder | 6 | Fair | Single Stem |
| 188 | Acer - Boxelder | 22 | Good | Multi-Stem |
| * 189 | Prunus Serotina - Black Cherry | 23 | Good | Single Stem |
| * 190 | Acer - Boxelder | 34 | Good | Multi-Stem |
| * 191 | Acer - Boxelder | 16 | Fair | Single Stem |
| * 192 | Acer - Boxelder | 32 | Fair | Multi-Stem |
| 193 | Acer - Boxelder | 35 | Good | Multi-Stem |
| 194 | Quercus - Oak | 41 | Excellent | Single Stem |
| * 195 | Acer - Boxelder | 49 | Good | Multi-Stem |
| * 196 | Malus - Apple | 49 | Good | Multi-Stem |
| 197 | Prunus Serotina - Black Cherry | 22 | Good | Single Stem |
| 198 | Acer - Boxelder | 12 | Good | Single Stem |
| 199 | Prunus Serotina - Black Cherry | 27 | Good | Single Stem |
| * 200 | Malus - Apple | 13 | Good | Single Stem |
| * 201 | Carya Ovata - Shagbark Hickory | 6 | Good | Single Stem |
| 202 | Carya Ovata - Shagbark Hickory | 22 | Excellent | Single Stem |
| * 203 | Quercus - Oak | 48 | Good | Multi-Stem |
| * 204 | Acer - Boxelder | 6 | Good | Single Stem |
| 205 | Betula - Birch | 11 | Excellent | Single Stem |
| 206 | Betula - Birch | 11 | Excellent | Single Stem |
| 207 | Betula - Birch | 12 | Excellent | Single Stem |
| 208 | Betula - Birch | 11 | Excellent | Single Stem |
| * 400 | Pinus - Pine | 17 | Good | Single Stem |

PINNACLE ENGINEERING GROUP

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GOLDEN FIELDS OF SUSSEX

VILLAGE OF SUSSEX, WAUKESHA CO., WI

TREE PROTECTION AND

MITIGATION PLAN

REVISIONS

| | | | | | |
|--|--|--|--|--|--|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

| | |
|-------------|----------|
| REG JOB No. | 3042.00 |
| REG PM | ASZ |
| START DATE | 02-02-23 |
| SCALE | 1"=80' |

SHEET

L-6

L-6

Landscape Narrative
Golden Fields of Sussex
March 6, 2023

As part of the rezoning and preliminary plat package for the Golden Fields of Sussex project, a preliminary street tree and landscape plan set was prepared and submitted to the Village of Sussex for review. Sheet L-6 of that package is a Tree Protection and Mitigation Plan which identifies existing trees on the property and identifies which of those trees will remain or be removed.

The project site has 209 existing trees on site that are 6" caliper or larger. As part of the proposed grading, road work, and utility work required for the proposed development, 114 of these trees will be removed which would leave 95 remaining. On the Tree Protection and Mitigation Plan ("The Plan") the trees to be removed are noted with an **X**. The trees to be removed consist of both trees deemed to be of value (high quality desirable species, colored in green on The Plan) and trees deemed to be of little value (undesirable, nuisance, colored in tan on The Plan). The high quality, valuable trees are maple, arborvitae, birch, hickory, spruce, pine and oak. The undesirable. Little value trees are boxelder, mulberry, apple, poplar, plum and black cherry. Most of the trees being removed are located on the interior of the site, massing primarily around the existing home and fenced in pasture area north of the home. It is assumed the previous owner planted these trees to screen the views from neighboring lots into the property and into the existing home. Nearly half the trees on site are located along the property lines, the vast majority of which will remain. The trees of value along the west property line will be protected during the construction of the subdivision and beyond by a tree preservation easement. The other trees along the property line will remain but can be removed by the individual lot owners since they are deemed of little value. The preserved trees will provide the greatest screening benefit and visual impact for the neighboring lots. Along with preserving the trees along the property lines, the proposed development will supplement the existing trees with an additional 26 evergreen trees along the west property line as shown on sheet L-1. Additionally, 52 high quality street trees will be installed to help break up views and create an aesthetically pleasing continuation of the existing neighborhoods. As the proposed homes are built, trees and landscaping will be installed by individual homeowners to further enhance the aesthetics of the neighborhood.

See the next page for a summary of the trees and the required mitigation. This summary and mitigation requirements are based on the preliminary plans. A final summary and mitigation requirements will be prepared based on the approved construction plans.

Summary of trees:

| | | |
|---|-----------|--------------|
| | | |
| Total existing trees on site (6" caliper or larger) | 209 total | 3,415 inches |
| | | |
| Tree Species deemed to be of value | 131 total | 2,225 inches |
| • Fair or better condition | 122 total | 2,062 inches |
| • Poor quality | 9 total | 163 inches |
| | | |
| Tree Species deemed to be of little value | 78 total | 1,190 inches |
| • Fair or better condition | 75 total | 1,140 inches |
| • Poor quality | 3 total | 50 inches |
| | | |
| Tree to be remain | 95 total | 1,397 inches |
| • Of value to remain (fair or better) | 59 total | 846 inches |
| • Of little value to remain (fair or better) | 36 total | 551 inches |
| | | |
| Tree to be removed | 114 total | 2,018 inches |
| • Of value to be removed (fair or better) | 63 total | 1,216 inches |
| • Of little value to be removed (fair or better) | 39 total | 589 inches |
| • Of value but poor quality | 9 total | 163 inches |
| • Of little value & poor quality | 3 total | 50 inches |

Total caliper inches of "trees of value" rated in fair or better condition which are being removed and require mitigation:

Of value to be removed (fair or better) = 1,216 inches

10% allowable impact = 2,225 inches (tree species deemed to be of value) * 10% = 222 inches

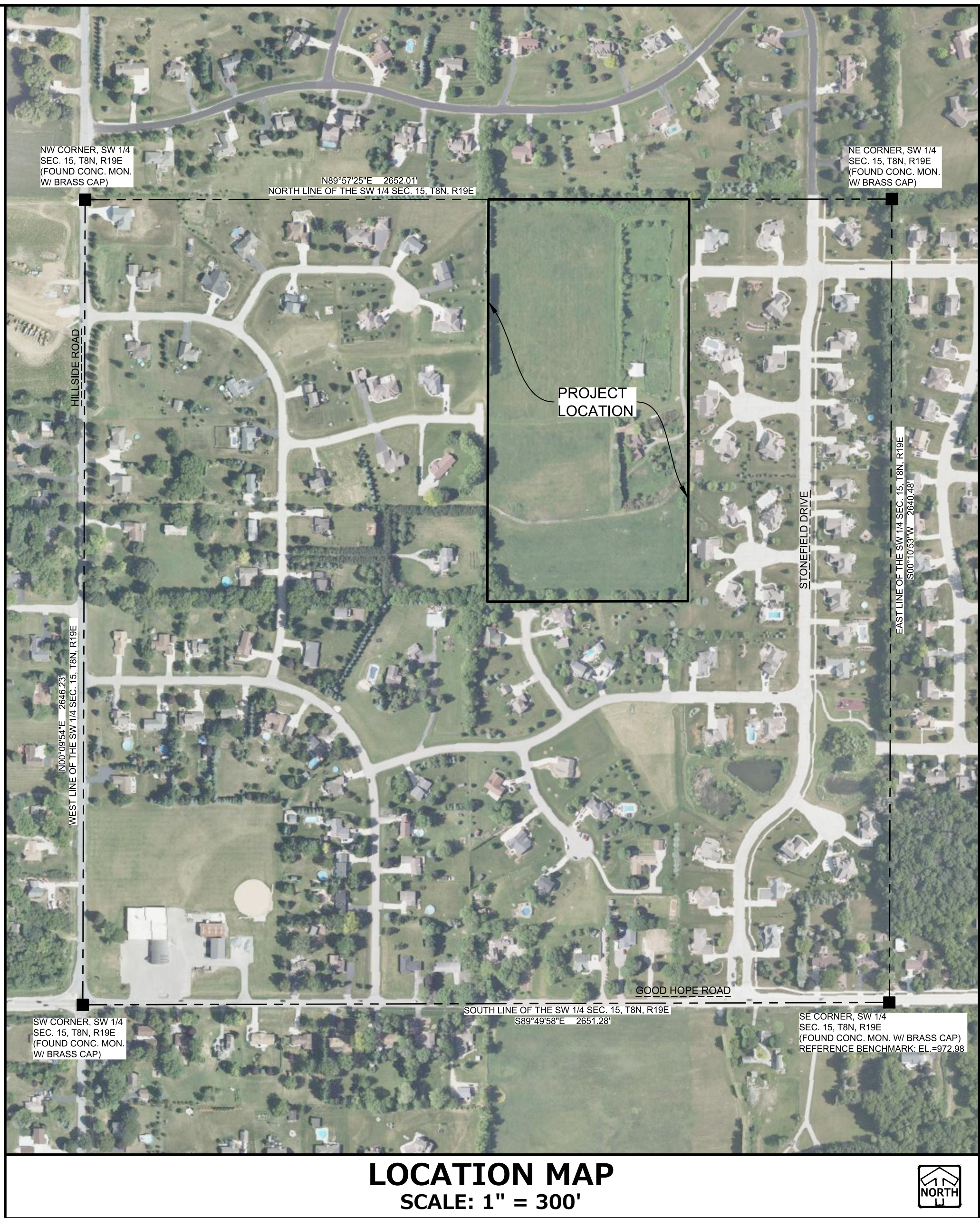
Required mitigation = 1,216 inches – 222 inches = 994 inches

Proposed on site mitigation = (52 street trees*2.5-inch size) + (26 lot line trees*2-inch size) = 182 inches

Remaining mitigation required = 994 inches – 182 inches = 812 inches

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DESIGNED: ASZ
DRAFTED: BR


| LEGEND | | |
|---|----------|----------|
| | EXISTING | PROPOSED |
| SANITARY SEWER MANHOLE | | |
| STORM SEWER MANHOLE | | |
| STORM SEWER CATCH BASIN (ROUND CASTING) | | |
| STORM SEWER CATCH BASIN (RECTANGULAR CASTING) | | |
| PRECAST FLARED END SECTION | | |
| CONCRETE HEADWALL | | |
| VALVE BOX | | |
| FIRE HYDRANT | | |
| CLEANOUT | | |
| SANITARY SEWER | | |
| FORCE MAIN | | |
| STORM SEWER | | |
| DRAIN TILE | | |
| WATER MAIN | | |
| FIRE PROTECTION | | |
| ELECTRICAL CABLE | | |
| OVERHEAD WIRES | | |
| GAS MAIN | | |
| TELEPHONE LINE | | |
| UTILITY CROSSING | | |
| CAUTION EXISTING UTILITIES NEARBY | | |
| GRANULAR TRENCH BACKFILL | | |
| LIGHTING | | |
| ELECTRICAL TRANSFORMER OR PEDESTAL | | |
| POWER POLE | | |
| POWER POLE WITH LIGHT | | |
| GUY WIRE | | |
| STREET SIGN | | |
| CONTOUR | | |
| SPOT ELEVATION | | |
| WETLANDS | | |
| PRIMARY ENVIRONMENTAL CORRIDOR | | |
| FLOODWAY | | |
| FLOODPLAIN | | |
| HIGH WATER LEVEL (HWL) | | |
| NORMAL WATER LEVEL (NWL) | | |
| DIRECTION OF SURFACE FLOW | | |
| DITCH OR SWALE | | |
| DIVERSION SWALE | | |
| OVERFLOW RELIEF ROUTING | | |
| TREE WITH TRUNK SIZE | | |
| SOIL BORING | | |
| TOPSOIL PROBE | | |
| FENCE LINE, TEMPORARY SILT | | |
| FENCE LINE, WIRE | | |
| FENCE LINE, CHAIN LINK OR IRON | | |
| FENCE LINE, WOOD OR PLASTIC | | |
| CONCRETE SIDEWALK | | |
| CURB AND GUTTER | | |
| DEPRESSED CURB | | |
| REVERSE PITCH CURB & GUTTER | | |
| EASEMENT LINE | | |



PRELIMINARY IMPROVEMENT PLANS
FOR
GOLDEN FIELDS OF SUSSEX
VILLAGE OF SUSSEX, WAUKESHA CO., WI
PLANS PREPARED FOR
HARTFORD LAND DEVELOPMENT, LLC
ATTN: MIKE KAEREK
11600 W. LINCOLN AVE
WEST ALLIS, WI 53227
PHONE: 414-321-5300

| INDEX OF SHEETS | |
|-----------------|-------------------------------------|
| C-1 | COVER SHEET |
| C-2 | PRELIMINARY UTILITY SYSTEM MAP |
| C-3 | PRELIMINARY OVERALL GRADING PLAN |
| C-4 - C-5 | PRELIMINARY MASTER GRADING PLANS |
| C-6 - C-10 | PRELIMINARY ROADWAY PLAN & PROFILES |

| GENERAL NOTES | |
|---|--|
| <ol style="list-style-type: none">THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT. | |

| APPLICANT/DEVELOPER | | CIVIL ENGINEERING CONTACTS | |
|---|--|--|--|
| HARTFORD LAND DEVELOPMENT, LLC ATTN: MIKE KAEREK 11600 W. LINCOLN AVE WEST ALLIS, WI 53227 PHONE: (414) 321-5300 | | ANTHONY S. ZANON, P.E. 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 EMAIL: tony.zanon@pinnacle-engr.com | |
| EXPIRATION DATE: JULY 31st, 2024 | | <div>Toll Free (800) 242-8511 Milwaukee Area (414) 259-1181 Hearing Impaired TDD (800) 542-2289 www.Diggers-Hotline.com</div> | |
| <p align="center">PINNACLE ENGINEERING GROUP, LLC ENGINEER'S LIMITATION</p> <p>PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.</p> <p>FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.</p> | | | |

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GOLDEN FIELDS OF SUSSEX
VILLAGE OF SUSSEX, WAUKESHA CO., WI

COVER SHEET

| REVISIONS | |
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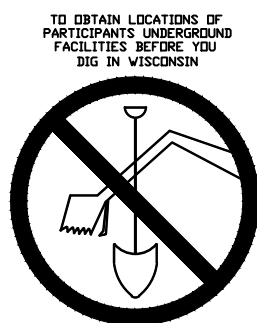
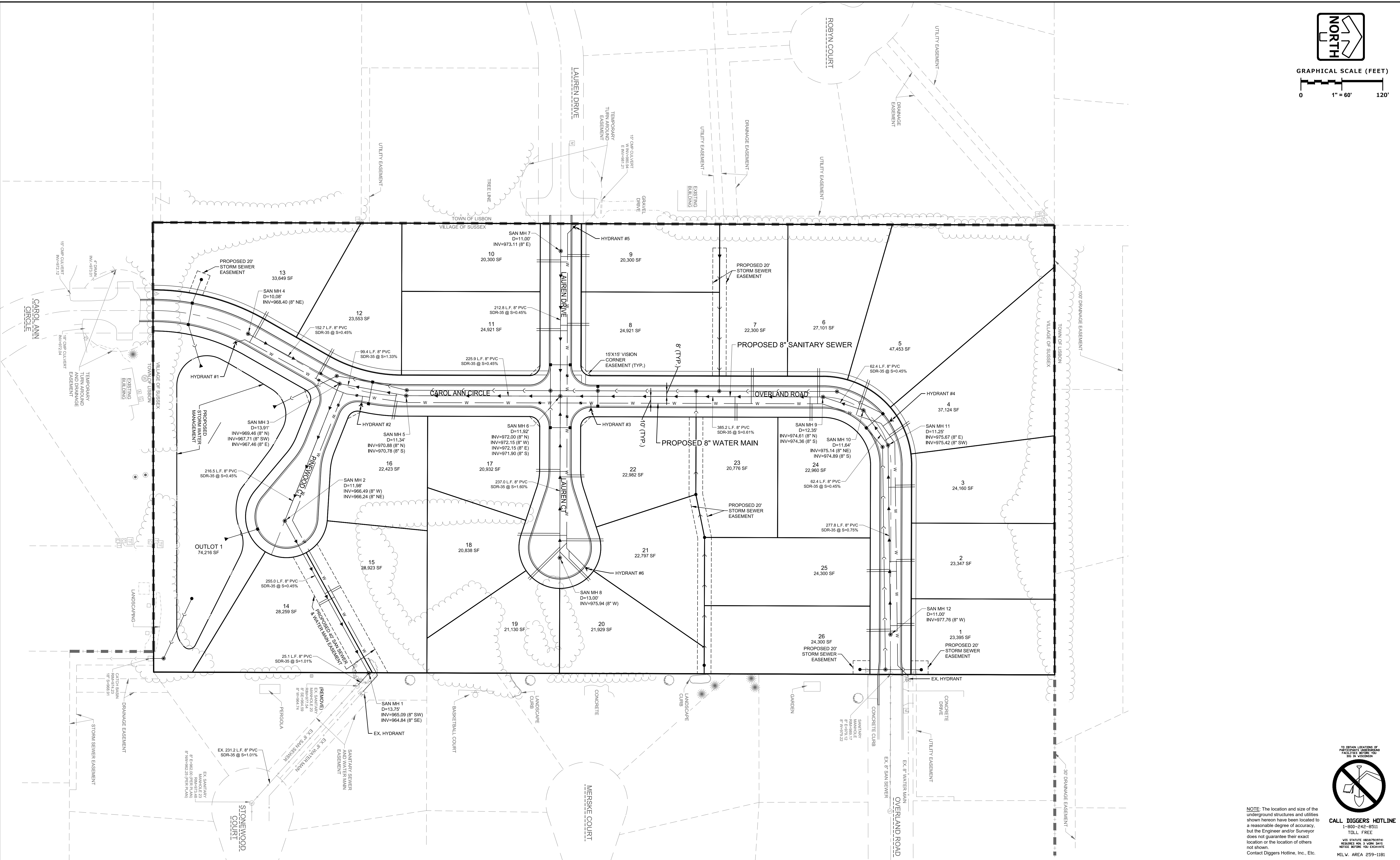
REG JOB No. **3042.00**
REG PM **ASZ**
START DATE **02-02-23**
SCALE **1" = 300'**

SHEET
C-1
OF
C-10

COVER SHEET

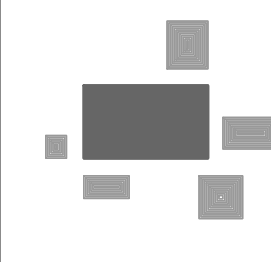
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DESIGNED: ASZ
REVIEWED: ASZ
DRAFTED: BR



NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.

TO OBTAIN LOCATIONS OF UNDETERMINED UTILITIES, CALL 1-800-242-8511
TOLL FREE
VIA STATUTE 184.27(1974)
INQUIRIES AND 24 HOURS DAILY
NOTICE BEFORE YOU EXCAVATE
MILWAUKEE AREA 259-1181



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(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

GOLDEN FIELDS OF SUSSEX VILLAGE OF SUSSEX, WAUKESHA CO., WI

PRELIMINARY UTILITY SYSTEM MAP

| REVISIONS | |
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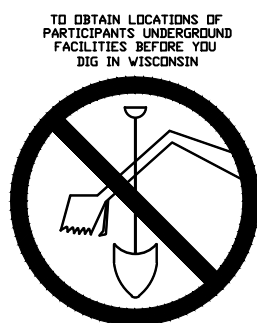
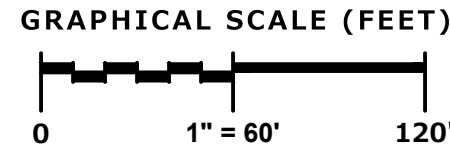
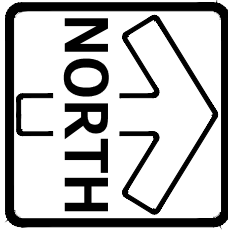
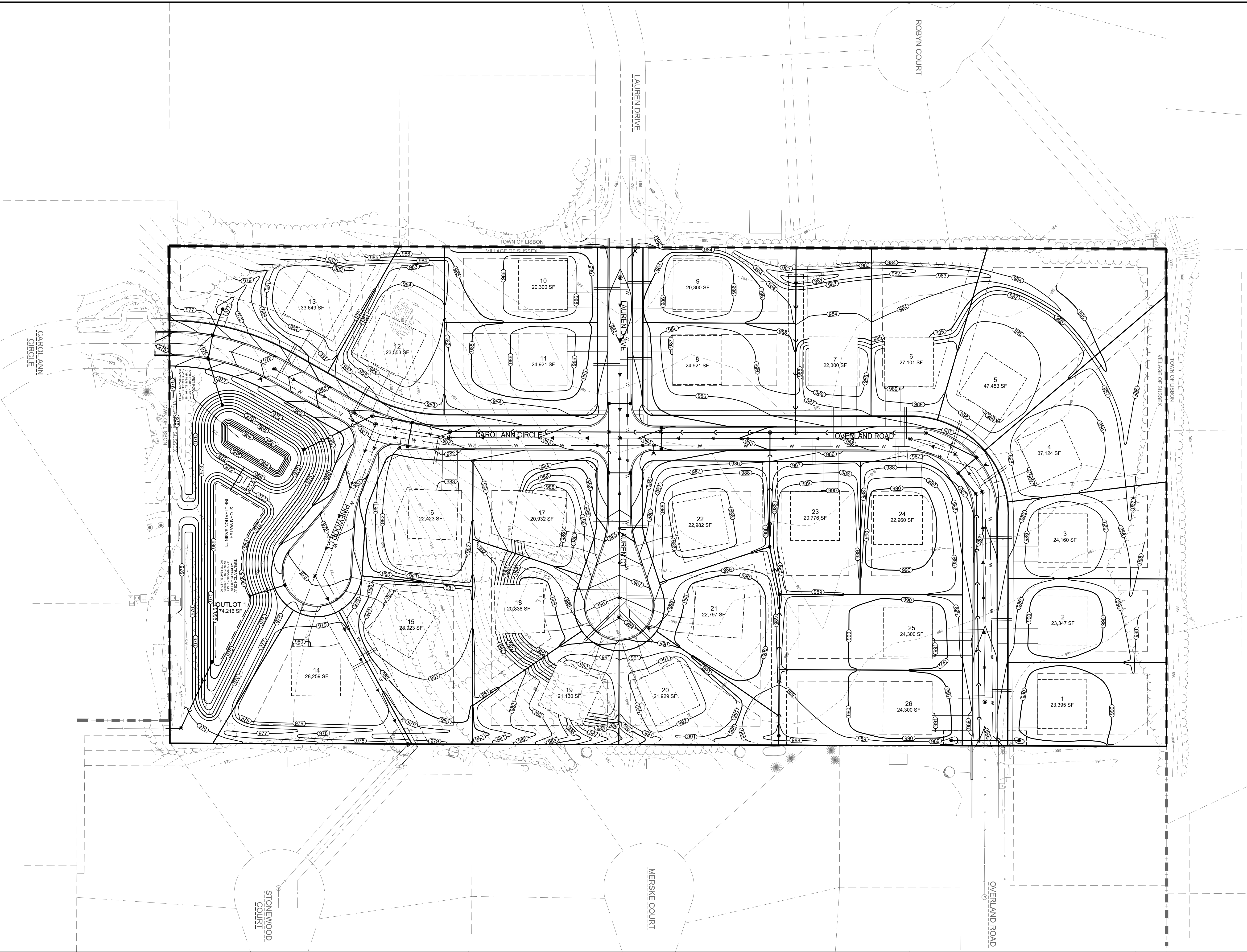
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| PEC JOB No. 3042.00 | ASZ |
| START DATE 02-02-23 | SCALE 1" = 60' |
| SHEET C-2 | |
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DESIGNED: BR

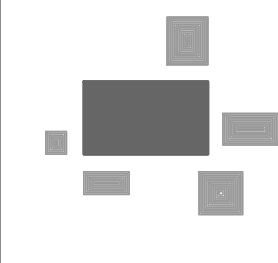
DRAFTED: ASZ

REVIEWED: ASZ



NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
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TO OBTAIN LOCATIONS OF FACILITIES, UNDERGROUND UTILITIES, AND STRUCTURES, CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE. VISIT STATUTE 184.27(1974) INSURED AND 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. MILWAUKEE AREA 259-1181



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CHICAGO | MILWAUKEE | NATIONWIDE

GOLDEN FIELDS OF SUSSEX

VILLAGE OF SUSSEX, WAUKESHA CO., WI

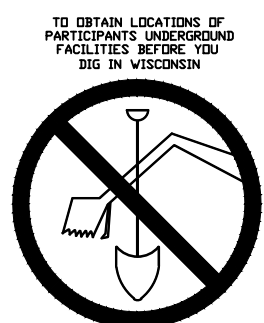
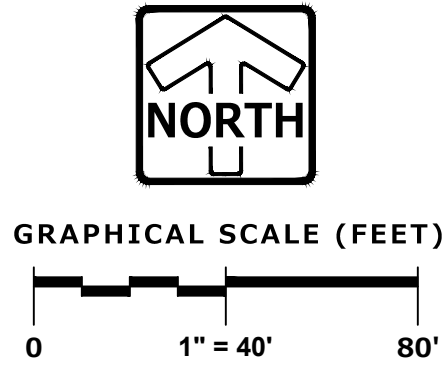
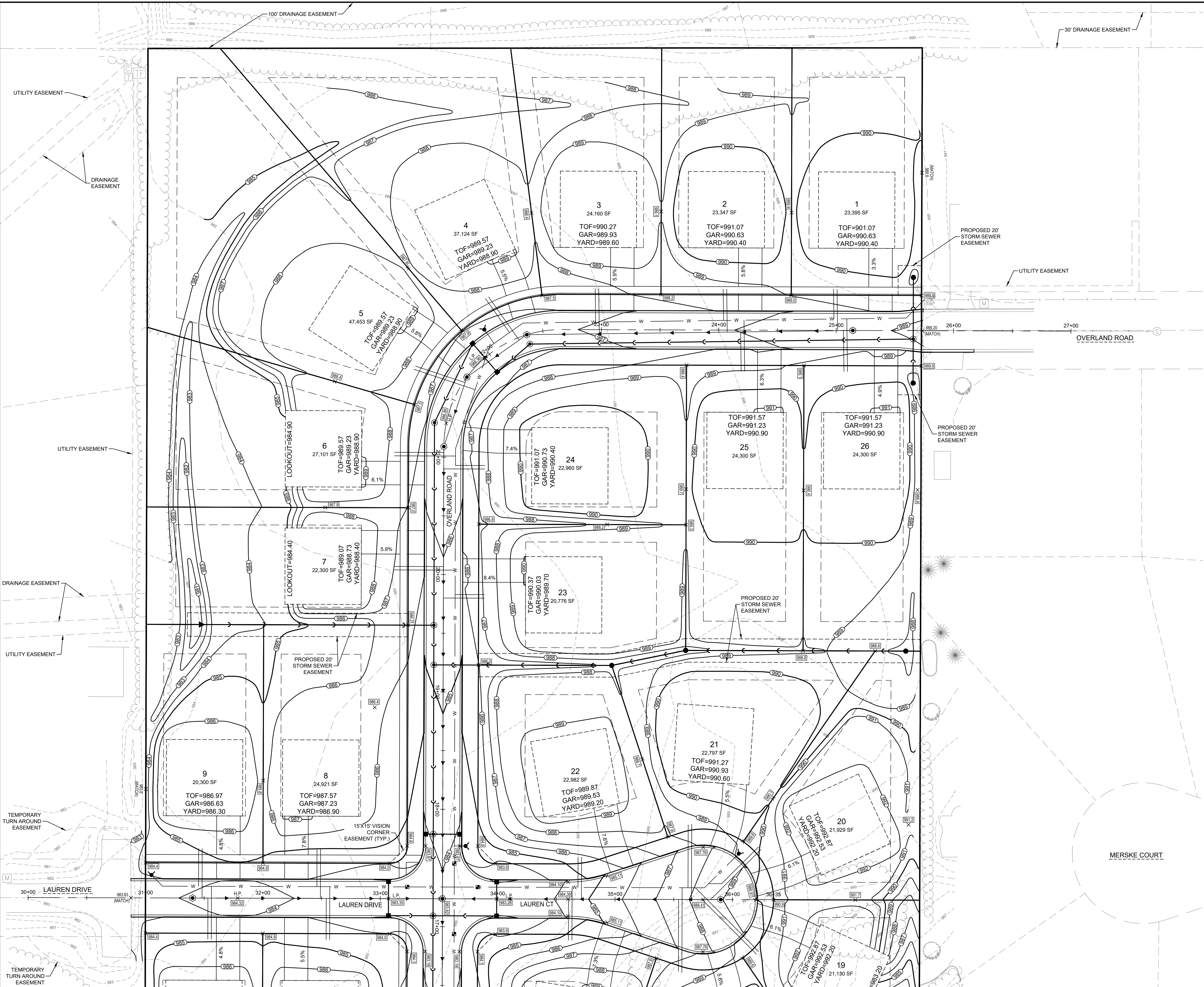
PRELIMINARY OVERALL GRADING PLAN

| REVISIONS | |
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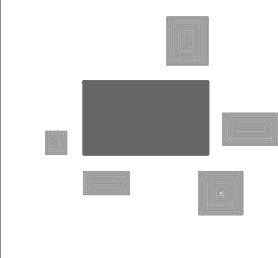
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| PEC JOB No. 3042.00 | ASZ |
| PEC PM | ASZ |
| START DATE 02-02-23 | SCALE 1" = 60' |
| SHEET C-3 | |
| C-10 | |

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REVIEWED: ASZ
DESIGNED: ASZ
DRAFTED: BR



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GOLDEN FIELDS OF SUSSEX

VILLAGE OF SUSSEX, WAUKESHA CO., WI

PRELIMINARY MASTER GRADING PLAN

REVISIONS

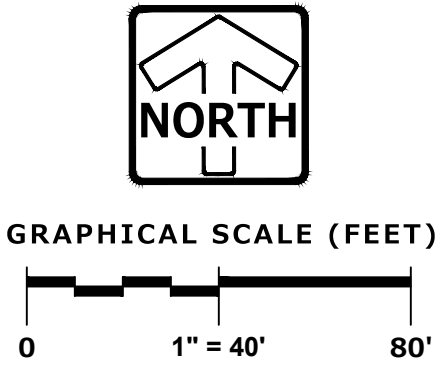
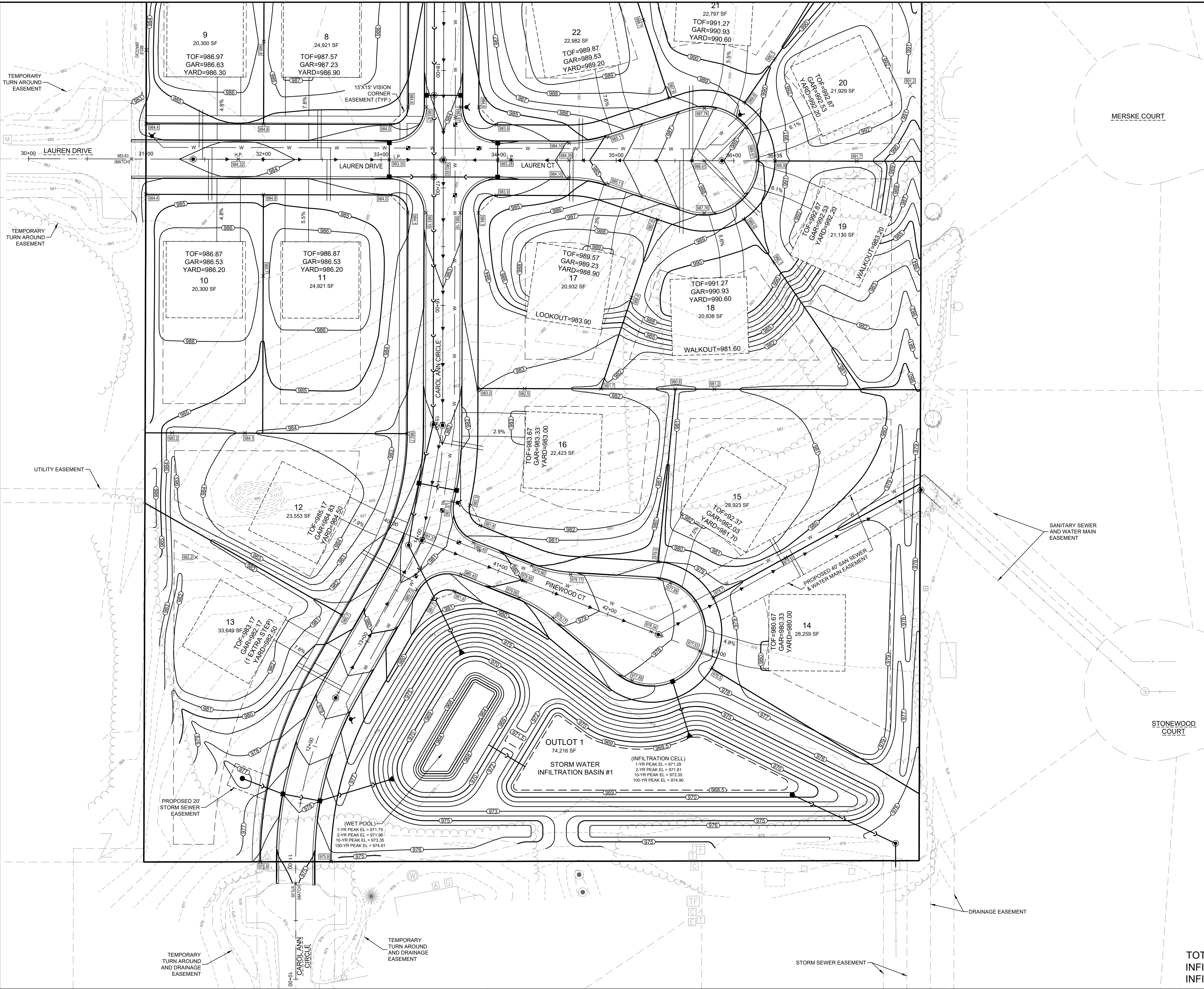
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| PEC JOB No. 3042.00 | ASZ | SHEET C-4 C-10 |
| PEC PM | ASZ | |
| START DATE 02-02-23 | SCALE 1" = 40' | |
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DESIGNED: ASZ
REVIEWED: ASZ

DRAFTED: BR



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TOTAL SITE TSS REMOVAL = 80.47%
INFILTRATION = 97.9% OF PRE-DEVELOPMENT
INFILTRATION AREA (ASSUMED 0.5IN/HR)

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GOLDEN FIELDS OF SUSSEX

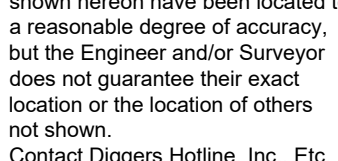
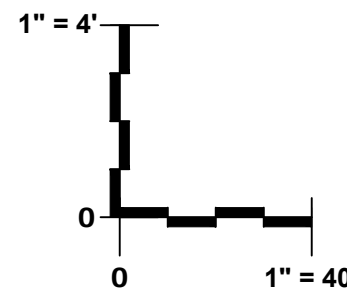
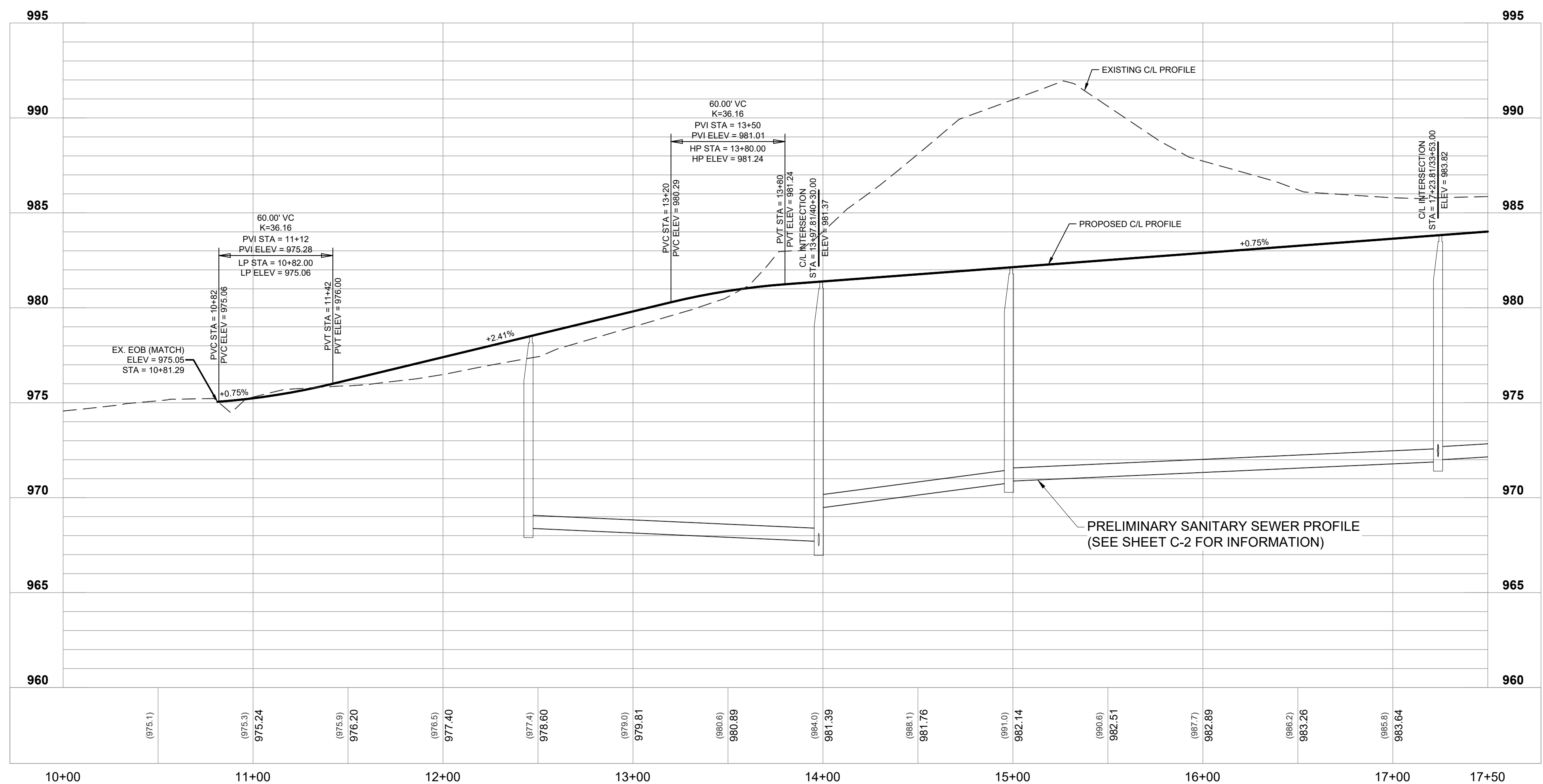
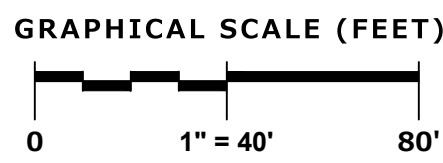
VILLAGE OF SUSSEX, WAUKESHA CO., WI

PRELIMINARY MASTER GRADING PLAN

| REVISIONS | |
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PEC JOB No. 3042.00
PEC PM ASZ
START DATE 02-02-23
SCALE 1" = 40'

SHEET
C-5
C-10



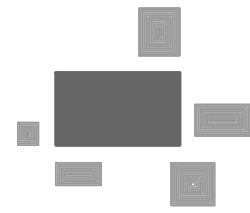
PRELIMINARY ROADWAY PLAN & PROFILES

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SHEET
C-6
C-10

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DRAFTED: BR DESIGNED: ASZ REVIEWED: ASZ



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GOLDEN FIELDS OF SUSSEX VILLAGE OF SUSSEX, WAUKESHA CO., WI

PRELIMINARY ROADWAY PLAN & PROFILES

REVISIONS

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PEC JOB No. 3042.00

PEC PM ASZ

START DATE 02-02-23

SCALE 1" = 40'

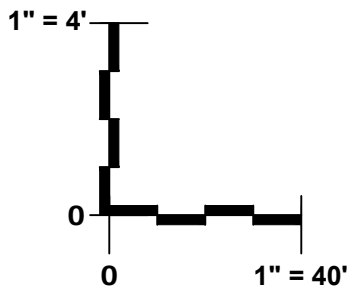
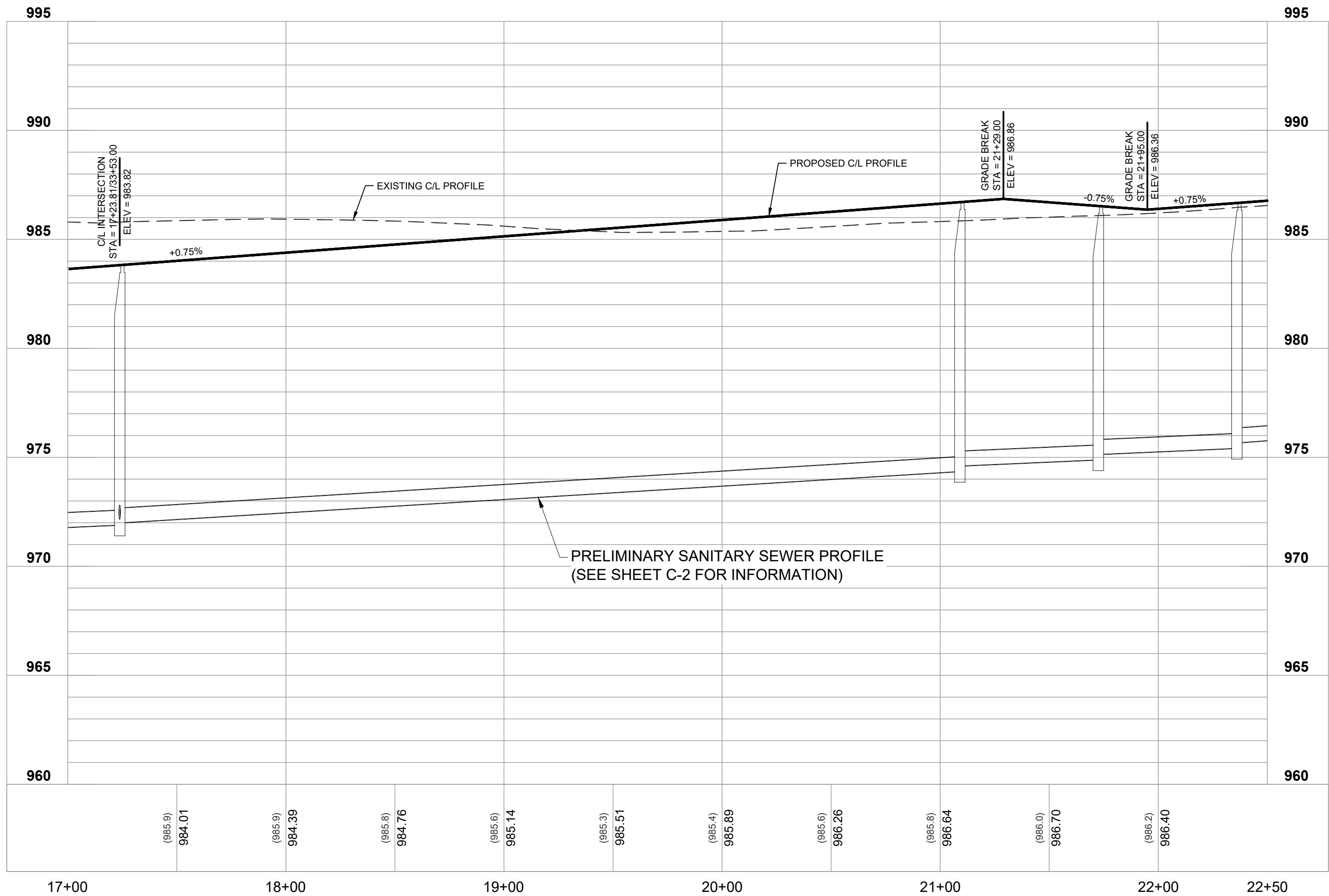
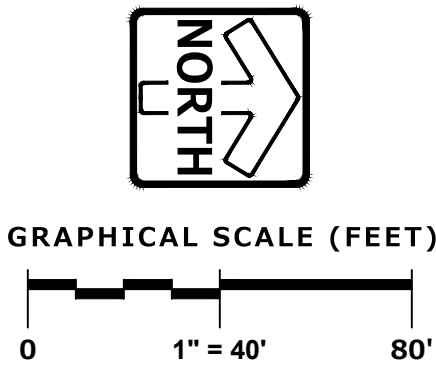
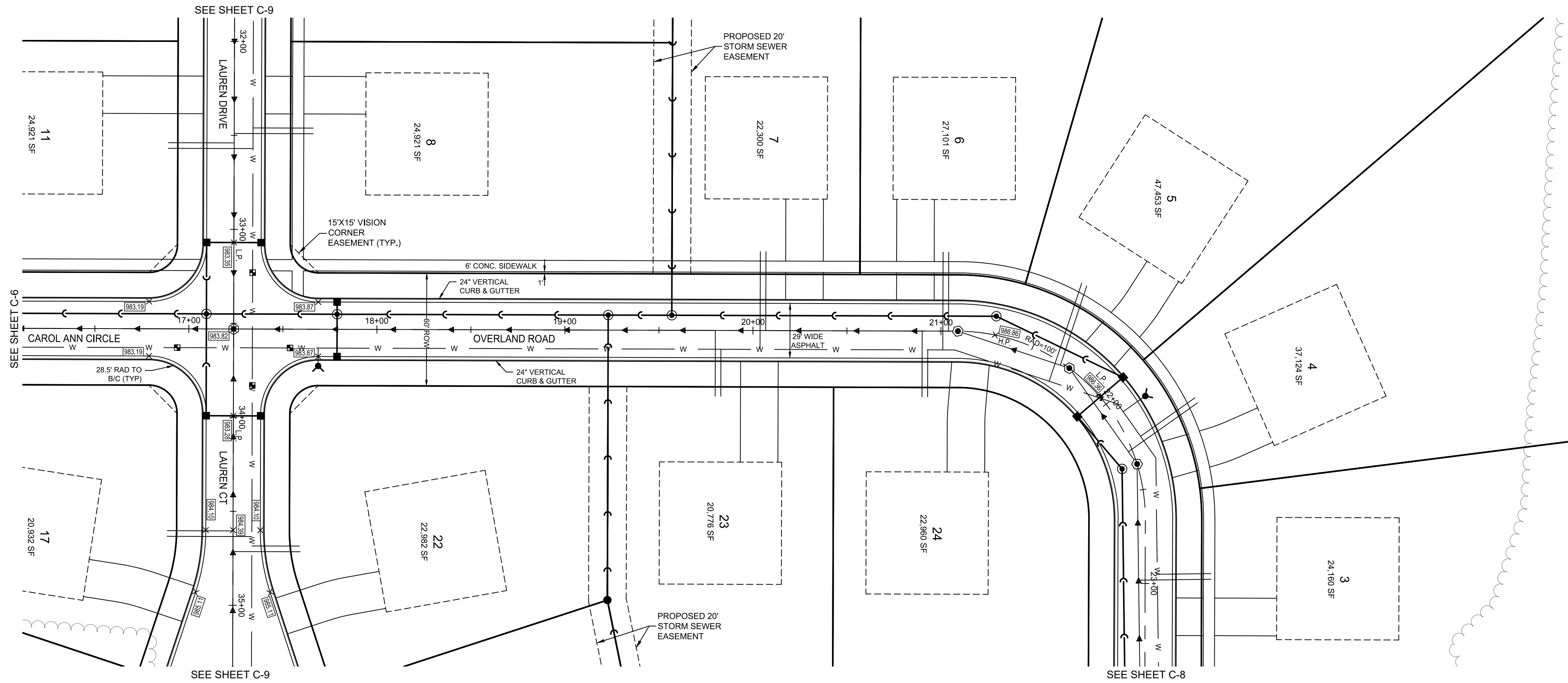
SHEET
C-7
C-10



CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE

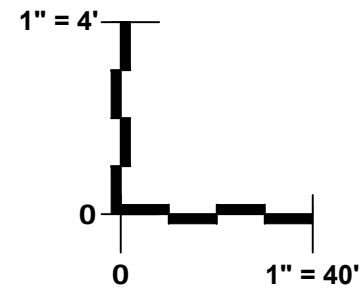
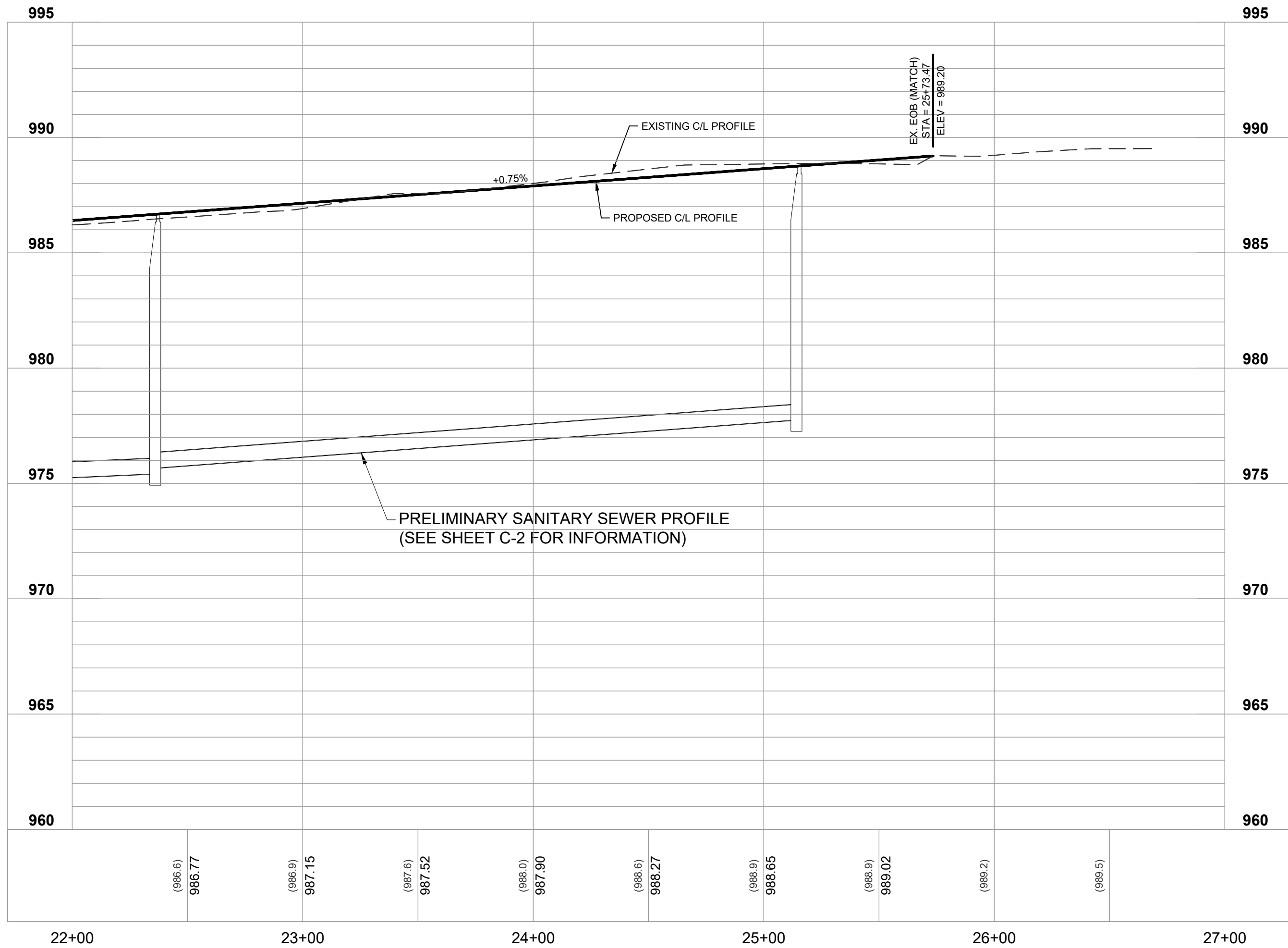
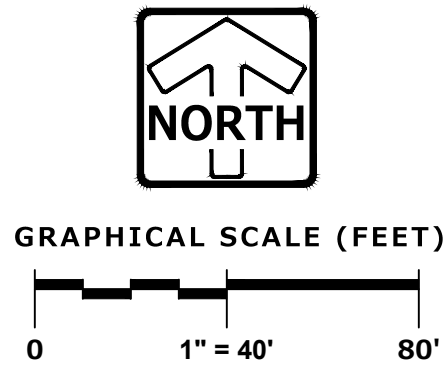
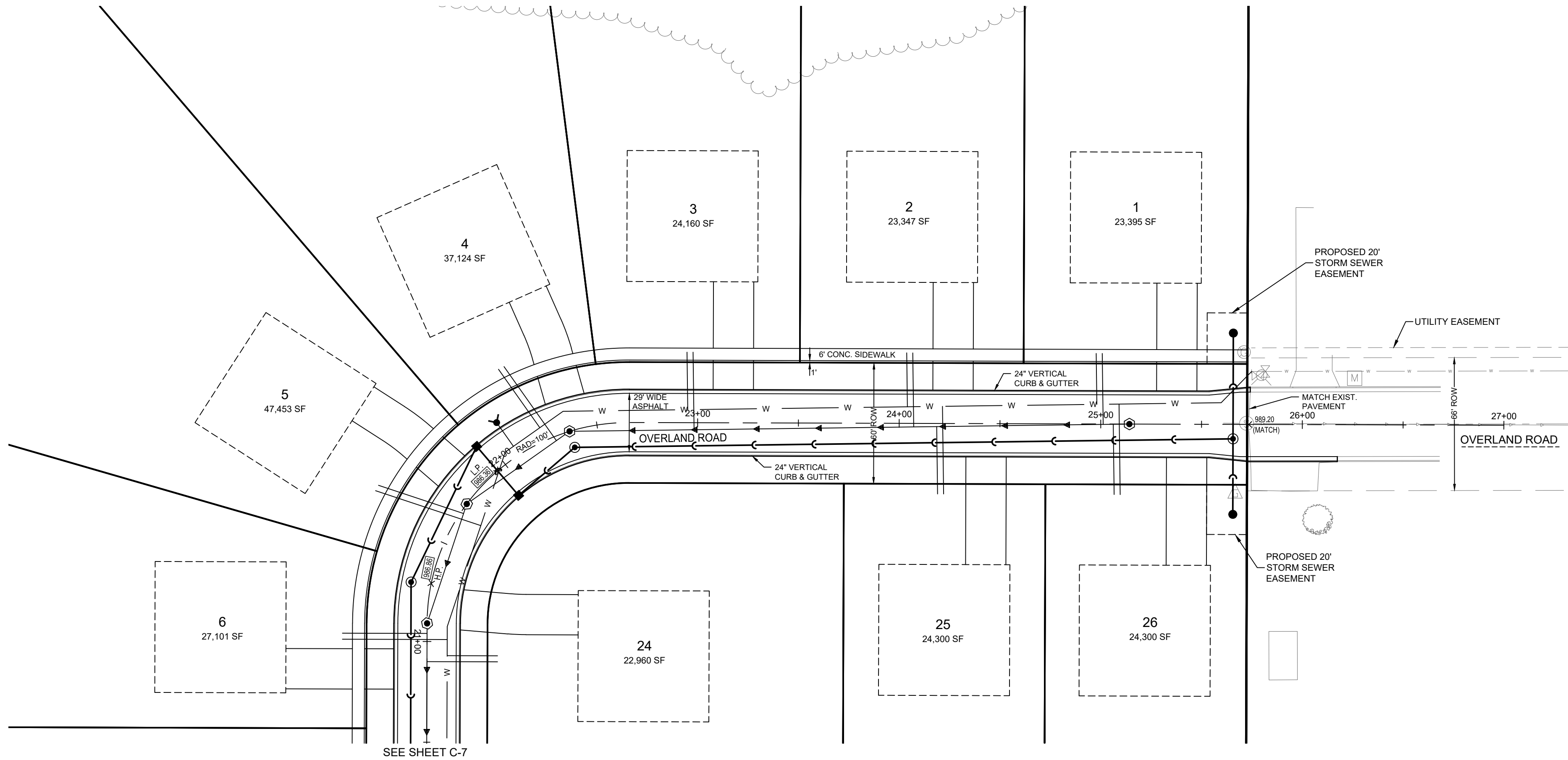
VIS STATUTE 98.07(2) AND
REGULATORY 3.03(2) DATES
NOTICE BEFORE YOU EXCAVATE
MIL W. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
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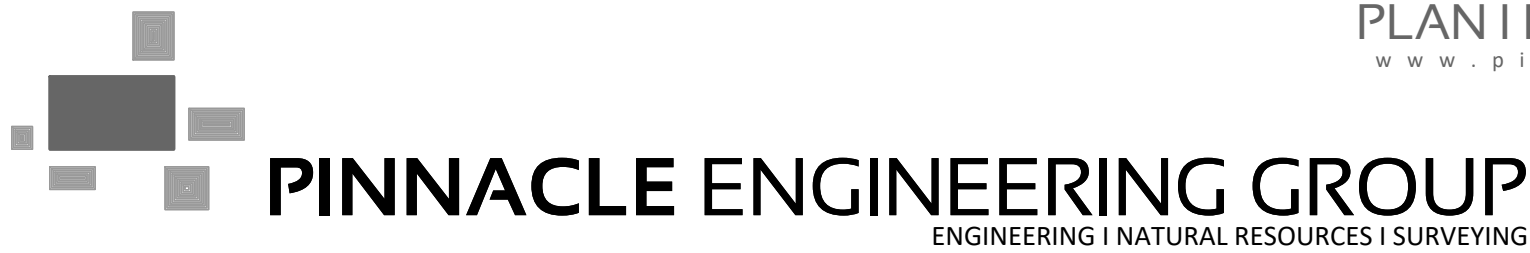
DRAFTED: BR
DESIGNED: ASZ
REVIEWED: ASZ



CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE

VIS STATUTE 98.07(3) AND
98.07(4) FOR
NOTICE BEFORE YOU EXCAVATE
MIL W. AREA 259-1181

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underground structures and utilities
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GOLDEN FIELDS OF SUSSEX

VILLAGE OF SUSSEX, WAUKESHA CO., WI

PRELIMINARY ROADWAY PLAN & PROFILES

REVISIONS

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PEC JOB No. 3042.00

PEC PM ASZ

START DATE 02-02-23

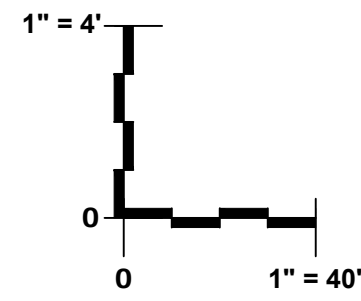
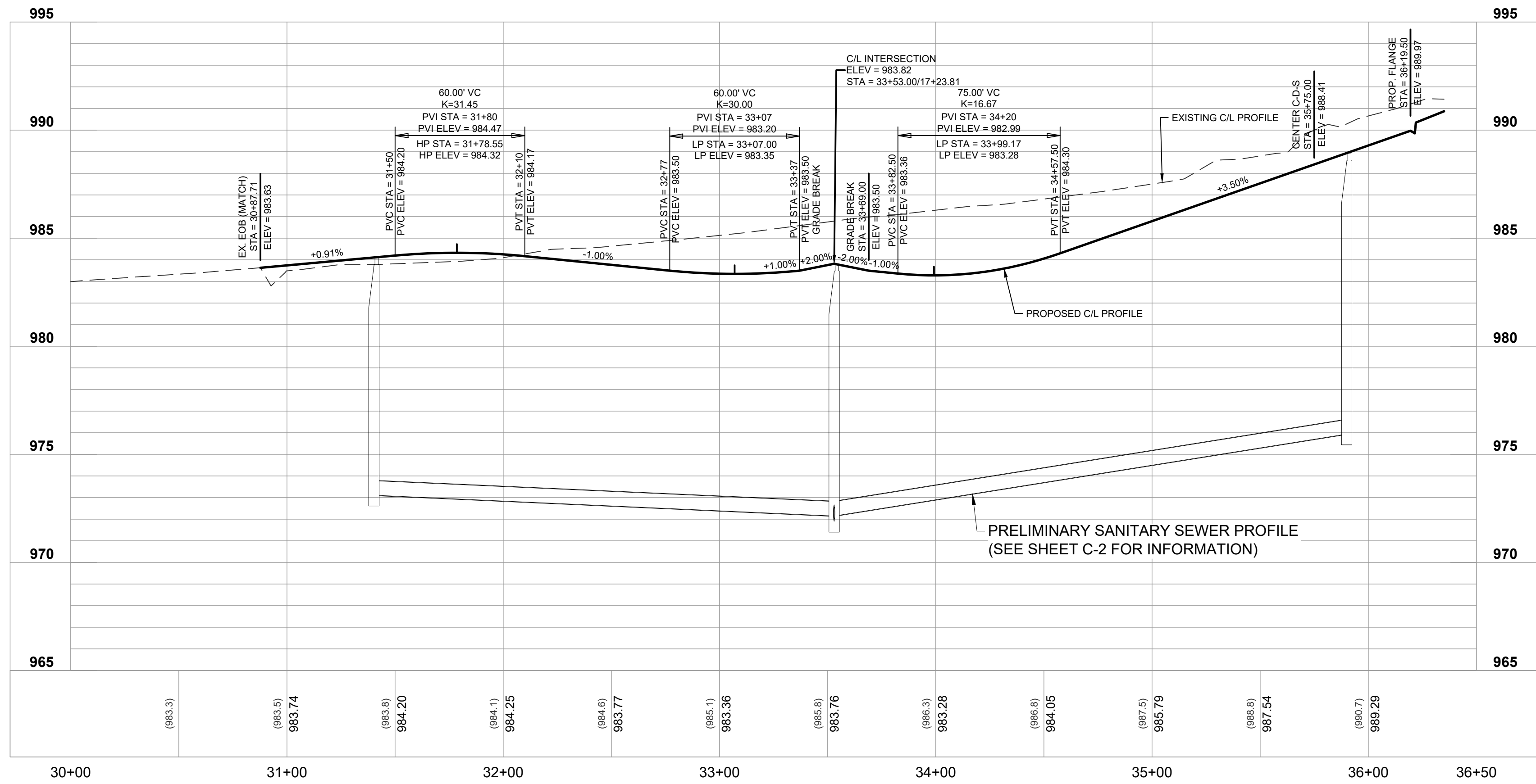
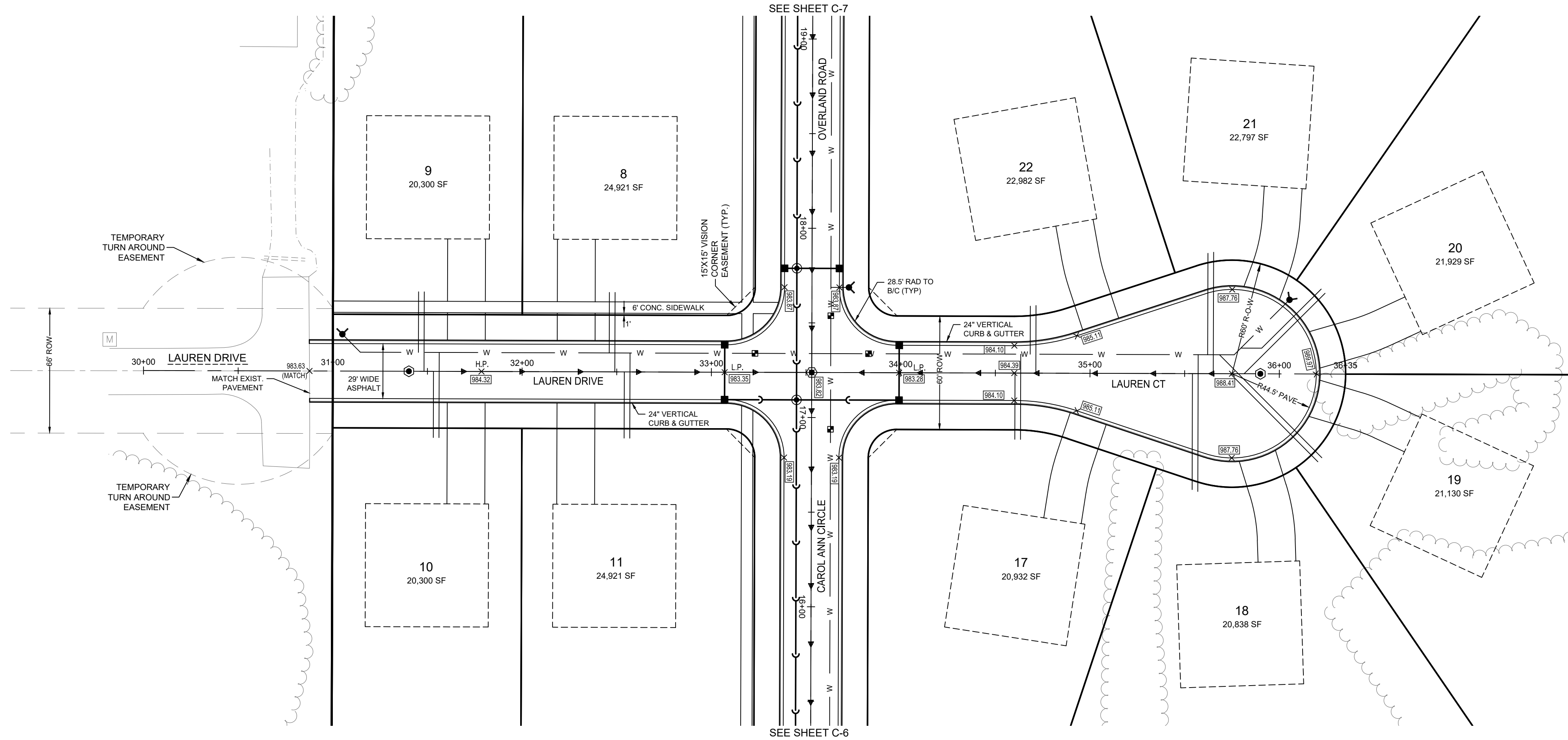
SCALE 1" = 40'

SHEET C-8

C-10

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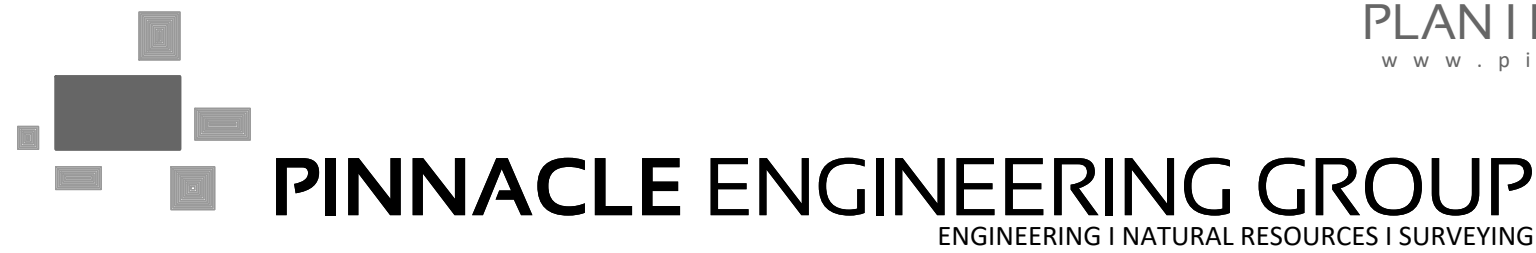
DESIGNED: ASZ
REVIEWED: ASZ
DRAFTED: BR



CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE

VIS STATUTE 96A.07(4)
REGISTER FOR 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MIL W. AREA 259-1181

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PRELIMINARY ROADWAY

PLAN & PROFILES

REVISIONS

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PEC JOB No. 3042.00
PEC PM ASZ
START DATE 02-02-23
SCALE 1" = 40'

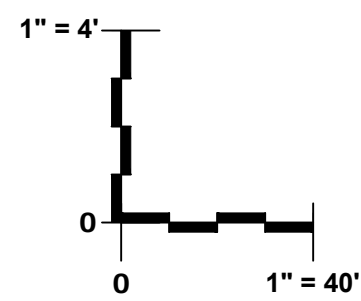
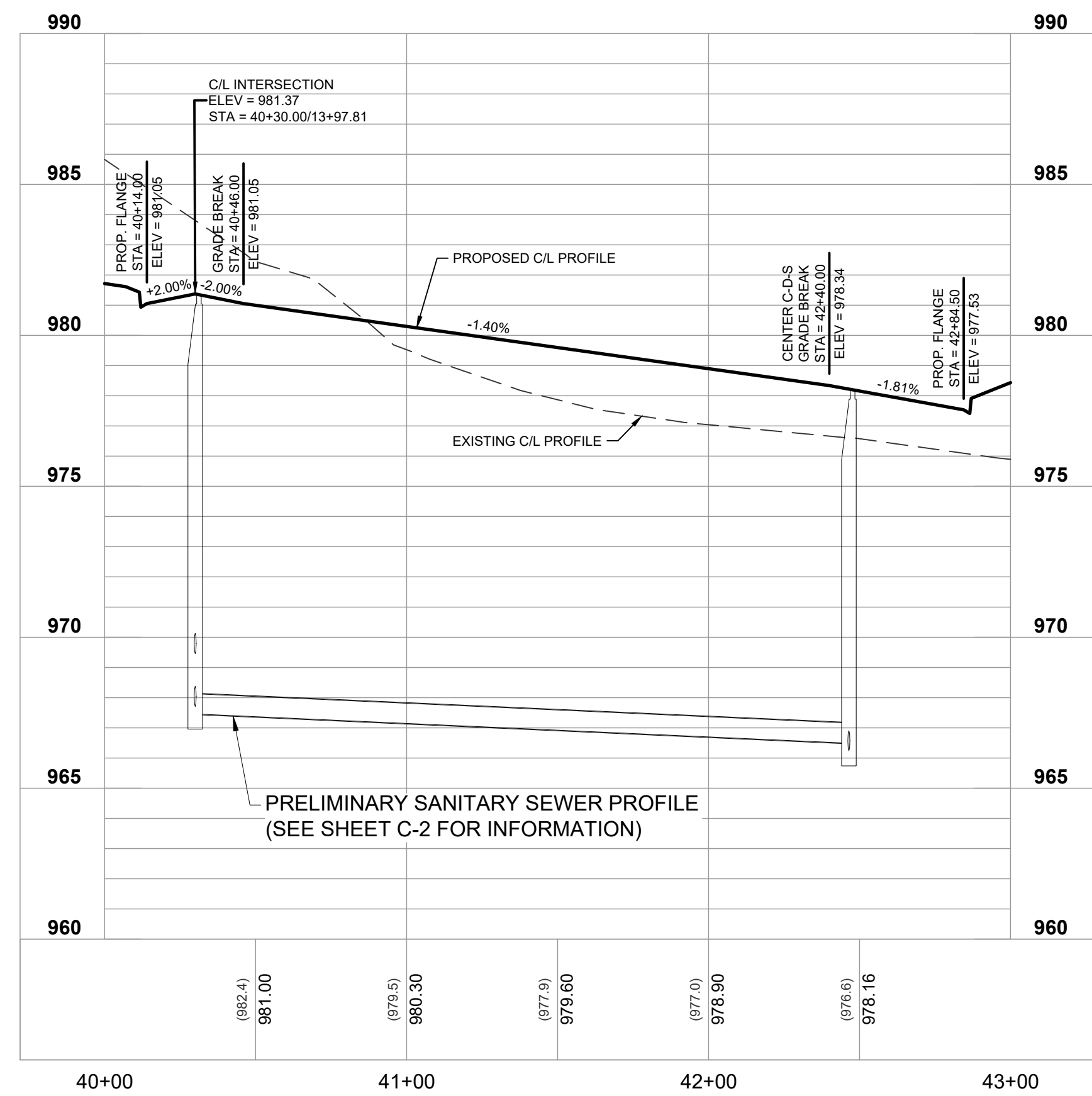
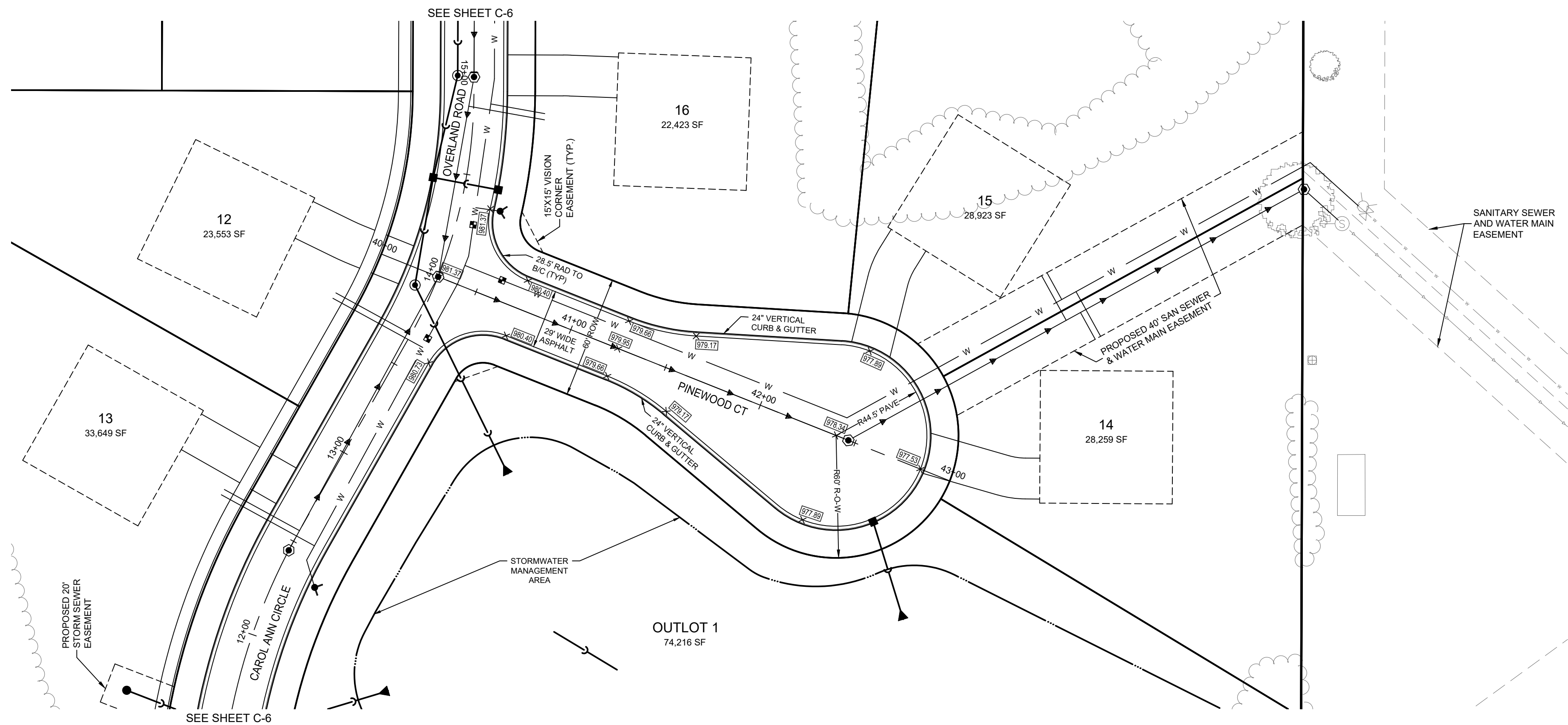
SHEET
C-9
C-10

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PRELIMINARY ROADWAY PLAN & PROFILES

PRELIMINARY

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GRAPHICAL SCALE (FEET)

0 1" = 40' 80'



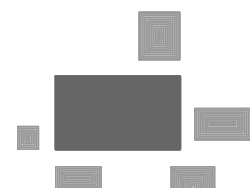
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1181

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GOLDEN FIELDS OF SUSSEX
VILLAGE OF SUSSEX, WAUKESHA CO., WI

PRELIMINARY ROADWAY PLAN & PROFILES

REVISIONS

[illegible]

REG JOB No. 3042.00

EG PM ASZSTART DATE 02-02-23

SCALE 1" = 40'

200

PRELIMINARY

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- LEGEND OF SYMBOLS & ABBREVIATIONS
- | | | | | |
|--------------------|-----------------------------|-----------------------|----------------------|----------------------------------|
| ○ SANITARY MANHOLE | △ FIBER OPTIC MARKER | ▽ SIGN | —○— SANITARY SEWER | CL —○— CENTERLINE |
| ○ STORM MANHOLE | △ FIBER OPTIC MANHOLE/VAULT | □ MAIL BOX | —○— STORM SEWER | CONC. —○— CONCRETE |
| □ CLEANOUT | □ TELEPHONE PEDESTAL | □ FLAG POLE | —○— WATER MAIN | EL. —○— ELEVATION |
| ○ CATCH BASIN | ○ TELEPHONE MANHOLE/VAULT | ○ BASKETBALL HOOP | —○— FIBER OPTIC LINE | EXT. —○— EXISTING |
| ○ LATERAL | ○ TELEPHONE MARKER | ○ BOLLARD | —○— TELEPHONE LINE | INV. —○— INVERT |
| ○ UNKNOWN MANHOLE | △ TRANSFORMER | × CROSS CUT | —○— ELECTRIC LINE | MON. —○— MONUMENT |
| ○ WELL | ○ ELECTRIC METER/PEDESTAL | ○ IRON PIPE | —○— OVERHEAD WIRES | P.O.B. —○— POINT OF BEGINNING |
| ○ HYDRANT | ○ ELECTRIC MANHOLE/VAULT | ○ IRON REBAR/ROD | —○— CATV | P.O.C. —○— POINT OF COMMENCEMENT |
| ○ WATER VALVE | ○ GAS VALVE | ○ MAG NAIL | —○— GAS MAIN | R.O.W. —○— RIGHT OF WAY |
| ○ DOWN SPOUT | ○ GAS METER | ○ SECTION MONUMENT | —○— TREE LINE | SEC. —○— SECTION |
| ○ SPRINKLER VALVE | ○ GAS MARKER | ○ BENCH MARK | —○— NO ACCESS | 30. FT. —○— SQUARE FEET |
| ○ WATER SHUT OFF | ○ AIR CONDITIONING UNIT | ○ CONIFER TREE | —○— SOL. MAP LINE | (W) —○— WITH |
| ○ STANDPIPE | ○ VENT | ○ DECIDUOUS TREE | | (R) —○— RECORDED AS |
| ○ WATER MANHOLE | ○ DUMPSTER | ○ BUSH | | (D) —○— DEEDED AS |
| ○ FLOOD LIGHT | ○ HANDICAP STALL | ○ DIRECTIONAL ARROW | | |
| ○ LIGHT POLE | ○ SPOT ELEVATION | ○ TRAFFIC SIGNAL POLE | | |
| ○ UTILITY POLE | ○ SEPTIC COVER | ○ GUY WIRE | | |

SOILS ON SITE:
DdA = Dodge silt loam (C)
HmB2 = Hochheim loam (D)
HmC2 = Hochheim loam (D)
HmD2 = Hochheim loam (D)
KIA = Kendall silt loam (C)
ScA = St. Charles silt loam (B)
ThA = Theresa silt loam (C)
ThB = Theresa silt loam (C)

LEGAL DESCRIPTION:

Being a part of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 8 North, Range 19 East, Village of Sussex, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 15; thence North 89°57'25" East along the north line of said Southwest 1/4, 1326.04 feet to the northeast corner of Polo Fields, a recorded subdivision, and the Point of Beginning;

Thence continuing North 89°57'25" East along said north line, 659.61 feet to the northwest corner of Stonewood Estates of Sussex II, a recorded subdivision; thence South 00°10'44" West along the west line of said subdivision, 1321.21 feet; thence South 89°53'50" West along said Stonewood Estates of Sussex II and then along the north line of Western Oaks Subdivision, a recorded subdivision, 659.44 feet to the monumented southwest corner of the Northeast 1/4 of the said Southwest 1/4; thence North 00°10'17" East and then along the east line of Certified Survey Map No. 5654 and then along the east line of the aforesaid Polo Fields, 1321.90 feet to the Point of Beginning.

Address: N74W24659 Lauren Drive, Lisbon WI 53089
Tax Key No. SUXX 0203.993.001

SITE INFORMATION:

PROPOSED ZONING: TS1 PDO
MIN. LOT AREA = 20,000 SF
MIN. LOT WIDTH AT SETBACK = 100'
FRONT SETBACK = 40'
SIDE SETBACK = 15'
REAR SETBACK = 25'

NUMBER OF LOTS = 26
LENGTH OF ROAD = 2,258 LF
AVERAGE LOT SIZE = 28,096 SF

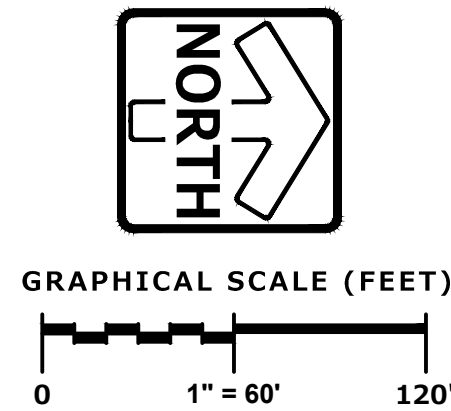
SEE LANDSCAPE PLAN FOR LANDSCAPE TREATMENT

GENERAL NOTES

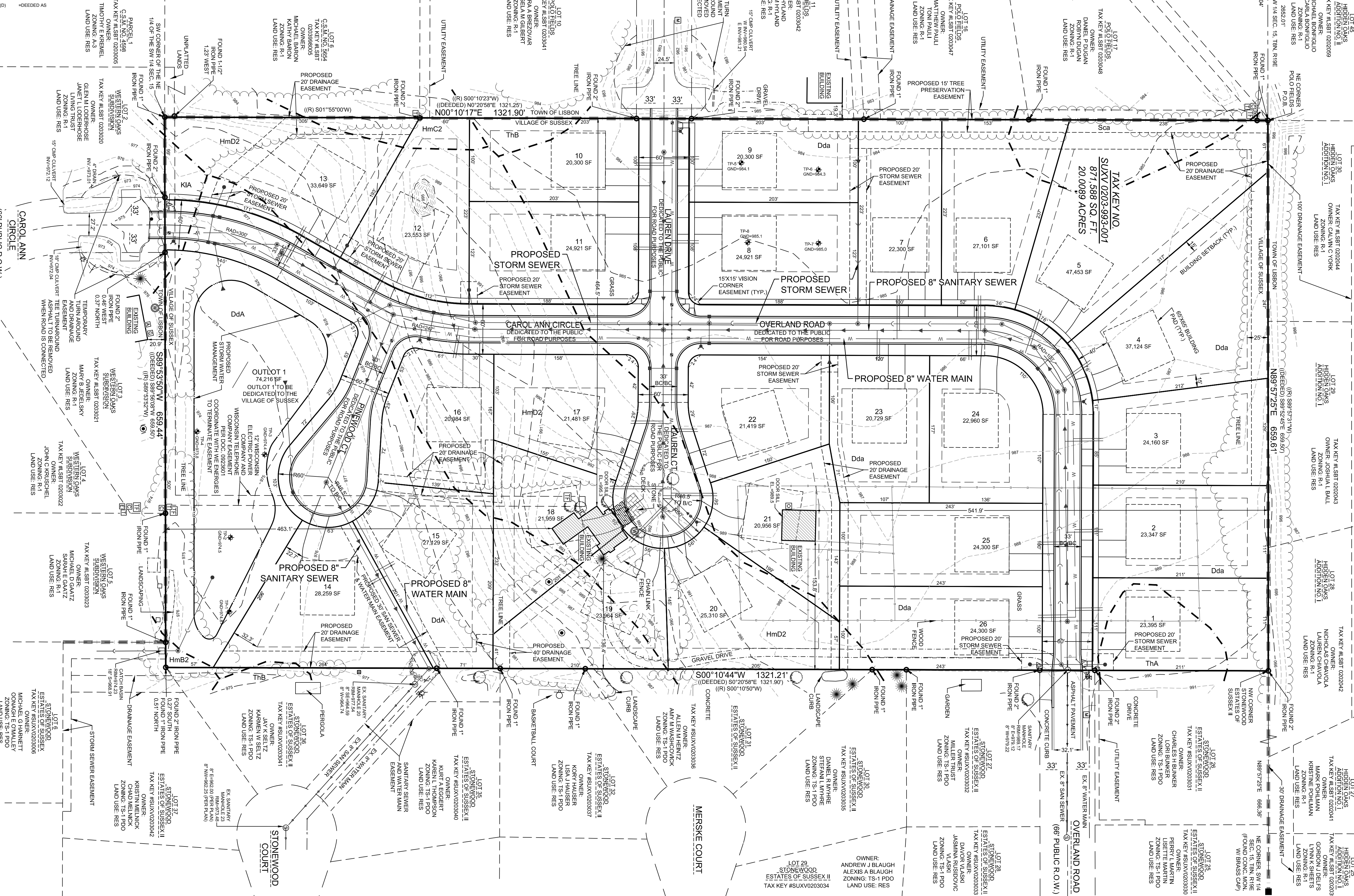
- Survey prepared for: Hartford Land Development, LLC
- Field work completed on DECEMBER 12, 2022.
- At the time of this survey the subject property contained snow covered ground conditions. Pinnacle Engineering Group, LLC takes no responsibility for any improvements that can not be located based on a reasonable visual observation.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55130C0089G with an effective date of NOVEMBER 5, 2014. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- Vertical Datum: North American Vertical Datum of 1988 (12), (NAVD88). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. **Reference Benchmark:** Concrete monument with brass cap at the southeast corner of the Southwest 1/4 Section 15, Town 8 North, Range 19 East, Elevation = 972.98.
- Underground utility locations shown are based on field location markings by Digger's Hotline ticket. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.
- Outlot statement: each individual lot owner shall have an undividable fractional ownership in Outlot 1. Waukesha County and the Village of Sussex shall not be liable for any fees or special charges in the event they become the owner of any Lot or Outlot in the Subdivision be reason of tax delinquency.
- The height of all plantings, berms, fences, signs or other structures within the vision corner easement is limited to 24 inches above the elevation of the center of the intersection.
- Wetland & Waterway Consulting, LLC inspected the subject property in November 2022 and determined there are no wetlands on the property.
- Per the Waukesha County GIS there are no PEC/SEC/INRA on the subject property.

PROJECT ENGINEER/SURVEYOR:
ANTHONY S. ZANON, P.E.
JOHN P. KONOPACKI, P.L.S.
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
tony.zanon@pinnacle-engr.com

OWNER/DEVELOPER:
HARTFORD LAND DEVELOPMENT, LLC
ATTN: MIKE KAEREK
11600 W. LINCOLN AVE
WEST ALLIS, WI 53227
(414) 321-5300



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (NAD 1983/2011). The north line of the Southwest 1/4 of Section 15, Township 8 North, Range 19 East has a bearing of N89°57'25"E.



PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
20725 WATERTOWN ROAD
BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

GOLDEN FIELDS OF SUSSEX

PART OF THE NE 1/4 OF THE SW 1/4 OF SEC. 15. T8N, R19E
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN

GENERAL DEVELOPMENT PLAN

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|------------------|
| 1 | 03-06-23 | VILLAGE COMMENTS |

SHEET
C-1
C-1

DRAFTED: BR
DESIGNED: ASZ
REVIEWED: ASZ

C-1



3/13/23

Village of Sussex Committees

Our current license allows the sales of alcoholic beverages to be sold inside of Sussex Bowl and may be consumed outside the building currently in the seating areas and or in the fenced in areas of the Volleyball & Bags area.

1. Sussex Bowl would like to expand the patio area to run throughout the entire parking lot, volleyball & bags area. The areas would be used for outdoor car and bike showings on Mondays starting the 1st week of May and running through the week of Labor Day. Please see map for full use of the parking lot and amenities added. Outdoor bars will be closed by 10:00pm. Music will be monitored by Sussex Bowl with a handheld decibel reader, not to exceed the village rules. Stage can be placed in (two) separate areas depending on sound. See map for the areas.
2. Sussex Bowl would like to have a weekly Car/Bike show on Mondays in May – September. Show would run between the hours that has been agreed upon with the committees (Set up would start approximately at 3pm). We would like to utilize our current outside bar area and add a temporary rolling bar that would only be active through show times.

Thank you for your consideration in upgrading our permits! I look forward to working with the Village, Police & Fire Dept to assure we have a family friendly event & raise a bunch of money for charities moving forward!

Please direct any questions or concerns to either Beth Kjell or Stephen Hoehnen at 262-246-6808.

Sincerely,

Beth Kjell / Stephen Hoehnen

Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests with show cars/bikes will enter off Main Street and follow route around to park accordingly in spots (1 car 1 spot, 2 bikes 1 spot) directed by SB employees.
- Our parking Lot will shut down at 4pm to accommodate show vehicles/bikes with SB employees at entrance, exit and directing show cars and a SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1st - May 5th.
- Cruise In Event shall run Every Monday starting May 8th and alternating car/bike nites through August 28th from 4pm - 10pm. Live music or DJ will be available & on stage from 6pm-9pm, 5:30pm - 8:30pm, or 5pm - 8pm. Depending on what the Village suggests.
 - Additional Temporary beer/soda/food stand on backside of building. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. (1st year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building & from volleyball area.



Application for a Special Event

Sussex Parks & Recreation Department

N64 W23760 Main Street - Sussex, WI 53089

Phone: 262-246-5200 Fax: 262-246-5222

Email: info@villagesussex.org

A Special Event is defined as an event with more than 200 people. Reservations must be made 45 days in advance and are subject to an approval process. Special Events Rentals are required to complete the appropriate rental application as well.
Special Event Permit Fee - Non-refundable \$25.00

ORGANIZATION INFORMATION - Answer all questions completely

Name of Organization: SUSSEX BOWL
Address: N64W24576 MAIN ST City, State, Zip: SUSSEX, WI 53089
Website: SUSSEXBOWL.COM Tax Exempt Number (attach proof): _____

CONTACT INFORMATION

Event Contact Person: Beth KJELL Email: BETH@SUSSEXBOWL.COM
Day Phone: 262-246-6808 Evening Phone: _____ Cell Phone: _____
Alternate Contact: _____ Email: _____
Day Phone: _____ Evening Phone: _____ Cell Phone: _____

EVENT INFORMATION - Answer all questions completely

Name of Event: Sussex Bowl Cruise In Aug 7, 14, 21, 28
Date(s) of Event: May 1, 8, 15, 22, 29 - June 5, 12, 19, 26 - July 3, 10, 17, 24, 31
Date(s) of Rental (including set-up/take-down): no rental - potluck down with 10/27/23
Event Hours: (include both your set-up time and clean up time) (3pm-5pm Setup) (5-10 event) (6-9 live music)
Estimated Parking Needs: complete lot Estimated Attendance: not known yet
Location of Event: _____ Village Park _____ Armory Park _____ Civic Center Sussex Bowl

What contact information can be given out for more information? _____

Check the following applicable components
of your event:

☐ Baseball/Softball Tournament

☒ Fundraiser

☒ Sell concessions/Sales of Any Kind

☐ Food Trucks

☐ Fireworks Display

☐ Overnight Camping

☒ Attracts more than 200 people

☐ Amusement Rides, Inflatables

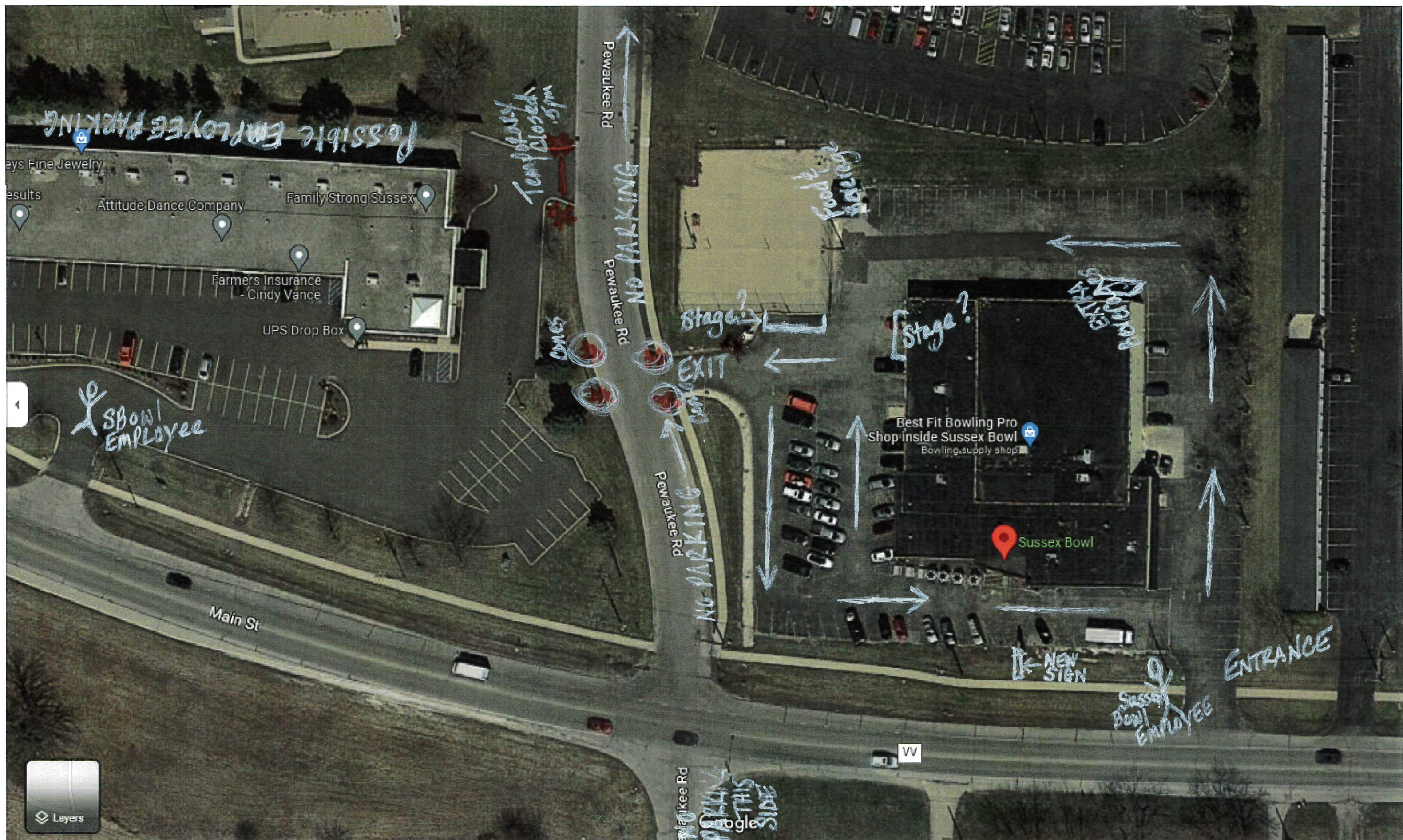
☐ Tractor Show/Pull

☐ Parade or Run/Walk event

Please describe the purpose of your event, list any additional activities at your event or special requests:

Weekly Car/Bike Night Cruise In to benefit the community with a weekly event to attend that is family friendly, contributes to a variety of charities + promotes our car & bike hobby to youth & others in area.

| EVENT DETAILS | NO | YES | ACTION TO BE TAKEN | FEE |
|---|----|-----|---|-----|
| Was a Special Event Permit ever previously approved or denied for this event? | X | | | |
| Will there be outdoor amplified sound? | | X | See Chapter 9 in Village of Sussex Municipal Code regarding noise regulations. | |
| Will alcohol be consumed? | | X | \$15 Beer/Beverage Permit Fee per day | |
| Will alcohol be sold? (This includes any charges made for alcohol directly or indirectly for alcohol) | | X | \$10 Temporary Alcohol License, \$10 Operator License for each individual serving alcohol and actual cost for each background check | |
| Are you requesting any Village street(s) to be closed to traffic? | X | | Prepare traffic control plan in conformance with Waukesha County Sheriffs Department and provide to the Village of Sussex. | |
| Will items or services be sold or given away at the event? | | X | A State Sellers/Raffle permit may be required. | |
| Does this event involve a plan for tents, stages, inflatable bounce houses or temporary structures? | | X | Must contact Diggers Hotline & Village of Sussex DPW to have the area marked. Any fees will be the responsibility of the renter. Show on site plan. | |
| Does your event include food concession, preparation areas, and/or do you intend to cook food in the event area? If so, will there be open flame cooking in booths, food trucks, or trailers? | | X | The food vendors may need to be licensed through the state. Any food vendors that need to be licensed through the State need to provide the license to the Village of Sussex. | |
| Will you be using electricity? | | X | Use of electricity may be metered and charged after the event is complete. | |
| Will there be a need for additional refuse or recycling containers? | X | | Indicate on your site plan your anticipated refuse and recycling needs. An additional fee may apply. | |
| Do you plan to provide additional portable toilets at your event based on expected attendance? | | X | Ratio 1 to 100 or 1 to 50 for Alcohol Focused Events required. If not, Village of Sussex staff will determine needs for additional restrooms and bill you accordingly. For any special event, port-o-johns will be assessed a special cleaning fee for each day of the event if using Village port-o-johns. | |
| Does this event involve banners/signage? | | X | \$30 Temporary Sign Permit is required. | |
| Have you provided a plan that includes information about security and emergency services on your site plan? | | X | Show on site plan. Consultation with the Fire and Sheriff's Dept. may be needed. | |
| Will you be having any kind of animals, performances, or amusement rides? | X | | Must provide a certificate of insurance listing Village of Sussex as additional insured. | |
| Have you determined your parking plan? | | X | Show on site plan. | |
| Are you requesting the use of traffic safety equipment, signs or barricades? | X | | On your site plan, please provide details of number and event location of requested traffic safety equipment. No additional fee will be assessed. | |
| Does your event have a fireworks display? | X | | A permit is required from the Fire Dept and a copy must be supplied to the Village of Sussex. | |
| | | | | |
| TOTAL OF FEES | | | | |



* = Pedistrian Crossing from Wessex



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Kristopher Grod
Fire Chief
Fire Station - *Business*
262-246-5235
Fire Station - *FAX*
262-246-5196

Memorandum

To: Gabe Gilbertson – Community Development Director

From: Chief Kristopher Grod

CC: Jennifer Moore – Clerk/Treasurer, Captain Lisa Panas – Waukesha County Sheriff's Department, Jeremy Smith – Village Administrator, John Macy – Attorney

Date: March 3, 2023

Re: Sussex Bowl - Liquor License Premises Expansion

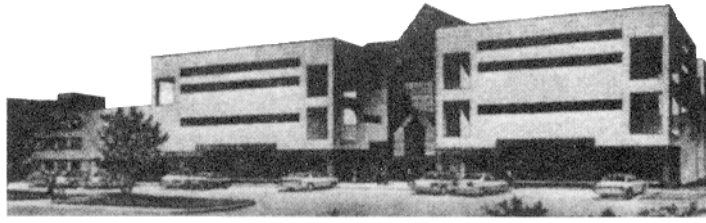
In reviewing Sussex Bowl's request for liquor license premises expansion for Monday Night Outdoor (Car & Motorcycle) Events from May through September, I have come up with a few concerns over this event. My first concern would be for parking and access for emergency vehicles responding to calls for service, we have been called to the Bristol Court Senior and Family Living Apartments 104 times for fire and EMS-related incidents between January 1, 2022, and February 28, 2023.

If we could limit parking to the west side of Pewaukee Road towards the Bristol Court Senior and Family Living Apartments due to the location of the fire hydrant on the east side of Pewaukee Road and based on this being the exit for traffic coming out of the parking lot of Sussex Bowl. This would ensure that we maintain enough room if there is a fire emergency in this area, and we need to utilize the ladder truck, the ladder truck requires a minimum area of eighteen (18) feet wide to accommodate the width of the stabilizer spread.

I would also do the same parking restriction on Pewaukee Road south of Sussex Bowl due to how narrow the street is. Parking at the Wessex Centre would not be an issue as long as people park in the designated parking stalls that are painted in the parking lot which would ensure access for emergency vehicles in event that we have an incident there as well.



OFFICE OF THE SHERIFF



515 W. Moreland Blvd.
Box 1488
Waukesha, WI 53187

Waukesha County Jail
Box 0217
Waukesha, WI 53187

Waukesha County Huber
1400 Northview Road
Waukesha, WI 53188

ERIC SEVERSON, *Sheriff*

North East Public Safety Division
Captain Lisa Panas

To: Gabe Gilbertson – Community Development Director

From: Captain Lisa Panas

CC: Jennifer Moore – Clerk/Treasurer, Fire Chief, Kris Grod, Jeremy Smith – Village Administrator, John Macy – Attorney

Date: March 3, 2023

Re: Sussex Bowl - Liquor License Premises Expansion

All,

In response to the application to expand liquor license premises submitted by Sussex Bowl for Monday Night Car and Motorcycle shows, I would like to express my concerns.

- **Parking-** Parking within the business lot could prove difficult with a large crowd. Parking along Pewaukee Road would not be ideal due to emergency calls for service in that area. If parking would occur on Pewaukee Rd it should be limited to one side of the road to ensure emergency vehicles can easily pass. I would recommend a parking plan be submitted.
- **Noise-** While it is common to have bands outdoors for special events, Sussex Bowl is located very near a residential area, this may cause issue for the residents within the immediate vicinity with an on-going event.
- **Security-** Similar events in other communities have had security monitor the events.

Please let me know if you have any questions.

Respectfully,

Captain Lisa Panas

An Accredited Law Enforcement Agency

Administration: 262-548-7126 Records: 262-548-7156 Process: 262-548-7151 Jail: 262-548-7170 Huber: 262-548-7181 Fax: 262-548-7887

VILLAGE OF SUSSEX ORDER
GRANTING A CONDITIONAL USE AND PRESCRIBING CONDITIONS FOR
RUMORS SPORTS BAR AND GRILL
TO ALLOW A TEMPORARY USE
IN THE VILLAGE OF SUSSEX

WHEREAS, an application has been filed by Andrea Reese, Antom Enterprises LLC, owner of Rumors Sports Bar and Grill, (hereinafter collectively "Applicant"); and

WHEREAS, the Applicant is requesting that a conditional use permit be granted pursuant to the Zoning Ordinance for the Village of Sussex for property commonly referred to as parcel number SUXV0245001001 W232N6368 Waukesha Ave in the Village of Sussex, Wisconsin, all as described on Exhibit A attached hereto and incorporated herein (hereinafter "Subject Property"); and

WHEREAS, the Subject Property is owned by Antom Enterprises LLC ("Owner"); and

WHEREAS, the Subject Property is zoned B-4 Central Mixed Use District; and

WHEREAS, a temporary use may be permitted as a conditional use pursuant to Section 17.0506(D)(1) of the Village of Sussex Zoning Ordinance; and

WHEREAS, the applicant is requesting to expand their plan of operation to hold a Tuesday and Thursday night bike or car show event for a total of ten times to commence on June 21, 2012; and

WHEREAS, upon receipt of the written application for a conditional use permit filed by the petitioner, the Village Clerk properly referred such petition to the Plan Commission for the Village of Sussex, for determination; and

WHEREAS, upon referral of the petition by the Village Clerk, the Plan Commission for the Village of Sussex scheduled a public hearing thereon as soon as practical; and

WHEREAS, upon publication of the required "Notice of Public Hearing" and mailing of said "Notice of Public Hearing" to all parties-in-interest as required by Section 17.1401 of the Zoning Ordinance, the Plan Commission held a public hearing on May 17, 2012, as required by Section 17.0505 of the Zoning Ordinance for the Village of Sussex; and

WHEREAS, the Plan Commission for the Village of Sussex, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its determination on the effect of granting such conditional use permit on the health, general welfare, safety, and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved, as well as impact on the surrounding properties as to noise, dust, smoke, odor, or other similar factors, hereby determines that the use will not violate the spirit or intent of the Zoning Ordinance for the Village of Sussex, will not be contrary to the public health, safety or general welfare

of the Village of Sussex, will not be a hazardous, harmful, noxious, offensive, or nuisance by reason of smoke, dust, odor, or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a conditional use permit for the Subject Property is hereby granted. The conditional use permit granted herein shall apply only to the specific use of the Subject Property by the Applicant for a temporary use, a Tuesday and Thursday night bike or car show event for a total of ten times to commence on June 21, 2012 and the conditional use permit shall continue in existence only so long as the conditional use is operated in compliance with this permit. This conditional use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use is granted for the Applicant subject to the following conditions:
1. Presentation Compliance. The temporary use, is approved herein on the Subject Property, and the use thereof, shall be used in substantial conformity with the presentation at the Public Hearing before the Plan Commission held on May 17, 2012.
 2. Subject Property. This conditional use permit issued to the Applicant, shall be limited to the property described in **Exhibit "A"** attached hereto and incorporated herein and to the site plan presented at public hearing.
 3. Plans. The Applicant is required and must have all plans current, approved by the Plan Commission for the Village of Sussex, and on file with the Plan Commission for the Village of Sussex in order for this CU to be in effect. The Applicant shall be entitled to amend or change any plan contemplated herein subject to the aforementioned conditions and subject to the Plan Commission for the Village of Sussex approval and without a public hearing, if such amendments and/or change is not a substantial change from the original plan as approved and as allowed herein. Any amendment or change in any plan contemplated herein that the Plan Commission for the Village of Sussex feels, in its sole discretion, to be substantial will require a new permit and all Village procedures in place at the time must be followed.
 - A. Site Plan. The Applicant submitted and shall adhere to the site plan that depicts the designated area for the car/bike show, concession stand and outside live music will take place and attached hereto and incorporated herein as **Exhibit B.**

- B. Plan of Operation. The Applicant shall submit to and receive approval from the Village Plan Commission a specific plan of operation for the Subject Property, the same to be in substantial conformance with the preliminary plans on file and with the presentations at the Meetings. Once approved the plan of operation shall be attached hereto and incorporated herein as **Exhibit C.**
- C. Traffic, Access, and Parking Plans. The Applicant shall comply with the specific traffic parking, and egress plan on file with the Village Clerk.
1. The applicant did submit and received approval for a specific traffic, access and parking plan for the temporary use events attached hereto and incorporated herein as **Exhibit D.**
 2. The applicant did submit a contract from the adjacent property owner, Wisconsin Department of Transportation, to allow the parking and events the applicant hosts. This contract must remain in effect for the duration of the of the permitted event dates. The contract is attached hereto and incorporated herein as **Exhibit D-1.**
- D. Fence, Landscaping, Berm, and Open Space Utilization Plan. The Applicant shall comply with the fence, landscape, berm and open space utilization plan on file with the Village Clerk.
- E. Noise Attenuation. The Village Plan Commission reserves the right to require landscaping and/or screening for noise control, including, but not limited to, berms, vegetation, fencing, or walls, at any time in the event noise complaints are received and the Village Plan Commission makes a determination landscaping and/or screening for noise control will help to resolve the noise complaints. If landscaping and/or screening for noise control, is required, it shall be shown on a revised site plan provided to the Assistant Village Administrator for review and approval prior to a deadline established by the Plan Commission. The revised site plan shall include a timetable with a completion deadline for installation of the landscaping and/or screening. If the work is not completed by the deadline, the Village Plan Commission shall consider termination of the Conditional Use Permit. The Petitioner acknowledges and agrees, however, that in the event all efforts listed above fail to control noise as determined by the Village, the CU Permit may be terminated by the Village after a public hearing is held.
- F. Lighting. The Applicant shall comply with the lighting plan on file with the Village Clerk.

- G. Sewer, Water, Stormwater, and Erosion Control Plans. The Applicant shall comply with the sewer, water, stormwater and erosion control plans on file with the Village Clerk.
 - H. Architectural and Building Plan. No building plans shall be changed as part of this conditional use. Structures located on the premises shall at all times be kept in good condition and repair.
 - I. Signage. The Applicant did receive approval of all the current signage on for the Subject Property.
-
- 4. Licenses. The Applicant shall be required to obtain any and all required licenses and permits from the Village, County, State, and Federal Government. If any license or permit is issued, any and all conditions of the same are incorporated herein and made a part of this conditional use permit.
 - 5. Laws. The Applicant shall comply with all Federal, State, County, and local rules, codes, ordinances, and regulations in the construction, operation, and maintenance of the Subject Property.
 - 6. Building and Fire Inspection. The Applicant is required to keep the Subject Property in compliance with all federal, State, and local laws, statutes, codes, ordinances, policies, and guidelines as determined by the Building and Fire Inspectors of the Village of Sussex.
 - 7. Aesthetics. The Applicant is required to properly maintain the Subject Property at all times and in full compliance with the Village Property Maintenance Code, Section 11.07 of the Village of Sussex Code all to the satisfaction of the Plan Commission for the Village of Sussex.
 - 8. Junk. No junk shall be accumulated or stored on the Subject Property. No burying or burning of junk is permitted on the Subject Property.
 - 9. Temporary Use or Activity. The applicant did receive approval for a temporary use to host a Tuesday and Thursday night bike or car show event not to exceed ten times. The event and activities shall only take place in the area as presented at the May 17, 2012 Plan Commission attached hereto and incorporated herein as **Exhibit B.**
 - A. The activities approved for the event will commence on June 21, 2012 and have a set up time for each event to begin at 4:00 p.m. with activity start time of 5:00 p.m. and end time of 9:00 p.m. Clean up and securing the event area 1 hour after end time.

B. Activities are limited to outside music, concession area, display of cars and/or motorcycles.

C. The applicant is responsible to maintain a safe and secure event and abide by any rules and regulations of the Wisconsin Alcohol Beverage and Tobacco Laws.

D. The applicant must consult with the Fire Department and Sheriff Department on their safety and security plan prior to each event.

10. Fees and Expenses. The Applicant, upon issuance of this conditional use permit, shall reimburse the Village of Sussex for all expenses incurred by the Village, including, but not limited to, expenses for the Village Administrator, Village Engineer, Village Attorney, and all other professionals and technical assistance realized by the Village in approving and granting this conditional use permit. The Village Clerk shall provide the Applicant with copies of all itemized invoices.
11. Enforcement. Any attorney fees incurred by the Village of Sussex to enforce any of the conditions or requirements of this conditional use permit must be paid by the Applicant.
12. Complaints. In the event the Applicant receives any complaints with regard to the operation authorized by this conditional use, the Applicant shall respond to such complaints in writing within a reasonable time not to exceed two weeks from the date of the complaint and shall provide a copy of the written response to the Sussex Village Administrator within the same period of time. If the complaint was made in writing, the copy provided to the Village Administrator shall include a copy of the complaint.
13. No Nuisance. The Village reserves the right to rescind its approval of this conditional use permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Applicant is given an opportunity to be heard on the matter and, if so rescinded the Applicant and Subject Property shall thereupon be immediately subject to the Village of Sussex Zoning Ordinances, as applicable, regarding the use of the Subject Property as though no conditional use permit was granted.
14. Subject to Acceptance. Subject to the Owner approving in writing the issuance of the same and Applicant acknowledging in writing that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Applicant will therefore need to re-commence the application process.

15. Review. The Plan Commission for the Village of Sussex reserves its right to review the operation and amend the conditional use permit as the Plan Commission for the Village of Sussex deems appropriate

- B. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for the Village of Sussex for determination.
- C. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Sussex, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by Village ordinance or other law.
- D. This conditional use hereby authorized shall be confined to the Subject Property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission for the Village of Sussex as being in compliance with all pertinent ordinances.
- E. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the Applicant be delinquent in payment of any monies due and owing to the municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the Plan Commission for the Village of Sussex.
- F. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to a change in the use, premises, lands or owners, other than as specifically authorized herein, shall require a new permit and all Village procedures in place at the time must be followed.
- G. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Village Board if the Village Board finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Village Board, in its sole discretion, finds to be substantial shall require a new permit, and all procedures in place at the time must be followed.

- H. Should any paragraph or phrase of this conditional use permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- I. This conditional use permit shall be effective for an initial term of three years. It may be renewed thereafter for such additional terms as the Plan Commission for the Village of Sussex deems appropriate. Application for renewal shall be filed by the Applicant not less than sixty (60) days prior to the expiration of this initial term or any renewal term. In the event that the use of the property is compatible with the surrounding areas and that application is in substantial compliance with all terms of this conditional use agreement, then, in that event, the Plan Commission for the Village of Sussex shall continue to renew this conditional use permit for additional periods of time. The Plan Commission for the Village of Sussex may add additional conditions at any time. The Applicant shall have the responsibility to apply for the renewal as provided herein. Failure of Applicant to apply for the renewal as provided herein shall be deemed a violation of the conditions of the conditional use and may serve as a basis for termination of the conditional use permit.
1. Where the changing character of the surrounding area causes the original conditional use or subsequent approved amendments thereto to no longer be compatible with the surrounding area, or for similar cause, based upon consideration for the public welfare, the conditional use order and any subsequent approved amendments or changes may be terminated by action of the Plan Commission of the Village of Sussex. Such use shall thereafter be classified as a legal nonconforming use as it was permitted to exist on the day it was terminated.
 2. Where this permitted conditional use does not continue in conformity with the conditions of the original approval or subsequent approved amendments or changes, the conditional use grant and any subsequent approved amendments thereto may be amended or terminated by action of the Plan Commission for the Village of Sussex. The Plan Commission for the Village of Sussex may require complete termination of such use.
 3. This conditional use may be reviewed annually. Additionally, this conditional use may be reviewed by the Plan Commission for the Village of Sussex at any time upon complaint or upon Plan Commission initiative.
- J. Upon acceptance by Applicant of this conditional use permit, all prior conditional use permits granted to the Subject Property are hereby revoked and terminated.
- K. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the

more restrictive provision shall be controlling as determined by the Plan Commission for the Village of Sussex.

- L. If any paragraph or phrase of this conditional use order is declared by a Court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific paragraph or phrase thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of this order. The remainder of the order shall remain in full force and effect.

Let copies of this order be filed in the permanent records of the Plan Commission for the Village of Sussex, and let copies be sent to the proper Village authorities and the Applicant.

Approved this _____ day of _____, 2012 BY THE PLAN COMMISSION
FOR THE VILLAGE OF SUSSEX

Gregory L. Goetz
Village President

Susan M. Freiheit
Village Clerk

APPLICANT ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.

Dated this _____ day of _____, 2012

By: _____
_____, Member

Attest: _____
_____, Member

This conditional use was drafted by Jeremy Smith, Assistant Village Administrator off of a model by Attorney John P. Macy ARENZ, MOLTER, MACY & RIFFLE, S.C., Village Attorneys for the Village of Sussex.

Exhibit A
SUBJECT PROPERTY

Exhibit B

Site Plan

Exhibit C
Plan of Operation

Exhibit D

Traffic, Access, Parking Plan

Exhibit D-1

ORDINANCE NO. 889

AN ORDINANCE TO REPEAL AND RECREATE SUB SECTION
17.0807(C)(1) REGARDING ELECTRONIC MESSAGE SIGNS
IN THE B-1 NEIGHBORHOOD BUSINESS ZONING DISTRICT
AND TO REPEAL AND RECREATE SUB SECTION 17.0704(A)
REGARDING EMERGENCY GENERATORS
OF THE VILLAGE OF SUSSEX MUNICIPAL CODE.

WHEREAS, the Village of Sussex Plan Commission has initiated a zoning code amendment to the Village of Sussex to repeal and recreate Chapter 17 Zoning Code Section 17.0807(C)(1) regarding electronic message signs in the B-1 Neighborhood Business Zoning District; and

WHEREAS, upon receipt of the Village Plan Commission's recommendation, the Village Board held a public hearing on _____, 2023, as required by Section 17.1305 of the Village of Sussex Zoning Ordinance, after providing due notice as required by Section 17.1400 of the Village of Sussex Zoning Ordinance; and

WHEREAS, following the public hearing, and upon due consideration of the recommendation from the Plan Commission, the Village Board finds that the public necessity, convenience, welfare and good zoning practice requires that the amendment to the zoning ordinance be granted as recommended by the Plan Commission;

WHEREAS, the Village Board Members are committed to aligning the Village of Sussex Zoning Code with opportunities to support growth that meet current needs without jeopardizing public safety or welfare.

NOW, THEREFORE, the Village Board of the Village of Sussex, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1. Sub Section 17.0807(C)(1) regarding electronic message signs is hereby repealed and recreated to read as follows with the text addition in blue and underlined:

1. These signs are permitted for buildings in the B-1, B-2, B-3, B-4 BP-1, OP-1, OP-2, I-1 and M-1 Districts. The Plan Commission must find the following for a permit to be issued:

SECTION 2. Sub Section 17.0704(A) regarding Accessory Use and Structures Regulations is hereby repealed and recreated to add 17.0704(A)(18) and is to read as follows with the text addition in blue and underlined:

18. Emergency Generators

- a) Emergency generators shall be permitted in the rear yard only and shall be located as close to the principal structure as allowed by the manufacturer. Emergency generators shall meet the principal structure setbacks for the Zoning District in which the emergency generator is located.
- b) As an exception to Section 17.0704(A)(18)(a), the Plan Commission may, at its discretion, permit an emergency generator in the side yard and may permit the emergency generator to encroach into the applicable setback up to 5 feet. The Plan

- Commission may require additional screening to reduce the impacts of the emergency generator on adjacent properties.
- c) Emergency generators located outdoors shall be within a manufacturer-provided enclosure to screen the generator equipment and reduce the noise emitted by the generator.
 - d) Testing of the emergency generators during non-emergency situations shall following the requirements of the Noise Ordinance found in Section 9.07(9).
 - e) Emergency generators located in the RM-1, B-1, B-2, B-3, B-4, BP-1, OP-1, M-1, Q-1, I-1, P-1, and P-2 Zoning Districts shall require Site Plan Review by the Plan Commission and Architectural Review Board prior to the issuance of a building permit. If the property on which the emergency generator will be installed is adjacent to a residentially zoned property, a noise study will need to be provided to the Plan Commission that demonstrates the noise levels of the emergency generator at the property line meet the requirements as described in Section 9.07(9) of the Municipal Code.
 - f) Temporary Emergency Generators that are portable and are not hardwired into the principal structure shall be permitted on limited basis during an emergency and shall be ran for no more than 24 consecutive hours.

SECTION 3. SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of the court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and not affect the validity of all other provisions, sections or portions thereof the ordinance which shall remain in full force and effect. Any other ordinances are hereby repealed as to those terms that conflict.

SECTION 3. EFFECTIVE DATE

This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Dated this _____ day of _____, 2023.

VILLAGE OF SUSSEX

Anthony LeDonne, Village President

ATTEST:

Jennifer Moore, Village Clerk-Treasurer

Published and/or posted this _____ day of _____, 2023.