



N64W23760 Main Street  
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Architectural Review Board Agenda  
4:00 PM Wednesday, July 27, 2022  
Sussex Civic Center – Village Board Room Second Floor

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Sussex Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. (If a Quorum is present the Chairperson shall announce, " Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during any Public Hearing(s) or if the rules are suspended to allow them to do so.)

- I. Roll call.
- II. Consideration and possible action on the minutes of April 6, 2022.
- III. Consideration and possible action on a site, architecture, lighting, landscape and sign plans for Industrial Controls (N56W24842 North Corporate Circle).
- IV. Consideration and possible action on site, architecture, lighting, landscape and sign plans for Quest (W245N5604 South Corporate Circle).
- V. Consideration and possible action on architecture plan for HM Brandt (W232N6575 Waukesha Avenue).
- VI. Adjournment.

Anthony LeDonne  
Chairperson

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Jeremy Smith  
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Jeremy Smith at 246-5200.

VILLAGE OF SUSSEX  
SUSSEX, WISCONSIN

Minutes of the Architectural Review Board (ARB) meeting held on April 6, 2022.

President LeDonne called the meeting to order at 4:00 p.m.

Members present: Anthony LeDonne, Stacy Riedel, and Gary Foxe

Members absent: Mike Knapp

Others present: Jeremy Smith, Village Administrator

**Consideration and possible action on the minutes of October 6, 2021.**

A motion by LeDonne, seconded by Foxe to approve the minutes of the meeting held on October 6, 2021. Motion carried.

**Consideration and possible action on site plan, architecture, lighting plan, landscape plan and sign plan for Highlands Site II at Highlands Business Park.**

Mark Lake, from Wangard presented the plans and building materials.

Mr. Smith reviewed the memo (copy attached). The sign plan was not submitted at this time and is therefore not part of the motion.

A motion by LeDonne, seconded by Foxe to recommend approval to the Plan Commission of the site plan, architectural plan, lighting plan, and landscape plan for Highlands Site II of the Highlands Business Park subject to revisions to the landscape plan to address landscaping along the north and west elevation and addition of windows on the north elevation and the additional comments from the staff memo to the satisfaction of the Village Administrator. Motion carried.

A motion by Foxe, seconded by LeDonne to adjourn the meeting at 4:25 p.m. Motion carried.

Respectfully submitted,  
Jeremy Smith, Village Administrator



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## MEMORANDUM

TO: Architectural Review Board  
FROM: Jeremy Smith, Village Administrator  
RE: ARB meeting for July 27, 2022  
DATE: July 18, 2022

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The following is background information for the ARB agenda items (Design Standards 3-25-2014)

### **I. Roll call.**

### **II. Consideration and possible action on the ARB minutes from the April 6, 2022 meeting.**

### **III. Consideration and possible action on the site, architecture, lighting, landscape and sign plans for Industrial Controls (N56W24842 North Corporate Circle).**

This site is zoned BP-1. This addition of 10,000 square feet for industrial panel control manufacturing is a permitted use in the BP-1 Business Park District. Here are the review comments of the plans:

#### Site

- Green space requirement is met at 35% greenspace (25% requirement)
- Site to maintain 46 parking spaces (Code requires 46)
- Truck movements are appropriate on the site

#### Architecture

- Building meets height and required setbacks.
- Roof top units shall be screened from view.
- Material to be used meets the Design Standards and matches existing building.
- Windows are in reasonable places given the operational function of the building
- Garbage Enclosure requires a door

#### Lighting and Signage

- Lighting meets the standards
- Signage is existing and will remain

#### Landscape

- The site has 51 trees, when 52 are required. Trees are well spaced around the site and 1 should be added in a reasonable location (avoiding underground utilities. The site has 115 shrubs, grasses, perennials when 260 are required. The site is well landscaped given the site parameters from existing conditions and staff recommends no additional shrubs/flowers be required at this time.

### **Policy Question:**

1. Are there any concerns with the various plans?

### **Action Items:**

1. Act on the plan of operation, various plans.

**Staff Recommendation:** Staff recommends the ARB recommend approval of the site plan, architectural plan, lighting plan, landscape plan and sign plan for Industrial Controls subject to revisions to the landscape plan to add 1 tree, screening of rooftop units, and adding of gates to garbage enclosure and any other conditions from the ARB.

#### **IV. Consideration and possible action on the site, architecture, lighting, landscape and sign plans for Quest (W245N5604 South Corporate Circle).**

This site is zoned BP-1. This new 10,400 sq. foot building for disaster recovery offices is a permitted use in the BP-1 Business Park District. Here are the review comments of the plans:

##### Site

- Green space requirement is met at 72% greenspace (25% requirement)
- Site to maintain 10 parking spaces (Code requires 5)
- Truck movements need to address trucks backing into garage doors.

##### Architecture

- Building meets height and required setbacks.
- Roof top units shall be screened from view.
- Material to be used meets the Design Standards
- Windows are in reasonable places given the operational function of the building
- No Garbage Dumpster proposed

##### Lighting and Signage

- Lighting meets the standards
- No signage has been proposed at this time.

##### Landscape

- The landscape plan meets the standards, but some location adjustments are necessary for easements.

##### **Policy Question:**

1. Are there any concerns with the various plans?

##### **Action Items:**

1. Act on the plan of operation, various plans.

**Staff Recommendation:** Staff recommends the ARB recommend approval of the site plan, architectural plan, lighting plan, and landscape plan for Quest subject to any other conditions from the ARB.

#### **V. Consideration and possible action on architecture plan for HM Brandt (W232N6575 Waukesha Avenue).**

This site is zoned B-4. The 4,000 square foot service garage for the demolition/contractor is a permitted use in the B-4 Mixed Use District. Here are the review comments of the plans.

##### Site

- The site has previously been approved by the Plan Commission
- The site is entirely fenced in and landscaping was installed prior to the previous approved plan
- The Building location was approved by the Plan Commission

##### Architecture

- The Building is to be clad in Lannon stone/cream city brick (Only the upper half of the building will be visible above the fence line.
- 3 windows should be added on the southern elevation
- No additional lighting has been proposed.
- The metal roof should be reviewed by the Board

##### **Policy Question:**

1. Are there any concerns with the various plans?

##### **Action Items:**

1. Act on the plan of operation, various plans.

**Staff Recommendation:** Staff recommends the ARB recommend approval of the architectural plan, for H.M. Brandt subject to the additions of windows per the report, and the metal roof must meet the design standards and any other conditions from the ARB.



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## REQUEST FOR ARCHITECTURAL REVIEW BOARD

The ARB reviews projects after conceptual review has been made by staff and the Plan Commission. The ARB determines if the project meets the Village of Sussex Design Standards established to ensure high quality buildings. A copy of the Design Standards can be found on our Village website [www.villagesussex.org](http://www.villagesussex.org). The ARB makes a recommendation to the Plan Commission of its findings.

The fee for the project review is \$125.00 check made payable to the Village of Sussex. (All fees are non refundable).

ARB meetings are held on the first Wednesday of the month at 10:00 a.m. at the 2<sup>nd</sup> floor Committee Room at the Sussex Civic Center.

### SUBMITTAL REQUIREMENTS:

The following must be submitted 10 business days prior to the meeting date:

For new construction

1 full set of plans with Plan Commission requested revisions\*. (Refer to the Site Plan Review Checklist) 6 reduced copies.

Miscellaneous projects:

6 copies of project to be reviewed preferred size 11x17 in color. (Building elevations, site plan, lighting plan, landscape plan and sign plan).

Project Name The Industrial Controls Co. Addition

Location N56W24842 N Corporate Cir

Contact person for meeting and minutes: Andrew Roensch

E-mail address: [aroensch@duffekconstruction.com](mailto:aroensch@duffekconstruction.com) Phone #: 262-323-6883

Please bring to the meeting building material samples and display boards.

Village contacts:

Kasey Fluet  
Assistant Development Director  
(262)246-5215 [kfluet@villagesussex.org](mailto:kfluet@villagesussex.org)

Jeremy Smith  
Village Administrator  
(262)246-5200 [jsmith@villagesussex.org](mailto:jsmith@villagesussex.org)

\*Staff will review and may make additional requests for changes and require new plans submitted prior to deadline date.

INDUSTRIAL CONTROLS  
SITE IMPROVEMENT PLANS  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI

PROJECT TEAM

OWNER  
INDUSTRIAL CONTROLS  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI 53089  
TEL: (303)–689–7832  
CONTACT: TIM THORN  
EMAIL: TIMT@CONTROLS.COM

ENGINEER  
AYRES ASSOCIATES  
20975 SWENSON DRIVE  
WAUKESHA, WI 53186  
TEL: (262)–522–4901  
CONTACT: SCOTT MAIER  
EMAIL: MAIERS@AYRESASSOCIATES.COM

ARCHITECT  
THRIVE ARCHITECTS  
259 SOUTH STREET, SITE A  
WAUKESHA, WI 53186  
TEL: (833)–380–6180 (EXT. #4)  
CONTACT: ANGIE STRECKENBACH  
EMAIL: ALS@THRIVE–ARCHITECTS.COM

GENERAL CONTRACTOR  
DUFFEK CONSTRUCTION  
N22 W27847 EDGEWATER DR.  
PEWAUKEE, WI 53072  
CONTACT: MIKE DUFFEK  
262–444–2270  
MDUFFEK@DUFFEKCONSTRUCTION.COM

BENCHMARK

SURVEY WAS PERFORMED IN NAD83, STATE PLANE  
COORDINATE SYSTEM, WISCONSIN SOUTH ZONE.  
ELEVATIONS ARE REFERENCED TO NAVD 88  
VERTICAL DATUM IN WHICH THE SOUTHWEST  
CORNER OF SECTION 27, T8N, R19E, (POINT  
8191370) HAS AN ELEVATION OF 945.99.

TOPOGRAPHIC INFORMATION IS FROM A GROUND  
SURVEY COMPLETED BY AYRES ASSOCIATES ON  
06/14/2022.

CONTRACTOR NOTE

CONTRACTOR SHALL KEEP A COPY OF THE  
STAMPED/APPROVED PLANS ON–SITE AT  
ALL TIMES FOR GENERAL CONTRACTOR AND  
MUNICIPAL INSPECTOR REFERENCE.



Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	EXISTING CONDITIONS
C3.0	SITE PLAN
C3.1	HORIZONTAL CONTROL PLAN
C3.2	FIRE ACCESS PLAN
C3.3	PAVING PLAN
C3.4	SITE IMPERVIOUS PLAN
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL DETAILS
C5.0	GRADING PLAN
C6.0	UTILITY PLAN
C7.0	CONSTRUCTION DETAILS
SP1.0	SITE PLAN
A1.0	FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A9.0	RENDERING
A9.1	RENDERING
A9.2	RENDERING
LGD1.0	LEGEND SHEET
LSP1.1	PROPOSED LANDSCAPE PLAN
LSP1.2	PROPOSED LANDSCAPE PLAN PLANTING DETAILS
PH01.1	PROPOSED PHOTOMETRICS PLAN
PH01.2	PROPOSED FIXTURE PLAN

**AYRES**  
ASSOCIATES  
20975 SWENSON DR.  
SUITE 200  
WAUKESHA, WI 53186  
262.522.4901  
www.AyresAssociates.com



Date	Revision								

INDUSTRIAL CONTROLS  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI  
COVER SHEET

Drawn By: SEM  
Checked By: SEM  
Date: 7/1/22  
Project No. 24-0397  
Sheet Number

C1.0



File: I:\24-0397-Industrial Controls\4.Production\Civil3D\PlanSheets\C1.1 GENERAL NOTES.dwg Layout: C1.1 GENERAL NOTES User: JahrendA Plotted: Jun 30, 2022 - 9:10am

GENERAL SITE WORK NOTES:

- ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS BOOK, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION IN THE VILLAGE OF SUSSEX, WISCONSIN; IN CASE OF CONFLICT, THE VILLAGE OF SUSSEX SHALL TAKE PRECEDENCE.
- ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS FOR CONSTRUCTION IN THE VILLAGE OF SUSSEX, UNLESS OTHERWISE NOTED ON THE PLANS.
- STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND REQUIRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THIS CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION SEQUENCING THAT COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER. THE OWNER AND ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REGARD TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. ALL KNOWN DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, WHETHER CONTAINED IN THE DATA SUBMITTED BY THESE AGENCIES OR NOT, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THE TITLE SHEET MAY BE CONTACTED. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- NO CONSTRUCTION PLANS SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION" PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE SURVEYOR'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR LENGTH SPECIED IN THE GENERAL CONDITIONS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB PER OSHA REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION, AND IN ACCORDANCE WITH LOCAL MUNICIPAL CODES. A TRAFFIC CONTROL PERMIT IS REQUIRED FOR WORK ON CITY STREETS.
- THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
- NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN INSPECTED AND APPROVED AS REQUIRED BY THE OWNER AND ENTITY THAT HAS JURISDICTION OVER THE WORK.
- ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
- AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
- THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NPDES STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL THE NOTICE OF TERMINATION HAS BEEN OBTAINED. THE CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL TO STAY IN COMPLIANCE WITH THE NPDES PERMIT. THESE ADJUSTMENTS MAY BE MADE TO ACCOMMODATE PHASED CONSTRUCTION AND/OR SPECIFIC SITE CONDITIONS.
- THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS AND MAKE THE NECESSARY SUBMITTALS TO THE ENGINEER. SAID PLANS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL VIDEOTAPE THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFFSITE OF ANY EXISTING PAVING AND STRUCTURES REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEY.
- ALL EXISTING TRAFFIC AND STREET SIGNS DISTURBED SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR AND TO THE CITY OF VILLAGE OF SUSSEX STANDARDS.
- REFER TO IRRIGATION PLANS FOR SLEEVING REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES FOR SLEEVING REQUIREMENTS PRIOR TO ANY PAVING ACTIVITIES.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. AND T.A.S.) EXIST TO AND FROM EVERY DOOR. IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL, IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ARCHITECT AND ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES.

EARTHWORK NOTES:

- GENERAL
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
  - ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED.
  - THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR TO DETERMINE SUBGRADE ELEVATIONS.
  - PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED AND APPROVED PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.
- TOPSOIL EXCAVATION INCLUDES:
  - EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
  - PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
  - TOPSOIL STOCKPILED FOR RESPAED SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE AT CONTRACTOR'S EXPENSE.
  - TOPSOIL RESPAED SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
- EARTH EXCAVATION INCLUDES:
  - EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.01 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
  - PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF .01 FEET. THE FILL MATERIALS SHALL BE PLACED PER THE GEOTECHNICAL RECOMMENDATIONS
  - COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 95% OF THE MODIFIED PROCTOR DRY DENSITY PER GEOTECHNICAL RECOMMENDATIONS.
- MISCELLANEOUS. THE CONTRACTOR SHALL:
  - SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED BY THE GEOTECHNICAL RECOMMENDATIONS FOR ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
  - PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
- TESTING AND FINAL ACCEPTANCE:
  - THE CONTRACTOR SHALL PROOF ROLL THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
  - ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON THE PLAN. MODIFICATIONS TO THE SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
- ALL EROSION CONTROL MEASURES AS INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. THE CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL MEASURES AS REQUIRED TO COMPLETE THE WORK AND COMPLY WITH APPLICABLE PERMITS, REGULATIONS, AND PROJECT REQUIREMENTS OR AS REQUESTED BY STATE INSPECTORS, MUNICIPAL INSPECTORS, A/E, AND OTHER APPLICABLE AGENCIES. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INLET PROTECTION SHALL BE INSTALLED AT ALL INLETS WITHIN THE CONSTRUCTION SITE AS WELL AS AT ANY DOWNSTREAM INLETS THAT MAY BE AFFECTED BY CONSTRUCTION. INSTALL PRIOR TO STARTING ANY WORK ON SITE. IF NEW INLETS ARE INSTALLED PER PROJECT, NEW INLET PROTECTION SHALL BE INSTALLED AT THOSE INLETS.
- INLET PROTECTION SHALL BE KEPT CLEAN OF DEBRIS ON A DAILY BASIS THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. INLET PROTECTION SHALL BE REMOVED ONCE PROJECT HAS ENDED AND SITE HAS STABILIZED PER NPDES GENERAL PERMIT REQUIREMENTS.
- PAVED SURFACES ADJACENT TO THE CONSTRUCTION SITE SHALL BE SWEEP AND/OR SCRAPED TO REMOVE SOIL, SEDIMENT, DIRT, AND/OR DUST AS NEEDED THROUGHOUT THE DAY AND AT THE END OF EVERY DAY. HE CONTRACTOR SHALL TAKE MEASURES TO PREVENT VEHICLES INVOLVED IN THE CONSTRUCTION PROJECT FROM DISCARDING MUD, DIRT, DEBRIS OR CONSTRUCTION MATERIALS ONTO THE VILLAGE OF SUSSEX STREETS, SIDEWALKS, AND PARKWAYS. IF THIS WORK IS NOT COMPLETED WITHIN THIS TIME FRAME, THE CITY OF VILLAGE OF SUSSEX HAS THE RIGHT TO PERFORM THIS WORK AND BILL THE CONTRACTOR.
- CONTRACTOR SHALL INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF ALL STOCKPILES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DUST CONTROL ON THE PROJECT THROUGHOUT EACH DAY. ALL DAMAGE RESULTING FROM DUST SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
- ALL SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
- CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
- ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN SEVEN (7) DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH.
- THE MINIMUM SEEDING RATE FOR TEMPORARY SEEDING IN TURF AREAS IS 5 POUNDS GRASS SEED MIX PER 1000 SQUARE FEET USED AND COMBINED WITH ANNUAL RYEGRASS AT A RATE OF 1/2 POUNDS PER 1000 SQUARE FEET, UNLESS OTHERWISE SPECIFIED.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
- ALL DISTURBED AREAS TO BE SEEDED SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH.
- SILT FENCING SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOT ZONE OR WITHIN THE DRIP LINE OF ANY TREES OR SHRUBS TO BE PROTECTED. USE SILT SOCKS WHICH DO NOT REQUIRE EXCAVATION AND CUTTING ROOTS.
- INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK AND AFTER EACH 1/2 INCH RAINFALL) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL KEEP RECORDS ON SITE OF ALL EROSION CONTROL INSPECTIONS AND AVAILABLE FOR REVIEW BY INSPECTORS WHEN REQUESTED.
- CONTRACTOR SHALL REMOVE SEDIMENT FROM THE STORM FACILITIES IMPACTED BY CONSTRUCTION INCLUDING STRUCTURES OUTSIDE OF THE CONSTRUCTION SITE AFTER COMPLETION OF ALL SITE CONSTRUCTION AND PRIOR TO SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION IN ACCORDANCE WITH WDNR REQUIREMENTS.

STORM SEWER NOTES:

- STORM SEWER PIPE: ALL STORM SEWER PIPE SHALL BE RCP CLASS III, UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.
- COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE (1) FOOT OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES THAT HAVE LESS THAN ONE (1) FOOT OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.
- CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.
- ALL STORM SEWER CONSTRUCTION AND MATERIAL SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS AND SPECIFICATION. IF ANY DISCREPANCY IN THESE PLANS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PURCHASING ANY MATERIAL.
- ALL STORMWATER MANHOLE FRAME AND GRATE/COVER PERTAINING TO STORM SEWER SHALL HAVE MANHOLE FRAME AND GRATE/COVER PER THE LOCAL MUNICIPALITY LABELING REQUIREMENTS.

UTILITY NOTES:

- ALL EXISTING UTILITY LINES TO REMAIN SHALL BE FULLY PROTECTED AND SUPPORTED/SHORED DURING CONSTRUCTION TO KEEP LINES IN SERVICE AND TO PREVENT DAMAGE. WHERE NEW UNDERGROUND UTILITIES ARE TO BE INSTALLED BELOW EXISTING UTILITIES, SUPPORT EXISTING LINES IN PLACE, PROVIDING RESTRICTION OF BOTH HORIZONTAL AND VERTICAL MOVEMENT OF THE PIPING. AFTER NEW UTILITIES HAVE BEEN INSTALLED, EXISTING UTILITIES SHALL BE BACKFILLED IN SAME MANNER AS THAT SPECIFIED FOR NEW UTILITIES. PROVIDE FLOWABLE CONCRETE FILL DIRECTLY BENEATH EXISTING UTILITIES WHERE SPECIFIED COMPACTION REQUIREMENTS CAN NOT BE ACHIEVED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, MUNICIPALITY, AND THE APPROPRIATE UTILITY COMPANY TO REPORT ANY DAMAGE TO AN EXISTING UTILITY OR STRUCTURE. ALL DAMAGED EXISTING UTILITIES OR STRUCTURES MUST BE REPAIRED THE SAME DAY THAT THE DAMAGE OCCURRED. IF APPROPRIATE MATERIALS FOR PERMANENT REPAIR ARE NOT AVAILABLE, CONTRACTOR SHALL PROVIDE WHATEVER MATERIALS NECESSARY TO TEMPORARILY RESTORE UTILITY TO SERVICE AND SCHEDULE SHUT DOWN TO MAKE PERMANENT REPAIRS. THE LOCAL MUNICIPALITY AND UTILITY OWNER RESERVES THE RIGHT TO MAKE REPAIRS TO DAMAGED UTILITIES IF THE CONTRACTOR DOES NOT PROVIDE TIMELY REPAIRS. ALL COSTS FOR THESE REPAIRS WILL BE BILLED TO THE CONTRACTOR. REPAIR WORK TO BE IN ACCORDANCE WITH THESE SPECIFICATIONS AND/OR UTILITY OWNERS REQUIREMENTS.
- THE CONTRACTOR SHALL ADHERE TO ALL O.S.H.A. REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SOIL RETENTION ON BOTH SIDES OF UTILITY EXCAVATION AND AS REQUIRED AROUND UTILITY STRUCTURE EXCAVATIONS TO LIMIT THE WIDTH OF THE EXCAVATION. ALL SOIL RETENTION SHALL BE REMOVED AFTER COMPLETION OF UTILITY AND STRUCTURE INSTALLATION.
- DESIGN OF SUPPORT SYSTEMS, SHIELD SYSTEMS, AND OTHER PROTECTION SYSTEMS FOR SOIL RETENTION SHALL BE SELECTED, DESIGNED, FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR. IF NECESSARY, CONTRACTOR SHALL DESIGN ANY SHEETING, H PILE AND LAGGING SYSTEM, ETC. FOR SOIL RETENTION. SUBMIT DESIGN STAMPED BY A REGISTERED ENGINEER, TO BE APPROVED BY THE LOCAL MUNICIPALITY HAVING JURISDICTION.
- CAUTION SHALL BE CARRIED OUT WHILE WORKING AROUND ELECTRICAL AND TELEPHONE/COMMUNICATIONS DUCT BANKS, AND OTHER UTILITIES. THE CONTRACTOR SHALL INSTALL ALL SHORING REQUIRED TO PREVENT MOVEMENT OF THE UTILITIES AND "CAVE-INS" OF THE SAND BED.
- CONTRACTOR SHALL HAVE ADEQUATE MATERIALS ON-SITE TO CONTINUE PROGRESS OF UTILITY AND PAVING INSTALLATION IN A CONTINUOUS FASHION. CONTRACTOR SHALL PROVIDE PIPING, SUFFICIENT ELBOWS AND FITTINGS AS NECESSARY TO MAKE ADJUSTMENTS FOR FIELD CONDITIONS.
- CONTRACTOR SHALL PROVIDE PROTECTION AND USE APPROPRIATE LOADINGS WHEN STORING MATERIALS AND EQUIPMENT ON, OR MOVING EQUIPMENT OVER UNDERGROUND UTILITIES TO INSURE UTILITIES ARE NOT DAMAGED.
- CONTRACTOR TO INSTALL 12 GAUGE TRACER WIRE ALONG THE LENGTH OF NON-METALLIC WATER PIPE. TEST AFTER INSTALLED.
- CONTRACTOR TO INSTALL 12 GAUGE GREEN TRACER WIRE ALONG LENGTH OF NON-METALLIC SANITARY PIPE. TEST AFTER INSTALLED. AT EACH MANHOLE, RUN THE TRACER WIRE UP THE SIDE OF THE MANHOLE AND BORE 3/4" DIAMETER HOLE BELOW THE BASE OF THE CONE. RUN TRACER WIRE THROUGH HOLE AND CONNECT TO INSIDE OF MANHOLE WITH STAINLESS STEEL FASTENER. FILL HOLE WITH CONCRETE.
- CONTRACTOR TO INSTALL 12 GAUGE BROWN TRACER WIRE ALONG LENGTH OF NON-METALLIC STORM PIPE. TEST AFTER INSTALLED. AT EACH MANHOLE, RUN THE TRACER WIRE UP THE SIDE OF THE MANHOLE AND BORE 3/4" DIAMETER HOLE BELOW THE BASE OF THE CONE. RUN TRACER WIRE THROUGH HOLE AND CONNECT TO INSIDE OF MANHOLE WITH STAINLESS STEEL FASTENER. FILL HOLE WITH CONCRETE.

PAVING NOTES:

- GENERAL
  - PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.
  - COMPACTION REQUIREMENTS PER GEOTECHNICAL REQUIREMENTS AND LOCAL MUNICIPALITIES HAVING JURISDICTION OVER THE WORK.
  - IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUCTD), LATEST EDITION, AND IN ACCORDANCE WITH THE VILLAGE OF SUSSEX CODE.
- SUBGRADE PREPARATION
  - EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION.
  - PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:
    - SCARIFY, DISC, AND AERATE.
    - REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
    - REMOVE AND REPLACE WITH GRANULAR MATERIAL.
    - USE OF GEOTEXTILE FABRIC.
  - PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
  - PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- CONCRETE WORK
  - ALL EXTERIOR CONCRETE SHALL MEET LOCAL MUNICIPAL STATE, OR OWNER REQUIREMENTS PER THE JURISDICTION HAVING AUTHORITY OVER THE WORK. IF NO SPECIFICATIONS ARE AVAILABLE, THE STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS SHALL PREVAIL. IF REQUIREMENTS CONFLICT WITH EACH OTHER, THE AUTHORITY HAVING JURISDICTION OVER THE WORK SHALL COMPLY, OTHERWISE FOLLOW THE MORE RESTRICTIVE.
  - CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. SAWED OR FORMED CONTRACTION JOINTS SHALL BE PROVIDED AT NO GREATER THAN TEN (10) FOOT INTERVALS BETWEEN EXPANSION JOINTS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.
  - CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PEDESTRIAN WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.
  - THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.
  - CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 50-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.
  - CONCRETE CURING AND PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR.
  - THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.
- FLEXIBLE PAVEMENT
  - PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER DOT AND/OR LOCAL MUNICIPAL SPECIFICATIONS.
- TESTING AND FINAL ACCEPTANCE
  - THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE GEOTECHNICAL ENGINEER.
  - FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.



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Date					
Revision					

INDUSTRIAL CONTROLS  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI

GENERAL NOTES

Drawn By: SEM  
Checked By: SEM  
Date: 7/1/22  
Project No. 24-0397

Sheet Number

C1.1

**INDUSTRIAL CONTROLS**  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI  
**EXISTING CONDITIONS**

Drawn By:	SEM
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Date:	7/1/22
Project No.	24-0397
Sheet Number	

## C2.0

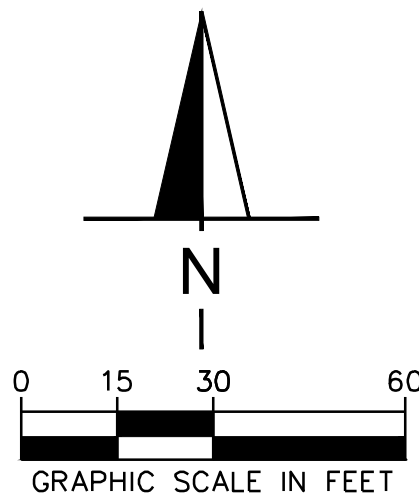
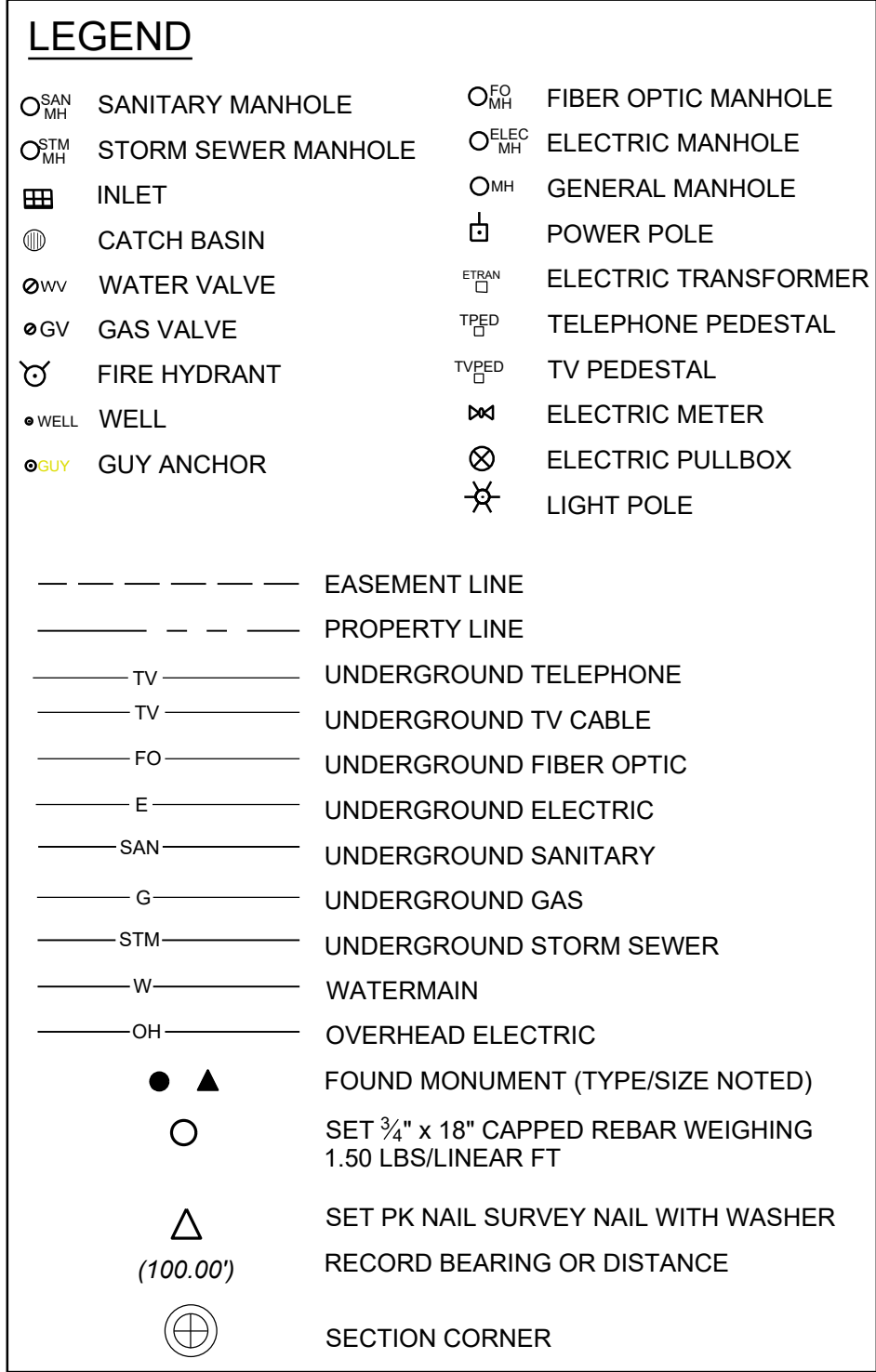
GENERAL NOTES:

1.) Field work was completed on 06-08-2022, 06-09-2022, & 06-14-2022.

2.) Survey was performed in NAD83, State Plane Coordinate System, Wisconsin South Zone.

3.) Elevations are referenced to NAVD 88 Vertical Datum in which the Southwest corner of Section 27, T8N, R19E, (point 8191370), has an elevation of 945.99'.

4.) Water main assumed to continue to the building.



Date

Revision

**INDUSTRIAL CONTROLS**  
**N56 W24842 N. CORPORATE CIRCLE**  
**SUSSEX, WI**  
**SITE PLAN**

Drawn By: SEM  
Checked By: SEM  
Date: 7/1/22  
Project No. 24-0397

Sheet Number

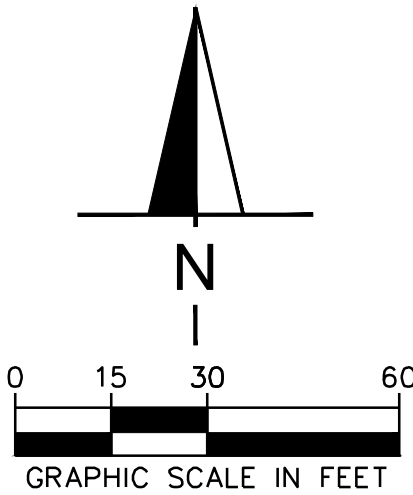
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**KEY NOTES**

- 1 PROPOSED BUILDING (SEE ARCHITECTURAL PLANS FOR DESIGN)
- 2 30" CONCRETE CURB AND GUTTER
- 3 CONCRETE SIDEWALK
- 4 CONCRETE PAVEMENT
- 5 EXISTING LANDSCAPE AREA TO REMAIN
- 6 ASPHALT PAVEMENT
- 7 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB ETC. TYP
- 8 TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DESIGN)
- 9 RETAINING WALL (SEE STRUCTURAL PLANS)
- 10 EXISTING BUILDING
- 11 HANDRAIL
- 12 CONCRETE BUILDING STOOP
- 13 REMOVE EXISTING TRASH ENCLOSURE
- 14 REMOVE TREE/SHRUB
- 15 REMOVE EXISTING CURB TAPER AND CONNECT TO EXISTING CURB
- 16 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR DETAILS)
- 17 REMOVE EXISTING LOADING DOCK, GRADE AND PAVE AS SHOWN IN THESE PLANS



Date

Revision

INDUSTRIAL CONTROLS  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI  
HORIZONTAL CONTROL PLAN

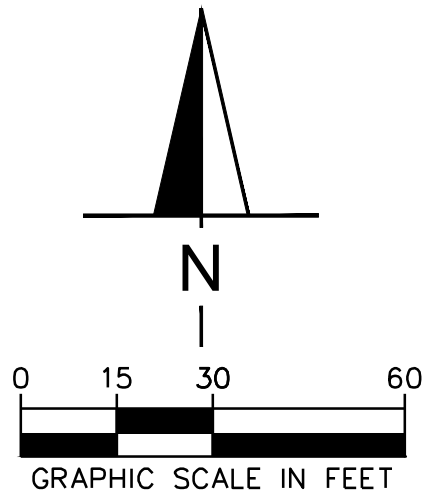
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Date: 7/1/22  
Project No. 24-0397

Sheet Number

C3.1

GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.



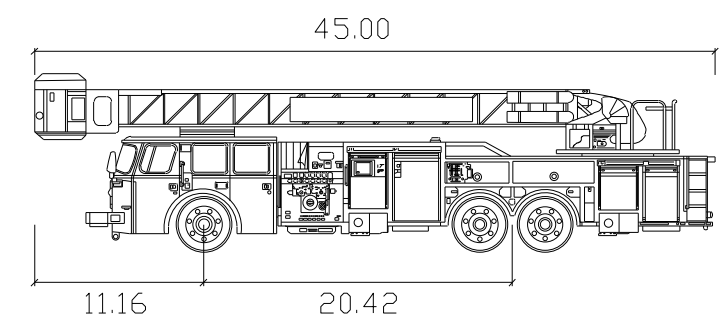
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**INDUSTRIAL CONTROLS**  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI

**FIRE ACCESS PLAN**

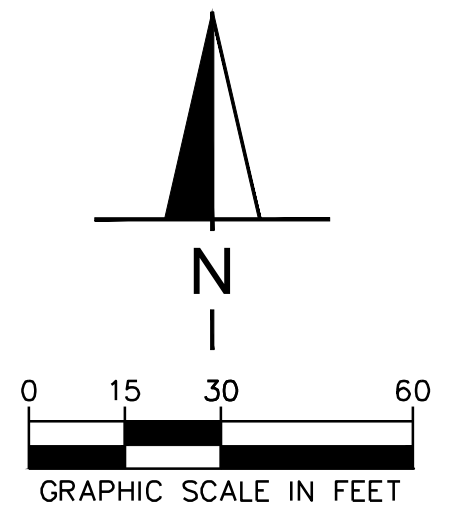
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Project No.	24-0397
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### C3.2



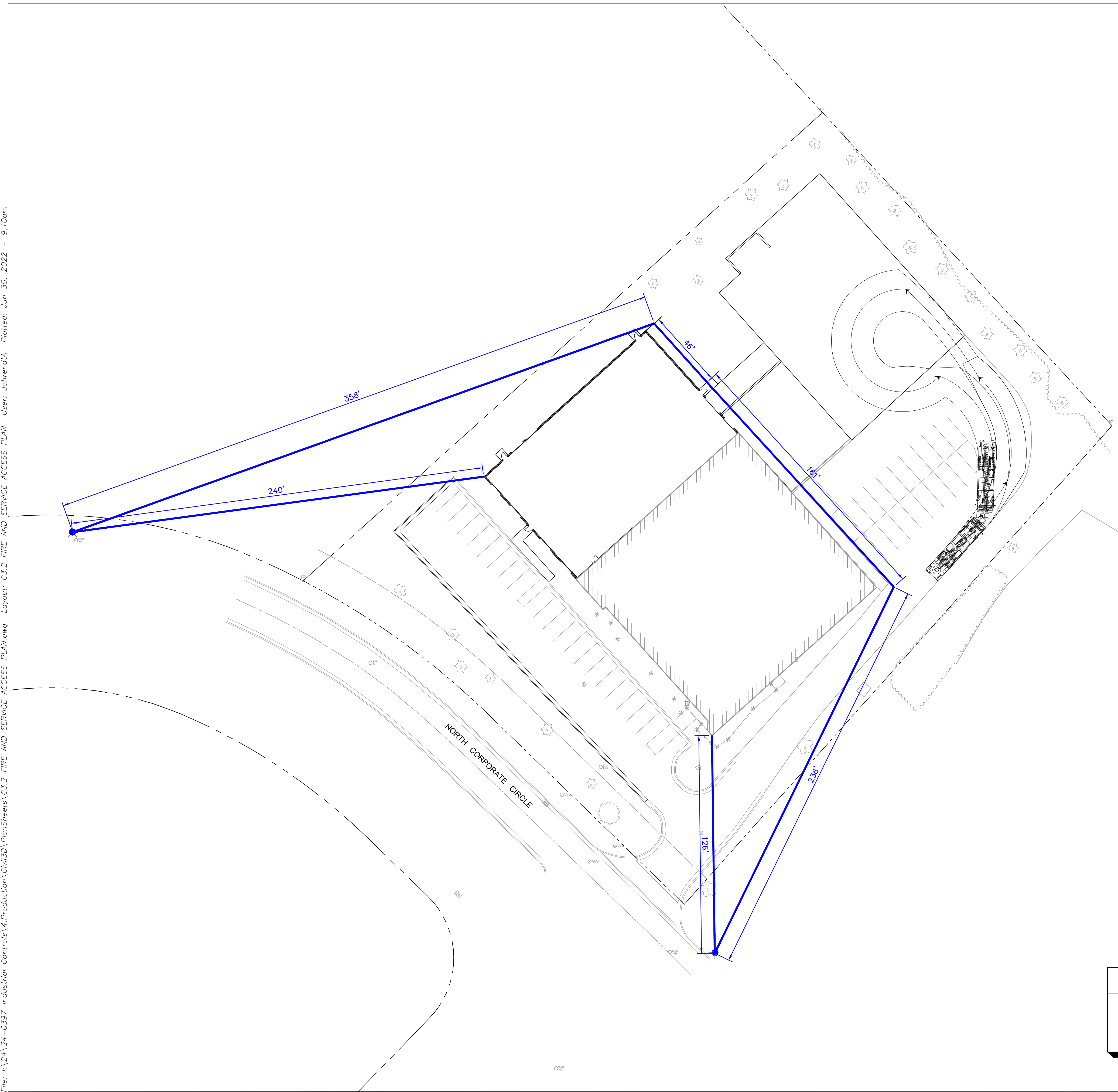
E-One Cyclone II 95 HP

Width	: 9.50 feet
Track	: 9.35
Lock to Lock Time	: 6.0
Steering Angle	: 43.4

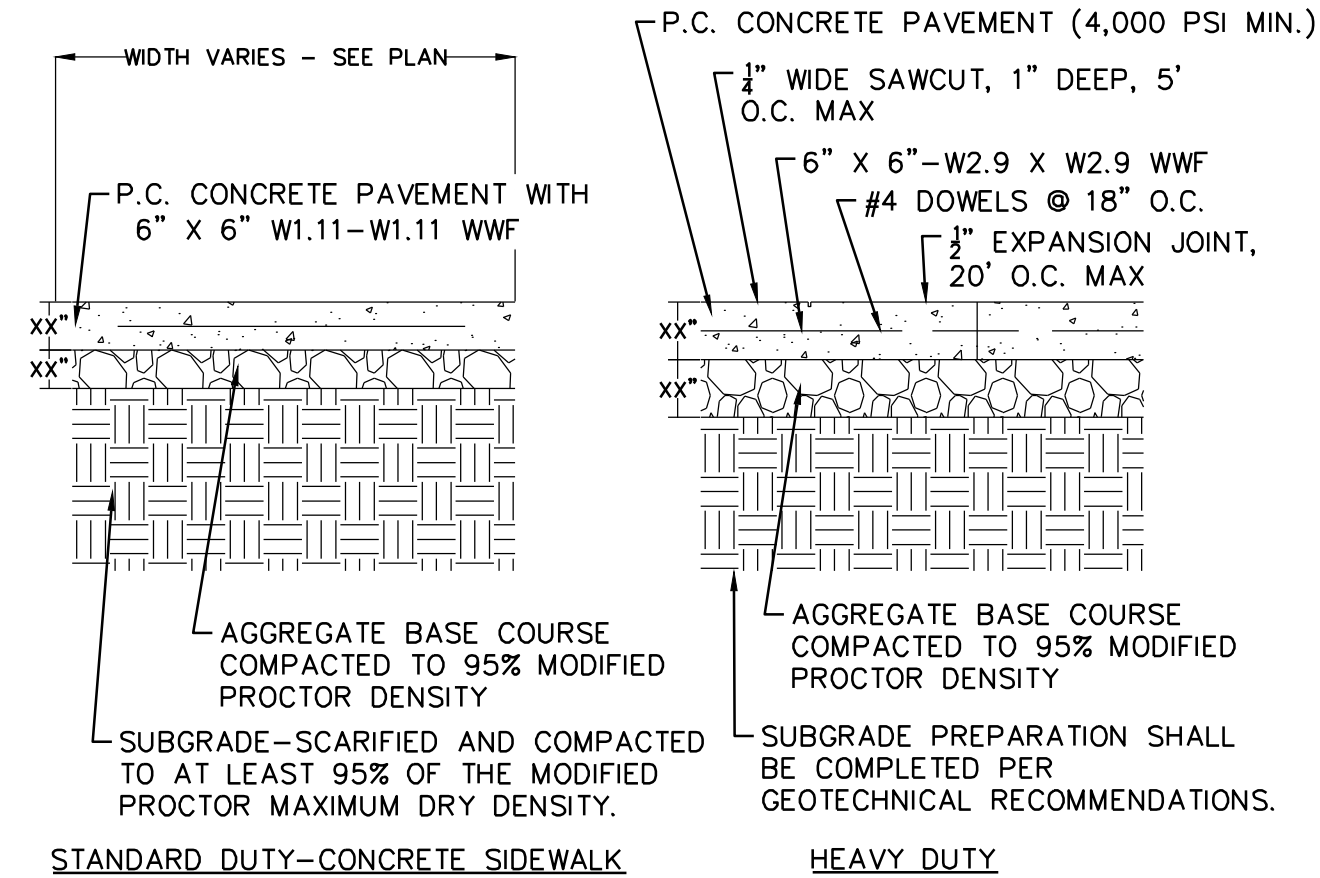
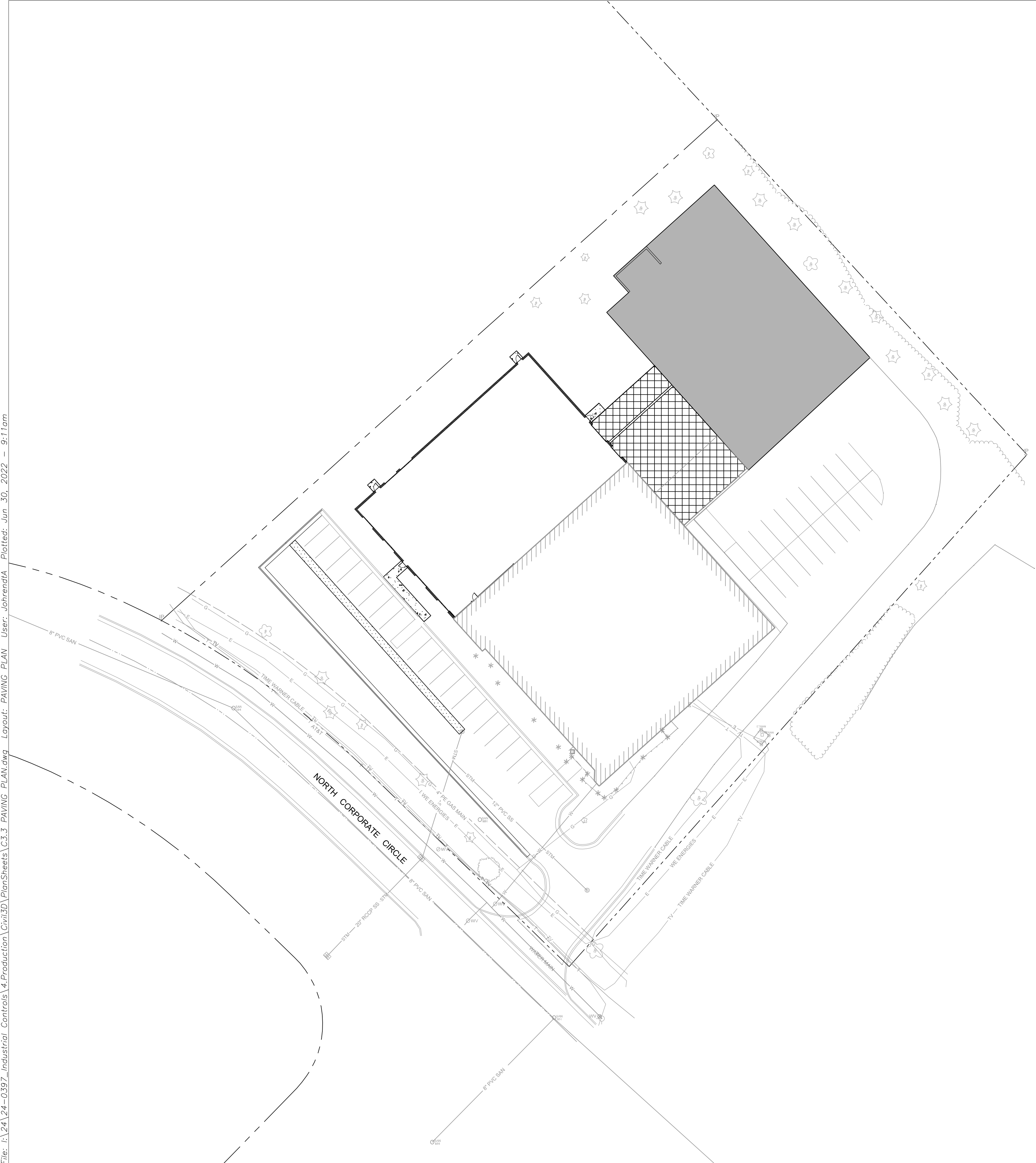


## VEHICLE NOTE

OUTER EDGE OF VEHICLE TRACKING LINE IS CORNER OF VEHICLE, NOT  
TIRE TRACK.

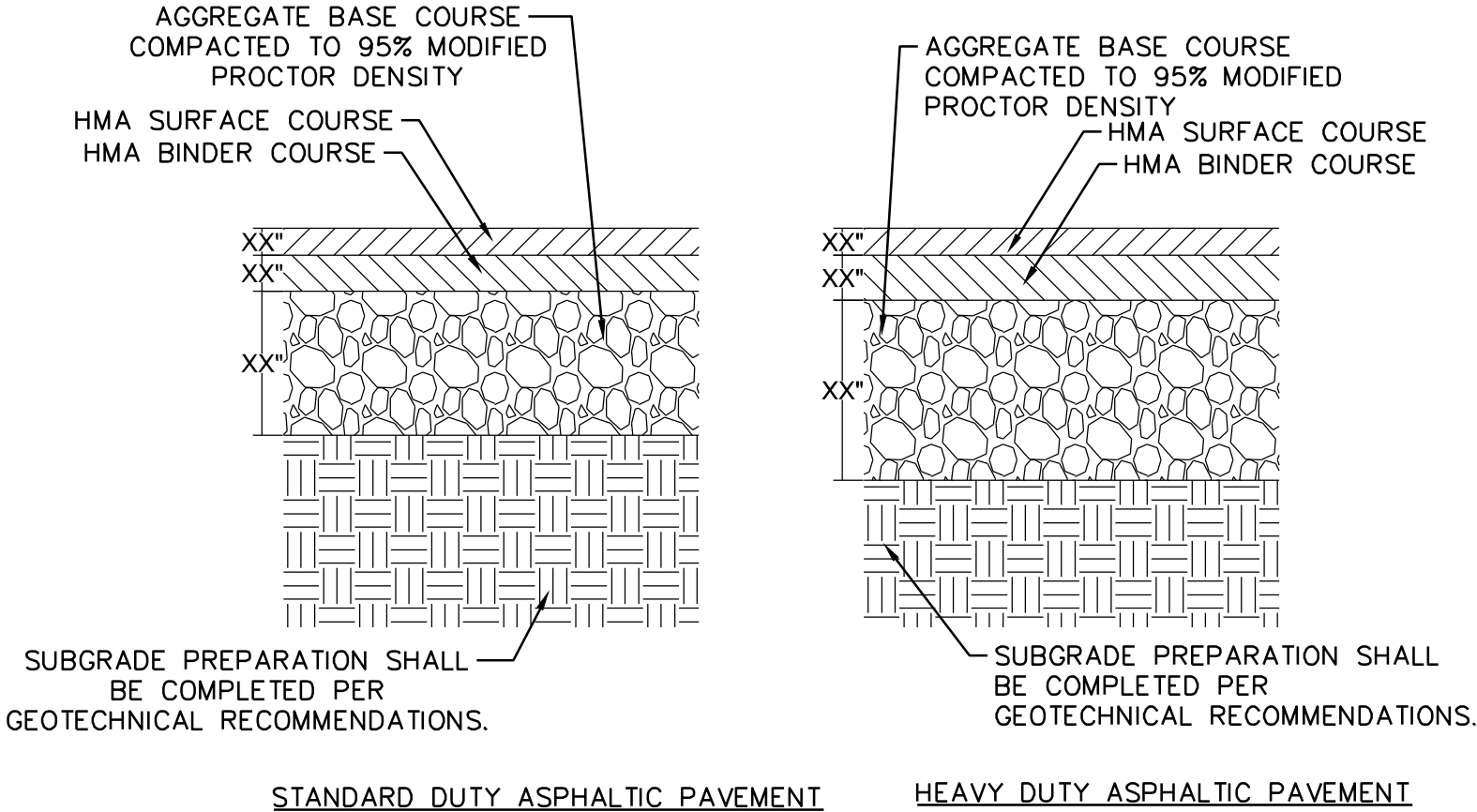


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- NOTE:
- PAVEMENT THICKNESS, SUBGRADE PREP, ETC, SHALL BE CONSTRUCTED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
  - ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 14 DAYS.
  - PROVIDE 1/2" EXPANSION JOINTS AT 20' MAXIMUM SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
  - PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
  - WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
  - PROVIDE 3/4" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
  - USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
  - AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.
  - EDGES OF CONCRETE SLABS SHALL BE THICKENED TO 12" CONCRETE

CONCRETE PAVING  
NOT TO SCALE



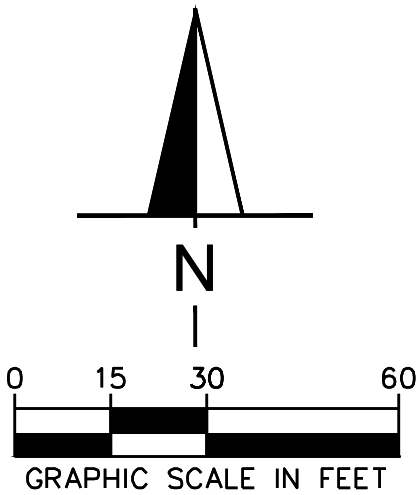
- NOTE:
- PAVEMENT THICKNESS, SUBGRADE PREP, ETC, SHALL BE CONSTRUCTED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
  - SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK COAT REQUIREMENTS.

ASPHALT PAVING  
NOT TO SCALE

PAVING AND CURB LEGEND

- 30" SPILL CONCRETE CURB AND GUTTER  
SEE CONSTRUCTION DETAILS
- HEAVY DUTY ASPHALT PAVEMENT  
SEE DETAILS ABOVE FOR PAVEMENT SECTION
- CONCRETE PAVEMENT  
SEE DETAILS ABOVE FOR PAVEMENT SECTION
- CONCRETE SIDEWALK  
SEE DETAILS ABOVE FOR PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT  
SEE DETAILS ABOVE FOR PAVEMENT SECTION

CONTRACTOR TO CREATE CLEAN SAWCUT LINE AT ALL JOINTS WITH NEW/EXISTING PAVEMENT CONNECTIONS



Revision	Date

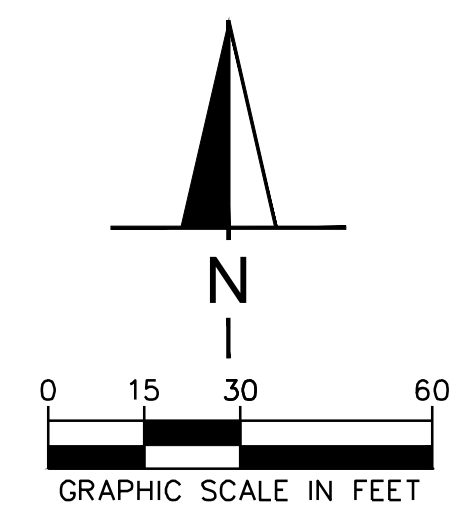
INDUSTRIAL CONTROLS  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI  
PAVING PLAN


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INDUSTRIAL CONTROLS  
N56 W24842 N. CORPORATE CIRCLE  
SUSSEX, WI  
SITE IMPERVIOUS PLAN

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Project No.	24-0397
Sheet Number	

### C3.4



STORMWATER NOTE		
NOTE: PER PRE-APPLICATION MEETING WITH THE VILLAGE, IF THE SITE IMPERVIOUS AREA DOES NOT EXCEED 75% NO STORM WATER IMPROVEMENTS ARE NEEDED AS THIS SITE IS SERVED BY A REGIONAL STORM WATER SYSTEM.		
	AREA	% OF PROPERTY
PROPERTY TOTAL AREA	101,936 SF	100%
IMPERVIOUS AREA	67,576± SF	66± %
PERVIOUS AREA (LANDSCAPE)	34,360± SF	34± %
	PERVIOUS AREA (LANDSCAPE)	

STORMWATER NOTE

**NOTE: PER PRE-APPLICATION MEETING WITH THE VILLAGE, IF THE SITE IMPERVIOUS AREA DOES NOT EXCEED 75% NO STORM WATER IMPROVEMENTS ARE NEEDED AS THIS SITE IS SERVED BY A REGIONAL STORM WATER SYSTEM.**

### PREVIOUS AREA (LANDSCAPE)

PERVIOUS AREA (LANDSCAPE)

PERVIOUS AREA (LANDSCAPE)

## EROSION CONTROL NOTES

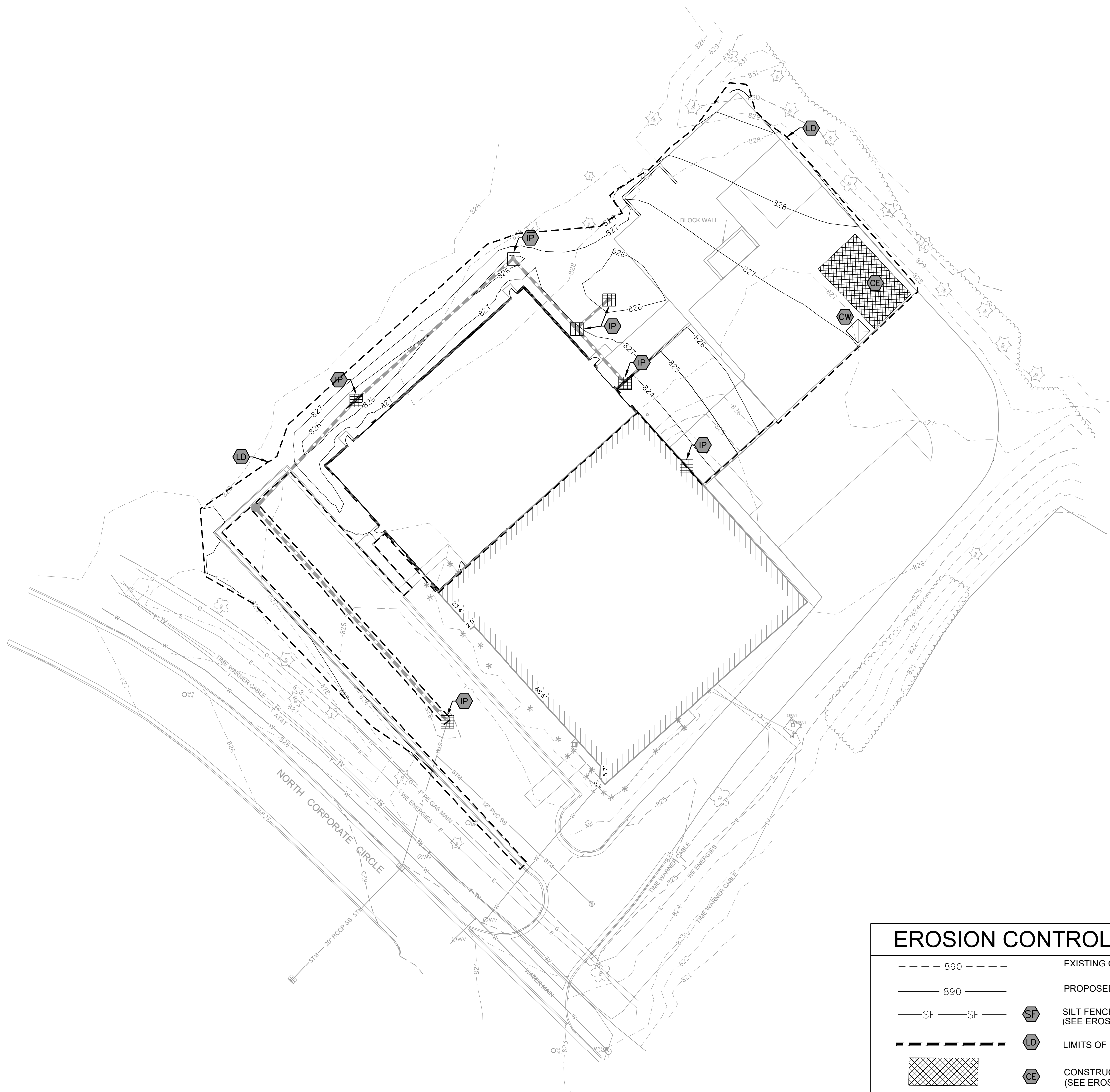
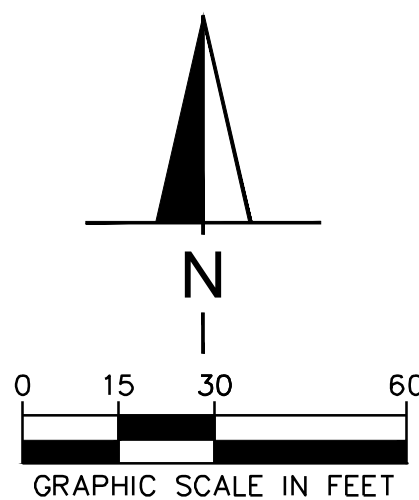
1. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT PLACEMENT.
2. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
3. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND THE SITE PAVING.
4. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
5. PER UDFCD TEMPORARY REVEGETATION IS REQUIRED ON ALL DISTURBED AREAS HAVING A PERIOD OF EXPOSURE PRIOR TO FINAL STABILIZATION OF ONE YEAR OR LONGER. ALL TEMPORARY SEEDING SHALL BE PROTECTED WITH MULCH.
6. TO PROVIDE TEMPORARY VEGETATION COVER ON DISTURBED AREAS WHICH WILL NOT BE PAVED, BUILT UPON, OR FULLY LANDSCAPED WITHIN 12 MONTHS BUT WILL BE COMPLETED WITHIN 24 MONTHS, PLANT AN ANNUAL GRASS APPROPRIATE FOR THE TIME OF PLANTING AND MULCH THE PLANTED AREAS. CONTRACTOR SHALL REFERENCE CITY OF BRIGHTON SEED MIX AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BY TO PLACE.

## TEMPORARY EROSION CONTROL NOTES











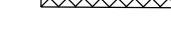

- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
2. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
3. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
4. PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SOIL DISPOSAL SITES.
5. PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
6. ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL, OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
7. ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
8. ACCUMULATION OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE. LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING OF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
9. SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
10. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT AND MAINTAIN ALL EROSION CONTROL AS REQUIRED BY CITY OF SUSSEX AND THE NPDES PERMIT. THE CONTRACTOR MAY MODIFY THE EROSION CONTROL AS NECESSARY FOR CONSTRUCTION PURPOSES, HOWEVER, ANY MODIFICATIONS MUST MEET OR EXCEED ANY REQUIREMENTS CITY OF SUSSEX OR COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT DEEMS NECESSARY.
11. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGE WAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
12. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRIVEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
13. STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
14. ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
15. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.

## SEQUENCE OF ACTIVITIES

1. CONSTRUCT SILT FENCE
2. SEEDING AND MULCHING AS REQUIRED
3. STRAW BALE BARRIER INLET PROTECTION SHALL BE CONSTRUCTED AT ALL EXISTING INLETS UPON COMPLETION OF CONSTRUCTION.
4. STRAW BALE BARRIERS SHALL BE REPLACED WITH GRAVEL FILTERS AT ALL INLETS UPON COMPLETION OF PAVING
5. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.



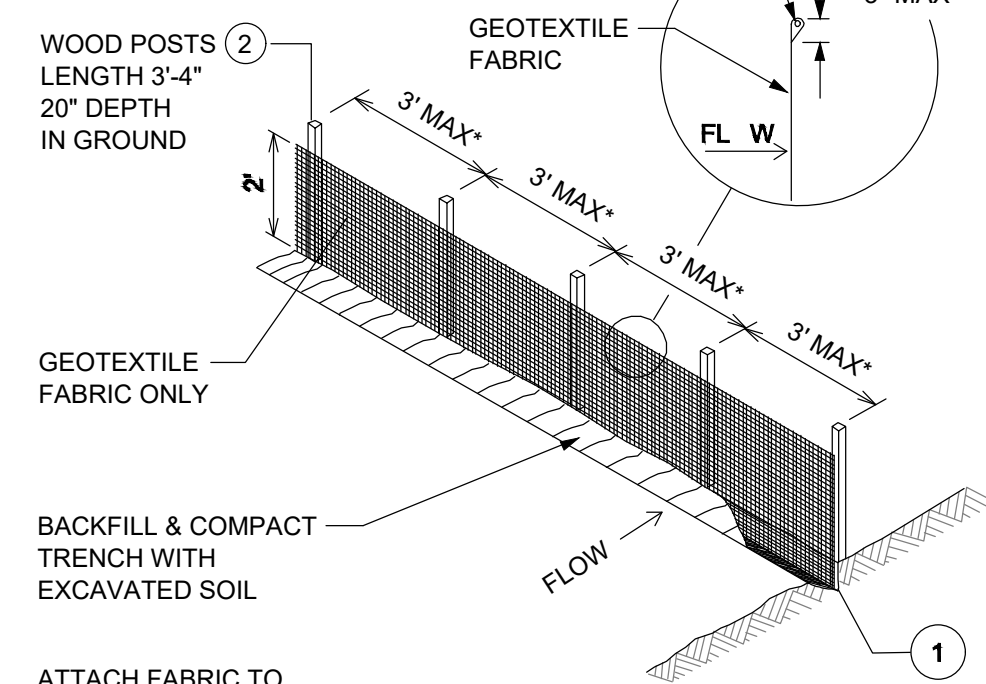
## EROSION CONTROL LEGEND

- |   |  |
|---|--|
|  | EXISTING CONTOUR   |
|  | PROPOSED CONTOUR   |
|  |  SILT FENCE<br>(SEE EROSION CONTROL DETAILS)            |
|  |  LIMITS OF DISTURBANCE (0.82 ACRES)                     |
|  |  CONSTRUCTION ENTRANCE<br>(SEE EROSION CONTROL DETAILS) |
|  |  INLET PROTECTION<br>(SEE EROSION CONTROL DETAILS)      |
|  |  CONCRETE WASHOUT<br>(TO BE DETERMINED BY CONTRACTOR)   |

## GENERAL NOTES

- ① TRENCH SHALL BE A MIN OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC, FOLD THE MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ② WOOD POSTS SHALL BE A MIN SIZE OF 1 1/2" x 1 1/2" OAK OR HICKORY.
- ③ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS:
  - A. TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
  - B. HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE:  
ADDITIONAL POST DEPTH OR TIE BACKS  
MAY BE REQUIRED IN UNSTABLE SOILS

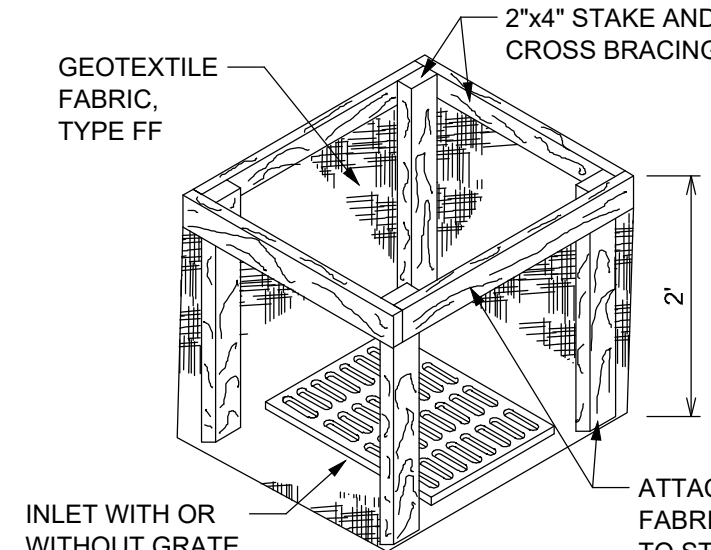
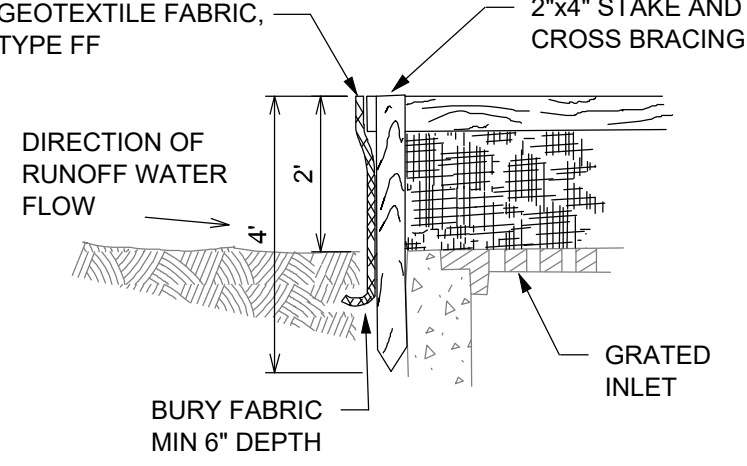
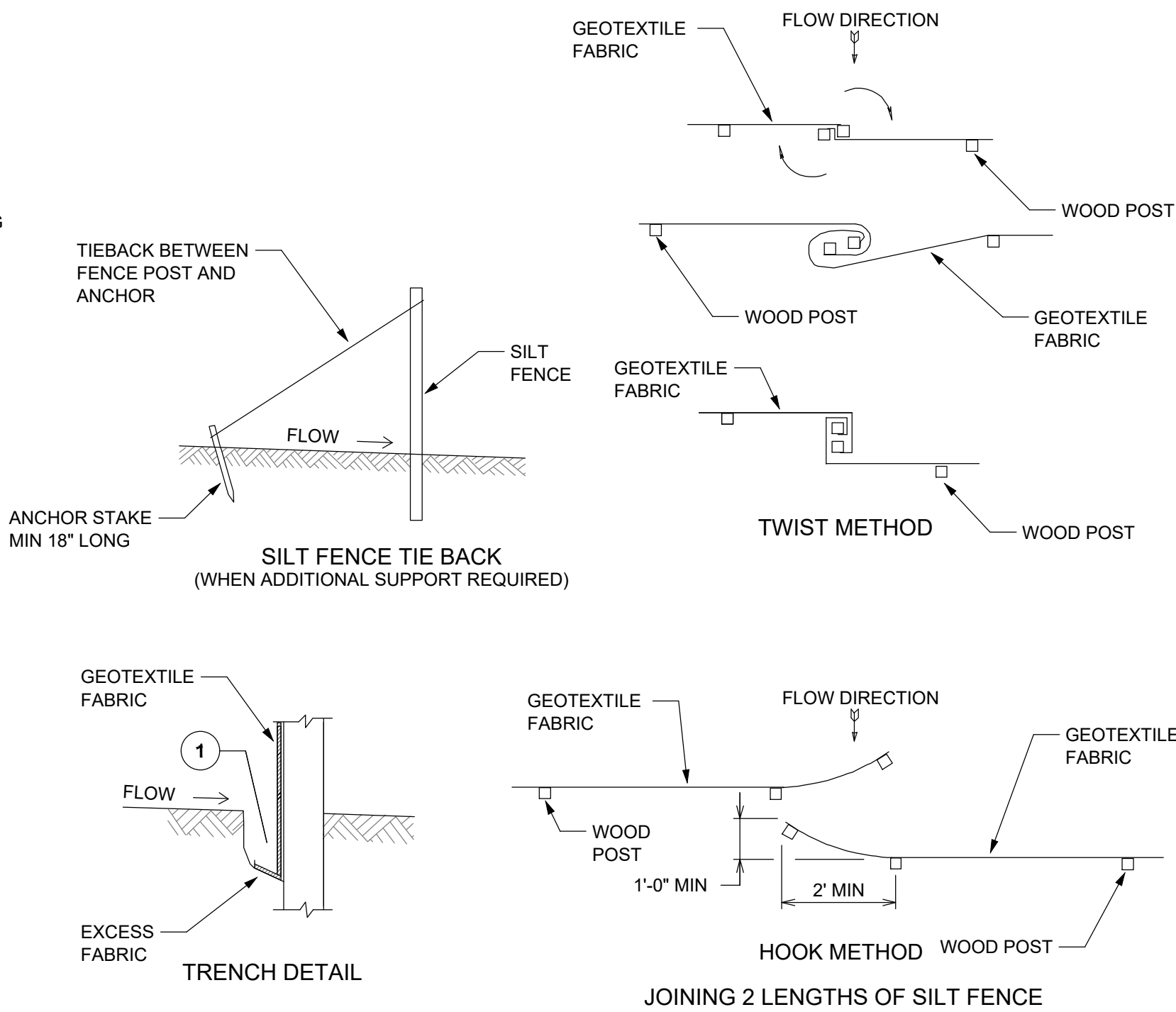


ATTACH FABRIC TO  
TIE POSTS WITH WIRE  
STAPLES OR WOODEN  
LATH AND NAILS

\*NOTE:  
8'-0" POST SPACING ALLOWED IF A  
WOVEN GEOTEXTILE FABRIC IS USED

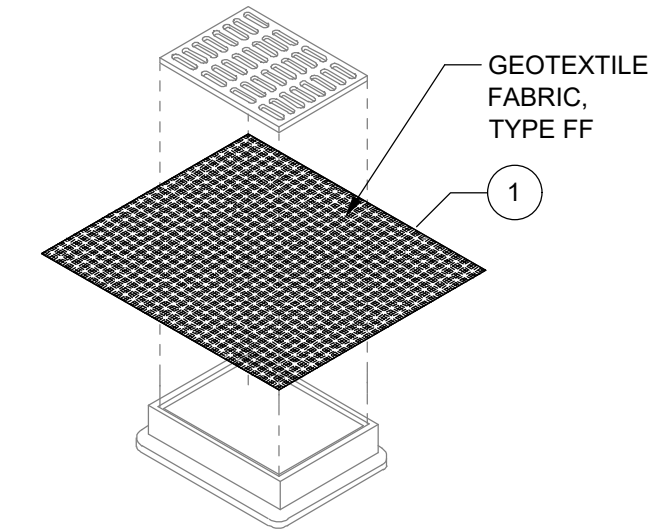
SILT FENCE

**SILT FENCE**  
NOT TO SCALE

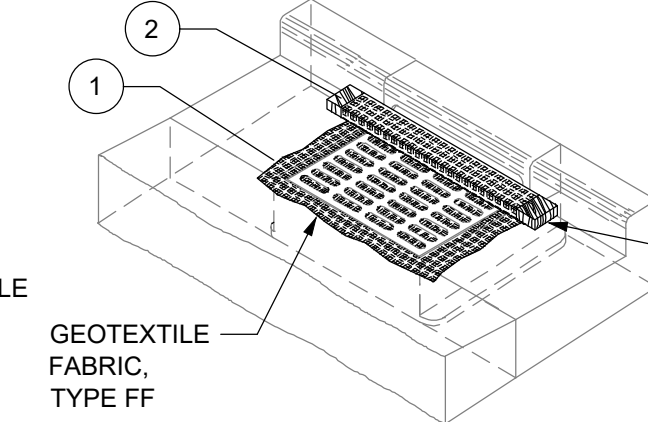


INLET PROTECTION, TYPE A

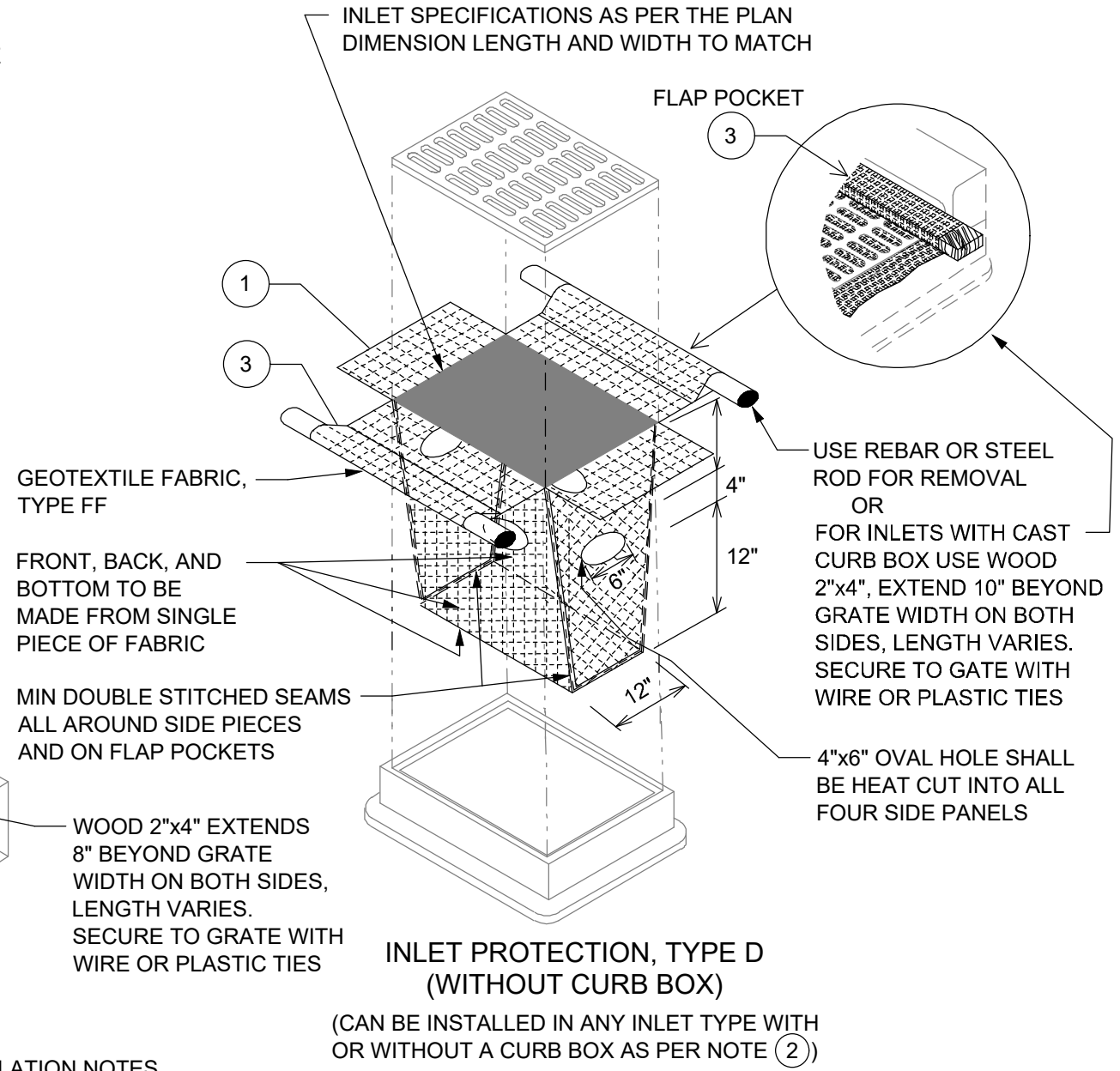
- GENERAL NOTES
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING IN TO THE INLET SHALL BE REMOVED IMMEDIATELY.
- ① -FINISHED SIDE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② -FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ -FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2x4.



**INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY  
INLET WITHOUT A CURB BOX)**



INLET PROTECTION, TYPE 1  
(WITH CURB BOX)

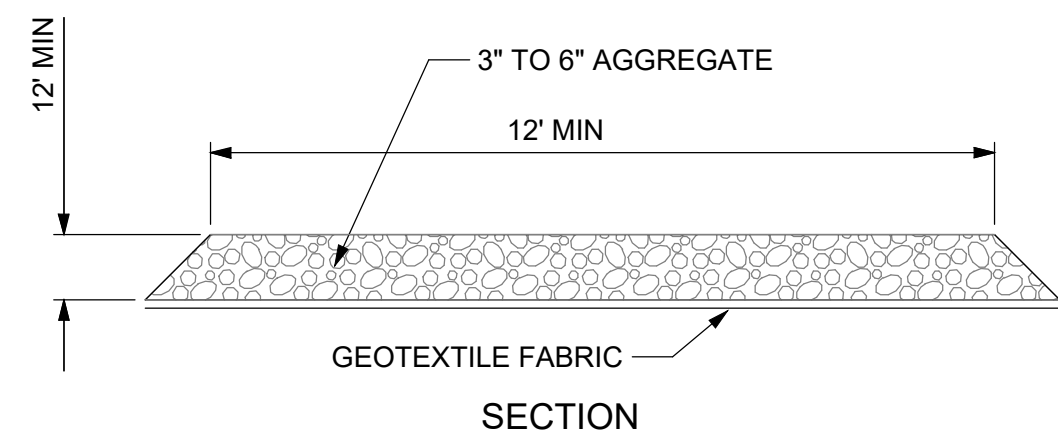
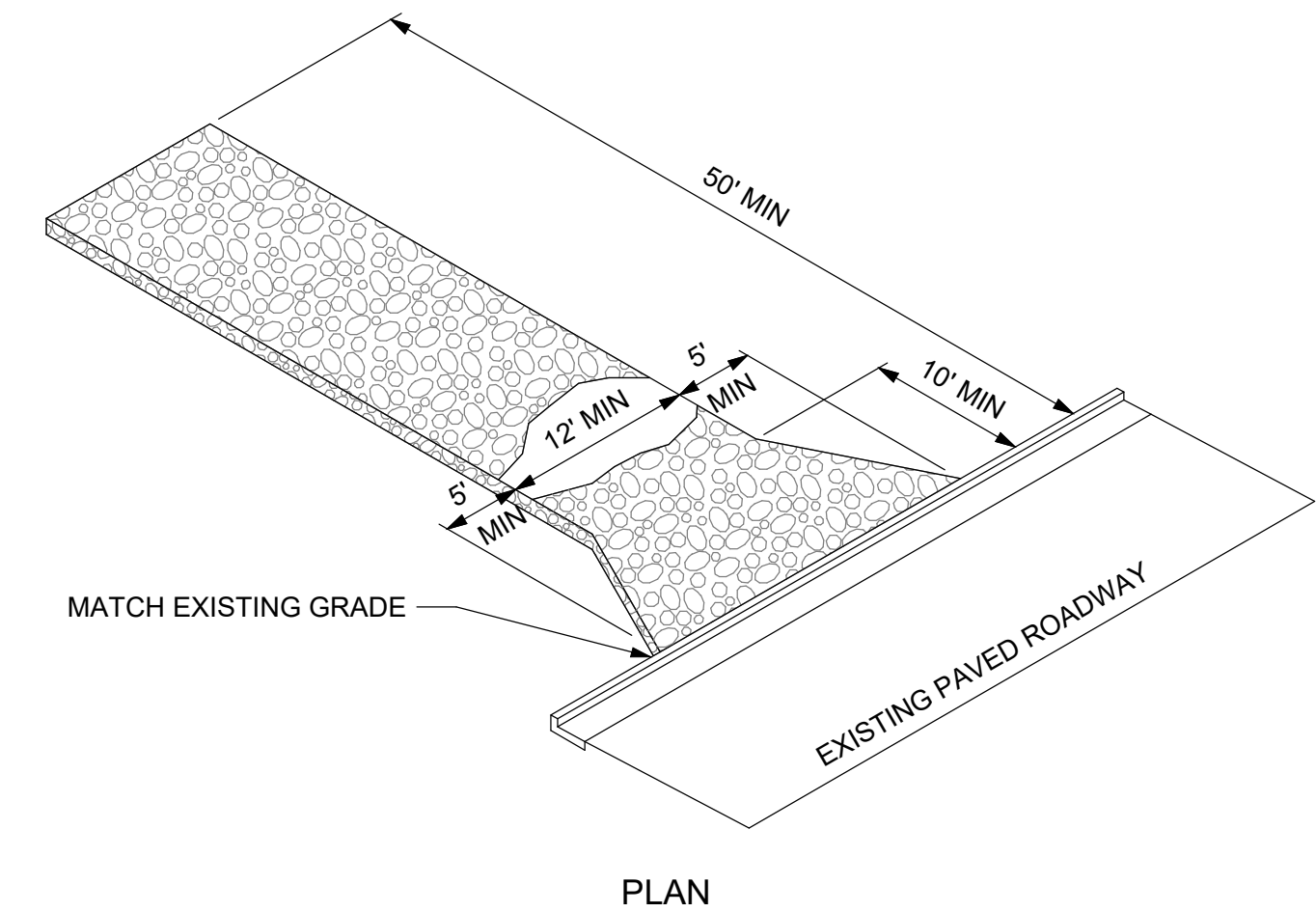


## INSTALLATION NOTES

- TYPE B & C: -TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.  
-THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D: -DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.  
-TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.  
-THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

IP

**INLET PROTECTION**  
NOT TO SCALE

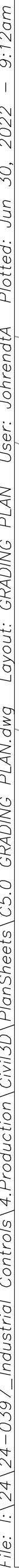
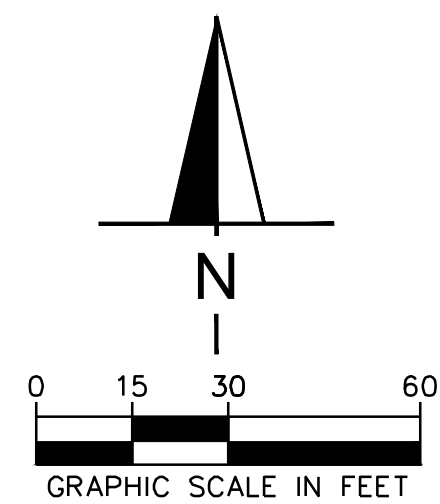


3

**CONSTRUCTION ENTRANCE**  
NOT TO SCALE

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL ENSURE THAT POSITIVE DRAINAGE OCCURS AT ALL JOINTS WITH EXISTING CONDITIONS.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TPO/SOL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
5. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2.0% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
6. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
7. MATCH EXISTING ELEVATIONS AT THE PROPERTY LINE.
8. NO GRADING SLOPES SHALL EXCEED 4:1 SLOPES.
9. WATER TRUCK CALLED FOR BY THE CITY INSPECTOR WILL BE PROVIDED TO KEEP WIND EROSION IN CHECK.
10. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
11. ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY EXCAVATIONS OR EXCESSIVE PAVEMENT FAILURES CAUSED BY THE DEVELOPMENT AND SHALL PROPERLY BARRICADE THE SITE UNTIL CONSTRUCTION IS COMPLETE. FAILURE BY THE CONTRACTOR TO CORRECT ANY OF THE ABOVE WITHIN 48 HOURS OF WRITTEN NOTICE BY THE CITY SHALL CAUSE THE CITY TO ISSUE A STOP WORK ORDER (RED TAG) AND/OR DO THE WORK AND MAKE A CLAIM AGAINST THE LETTER OF CREDIT FOR ANY COST INCURRED BY THE CITY.
12. AREAS BEING DISTURBED BY THE GRADING SHALL BE RESEED WITH NATIVE VEGETATION OR AS APPROVED ON THE DEVELOPMENT PLAN.
13. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUEST SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
14. THE DUTY OF THE CITY TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURE IN, ON, OR NEAR THE CONSTRUCTION SITE.
15. CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1967) FOR LOCATION OF UNDERGROUND GAS, ELECTRIC, AND TELEPHONE UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

TC = TOP OF CURB  
 ME = MATCH EXISTING ELEVATION  
 LP = LOW POINT  
 TW = TOP OF WALL  
 BW = BOTTOM OF WALL  
 FG = FINISHED GRADE  
 SLOPE AND FLOW DIRECTION  
 EXISTING CONTOUR  
 PROPOSED CONTOUR  
 LIMITS OF DISTURBANCE



GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
3. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
4. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
5. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
6. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL REFERENCE THE CITY OF SUSSEX STANDARD NOTES PROVIDED ON SHEET C1.1 OF THESE PLANS. ADDITIONAL NOTES ARE PROVIDED TO SUPPLEMENT THE CITY OF BRIGHTON STANDARD NOTES. CITY OF BRIGHTON STANDARDS & SPECIFICATIONS SHALL TAKE PRECEDENCE IN THE EVENT OF ANY DISCREPANCIES.
8. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF SUSSEX 'STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS' AND WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY AUTHORIZED CITY OF SUSSEX PERSONNEL.
9. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WHERE PROPOSED UTILITIES ARE BEING CONNECTED. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
10. THE CONTRACTOR SHALL CONTACT NECESSARY FRANCHISE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO LOCATE AND PROTECT IN PLACE OR RELOCATE EXISTING UTILITIES, FOR INSTALLATION OF SERVICE, ROUTE SELECTION, AND OTHER ISSUES PERTAINING TO INSTALLATION.
11. ALL DISCREPANCIES FOUND BY CONTRACTOR RELATED TO UNDERGROUND UTILITIES OR OTHER APPURTENANCES SHALL BE RESOLVED TO THE SATISFACTION OF OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
12. ALL UTILITY PIPES SHALL BE OF ADEQUATE STRENGTH TO SUPPORT THE TRENCH AND AASHTO H-20 HIGHWAY LOADINGS.
13. PIPE LENGTHS NOTED ON THE PLAN ARE HORIZONTAL DISTANCES FROM HORIZONTAL APPURTENANCES. ACTUAL PIPE LENGTHS MAY VARY DUE TO ELEVATION CHANGES OR APPURTENANCE DIMENSIONS.
14. THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH FINISHED GRADING AS INDICATED ON THE GRADING PLAN. MINOR ADJUSTMENTS TO THE TOP ELEVATION OF NEW UTILITIES MAY BE NECESSARY.
15. ALL UTILITY TRENCHES THAT PENETRATE BENEATH THE BUILDING SHALL BE EFFECTIVELY SEALED TO RESTRICT WATER INTRUSION. CONTRACTOR SHALL INSTALL A CLAY TRENCH PLUG EXTENDING AT LEAST 5 FEET FROM THE EXTERIOR OF THE FOUNDATION WALL.

GAS NOTES:

16. GAS SERVICE LINE AND METER INSTALLATION LOCATION SHALL BE COORDINATED WITH THE PLUMBING PLANS FOR SIZE REQUIREMENTS AND EXACT CONNECTION LOCATION.

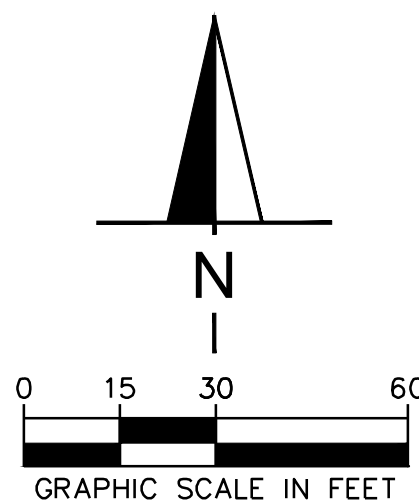
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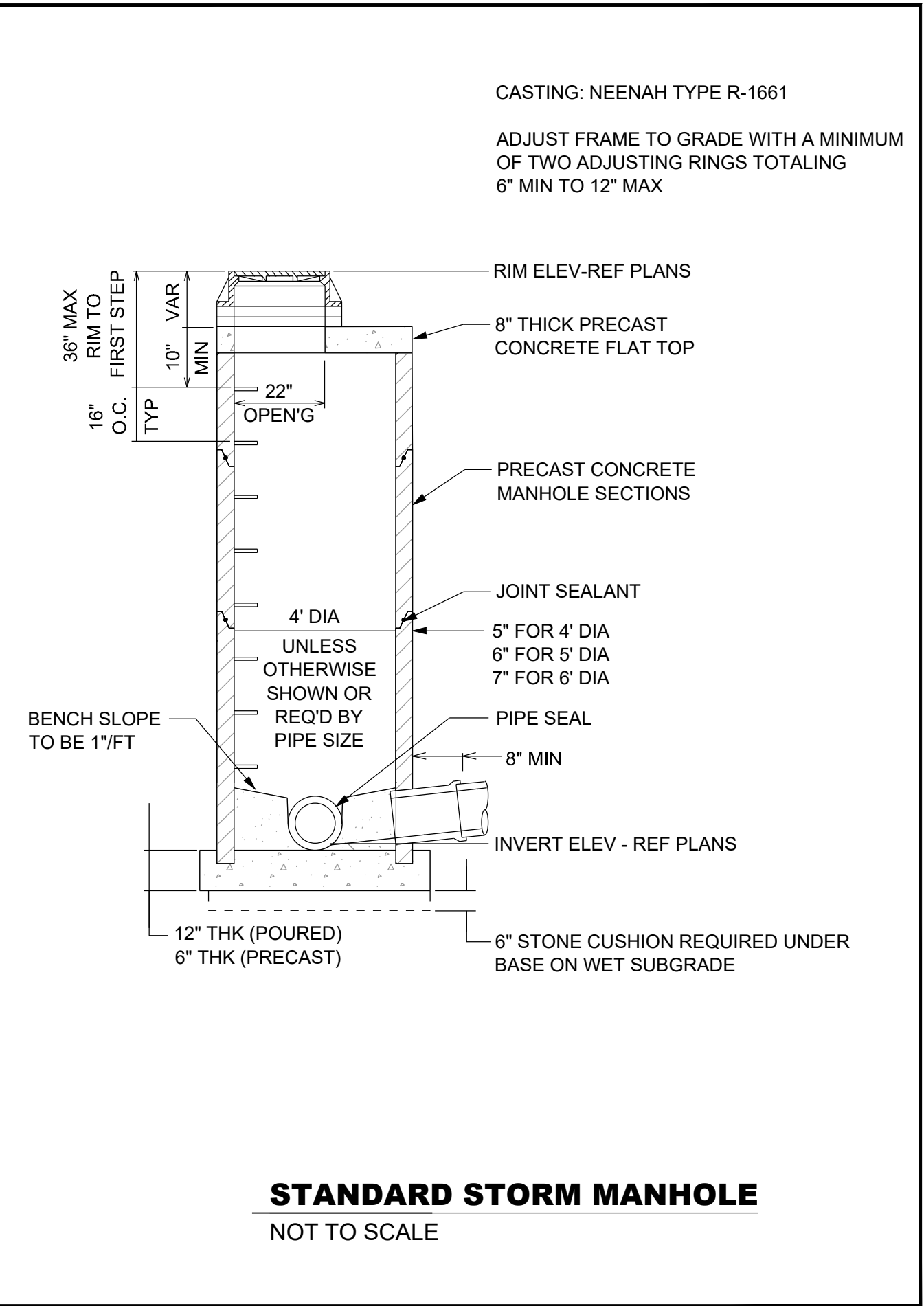
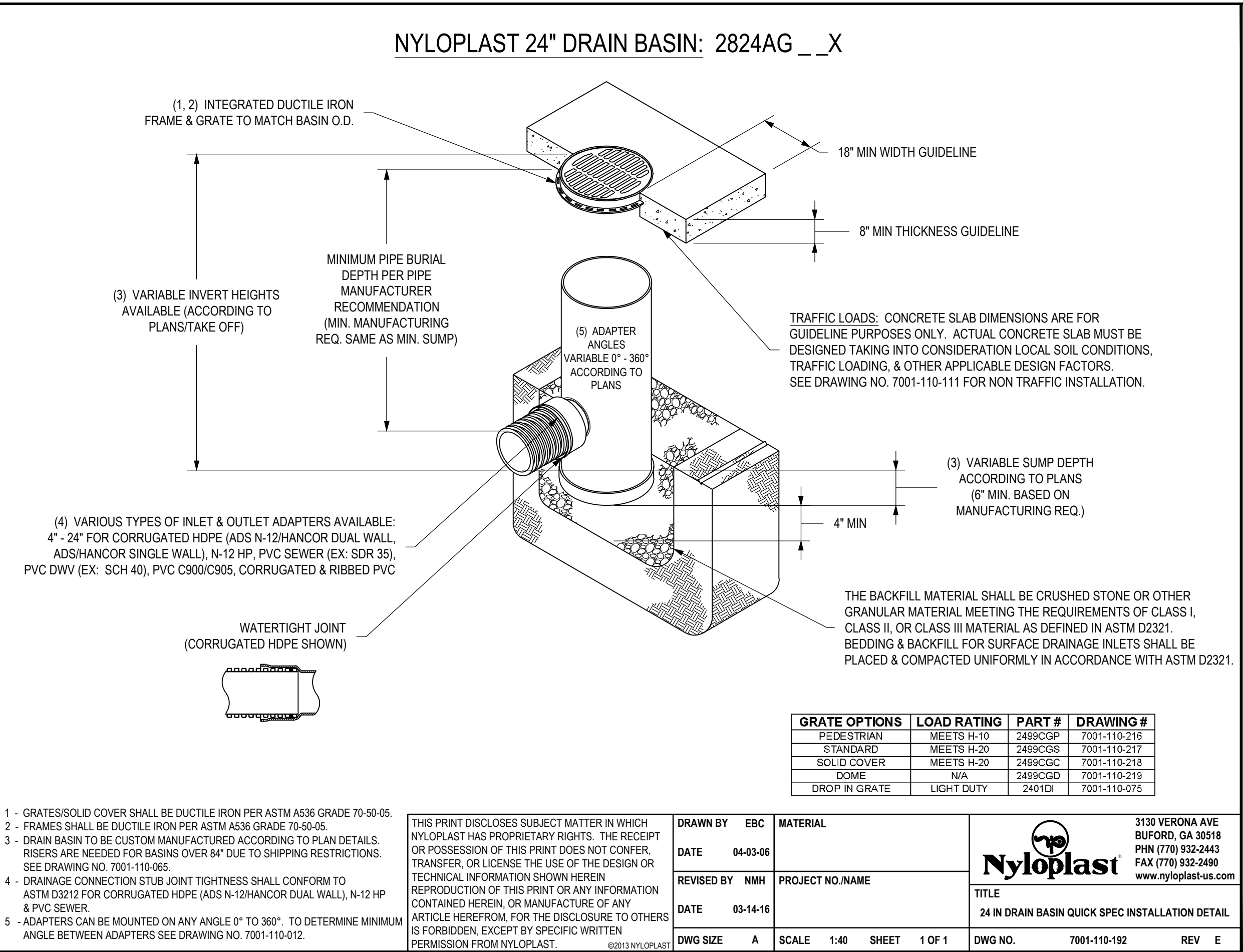
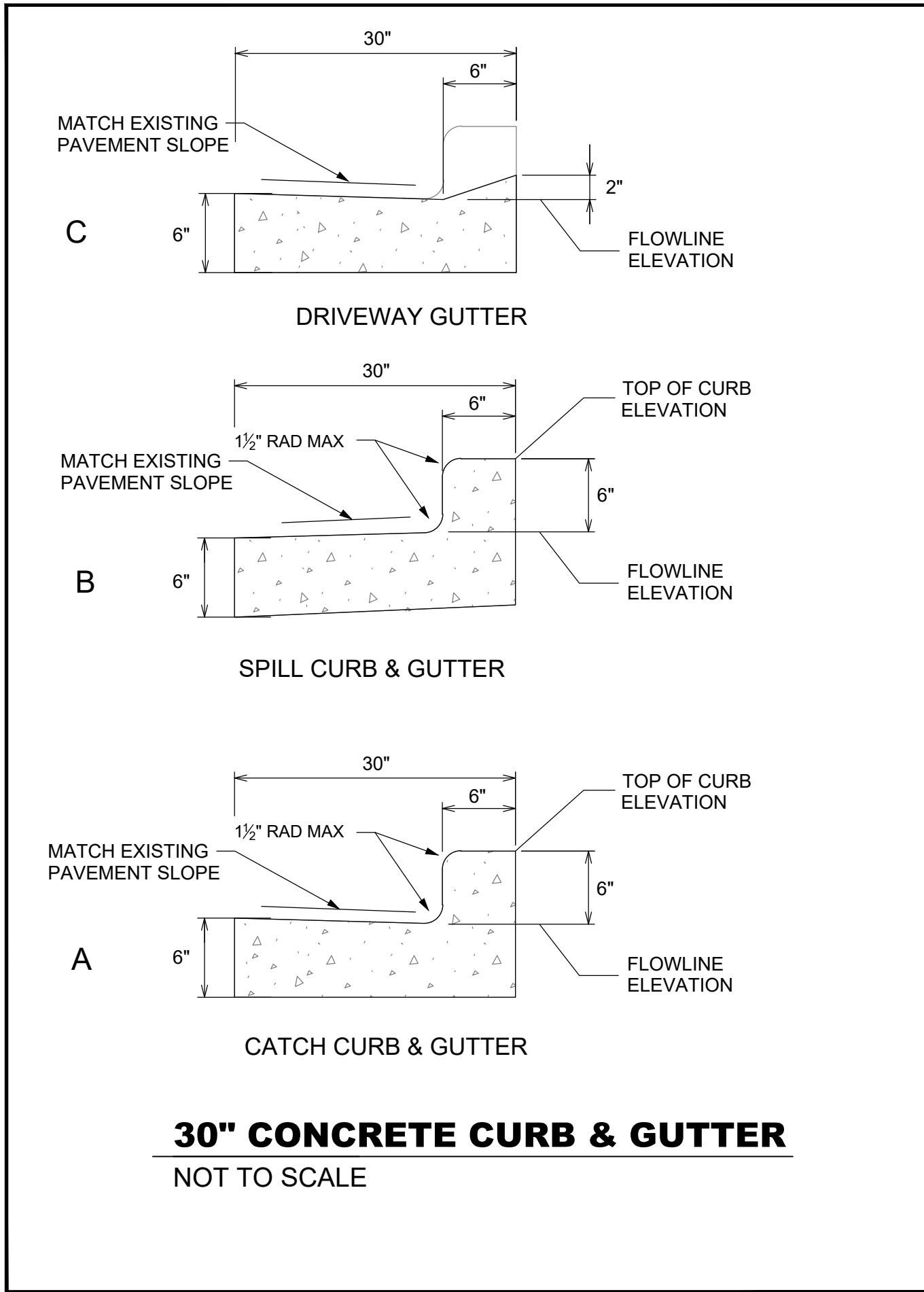
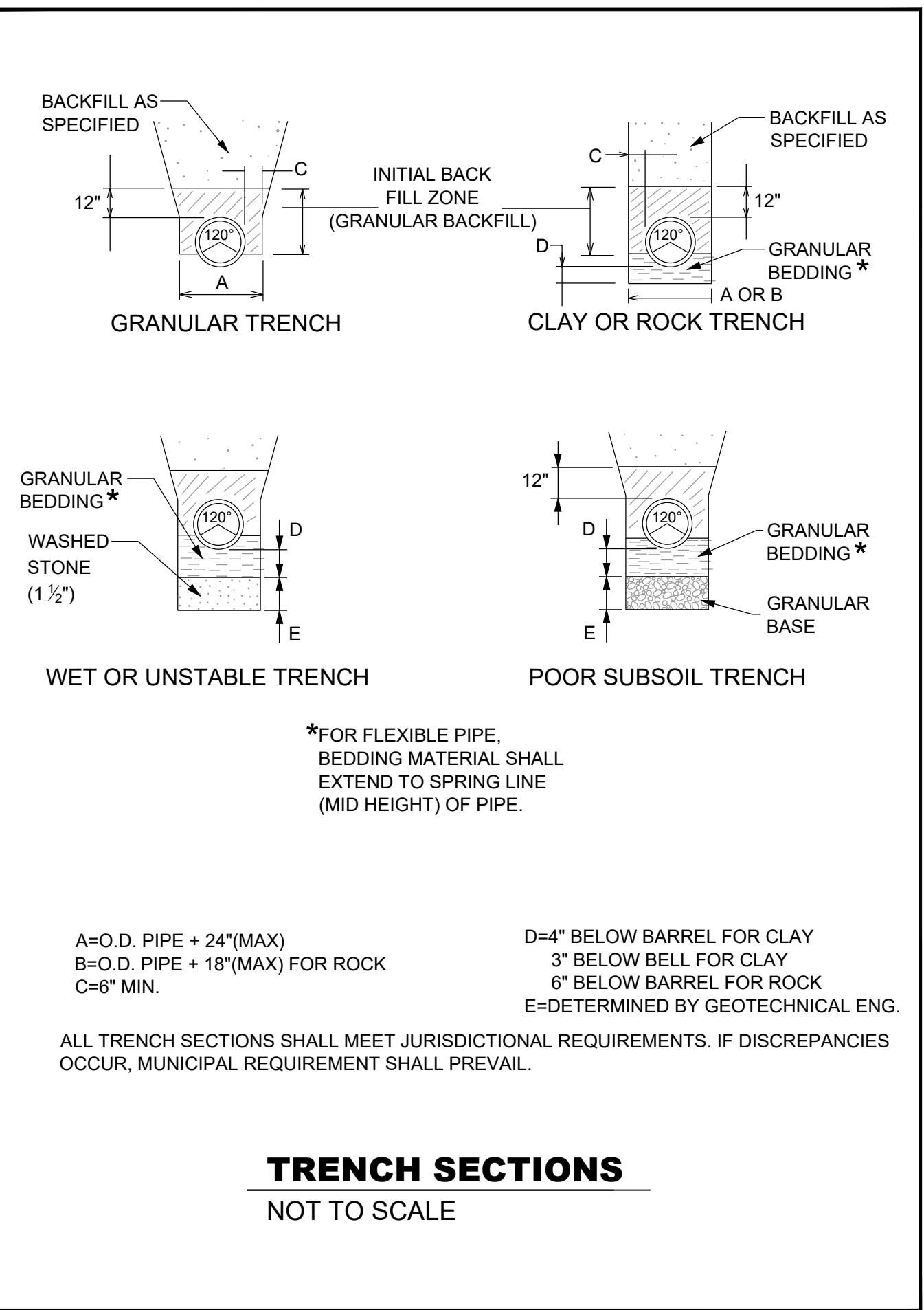
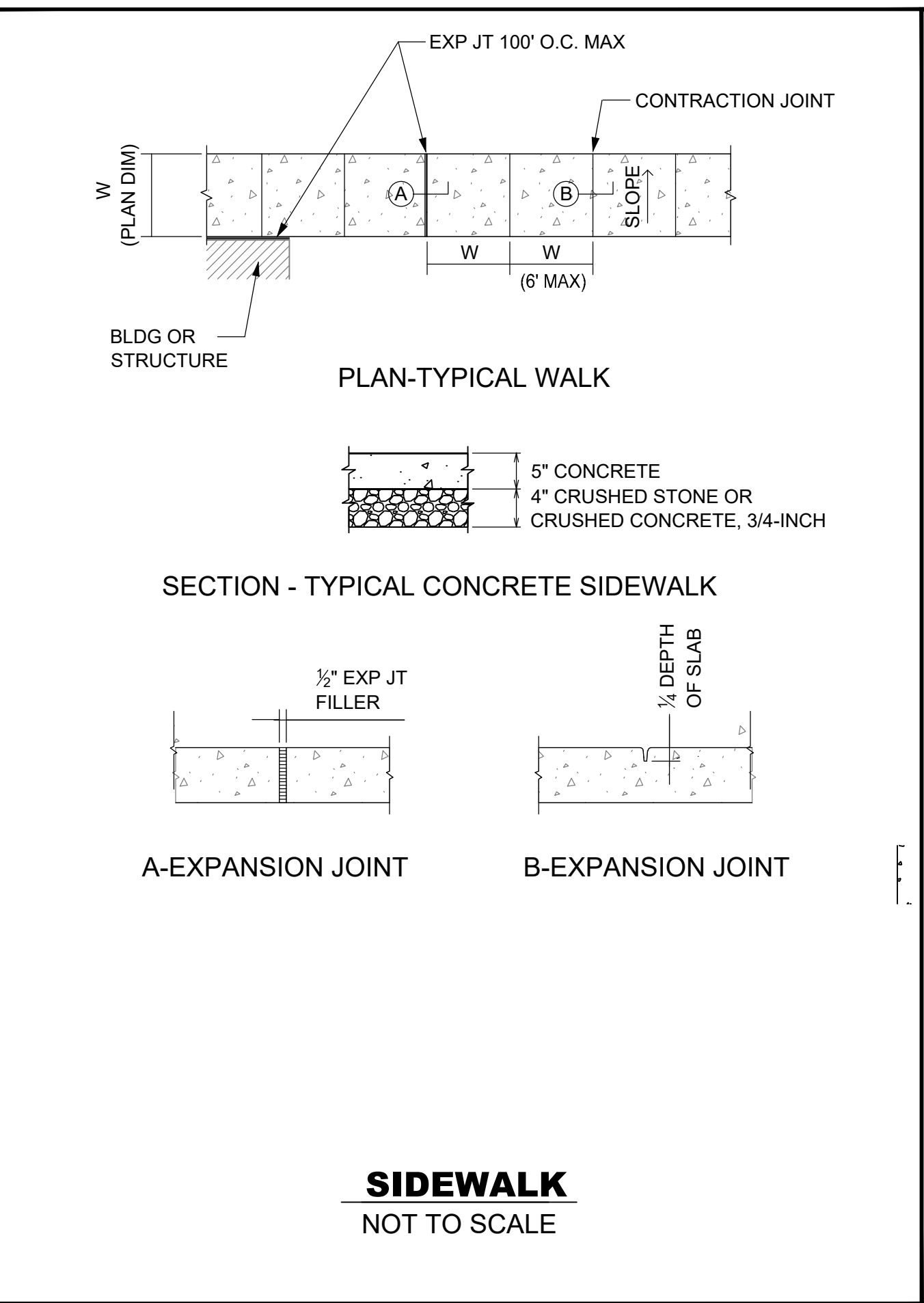
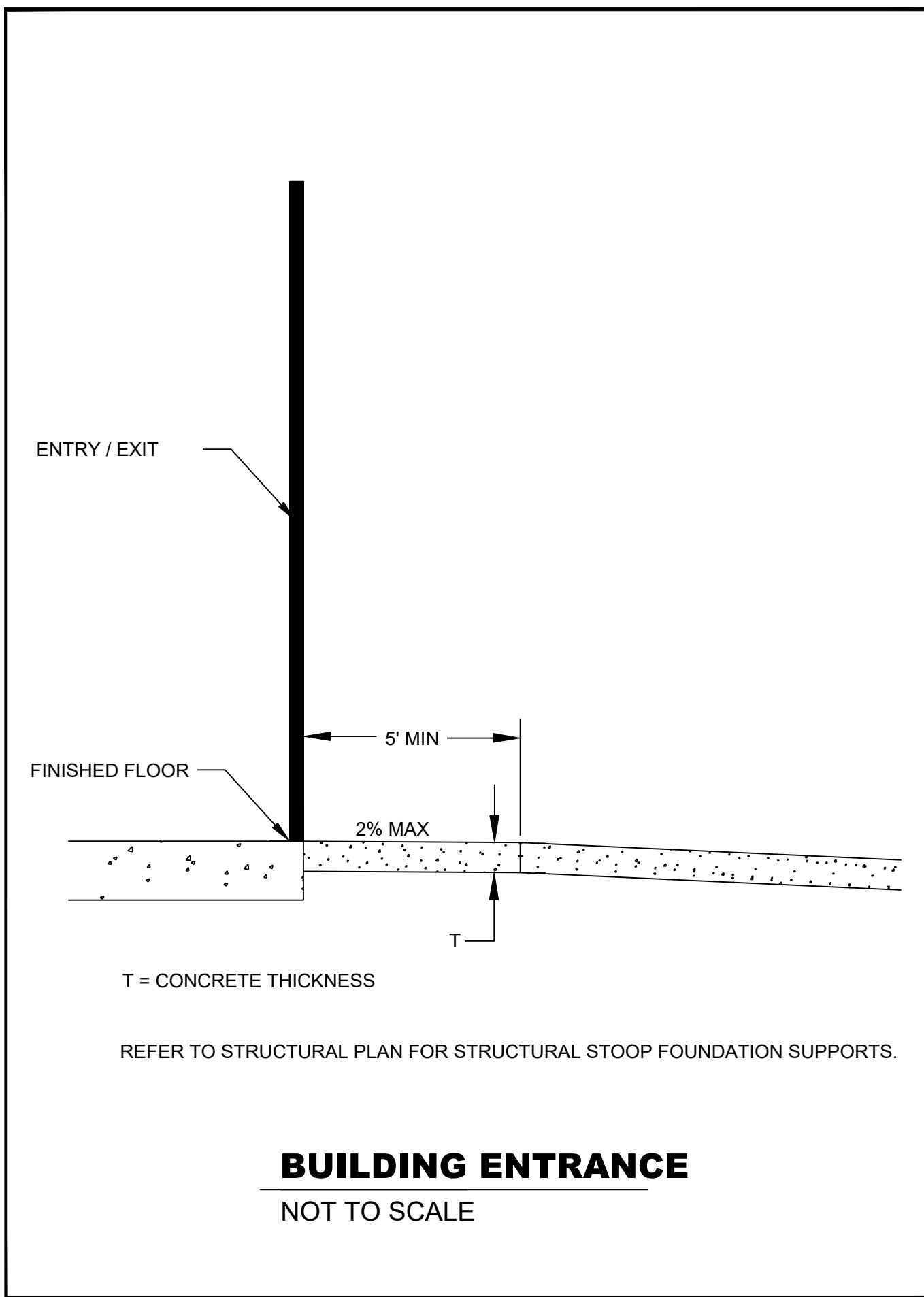
17. THE SANITARY SEWER SERVICE ON-SITE SHALL BE PRIVATELY OWNED AND MAINTAINED.
18. COORDINATE SANITARY SEWER SERVICE WITH MEP PLANS. PROVIDE CLEAN OUTS AT 100' MAXIMUM SPACING (STRAIGHT RUNS) AND AT BEND LOCATIONS.
19. ALL PVC PIPE FOR THE SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35.
20. THE LENGTH OF SANITARY SEWER SERVICE IS THE HORIZONTAL DISTANCE BETWEEN CENTER OF MANHOLE OR BEND TO CENTER OF MANHOLE OR BEND DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND MANHOLE DIMENSIONS.

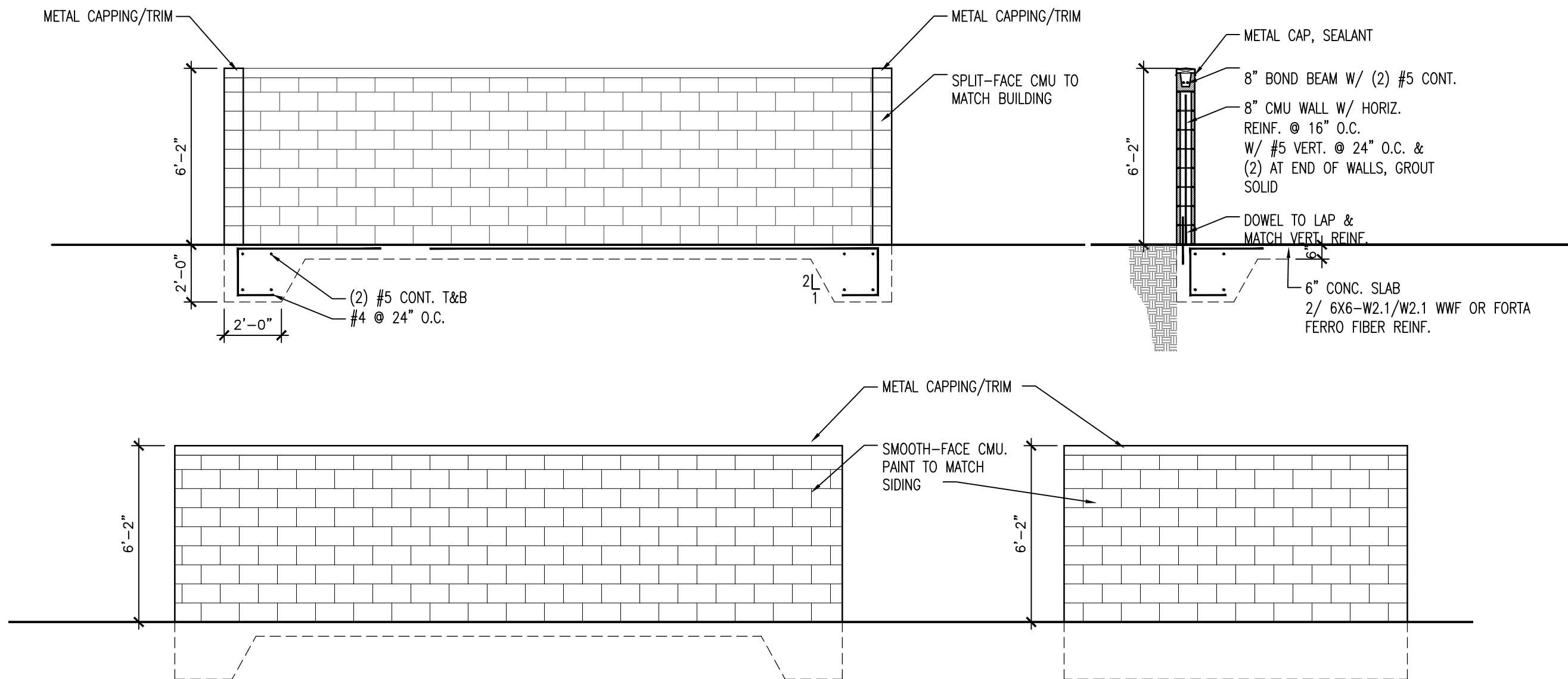
WATER SERVICE NOTES:

21. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE 3/4" DOMESTIC LINE SUCH AS, BUT NOT LIMITED TO, GATE VALVES, REDUCERS, BENDS, TEES, ETC., WHICH MAY BE REQUIRED.
22. CONTRACTOR TO COORDINATE 3/4" WATER METER WITH CITY OF SUSSEX FOR DOMESTIC WATER SUPPLY, SIZE SHALL MATCH BUILDING PERMIT PLANS.
23. THRUST BLOCKS SHALL BE INCLUDED AT ALL BENDS, TEES, DEFLECTIONS, AND CAPS/PLUGS.
24. FIRE HYDRANT ASSEMBLY TO INCLUDE HYDRANT, LATERAL, VALVES, ETC. AS NOTED ON DETAILS.

	STORM SEWER		UTILITY POLE		OVERHEAD UTILITY LINE
	STORM SEWER INLETS		GUY WIRE		EX. SANITARY SEWER LINE
	6" DIP WATER LINE		STREET SIGN		EX. STORM SEWER LINE
	8" PVC WATER LINE		LIGHT POLE		EX. WATER LINE
	12" PVC WATER LINE		WATER METER		EX. UNDERGROUND TELEPHONE LINE
	FIRE HYDRANT		WATER VALVE		EX. UNDERGROUND ELECTRICAL LINE
	GATE VALVE		EX. STORM MANHOLE		EX. GAS LINE
	SANITARY SEWER		EX. SANITARY SEWER MANHOLE	(AB) = ASBUILT INFORMATION PROVIDED BY CONTRACTOR	
			TELEPHONE MANHOLE		
			UNKNOWN MANHOLE (NO ACCESS)		



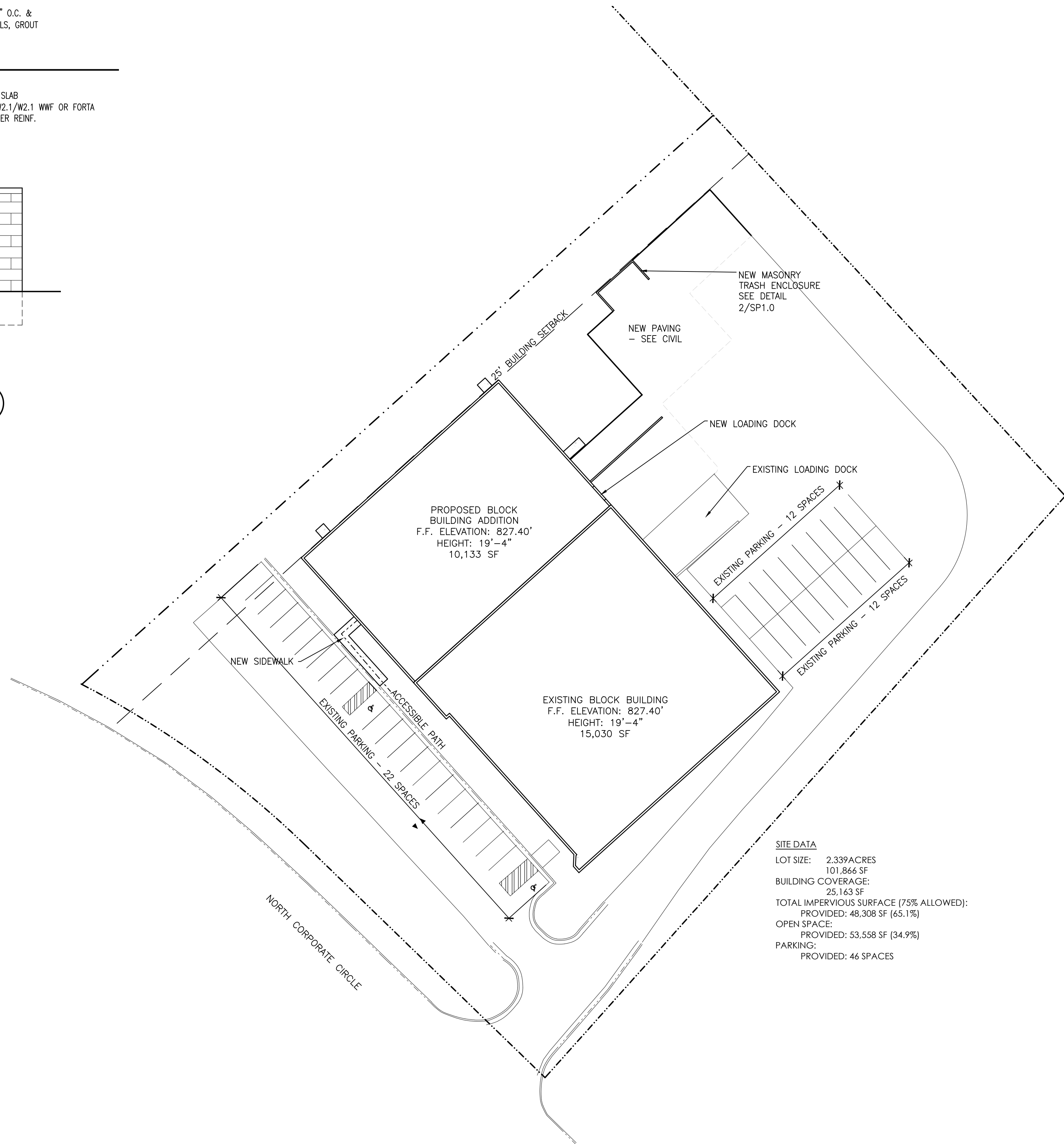




TRASH ENCLOSURE DETAILS

SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

2



SITE DATA

LOT SIZE: 2.339 ACRES  
101,866 SF  
BUILDING COVERAGE:  
25,163 SF  
TOTAL IMPERVIOUS SURFACE (75% ALLOWED):  
PROVIDED: 48,308 SF (65.1%)  
OPEN SPACE:  
PROVIDED: 53,558 SF (34.9%)  
PARKING:  
PROVIDED: 46 SPACES

SITE PLAN

SCALE: 1/32"=1'-0" (22x34); 1/64"=1'-0" (11x17)

1



NOT FOR CONSTRUCTION



Architect  
259 South Street, Suite A  
WAUKESHA, WI 53186  
p: 833-380-6180



Contractor  
W299 N1870 WESTWOOD DR.  
WAUKESHA, WI 53186  
p: 262-444-2270

Project Info. — 22049

INDUSTRIAL  
CONTROLS

NEW ADDITION  
N56 W24842 N CORPORATE CIR.  
SUSSEX, WI

Sheet Title

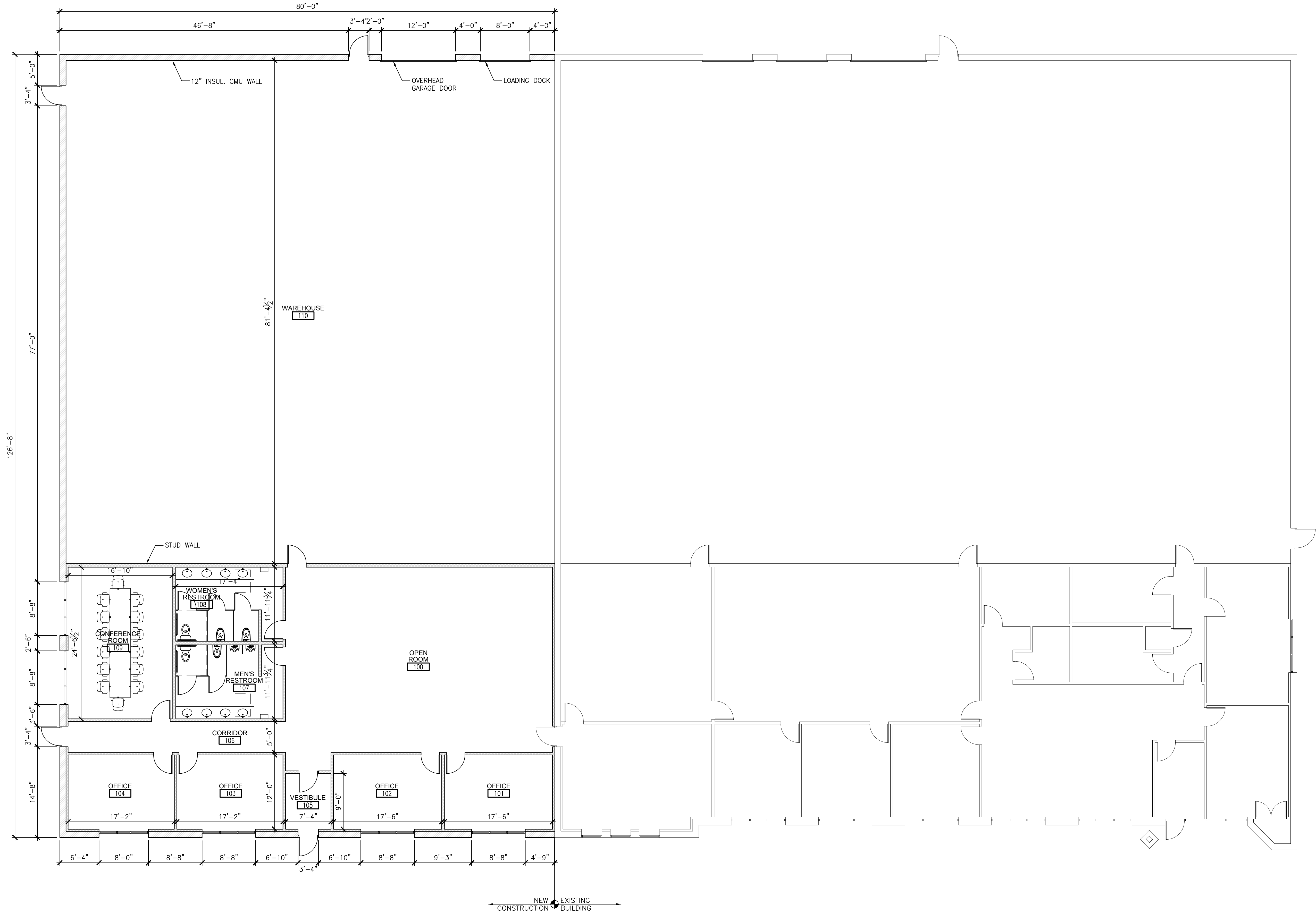
SITE PLAN

Drawn by	Checked by
ALS	-

Revisions		
No.	Date	Description
	06.30.2022	Plan Commission

Sheet No.

SP1.0



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Project Info. — 22049

INDUSTRIAL  
CONTROLS

NEW ADDITION

N56 W24842 N CORPORATE CIR.  
SUSSEX, WI

Sheet Title

FLOOR PLAN

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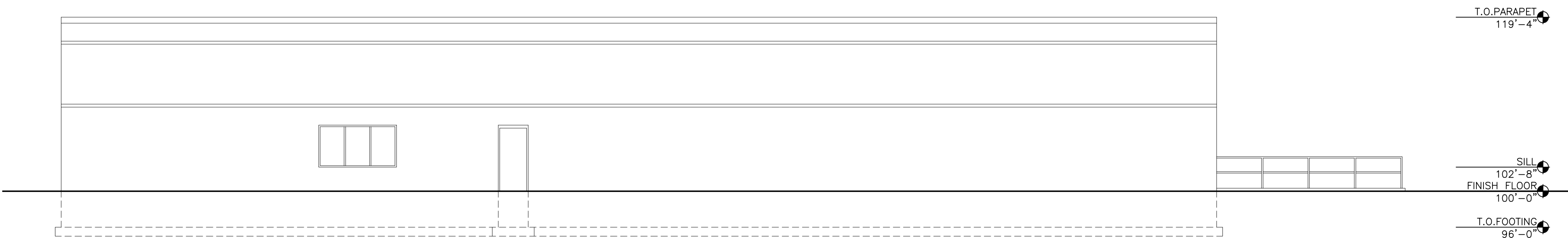
Sheet No.

A1.0

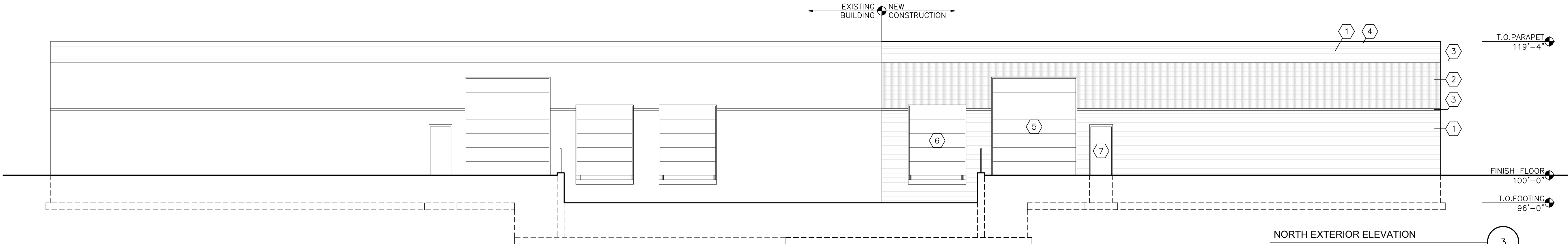
NOT FOR CONSTRUCTION



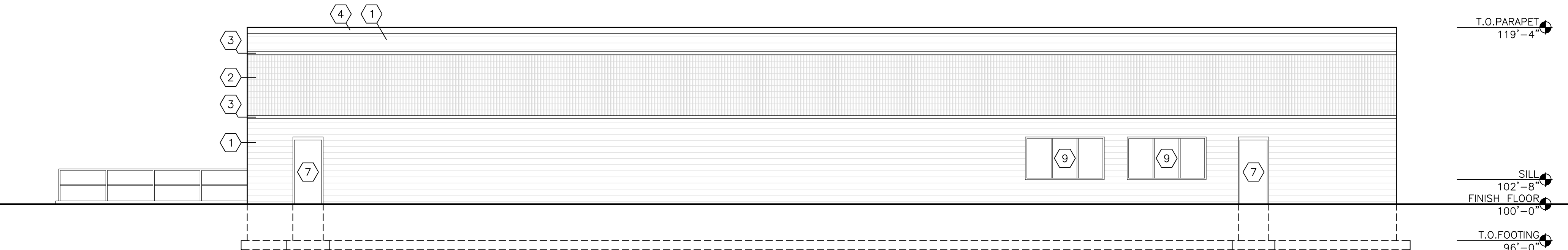
KEYNOTES	
1	12" INSUL. CMU W/ FULL SPLIT FACE (PAINTED)
2	12" INSUL. CMU W/ CORDEROY SPLIT FACE (PAINTED)
3	12" INSUL. CMU 1/2 COURSE (PAINTED)
4	METAL FLASHING OVER 6" CMU FASCIA (PAINTED)
5	OVERHEAD GARAGE DOOR FOR DRIVE-IN
6	OVERHEAD GARAGE DOOR FOR LOADING DOCK
7	STEEL DOOR (PAINTED)
8	STEEL DOOR W/ 1" INSUL. GREY GLAZING
9	1" INSUL. GREY GLAZING IN CLEAR ANOD. ALU. T.B. FRAMES



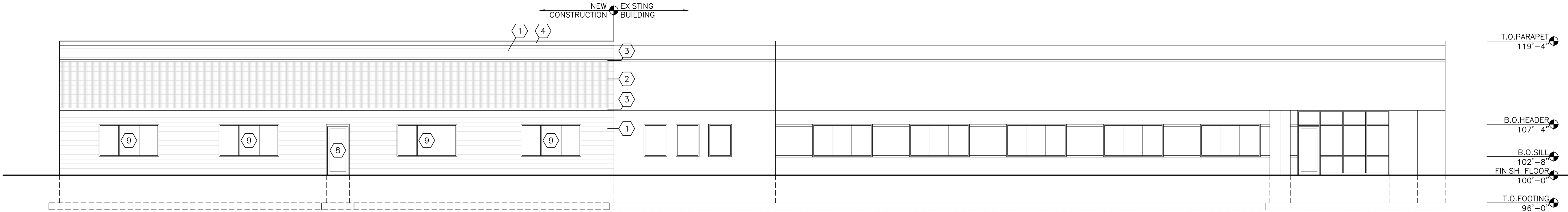
EAST EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)



NORTH EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)



WEST EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)



SOUTH EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)



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Project Info. — 22049  
**INDUSTRIAL CONTROLS**  
NEW ADDITION  
N56 W24842 N CORPORATE CIR.  
SUSSEX, WI

Sheet Title  
**EXTERIOR ELEVATIONS**

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No.	Date	Description
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Sheet No.  
**A2.0**

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THRIVE  
ARCHITECTS

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DUFFEK  
CONSTRUCTION

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WAUKESHA, WI 53186  
p: 262-444-2270

Project Info. — 22049 —

INDUSTRIAL  
CONTROLS

NEW ADDITION

N56 W24842 N CORPORATE CIR.  
SUSSEX, WI

Sheet Title

RENDERING

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Revisions		
No.	Date	Description
	06.30.2022	Plan Commission

Sheet No.

A9.0

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RENDERING  
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 2



RENDERING  
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 1

NOT FOR CONSTRUCTION



THRIVE  
ARCHITECTS

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DUFFEK  
CONSTRUCTION

Contractor  
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Project Info. — 22049 —

INDUSTRIAL  
CONTROLS

NEW ADDITION

N56 W24842 N CORPORATE CIR.  
SUSSEX, WI

Sheet Title

RENDERING

Drawn by	Checked by
ALS	-

Revisions		
No.	Date	Description
	06.30.2022	Plan Commission

Sheet No.

A9.2

NOT FOR CONSTRUCTION

SITE INFORMATION

USDA PLANT HARDINESS ZONE .....	5a (-20 to -15 Degrees F)	<b>DESIGN COMPLIANCE:</b> THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLAINE WITH THE VILLAGE OF SUSSEX. LANDSCAPE REQUIREMENTS SET FOR IN SECTION 17.0603 PARKING REQUIREMENTS, H.
LOT ZONING .....	BP-1 ~ Business Park District	Landscaping.
LOT AREA .....		VILLAGE OF SUSSEX DESIGN STANDARDS SECTION 2: LANDSCAPING
SITE BUILDING AREA .....		2.1 Landscaping and Buffering Standards
TOTAL IMPERVIOUS .....		[General Commercial [7] minus General Commercial [7] minus [Local Road 1] = [-1]
TOTAL GREENSPACE .....		TABLE 3: LAND USE BUFFER/LANDSCAPE DESIGN
SITE LANDSCAPE PERCENTAGE .....		Buffer Type: LUJ DIFFERENCE (0-3)
TOTAL PARKING STALLS .....		Width = 20'-0"
		TREES = 4 PER 100 LINEAL FEET
		SHRUBS AND FLOWERS = 20 PER 100 LINEAL FEET
		17.0608 LIGHTING
D. ....	Intensity of Illumination. The intensity of illumination, measured at the property line, shall not exceed 0.2 footcandles.	
E. ....	Light poles shall be no higher than 30 feet (20 feet high preferred) and the bases shall be buried.	

**CONTRACTOR NOTE:** THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND 'SIGN OFF' WITH THE VILLAGE OF SUSSEX. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE VILLAGE OF SUSSEX. .

EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
2. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
4. VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
5. VERIFY LOCATION OF ALL EXISTING EASEMENTS.
6. INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

1. AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE. TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
2. ALL PLANTINGS SPECIFIED FOR THE INDUSTRIAL CONTROLS PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
3. ALL DEVIATIONS FROM THE APPROVED INDUSTRIAL CONTROLS PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS. BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
4. ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
5. PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
6. ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
8. QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
10. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
11. ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
14. FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.  
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
16. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
17. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
18. ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
19. PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
21. WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD. OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
22. LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
23. **DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**  
20% KENTUCKY BLUE GRASS  
15% NEWPORT KENTUCKY BLUE GRASS  
15% SR 2100 Kentucky Bluegrass  
25% Creeping Red Fescue  
15% Replicator Perennial Ryegrass  
10% Fiesta 4 Perennial Ryegrass  
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
24. DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.  
MAINTENANCE NOTE:  
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
  - NECESSARY IRRIGATION (IF REQUIRED)
  - INTEGRATED PEST MANAGEMENT,
  - PROPER FERTILIZATION
  - TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
  - REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
  - WEED MANAGEMENT AND BED CARE.
25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLIATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800)-242-8511, (262) 432-7910 (877) 500-9592  
[www.Diggershotline.com](http://www.Diggers hotline.com) OR



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**DIGGERS HOT LINE**  
WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

Broadleaf Deciduous Tree

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	GibiPS		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	3'-Cal - B&B	1, 7
1	TicoGS		Thuja cordata 'Green Spire'	Green Spire Linden	3'-Cal - B&B	1
9	Extg		Existing to Remain	Existing to Remain	Existing	2

Conifer Evergreen Tree

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	PideB		Picea densata 'Bailey'	Black Hills Spruce	Extg xx" Cal Demo	3
7	Piom		Picea omorika	Serbian Spruce	6' - 7' - B&B	4
14	ThplGG		Thuja plicata 'Green Giant'	Green Giant Arborvitae	6' - 7' - B&B	4
17	Extg		Existing to Remain	Existing to Remain	Existing	2

Broadleaf Deciduous Shrub

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
18	HyarS		Hydrangea arborescens 'Invincibelle Spirit'	Invincibelle Spirit Hydrangea	18" - Cont	5
6	PhopM		Physocarpus opulifolius 'Monro'	Diabolo Ninebark	18" - 24" - Cont	5
14	RoKO		Rosa 'Knockout'	Knock Out Rose	18" - Cont	5
8	SpbuAW		Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer	18" - Cont	5
3	VicaSS		Viburnum Carlesii 'J.N.Select S'	Sugar n' Spice Koreanspice Viburnum	2' - 3' - B&B	5
15	Extg		Existing to Remain	Existing to Remain	Existing	2

Conifer Evergreen Shrub

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
9	JupISG		Juniperus x pfizeriana 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	5
8	TameDS		Taxus x media 'Densformis Select'	Select Dense Spreading Yew	18" - 24" - B&B	5
1	TameH		Taxus x media 'Hicksii'	Hick's Yew	3' - B&B	4

Perennial Grass





Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
18	PavIN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	6

Perennial

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
15	HeNo		Hemerocallis x 'Nasferatu'	Trophytaker Nasferatu Daylily	4 1/2" pot	6

Comments

1. Straight central leader, full & even crown. Prune only after planting.
2. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
3. Remove tree in its entirety and grind stump to a minimum of 4" below adjacent grade. Remove grinding ships and fill hole with topsoil and sow turf grass seed as required.
4. Evenly shaped upright tree/shrub with full branching to the ground.
5. Full, well rooted plant, evenly shaped.
6. Full, well rooted plant.
7. Male only

LUMINAIRE SCHEDULE								
Symbol.	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF Watts
	A	2	XGBWM3-FT-LED-48-350-NW-UE			XGBWM3-FT-LED-48-350-NW-UE.ies	Absolute	1.00 55
	B	2	XGBWM3-FT-LED-28-350-NW-UE			XGBWM3-FT-LED-28-350-	Absolute	1.00 34
	C	4	PR640	16" PARKING/ROADWAY OPTIC	ONE 400-WATT CLEAR ED-28 PULSE START METAL HALIDE TILTED15-DEGREES BELOW HORIZONTAL POSITION.	PR640-250.ies	40000	1.00 450
EXISTING FOR REFERENCE ONLY								
	D	2	XGBM-FTA-LED-HO-NW			XGBM-FTA-LED-HO-NW.ies	Absolute	1.00 288.9
STATISTICS								
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min		
Calc Zone #1	+	1.1 fc	15.2 fc	0.0 fc	N / A	N / A		
NEW LUMINAIRE SCHEDULE NOTES:								

1. INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
  2. CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
  3. ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
  4. PROPOSED BUILDING MOUNTED FIXTURES (HEADS AND TENONS) ARE TO HAVE A GREY FINISH (TO MATCH EXISTING) W/ OPTIONAL PHOTOCCELL CONTROL.
  5. ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEGHTS AND LOCATIONS.
- THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

PHOTOMETRIC PLAN GENERAL NOTES

1. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
2. THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
3. IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.

EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
2. VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.



Landscape Consulting  
& Master Planning Design Services

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Tel (414) 476-1204  
[www.insitedesigninc.com](http://www.insitedesigninc.com)  
[mdavis@insitedesigninc.com](mailto:mdavis@insitedesigninc.com)

Project:

INDUSTRIAL  
CONROLS

N56 W24842 Corporate Drive  
Sussex, WI

Issuance and Revisions:

Date	Number	Description
06/30/22		Client Review Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN  
GENERAL NOTES,  
AND PLANT MATERIAL TABLE

Date of Drawing:	06/30/22
Scale:	1" = 20'-0"
Drawn By:	MCD
Job Number:	L22-038
Sheet Number:	

LGD1.0

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Project:

# INDUSTRIAL CONROLS

W56 W24842 Corporate Drive  
Sussex, WI

## Issuance and Revisions

Date	Number	Description
06/30/22		Client Review Submittal

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InSite Landscape Design Inc.

Sheet Title:

## PROPOSED LANDSCAPE PLAN

Date of Drawing: 06/30/22

Scale: 1" = 20'-0"

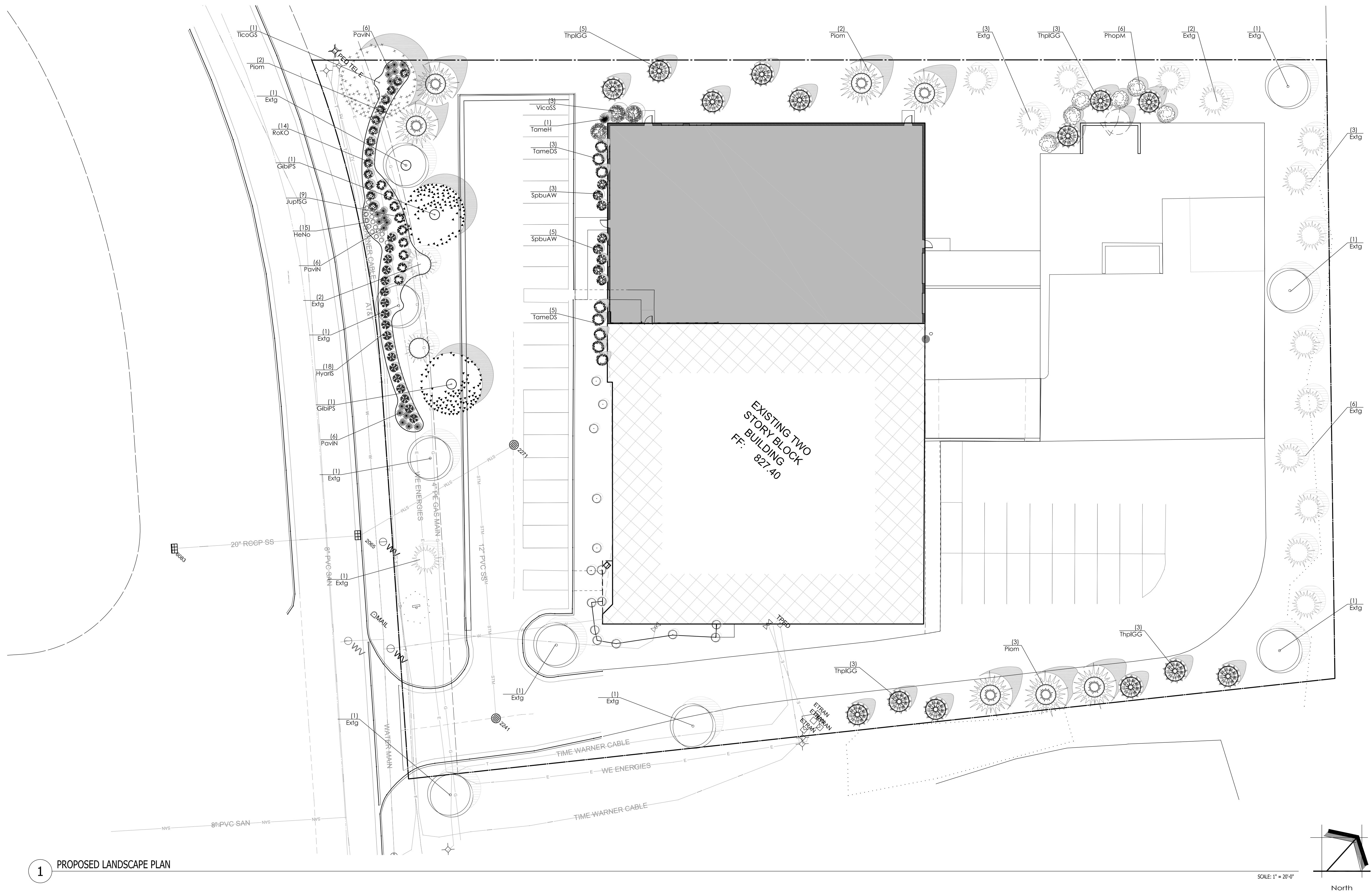
Drawn By: MCD

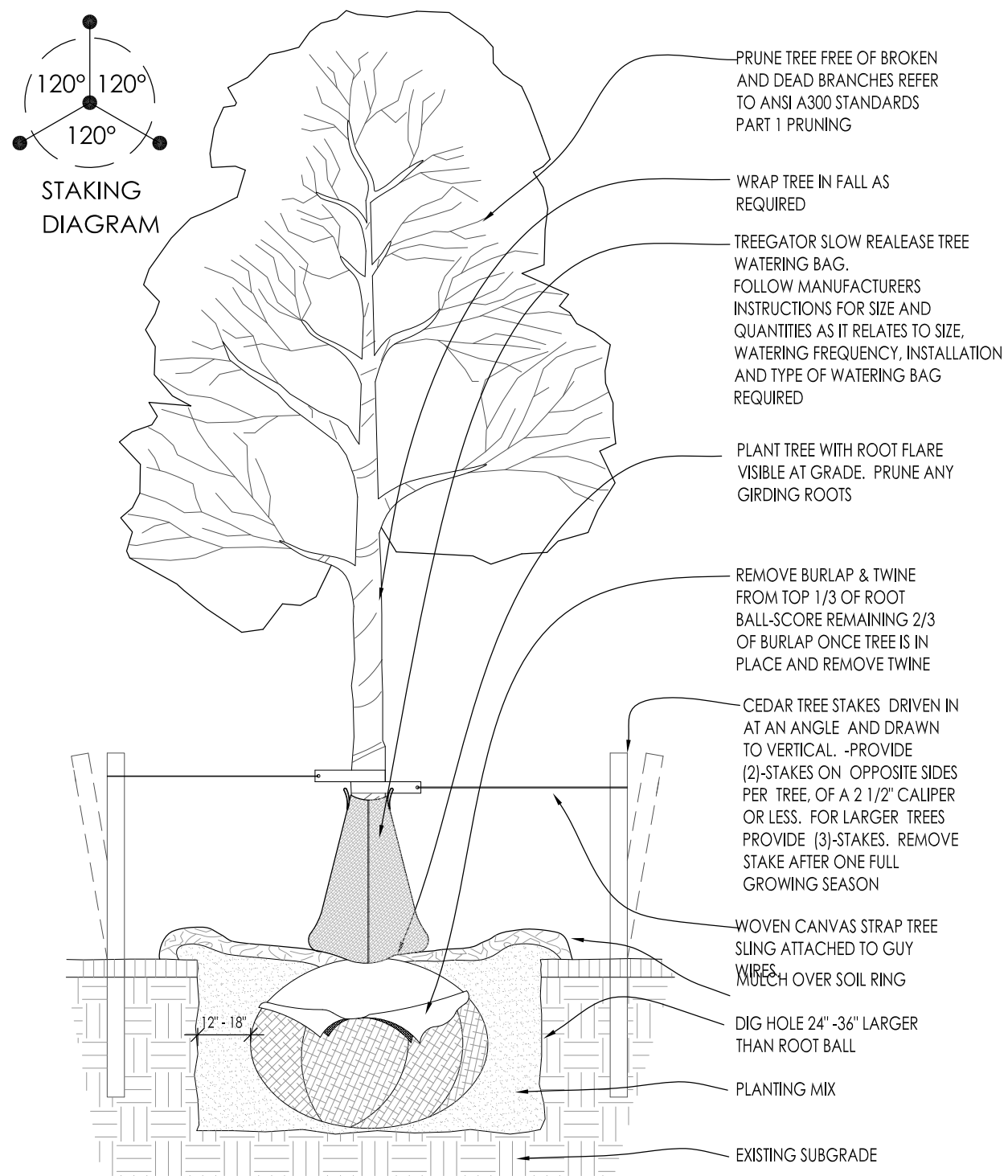
Job Number: L22-038

Sheet Number:

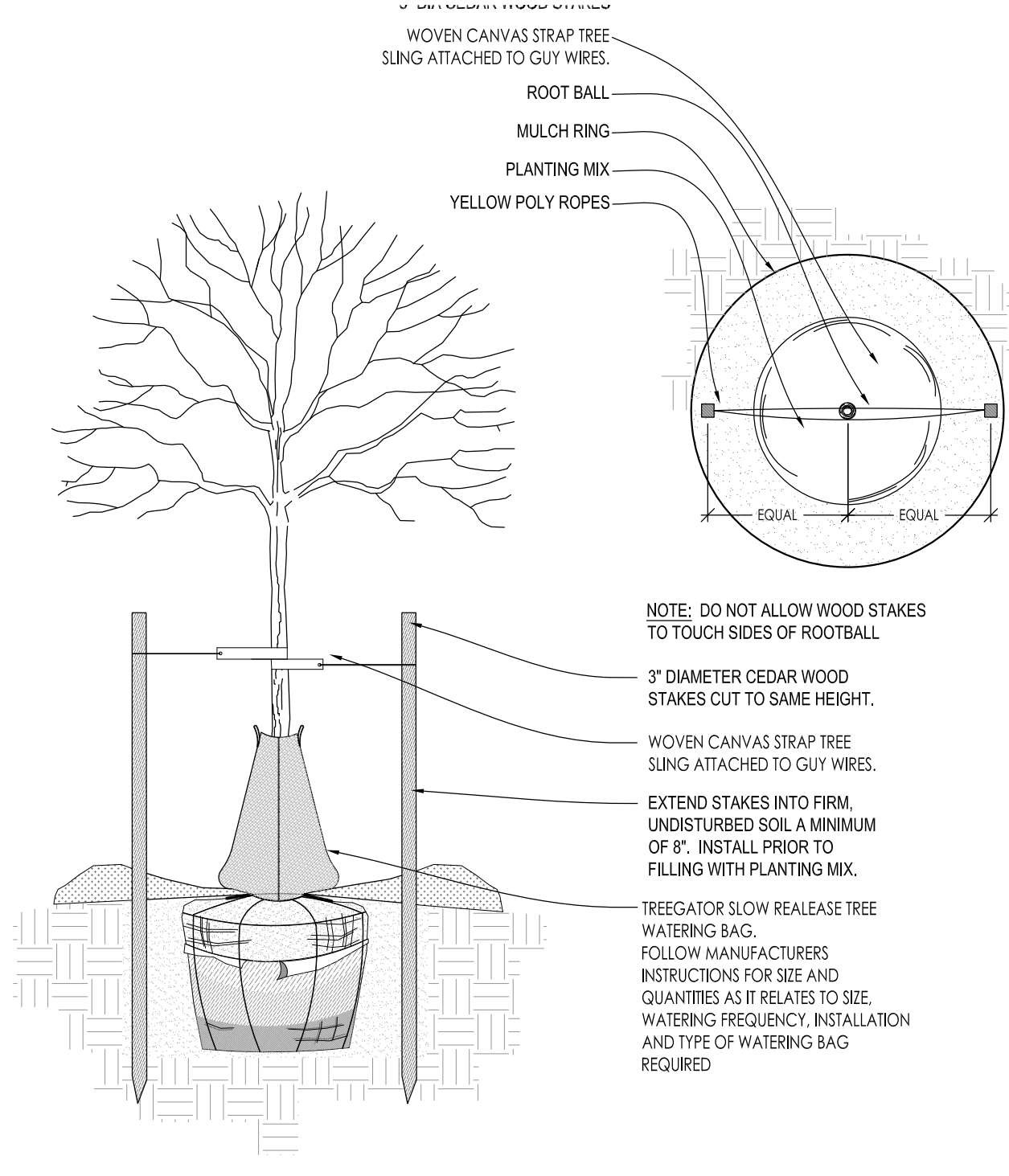
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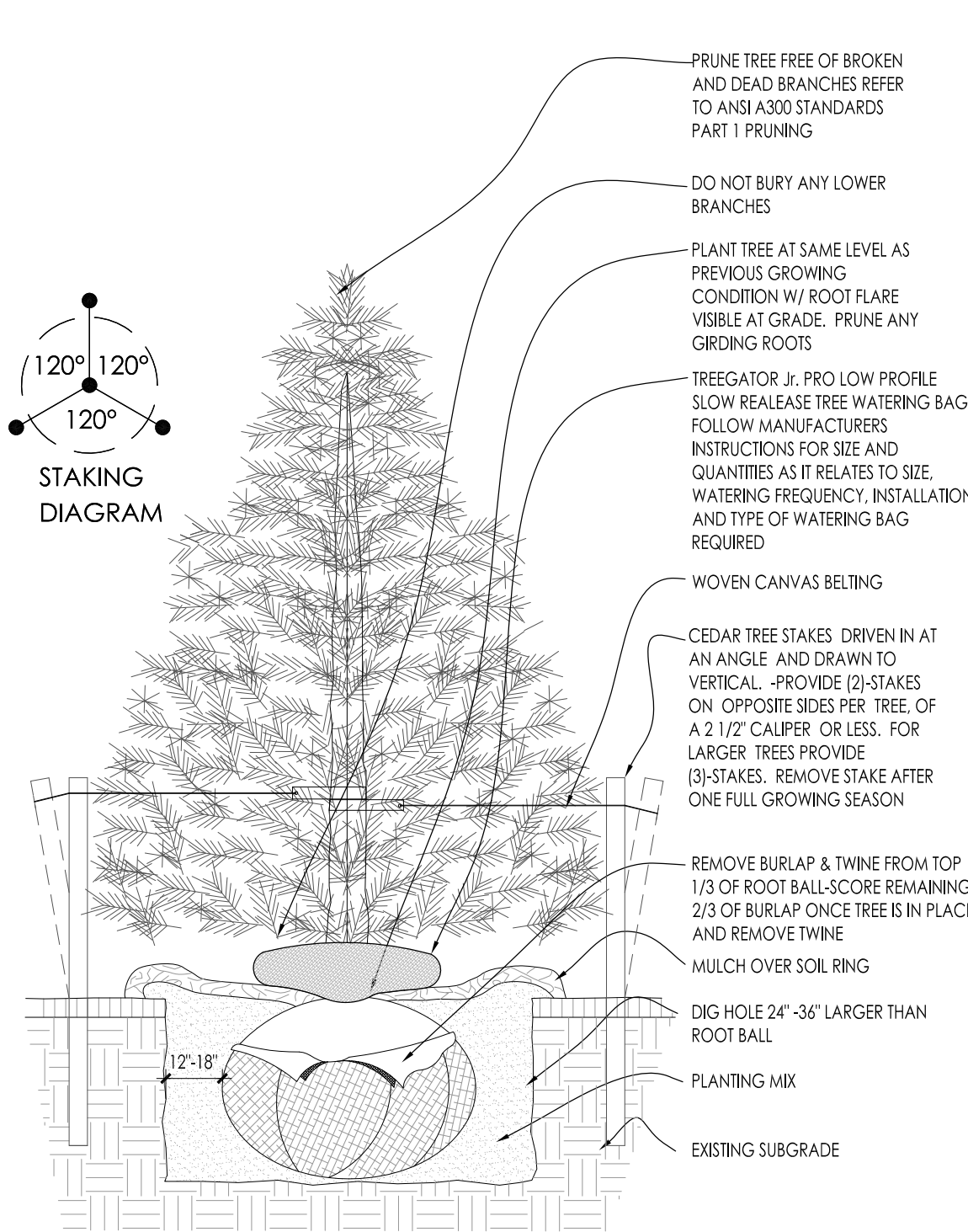




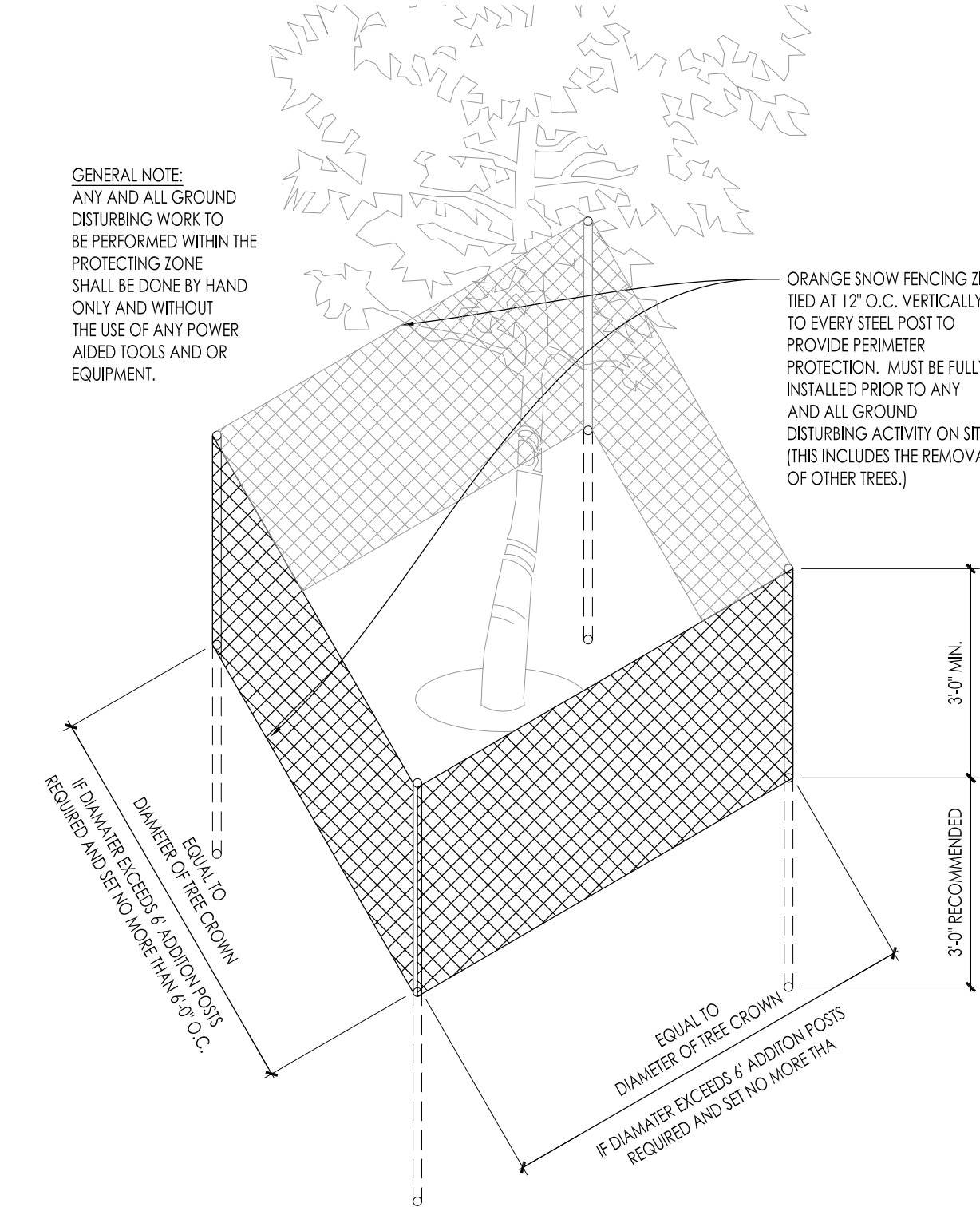
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



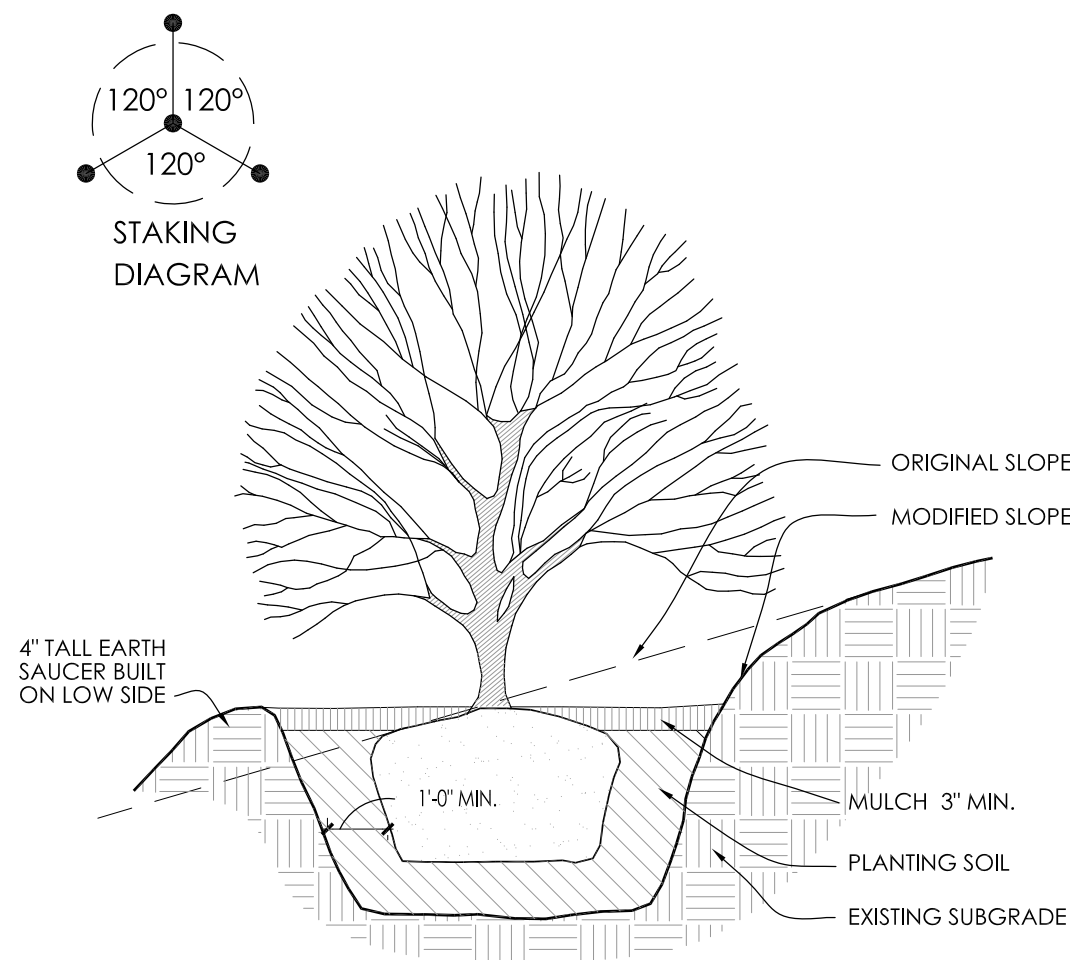
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



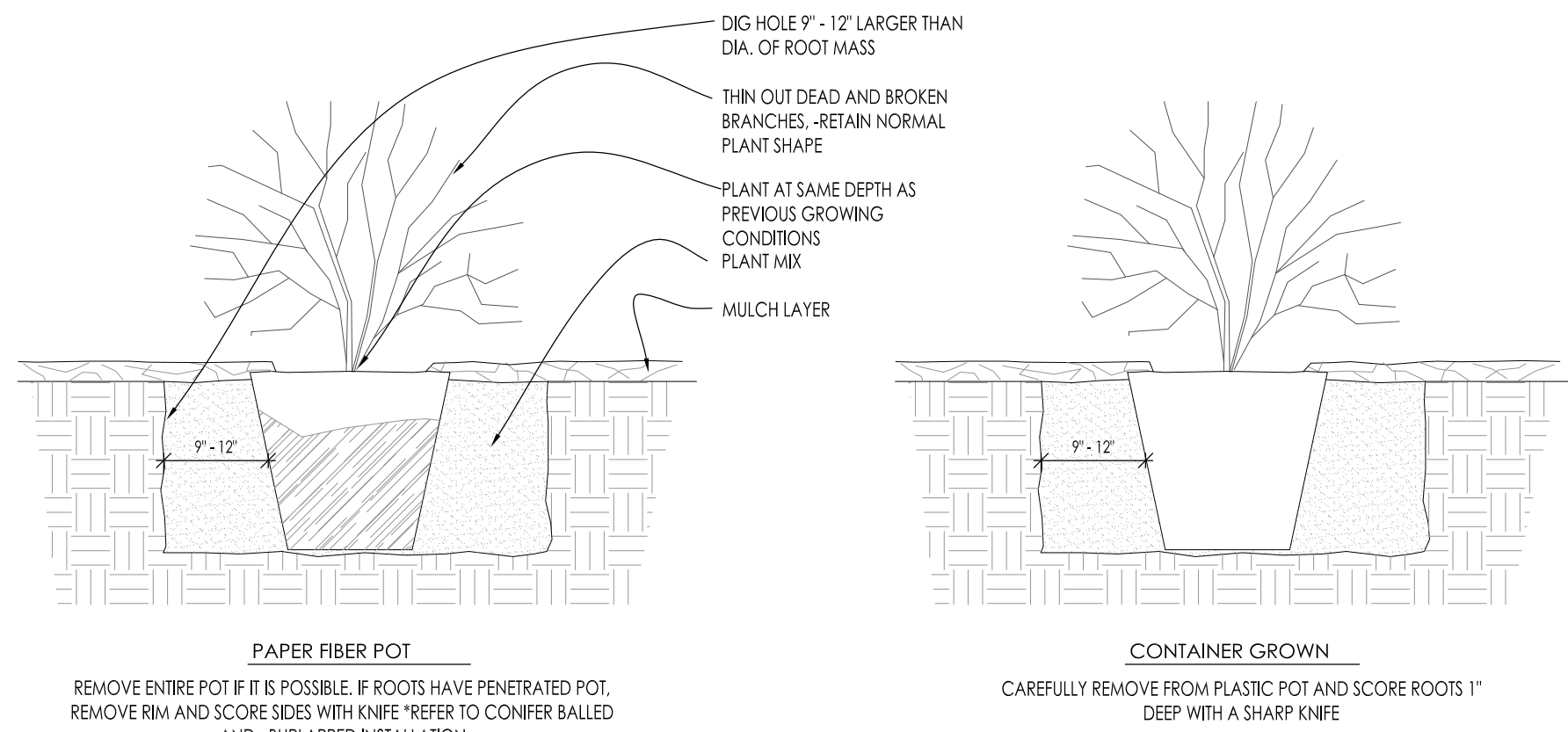
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



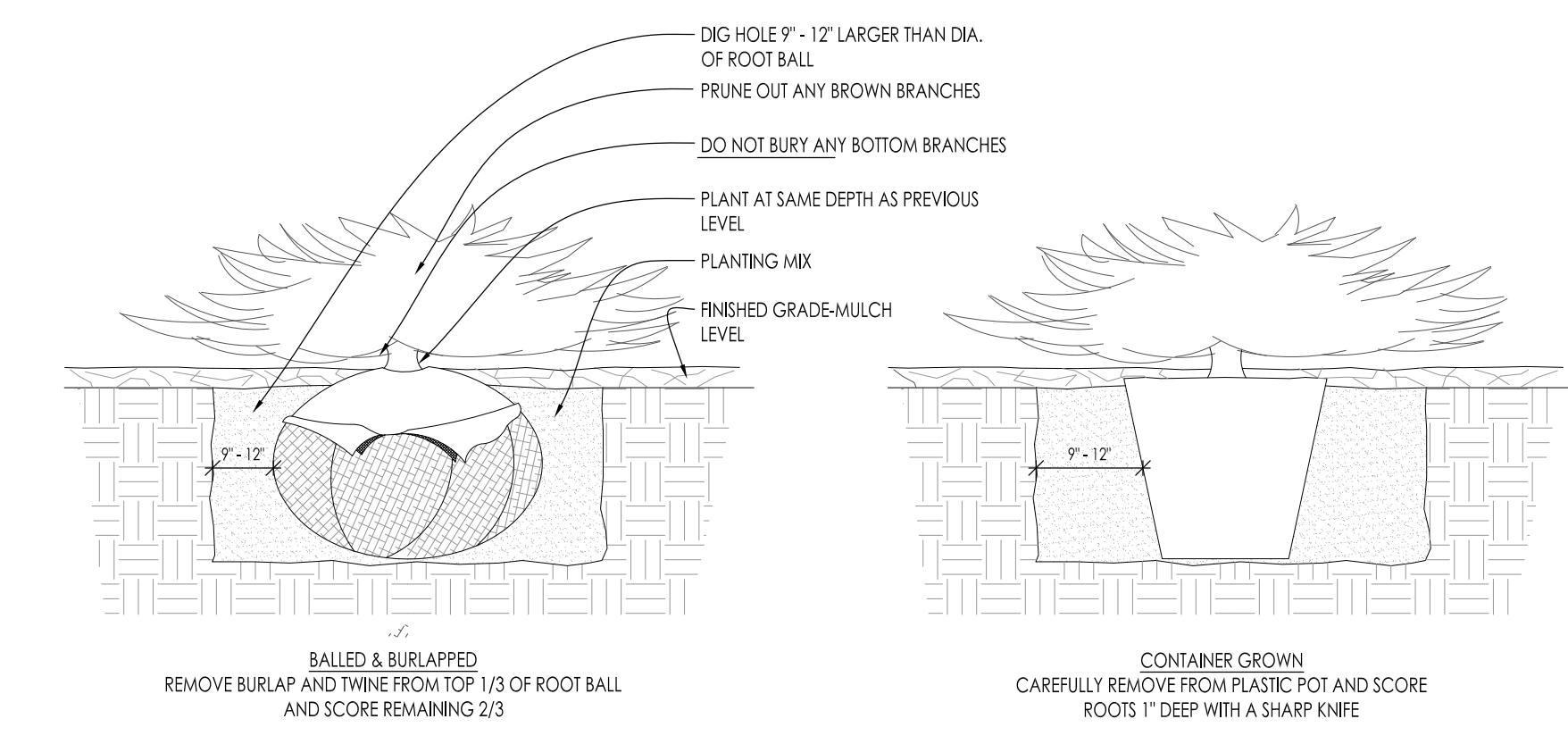
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



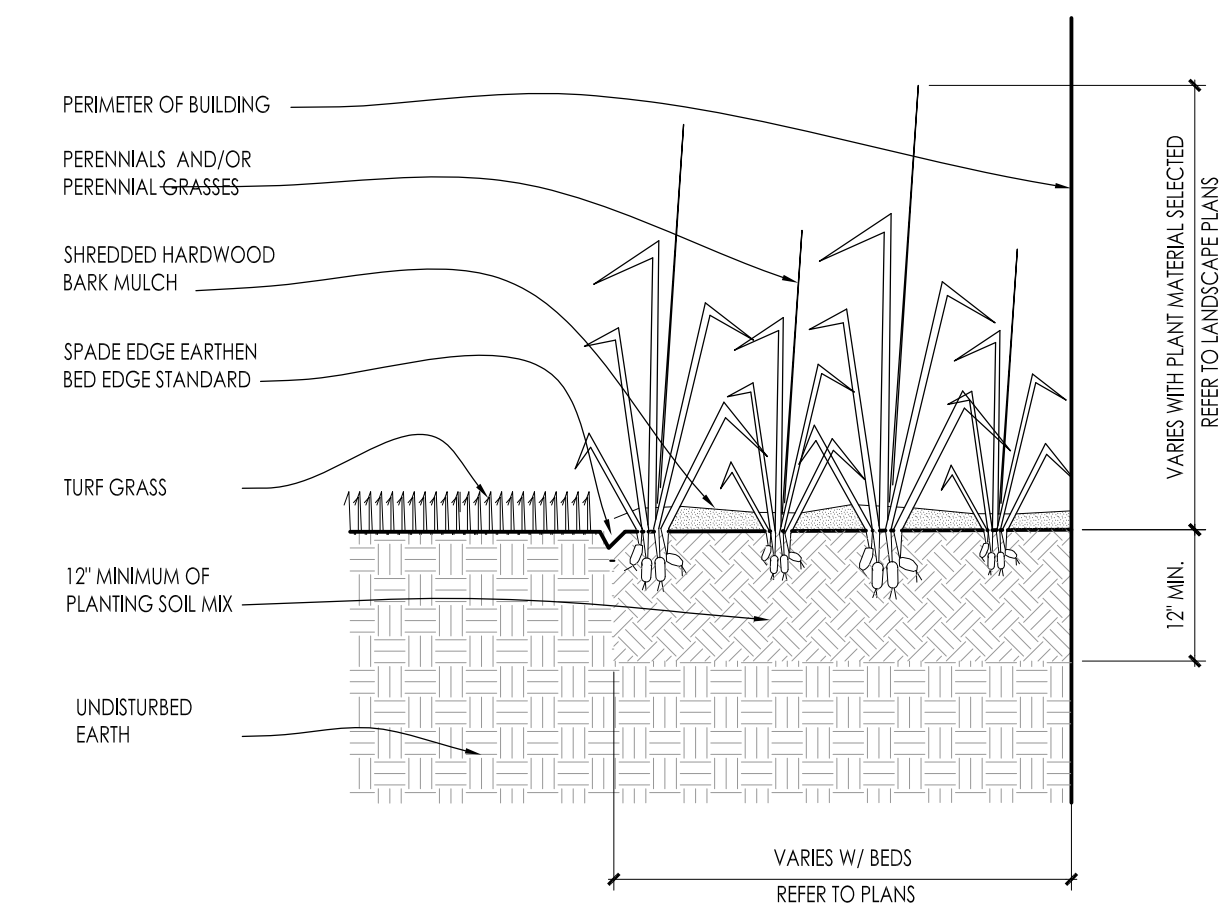
5 SLOPE PLANTING DETAIL SCALE: NONE



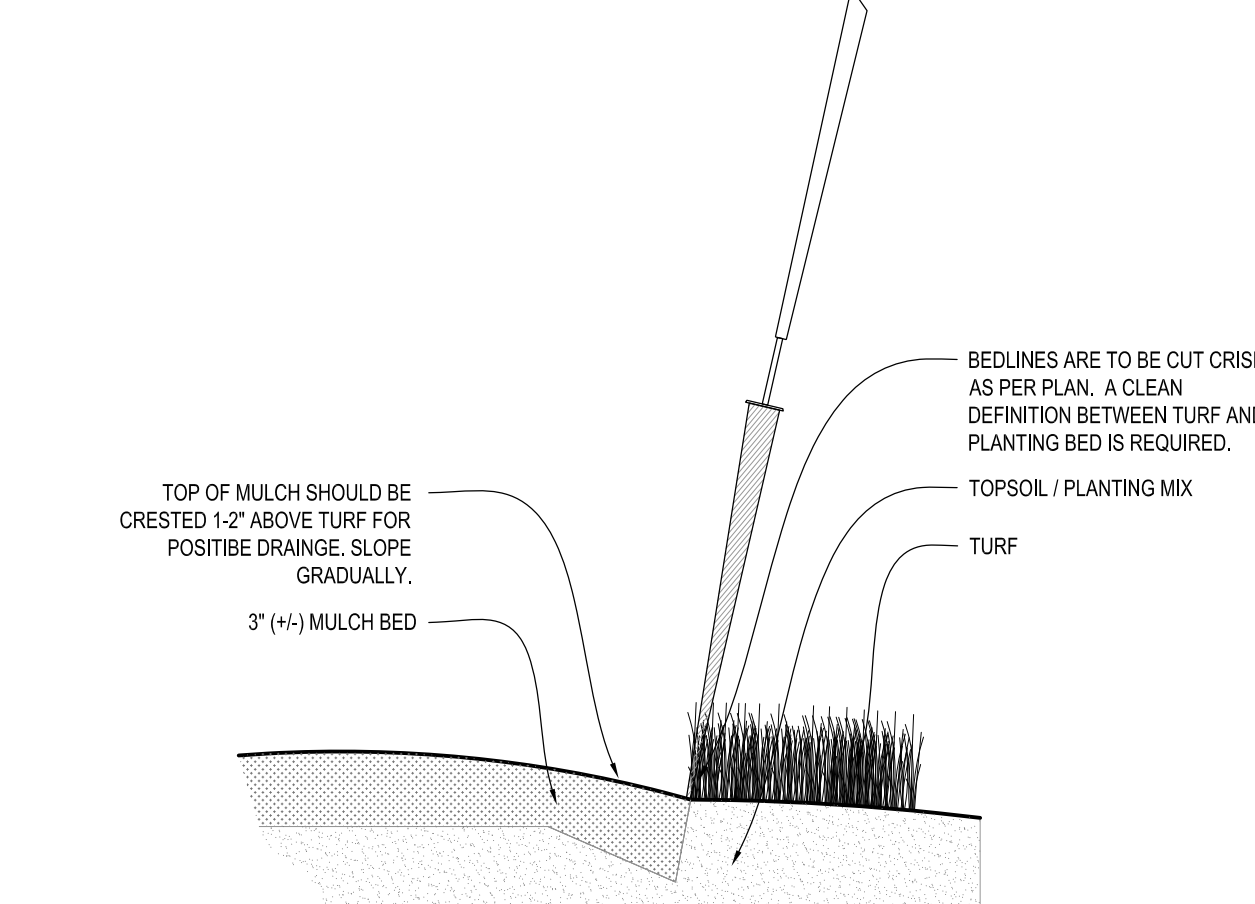
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE

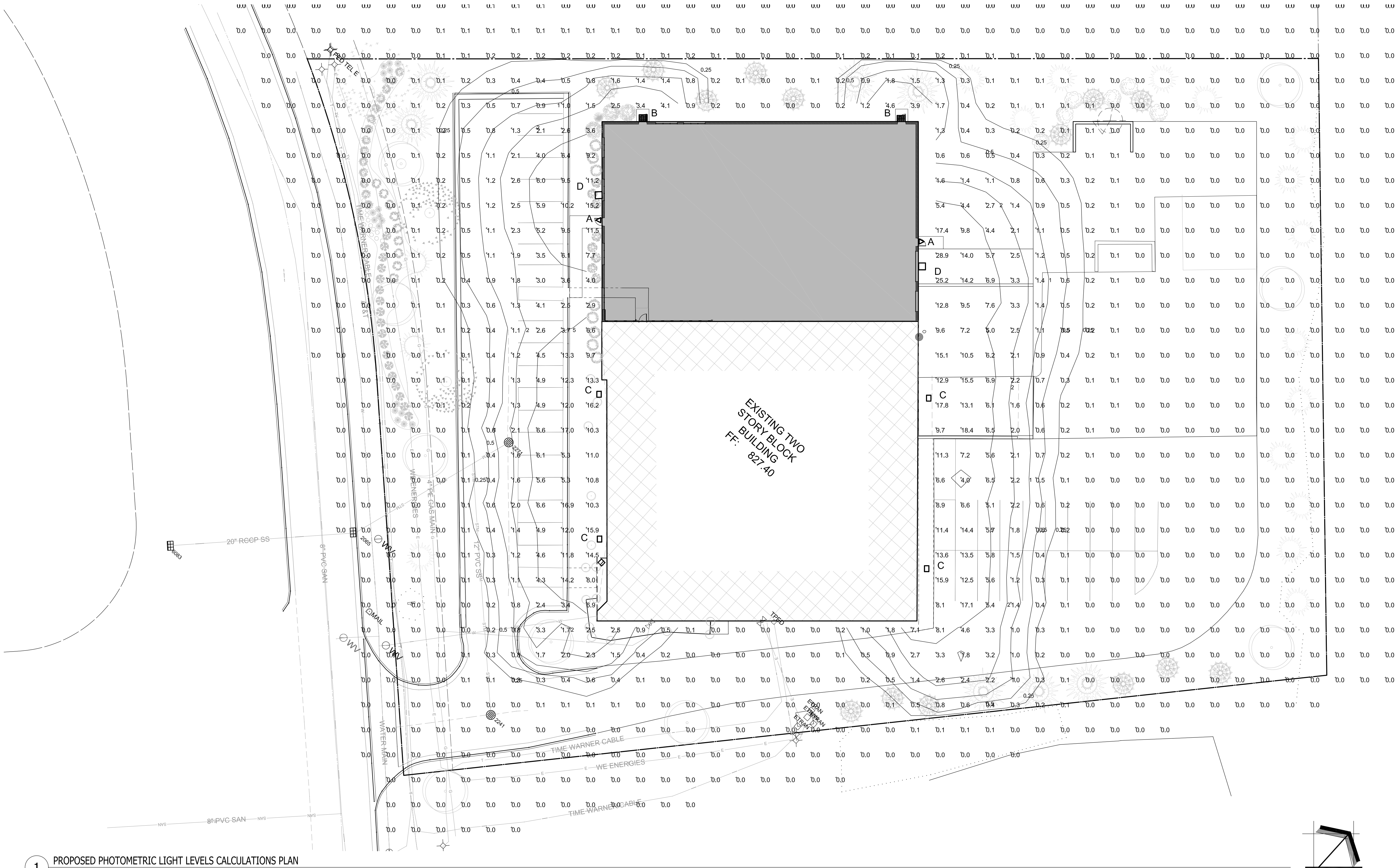


8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



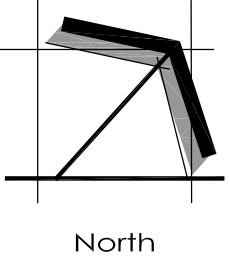
9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE

Date	Number	Description
06/30/22		Client Review Submittal



1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN

SCALE: 1" = 20'-0"



UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800)-242-8511, (262) 432-7910 (877) 500-9592 [www.DiggersHotline.com](http://www.DiggersHotline.com) OR



TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**DIGGERS HOT LINE**  
WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)



Landscape Consulting  
& Master Planning Design Services

11525 W. North Avenue, Suite 1B  
Wauwatosa, WI 53226  
Tel (414) 476-1204  
[www.insitedesigninc.com](http://www.insitedesigninc.com)  
[mdavis@insitedesigninc.com](mailto:mdavis@insitedesigninc.com)

Project:

## INDUSTRIAL CONROLS

N56 W24842 Corporate Drive  
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Issuance and Revisions:

Date	Number	Description
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Sheet Title:

PROPOSED PHOTOMETRIC LIGHT  
LEVEL CALCULATIONS PLAN,  
GENERAL NOTES,  
AND LIGHT FIXTURE TABLE

Date of Drawing: 06/30/22

Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L22-038

Sheet Number:

# PHO1.1

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PROPOSED ADDITION FOR:

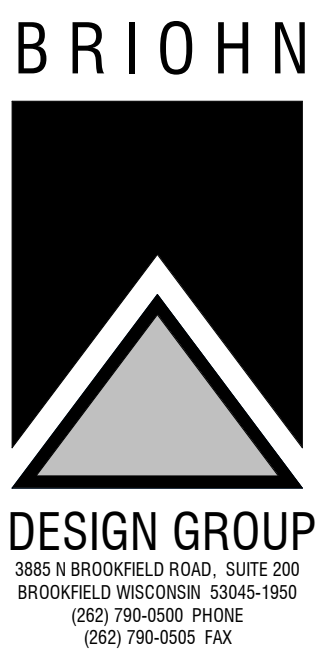
# SUSSEX INDUSTRIAL BUILDING

W245 N5604 Corporate Cir, Sussex, WI 53089



EXTERIOR LOOKING NORTHEAST

PC SHEET INDEX	
Sheet Number	Sheet Name
0-GENERAL	
T1	TITLE SHEET
1-CIVIL	
C1.0	SITE PLAN
C2.0	SITE GRADING AT UTILITY PLAN
C3.0	EROSION CONTROL PLAN
C4.0	FIRE DEPARTMENT ACCESS PLAN
2-LANDSCAPING	
L1.0	OVERALL LANDSCAPE PLAN
L1.1	ENLARGED LANDSCAPE PLAN
L1.2	PLANTING & HARDSCAPE DETAILS
4-ARCHITECTURAL	
A0.0	CODE PLAN
A0.2	ARCHITECTURAL SITE PLAN
A1.1	OVERALL FLOOR PLAN
A4.1	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR PERSPECTIVE - LOOKING NORTHEAST
A5.3	EXTERIOR AERIAL - LOOKING NORTHEAST
A5.4	EXTERIOR RENDERING - LOOKING SOUTHEAST
7-ELECTRICAL	
EL1	EXTERIOR LIGHTING AND PHOTOMETRIC PLAN



TITLE SHEET

CONCEPTUAL DESIGN FOR:  
KRENKE'S GARAGE  
SUSSEX, WI

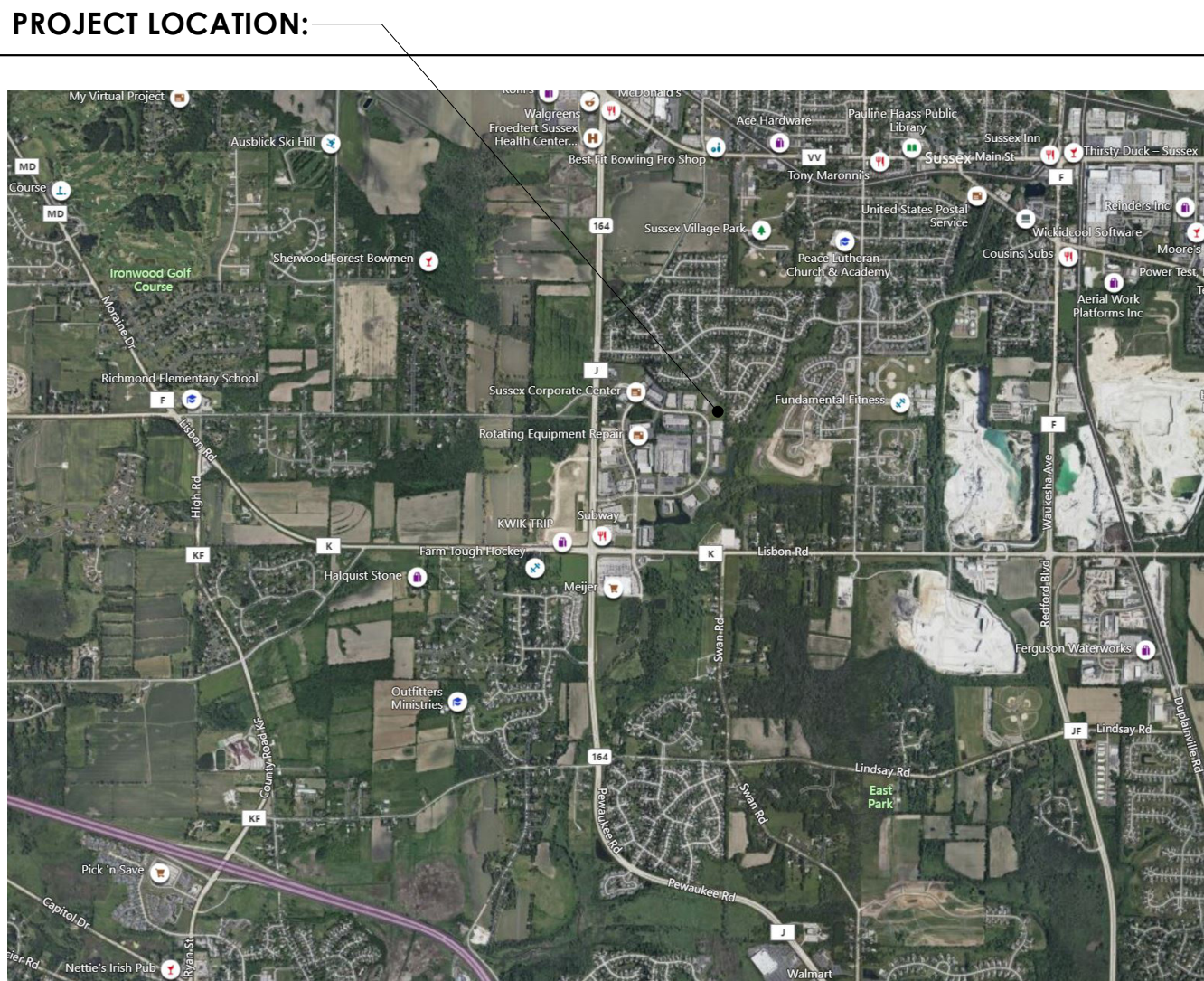
## PLAN COMMISSION SET JULY 14, 2022

OWNER :
LA GARAGE, LLC ALAN AND LINDA KRENKE 1643 Twisted Oak Court Hartland, WI 53029 262-366-5628 Akrenke@questco.com
CIVIL ENGINEER:
CJ ENGINEERING CHRISTOPHER JACKSON, PE, PLS 9205 W. Center Street, Suite 214 Milwaukee, WI 53222 Ph: (414) 443-1312 x222 Cell: (414) 940-4450

GENERAL CONTRACTOR :
BRIOHN BUILDING CORPORATION CARY BILICKI 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX

ARCHITECT :
BRIOHN DESIGN GROUP, LLC CHRISTOPHER WENZLER, AIA 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX

STRUCTURAL ENGINEER:
BRIOHN DESIGN GROUP, LLC KEVIN JANKOWSKI, PE 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX



PROJECT INFORMATION:			
BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366 ACCESSIBILITY CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ENERGY CODE: 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363 MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364 PLUMBING CODE: 2014 WISCONSIN PLUMBING CODE SPS 381-387 ELECTRICAL CODE: 2011 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS31.6 FIRE CODE: SPS 31.4 FIRE PREVENTION			
OCCUPANCY:	PRIMARY SECONDARY	8 S-1	(OFFICE/BUSINESS) (MODERATE HAZARD STORAGE)
CLASS OF CONSTRUCTION:	TYPE 2B		
SPRINKLER SYSTEM:	NONE		
FLOOR LEVELS:	1		
NUMBER OF STORIES	1		
BUILDING AREA:	9,976 SF - (B) BUSINESS - 1,524 SF - (S1) STORAGE - 8,452 SF		
BUILDING FOOTPRINT:	10,040 SF		

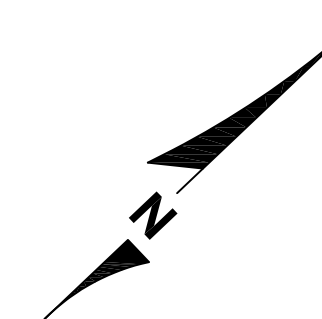
**NOTE:**  
ALL MECHANICAL, ELECTRICAL,  
PLUMBING AND FIRE SPRINKLER  
ENGINEERING BY DESIGN-BUILD  
CONTRACTORS



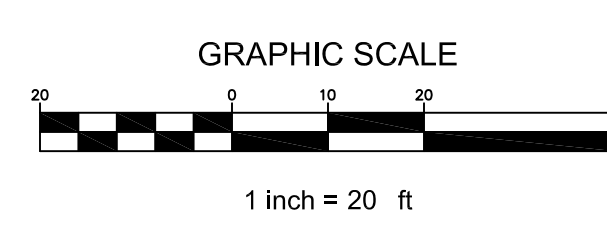
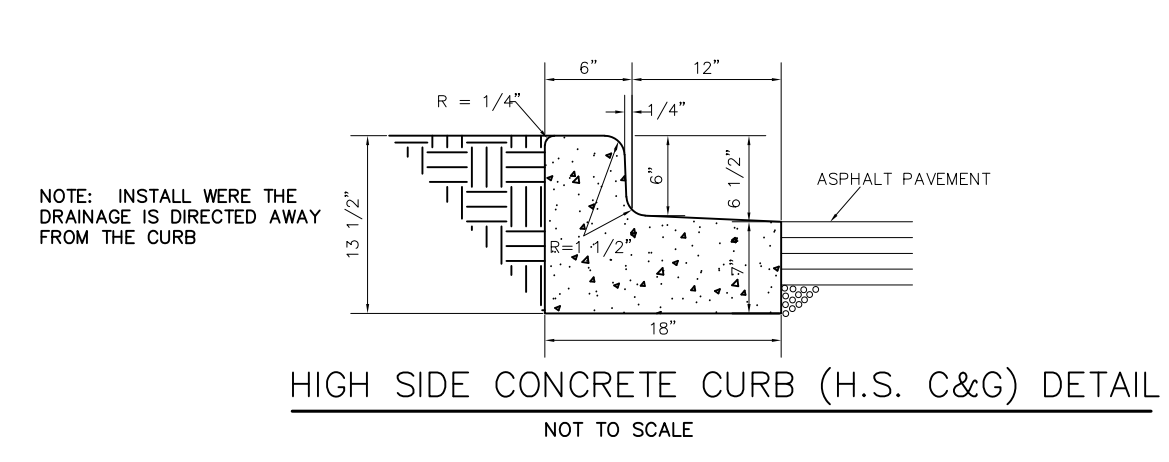
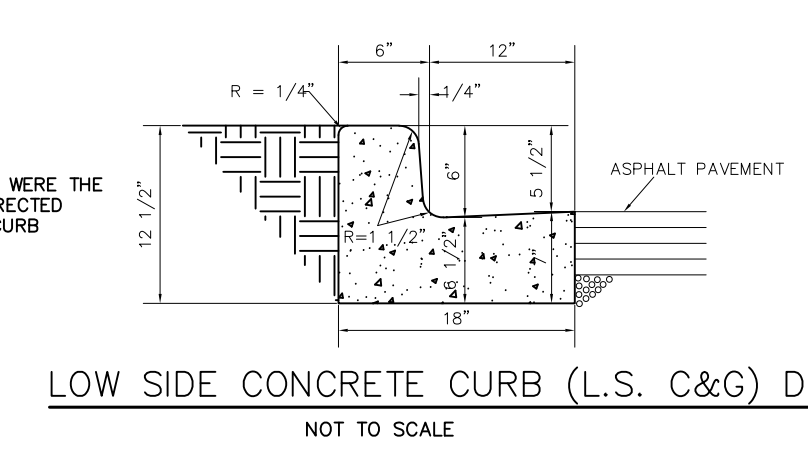
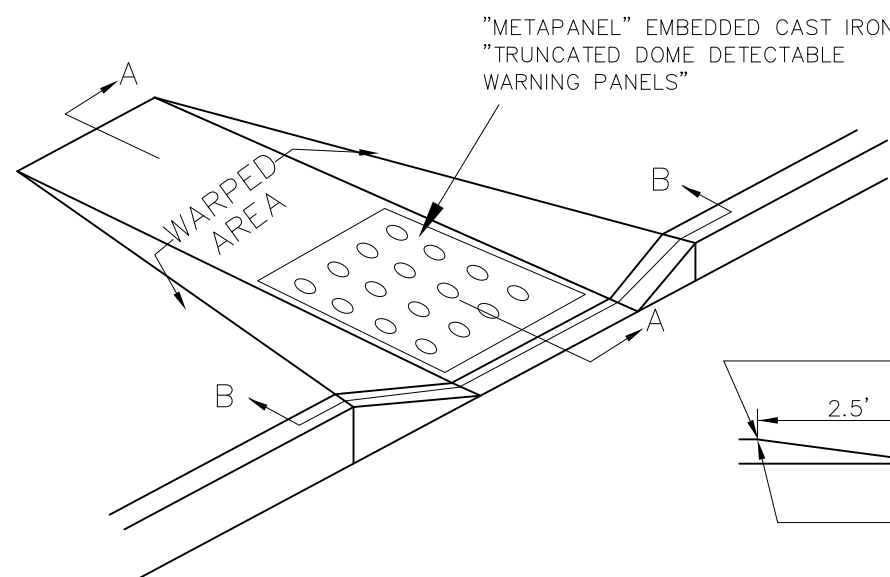
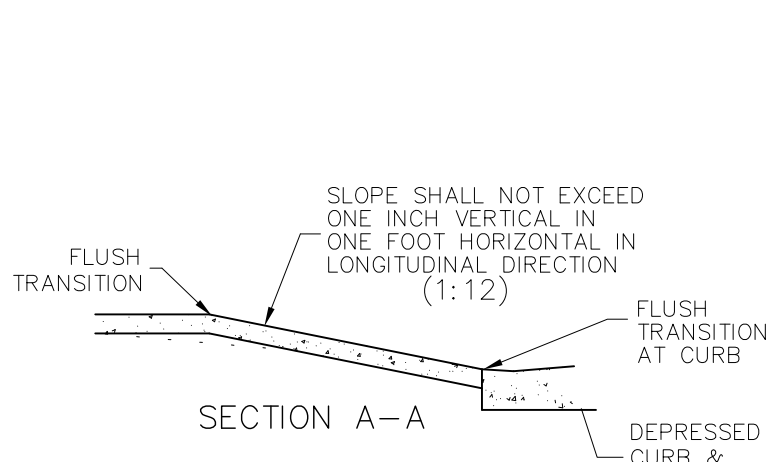
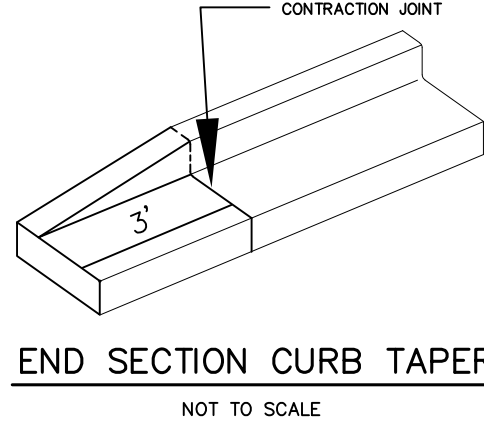
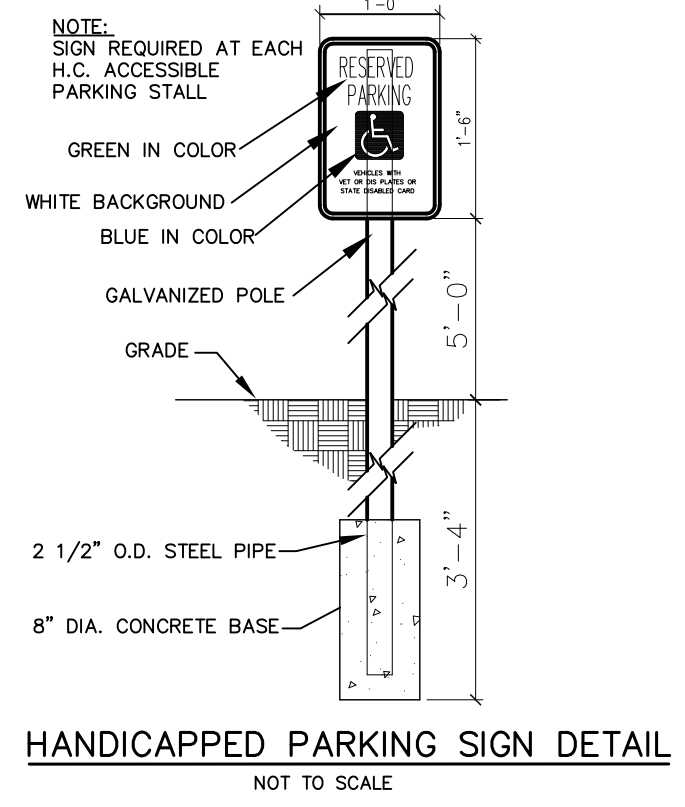
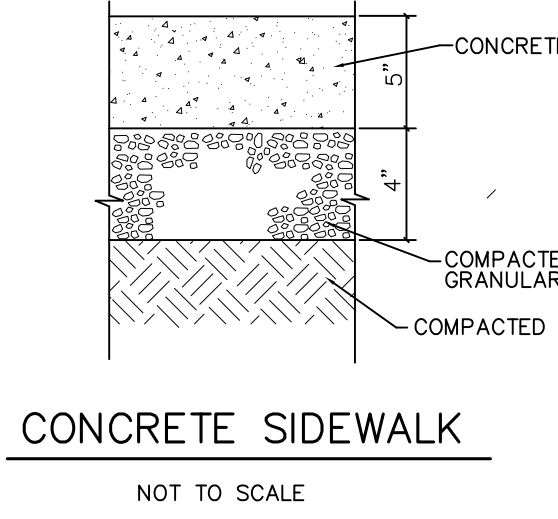
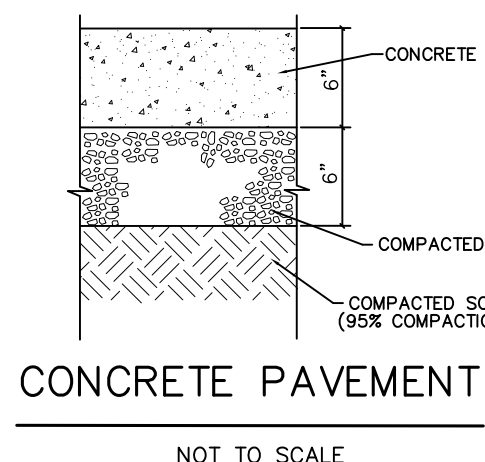
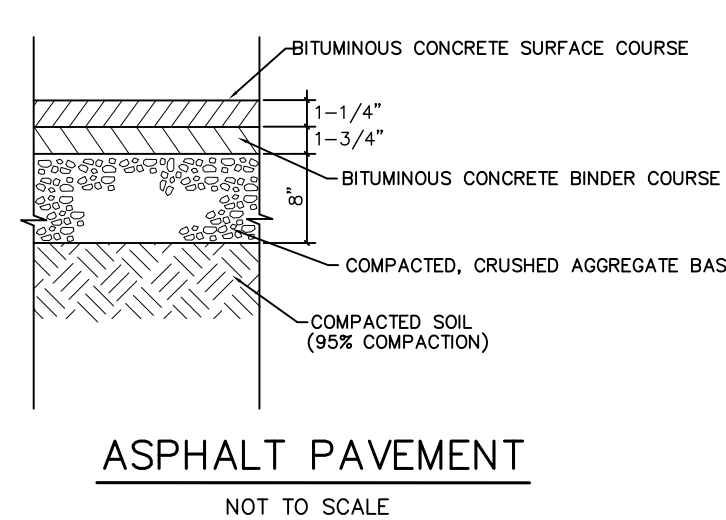
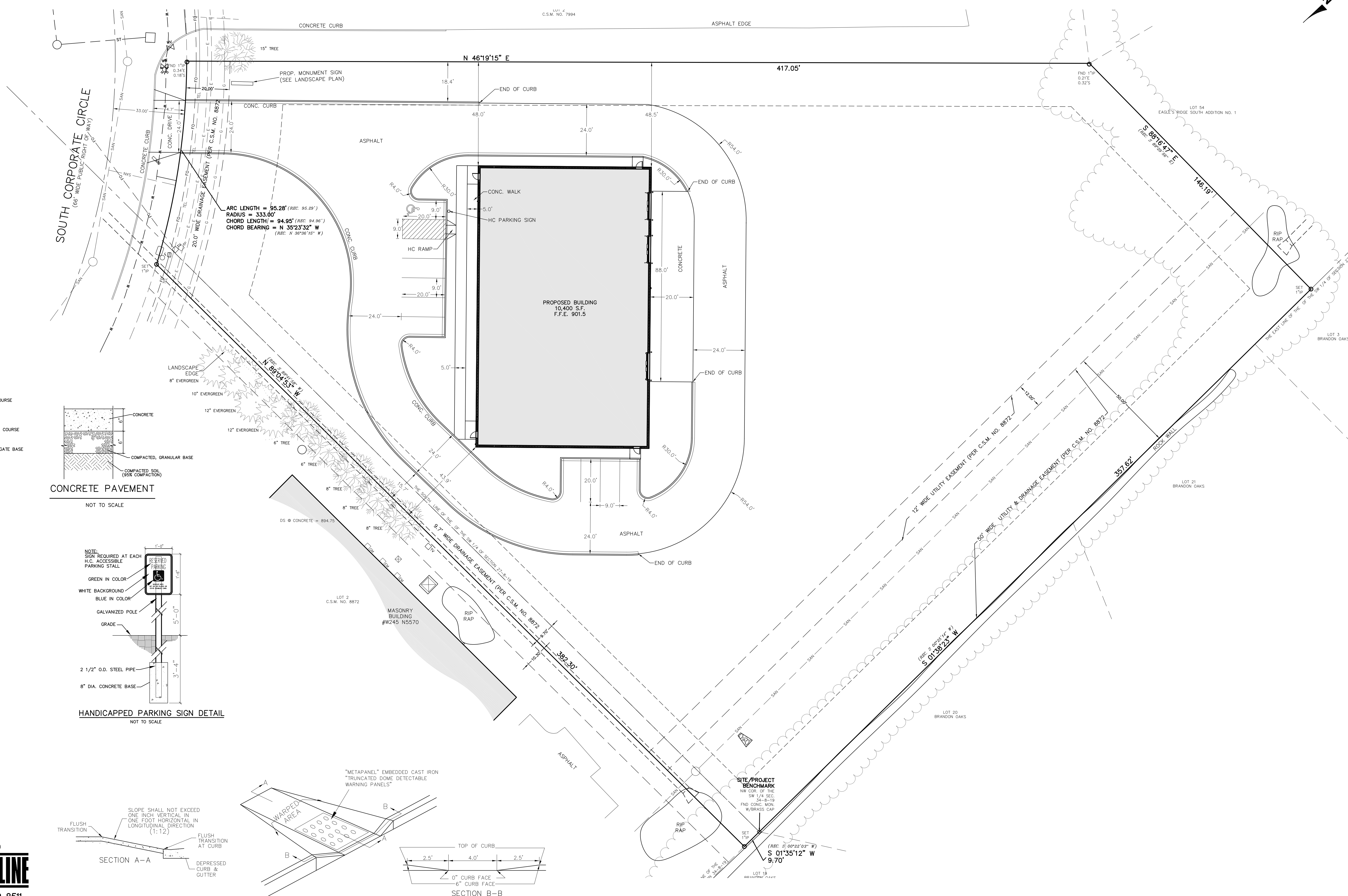
PROGRESS SET  
NOT FOR CONSTRUCTION

JOB: 3414  
DRAWN: CW  
CHECKED: CW/CJR  
DATE: 07-14-22  
SHEET:

T1



**KRENKE'S GARAGE**  
W245 N5604 S CORPORATE CIRCLE, SUSSEX, WI



**SITE AREAS**  
PROPOSED BUILDING FOOTPRINT = 10,400 S.F. (0.239 ACRES)  
PROPOSED PAVEMENT = 21,955 S.F. (0.504 ACRES)  
PROPOSED IMPERVIOUS AREA = 32,355 S.F. (0.743 ACRES)  
PROPOSED OPEN SPACE = 84,470 S.F. (1.939 ACRES)  
TOTAL SITE AREA = 116,825 S.F. (2.682 ACRES)  
DISTURBED AREA = 66,081 S.F. (1.517 ACRES)

**PROPOSED SURFACE PARKING**  
9 REGULAR CUSTOMER SPACES  
1 HANDICAPPED SPACES (ADA COMPLIANT VAN ACCESSIBLE SPACES)  
10 TOTAL SPACES

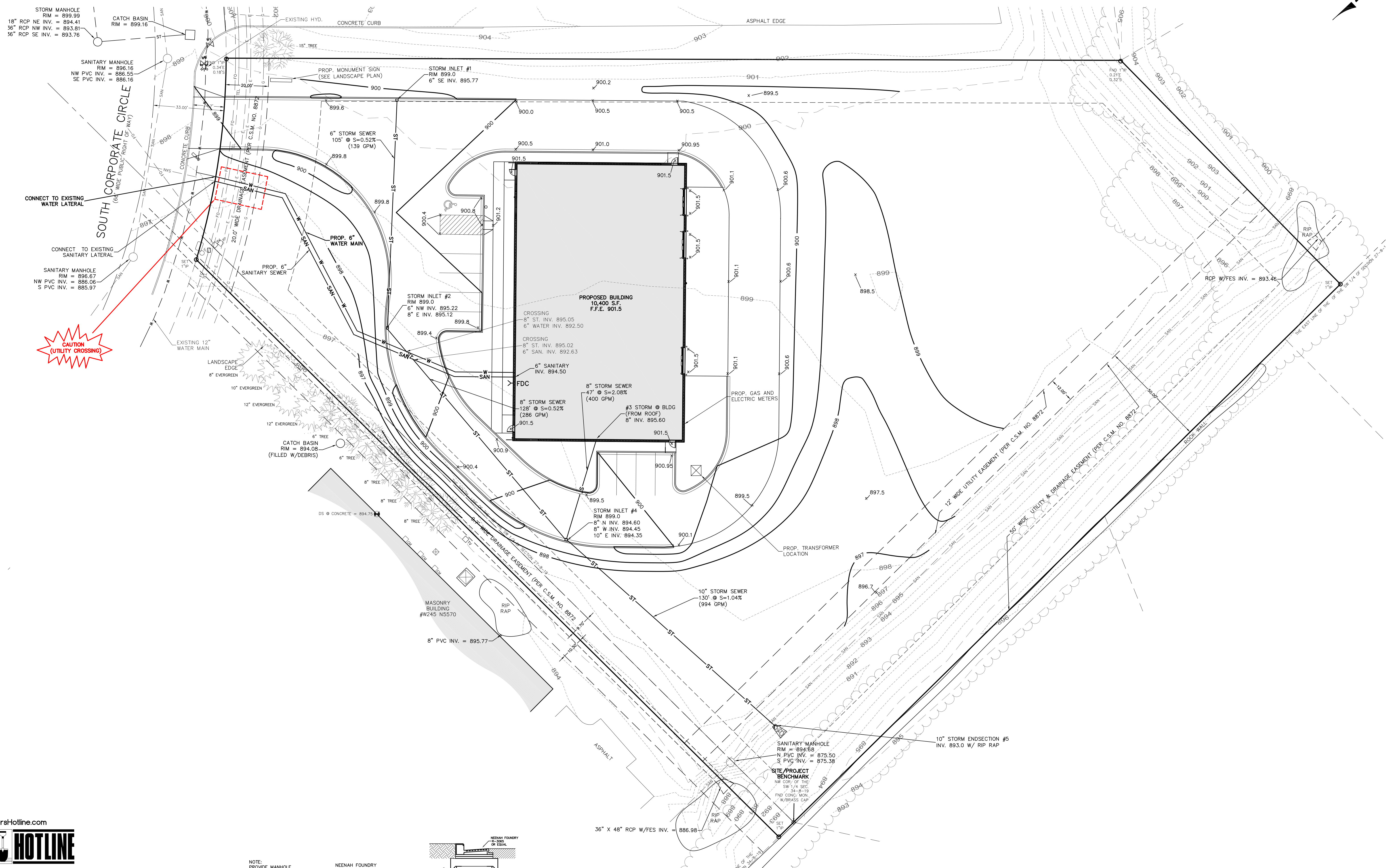
**SITE PLAN**

**C1.0**  
SITE PLAN  
JULY 8, 2022  
SHEET 1 OF 4

www.DiggersHotline.com  
**DIGGERS HOTLINE**  
DIAL 811 OR (800) 242-8511

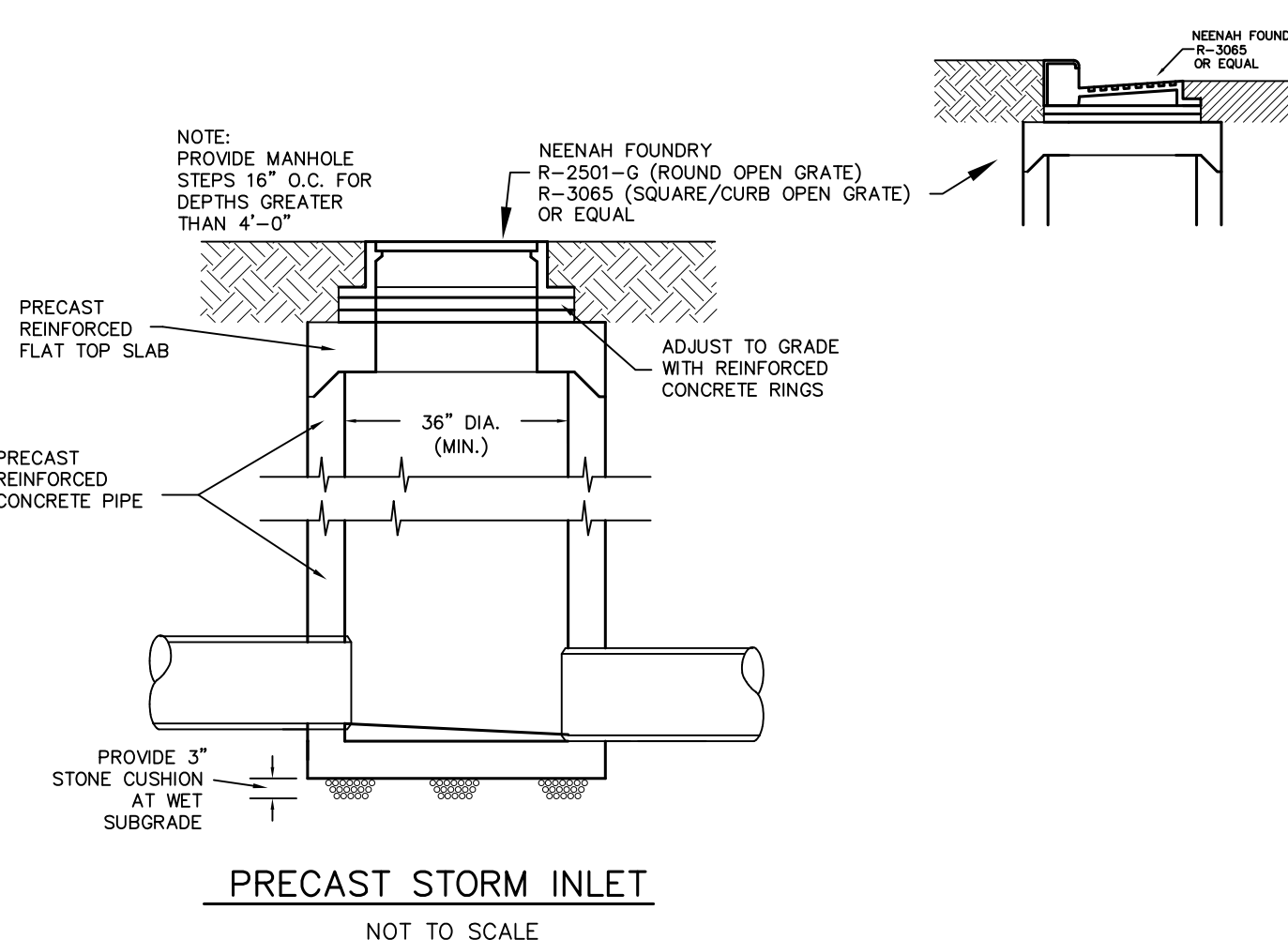
**LEGEND**

- |         |     |     |                            |
|---------|-----|-----|----------------------------|
| ---     | 899 | --- | EXISTING CONTOUR           |
| ---     | 900 | --- | PROPOSED CONTOUR           |
| x 899.5 |     | --- | PROPOSED ELEVATION         |
| ---     | ST  | --- | EXISTING STORM SEWER       |
| ---     | --- | --- | PROPOSED STORM SEWER       |
| ---     | SAN | --- | EXISTING SANITARY SEWER    |
| ---     | G   | --- | EXISTING GAS LINE          |
| ---     | FO  | --- | EXISTING FIBER OPTICS LINE |
| ---     | TEL | --- | EXISTING TELEPHONE LINE    |
| ---     | E   | --- | EXISTING ELECTRIC LINE     |

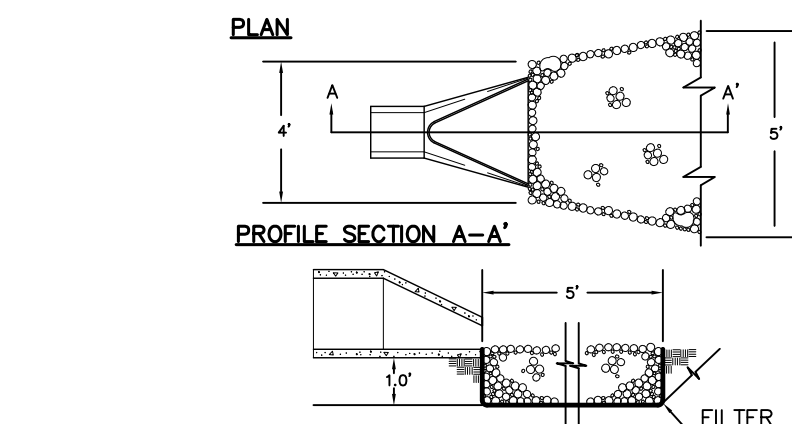
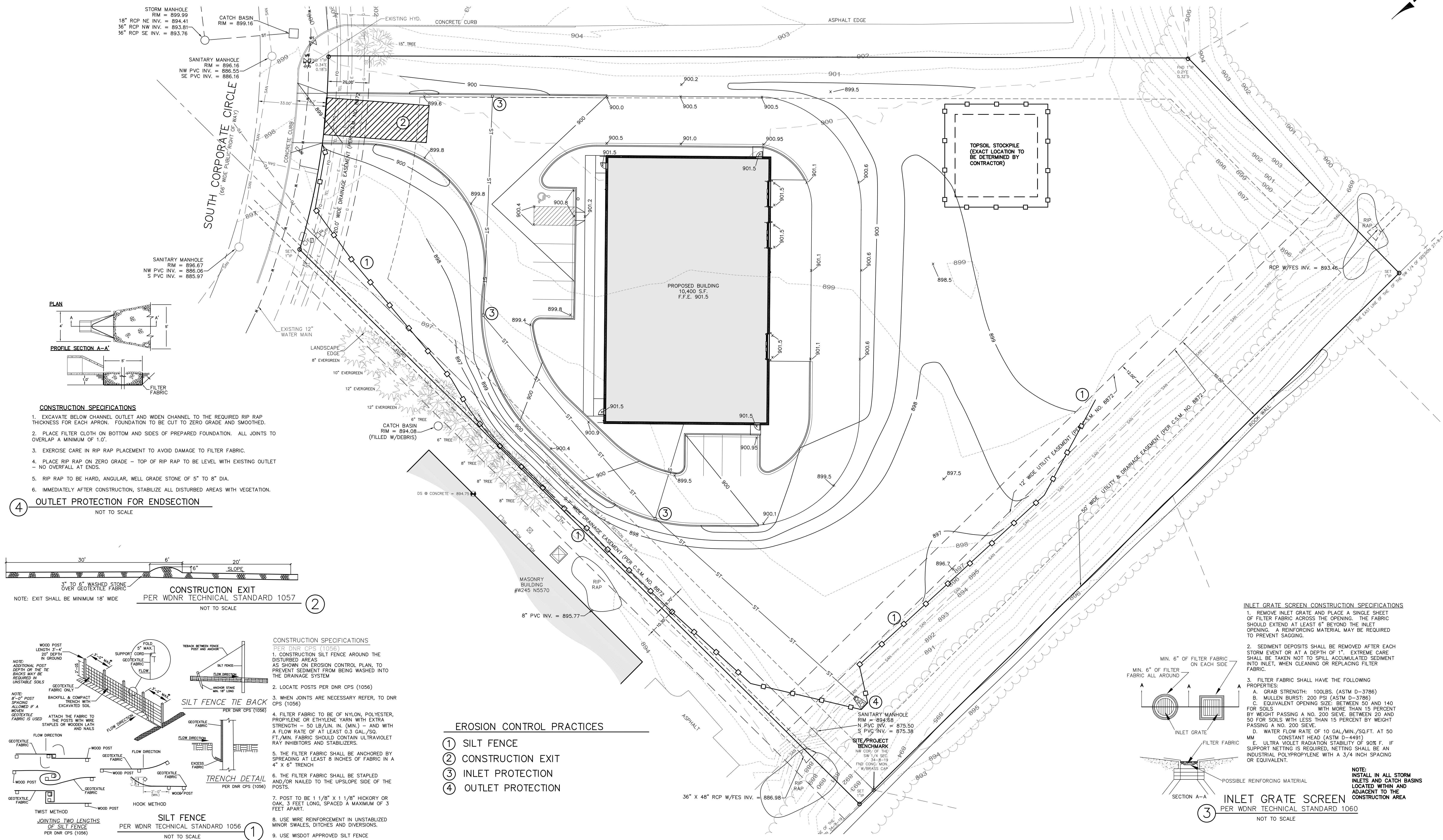


www.DiggersHotline.com  
**DIGGERS HOTLINE**  
DIAL 811 OR (800) 242-8511

LEGEND	
899	EXISTING CONTOUR
900	PROPOSED CONTOUR
x 899.5	PROPOSED ELEVATION
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
SAN	EXISTING SANITARY SEWER
G	EXISTING GAS LINE
FO	EXISTING FIBER OPTICS LINE
TEL	EXISTING TELEPHONE LINE
E	EXISTING ELECTRIC LINE



- NOTES:
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF SUSSEX REQUIREMENTS.
  2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 8-43.4 AND PER FILE NO.4 COMPACTED SECTION (CLASS "B" BEDDING).
  3. PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR AND PLUMBER SHALL VERIFY THE SIZE, SLOPE, AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING.
  4. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6.0 FEET OF COVER.
  5. UNLESS OTHERWISE LABELED ON THE PLAN:  
STORM SEWER: PVC ASTM D3034 OR ADS-HDPE  
SANITARY SEWER: PVC ASTM D3034, SDR 35  
WATER SERVICE: PVC AWWA C900
  6. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
  7. STORM WATER MANAGEMENT IS PROVIDED BY EXISTING OFF SITE STORM WATER POND.

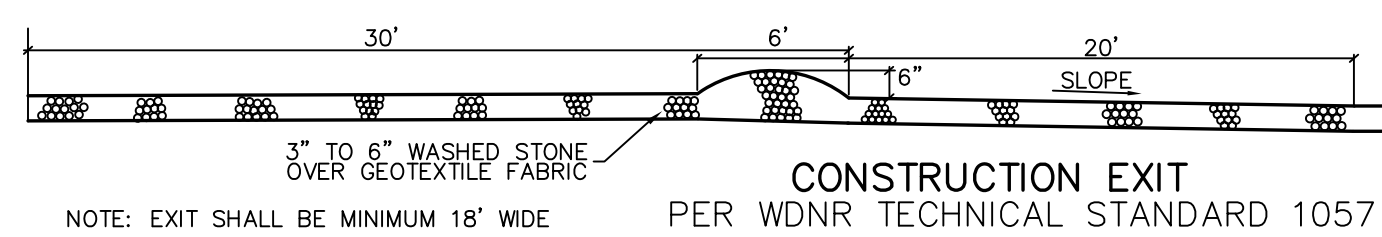


#### CONSTRUCTION SPECIFICATIONS

1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1:01
3. EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
4. PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
5. RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

#### OUTLET PROTECTION FOR ENDSECTION

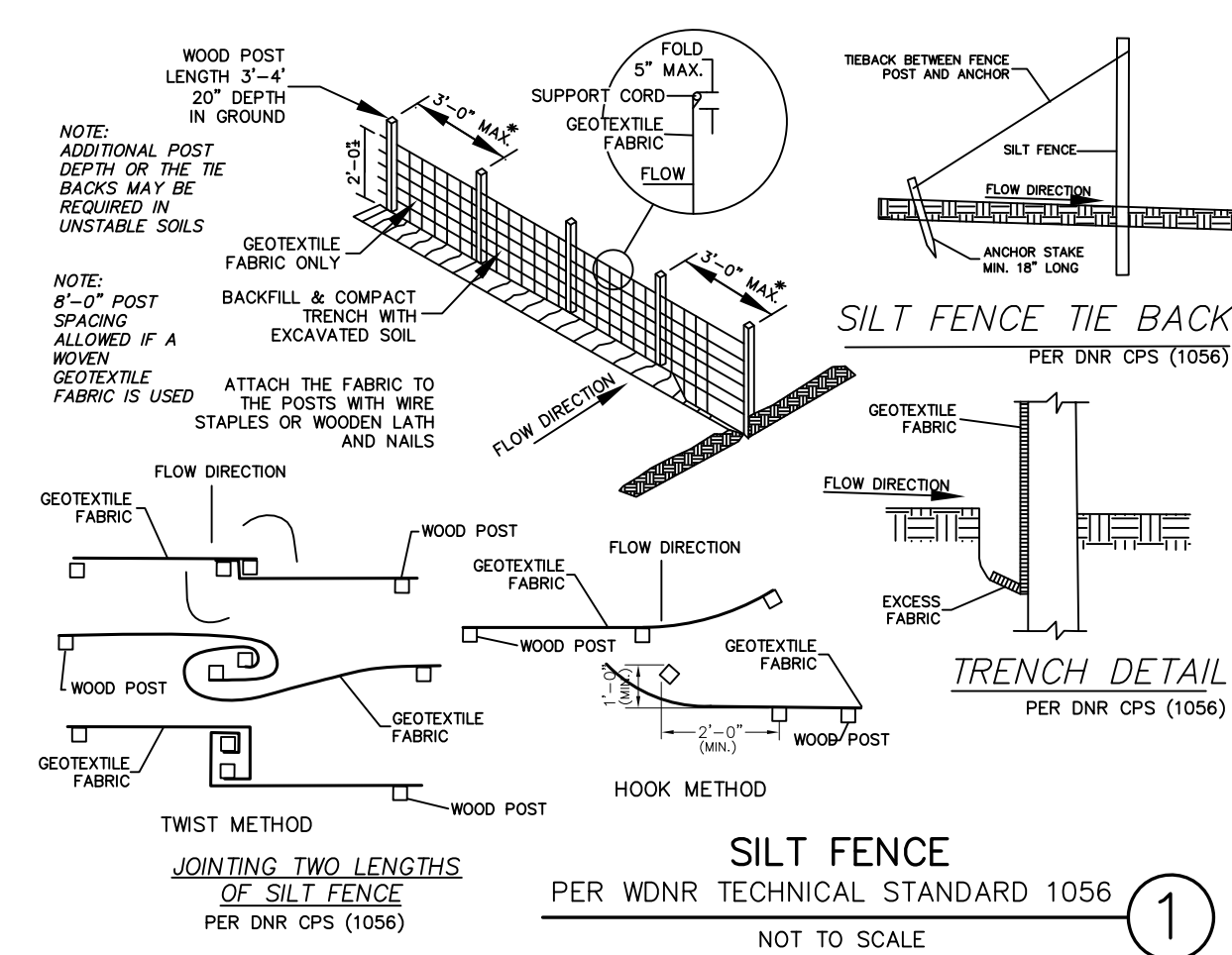
NOT TO SCALE



#### CONSTRUCTION EXIT

PER WDNR TECHNICAL STANDARD 1057

NOT TO SCALE



#### CONSTRUCTION SPECIFICATIONS

PER WDNR CPS (1056)

1. CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM
2. LOCATE POSTS PER DNR CPS (1056)
3. WHEN JOINTS ARE NECESSARY REFER, TO DNR CPS (1056)
4. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB/LIN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL/SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
5. THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 6" TRENCH
6. THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
7. POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART.
8. USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
9. USE WISDOT APPROVED SILT FENCE

#### EROSION CONTROL PRACTICES

- 1 SILT FENCE
- 2 CONSTRUCTION EXIT
- 3 INLET PROTECTION
- 4 OUTLET PROTECTION

#### LEGEND

899	EXISTING CONTOUR
900	PROPOSED CONTOUR
x 899.5	PROPOSED ELEVATION
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
SAN	EXISTING SANITARY SEWER
G	EXISTING GAS LINE
FO	EXISTING FIBER OPTICS LINE
TEL	EXISTING TELEPHONE LINE
E	EXISTING ELECTRIC LINE
PROPOSED SILT FENCE	PROPOSED SILT FENCE

#### CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. INSTALL CONSTRUCTION EXIT.
3. INSTALL SILT FENCE.
4. STRIP AND STOCK PILE TOP SOIL SURROUND TOP SOIL STOCK PILE WITH SILT FENCE AND TEMP. STABILIZE. LOCATION OF STOCK PILE TO BE DETERMINED BY CONTRACTOR.
5. ROUGH GRADE SITE.
6. BEGIN BUILDING CONSTRUCTION.
7. INSTALL PROPOSED UTILITIES.
8. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
9. INSTALL OUTLET PROTECTION.
10. INSTALL BASE COURSE OF PAVEMENT.
11. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
12. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
13. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

#### MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 8" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

#### TEMPORARY STABILIZATION METHODS

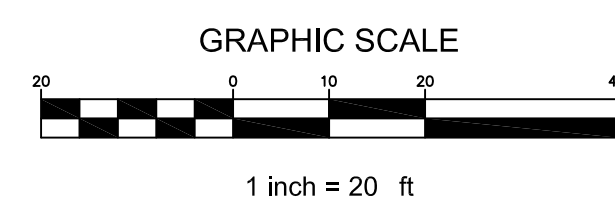
TEMPORARY SEEDING:  
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
OSR	131	95
Corned Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97
* Fall Seeding		

LAND APPLICATION OF ADDITIVES:  
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION, STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/02/2017) - SEE WDN TECHNICAL STANDARD 1050.  
STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

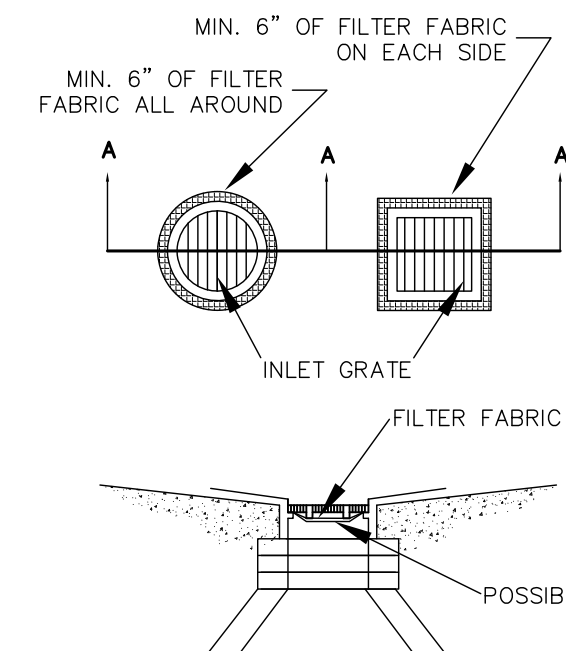
#### NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
2. DISTURBED AREA = 1.517 ACRES
3. ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE VILLAGE OF SUSSEX STANDARDS AND WDNR CPS TECHNICAL STANDARDS.



#### INLET GRATE SCREEN CONSTRUCTION SPECIFICATIONS

1. REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6" BEYOND THE INLET OPENING. A REINFORCING MATERIAL MAY BE REQUIRED TO PREVENT SAGGING.
2. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR AT A DEPTH OF 1". EXTREME CARE SHALL BE TAKEN NOT TO SPILL ACCUMULATED SEDIMENT INTO INLET, WHEN CLEANING OR REPLACING FILTER FABRIC.
3. FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
  - A. CRAB STRENGTH: 100LBS. (ASTM D-3786)
  - B. MULLEN BURST: 200 PSI (ASTM D-3786)
  - C. EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE, BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
  - D. WATER FLOW RATE OF 10 GAL/MIN./SQ.FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
  - E. ULTRA VIOLET RADIATION STABILITY OF 90% F. IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT.

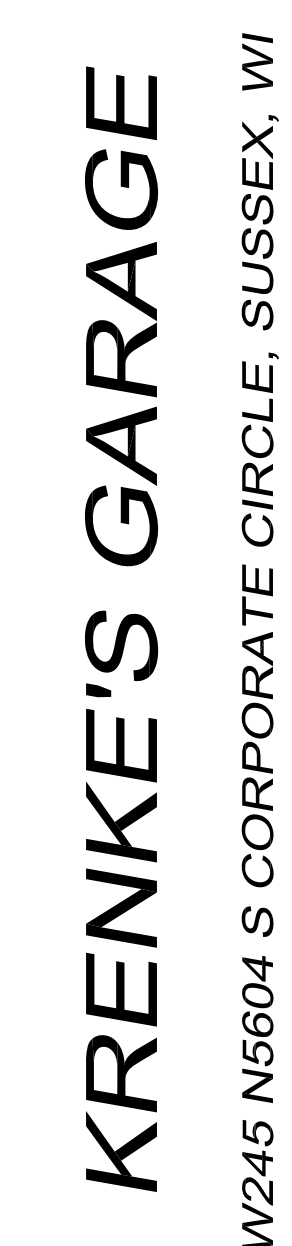


#### INLET GRATE SCREEN

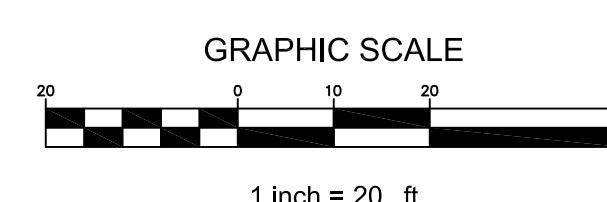
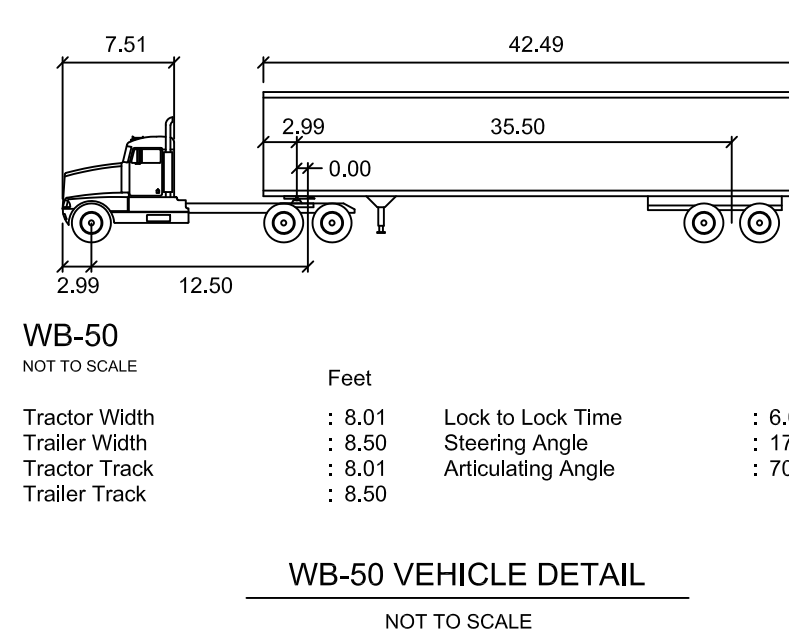
PER WDNR TECHNICAL STANDARD 1060

NOT TO SCALE

**KRENKE'S GARAGE**  
W245 N5604 S CORPORATE CIRCLE, SUSSEX, WI



C4.0



## FIRE DEPARTMENT ACCESS PLAN



<b>North Buffer Requirements</b>	
Parcel LUI Factor:	7
Adjacent Parcel LUI Factor:	1
Total LUI Difference:	6

<b>East Buffer Requirements</b>	
Parcel LUI Factor:	7
Adjacent Parcel LUI Factor:	3
62' Drainage/Utility Easement:	2
Total LUI Difference:	2

<b>South Buffer Requirements</b>	
Parcel LUI Factor:	7
Adjacent Parcel LUI Factor:	7
Total LUI Difference:	0

<b>Southwest Buffer Requirements</b>	
Parcel LUI Factor:	7
Adjacent Parcel LUI Factor:	7
Local Rd (Corporate Rd) Credit:	1
Total LUI Difference:	0

<b>Northwest Buffer Requirements</b>	
Parcel LUI Factor:	7
Adjacent Parcel LUI Factor:	7
Total LUI Difference:	0

Buffer type planted per 100 LF of buffer			
LUI Diff.	Width (ft)	Trees	Shrubs & Perennials
0-3	20	4	20
4	30	6	25
5	40	7	35
6-8	50	10	45

Right of Way or Easement Width	Reduction of LULU
Local Road	1
Collector Road	2
Arterial Road	4
Limited Access HWY	6
Utility Easement (ft)	
20 to 50	1
51 to 100	2
101 to 150	4
151 or more	6

## CODE REQUIREMENTS

**SHADE TREES (DECIDUOUS)**

AFM	Autumn Fantasy Maple
PPH	Prairie Pride Hackberry
SHL	Skyline Honeylocust
KCT	Kentucky Coffee Tree
AE	Accolade Elm

**ORNAMENTAL TREES (DECIDUOUS)**

ABS	Autumn Brilliance Serviceberry
TCH	Thornless Cockspur Hawthorn
JTL	Ivory Silk Japanese Tree Lilac

**EVERGREEN TREES**

FVJ	Fairview Upright Juniper (upright)
NS	Norway Spruce
BHS	Black Hills Spruce
EWP	Eastern White Pine

**EVERGREEN SHRUBS**  
GVB Green Velvet Boxwood

### DECIDUOUS SHRUBS

BRD	Brilliant Red Chokeberry
GC	Gray Dogwood
HC	Peking (Hedge) Cotoneaster
CW	Common Witchhazel
LLH	Little Lime Hydrangea
UH	Unique Hydrangea
PPSR	Pink Pavement Series Rose
TS	Tor Spirea
NFS	Neon Flash Spirea
KSV	Fragrant Koreanspice Viburnum
AJAV	Autumn Jazz Arrowwood Viburnum
WRW	Wine & Roses Compact Weigela

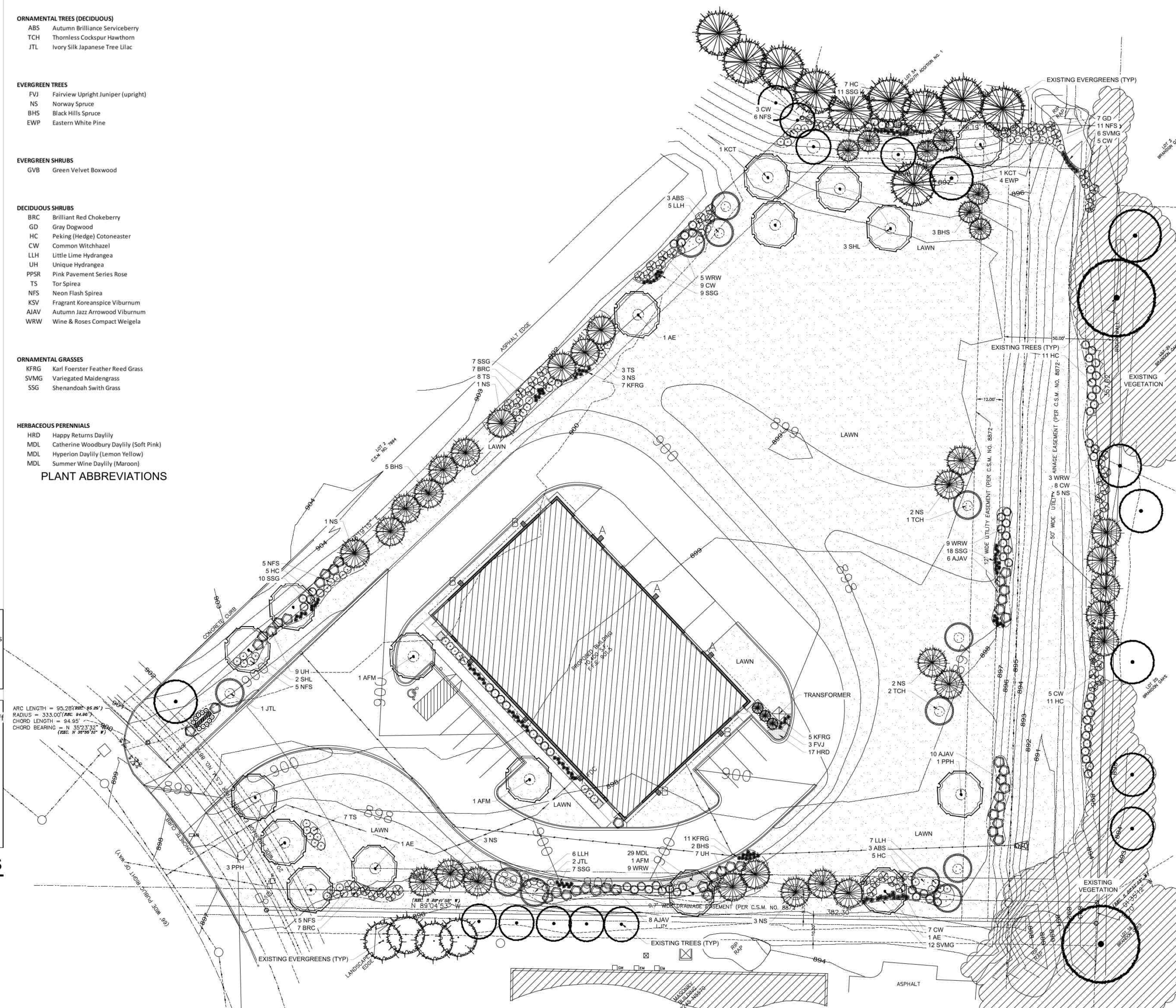
**ORNAMENTAL GRASSES**

KFRG	Karl Foerster Feather Reed Grass
SVMG	Variegated Maidengrass
SSG	Shenandoah Swith Grass

**HERBACEOUS PERENNIALS**

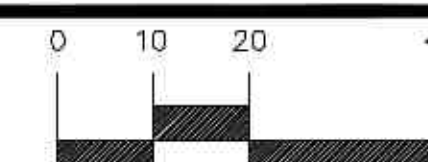
HRD	Happy Returns Daylily
MDL	Catherine Woodbury Daylily (Soft Pink)
MDL	Hyperion Daylily (Lemon Yellow)
MDL	Summer Wine Daylily (Maroon)

## PLANT ABBREVIATIONS



## OVERALL LANDSCAPE PLAN

Scale: 1" = 20'0"



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BROOKFIELD, WISCONSIN 53045-1951  
(262) 790-0500 PHONE  
(262) 790-0505 FAX

## OVERALL LANDSCAPE PLAN

SUBJECT: YIM C

KRENKE'S GARAGE  
SOUTH CORPORATE CIRCLE  
SUSSEX, WI 53089

**PROGRESS SET**  
NOT FOR CONSTRUCTION

100

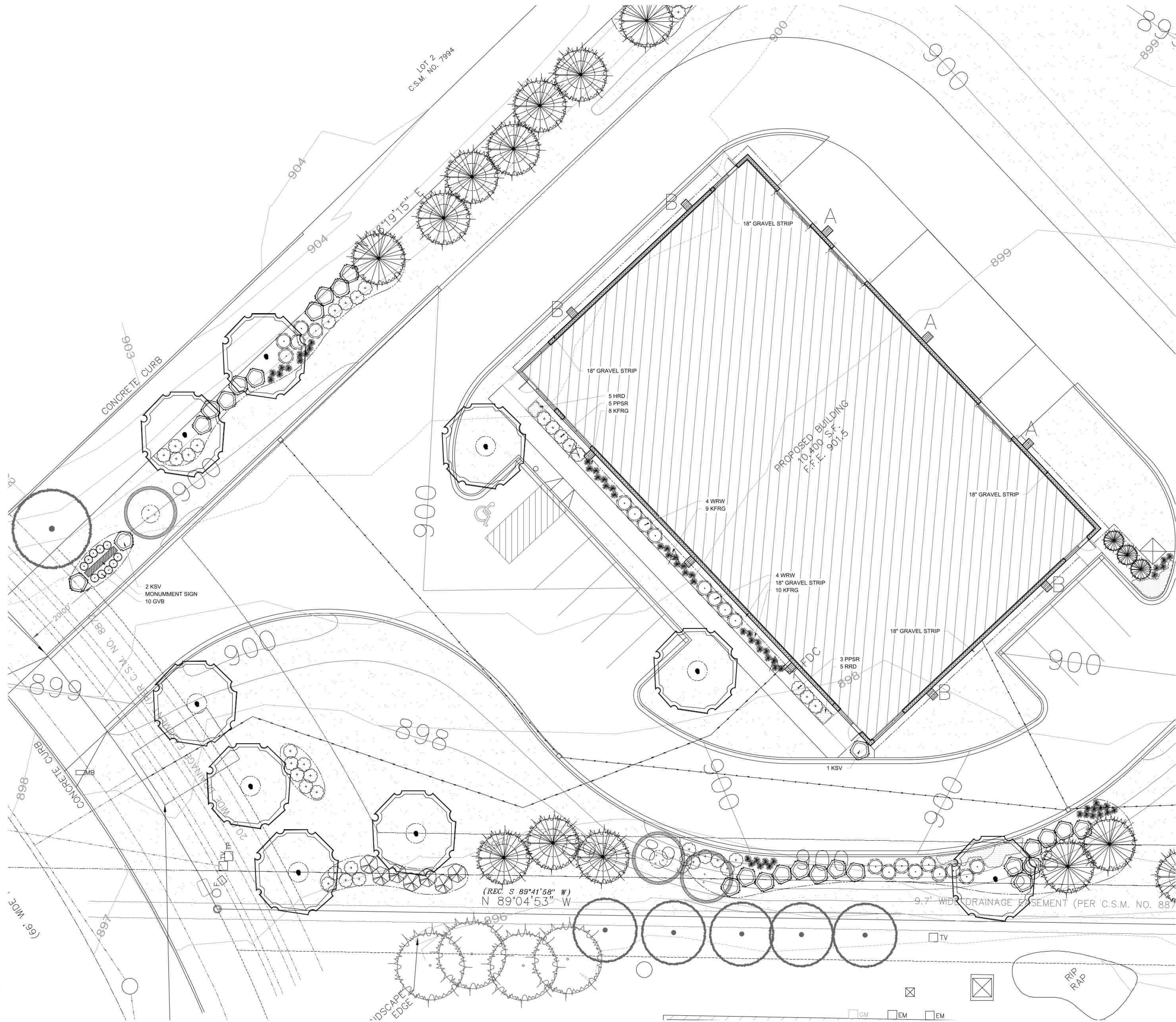
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JOB:	3414
DRAWN:	PA
CHECKED:	DH
DATE:	07/12/2022
SHEET:	

**L1.0**



- SHADE TREES (DECIDUOUS)**
- AFM Autumn Fantasy Maple
  - PPH Prairie Pride Hackberry
  - SHL Skyline Honeylocust
  - KCT Kentucky Coffee Tree
  - AE Accolade Elm
- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
  - TCH Thornless Cockspur Hawthorn
  - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
- FVJ Fairview Upright Juniper (upright)
  - NS Norway Spruce
  - BHS Black Hills Spruce
  - EWP Eastern White Pine
- EVERGREEN SHRUBS**
- GVB Green Velvet Boxwood
- DECIDUOUS SHRUBS**
- BRC Brilliant Red Chokeberry
  - GD Gray Dogwood
  - HC Peking (Hedge) Cotoneaster
  - CW Common Witchhazel
  - LLH Little Lime Hydrangea
  - UH Unique Hydrangea
  - PPSR Pink Pavement Series Rose
  - TS Tor Spirea
  - NFS Neon Flash Spirea
  - KSV Fragrant Koreanspice Viburnum
  - AJAV Autumn Jazz Arrowwood Viburnum
  - WRW Wine & Roses Compact Weigela
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
  - SVMG Variegated Maidengrass
  - SSG Shenandoah Swith Grass
- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylily
  - MDL Catherine Woodbury Daylily (Soft Pink)
  - MDL Hyperion Daylily (Lemon Yellow)
  - MDL Summer Wine Daylily (Maroon)
- PLANT ABBREVIATIONS**



**ENLARGED LANDSCAPE PLAN**

Scale: 1" = 10'0"

0 5 10 20



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**ENLARGED LANDSCAPE  
PLAN**

**KREINKE'S GARAGE**  
**SOUTH CORPORATE CIRCLE**  
**SUSSEX, WI 53089**

**PROGRESS SET**  
NOT FOR CONSTRUCTION

Revision	Date	Job	3414
		DRAWN:	PA
		CHECKED:	DH
		DATE:	07/12/2022
		SHEET:	

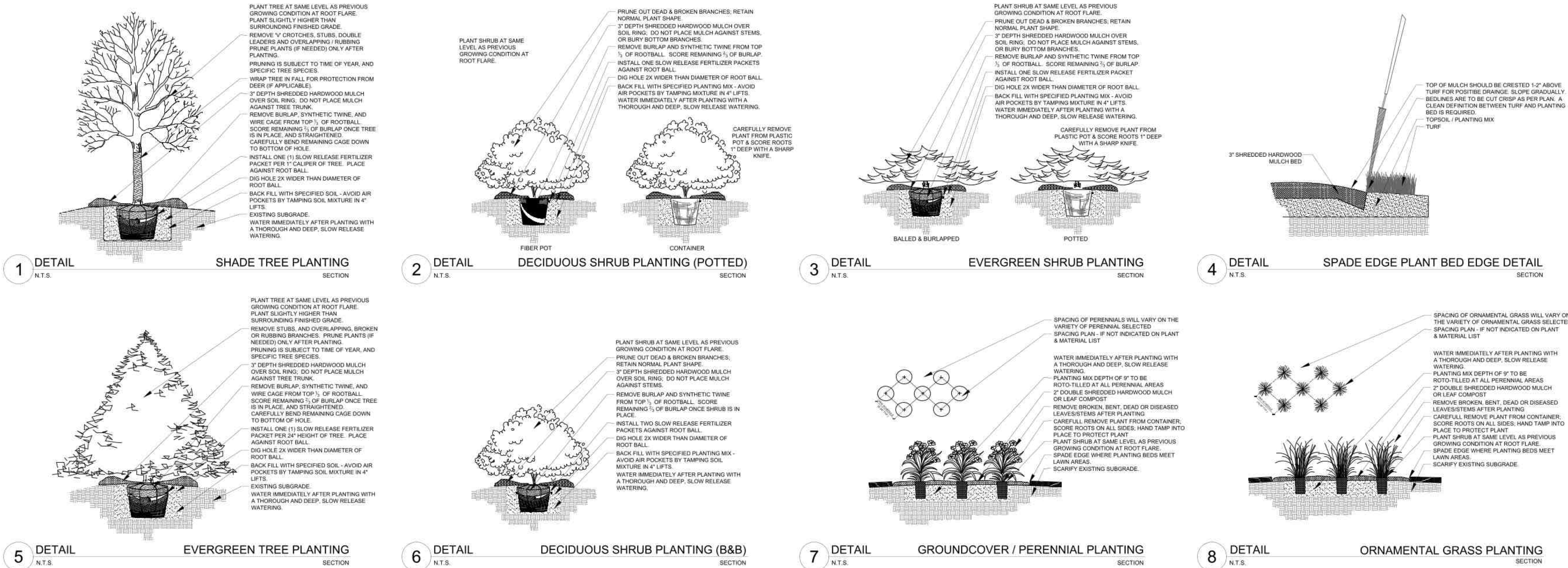
**L1.1**



- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plant and material must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 12" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operation/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 4" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining  $\frac{2}{3}$  of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 1). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is  $\frac{2}{3}$  full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are  $\frac{2}{3}$  full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2" layer of double-shredded hardwood bark mulch, and groundcover areas a 2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
  - Per 100 SF of bed area (Soil Amendment composition):
    - $\frac{1}{2}$  CY Peat Moss or Mushroom Compost
    - $\frac{1}{4}$  CY blended/pulverized Topsoil
    - $\frac{1}{4}$  CY composted manure
  - In roto-tilled beds only, also include in above mixture:
    - 2 lbs Starter Fertilizer

- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-8, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish. Provide specific and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
  - An acceptable quality seed installation is defined as having:
    - No bare spots larger than one (1) square foot
    - No more than 10% of the total area with bare areas larger than one (1) square foot
    - A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

## LANDSCAPE GENERAL NOTES



## PLANTING & HARDSCAPE DETAILS

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
AFM	3	Acer xfreemani 'Autumn Fantasy'	Autumn Fantasy Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
PPH	4	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
SLH	5	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
KCT	2	Gymnocladus dioica	Kentucky Coffee Tree	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
AE	3	Ulmus 'Morton'	Acolade Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
ORNAMENTAL TREES (DECIDUOUS)							
ABS	6	Amelanchier xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
TCH	3	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
JTL	3	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
EVERGREEN TREES							
FVJ	3	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	5-6"	B&B	Evenly shaped tree with branching to the ground	60"
NS	20	Picea abies	Norway Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground	17"
BHS	10	Picea glauca 'densata'	Black Hills Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground	15"
ENP	4	Pinus strobus	Eastern White Pine	6-7"	B&B	Evenly shaped tree with branching to the ground	15"
EVERGREEN SHRUBS							
GVB	10	Buxus 'Green Velvet'	Green Velvet Boxwood	24"	Cont.	Full rounded well branched shrub	24-30"
DECIDUOUS SHRUBS							
BRC	14	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	42"	Cont.	Full, well rooted plant, evenly shaped	48"
GO	7	Cornus racemosa	Gray Dogwood	42"	Cont.	Full, well rooted plant, evenly shaped	60"
HC	39	Cotoneaster arbutifolia	Peking (Wedge) Cotoneaster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	30-42"
CW	37	Hamamelis virginiana	Common Witchhazel	48"	B&B	Full, well rounded plant with moist rootball and healthy appearance	72"
LH	18	Hydrangea paniculata 'Janie'	Little Lime Hydrangea	24"	Cont.	Full, well rooted plant, evenly shaped	42"
UH	16	Hydrangea paniculata 'Unique'	Unique Hydrangea	48"	Cont.	Full, well rooted plant, evenly shaped	60"
PPSR	8	Rosa rugosa 'Pink Pavement'	Pink Pavement Series Rose	18"	Cont.	Full, well rooted plant, evenly shaped	42"
TS	18	Spiraea betulifolia 'Tor'	Tor Spiraea	#3	Cont.	Full, well rooted plant, evenly shaped	36"
NFS	32	Spiraea xbumalda 'Neon Flash'	Neon Flash Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped	60"
KSV	2	Viburnum carlesii	Fragrant Koreanopse Viburnum	36"	Cont.	Full, well rooted plant, evenly shaped	60"
AJAV	24	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	48"	Cont.	Full, well rooted plant, evenly shaped	60"
WRW	34	Weigela florida 'Wine & Roses'	Wine & Roses Compact Weigela	24"	Cont.	Full, well rooted plant, evenly shaped	42"
ORNAMENTAL GRASSES							
KFRG	50	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	15-18"
SVMS	18	Miscanthus sinensis 'Morning Light'	Variegated Maidengrass	#1	Cont.	Full, well rooted plant	42"
SSG	62	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#1	Cont.	Full, well rooted plant	18"
HERBACEOUS PERENNIALS							
HRD	27	Heemerocallis 'Naggy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped	18"
MDL	10	Heemerocallis 'Catherine Woodbury'	Catherine Woodbury Daylily (Soft Pink)	#1	Cont.	Full, well rooted plant, evenly shaped	18"
MDL	10	Heemerocallis 'Hyperion'	Hyperion Daylily (Lemon Yellow)	#1	Cont.	Full, well rooted plant, evenly shaped	18"
MDL	9	Heemerocallis 'Summer Wine'	Summer Wine Daylily (Maroon)	#1	Cont.	Full, well rooted plant, evenly shaped	18"
LAWN							
PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED	CONTAINER SIZE			SPECIFICATION / NOTES	PLANT SPACING
LAWN	7942	Lawn Establishment Area / Grading Area			SY	Reinder's Deluxe 50 Seed Mix (800-785-3301)	
	71475	Erosion Matting for sloped seeded areas	see plan for area delineation		SF	EroTex D575 Erosion Control Blanket (or approved equal)	
Hardscape Materials							
6.5		Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 4605 SF	TN		2" depth	
315		Aluminum Edge Restraint (gravel areas)	Permaloc ProSide 3/16"x5.5" Black Duraflex Finish	LF			
460		Landscape Fabric		SF			
83		Shredded Hardwood Mulch (3" depth)	Area: 8,975 SF	CY		Bark Mulch; apply Preemergent after installation of mulch	
55		Soil Amendments (2" depth)	Area: 8,975 SF	CY			
220		Pulverized Topsoil (Lawn Area)	Area: 21,475 SF	CY			
55		Pulverized Topsoil (2" over bed areas)	Area: 8,975 SF	CY			
*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.							
Seed Compositions: Reinder's Deluxe 50 Seed Mix (800-785-3301): 20% Kentucky Bluegrass (Soft Quality) 15% Newport Kentucky Bluegrass 15% Ken Blue Kentucky Bluegrass 25% Creeping Red Fescue 15% Quince Perennial Ryegrass 10% Fiesta II Perennial Ryegrass Seed at rate of 150-200# per acre							



## LANDSCAPE DETAILS, NOTES, & SCHEDULES

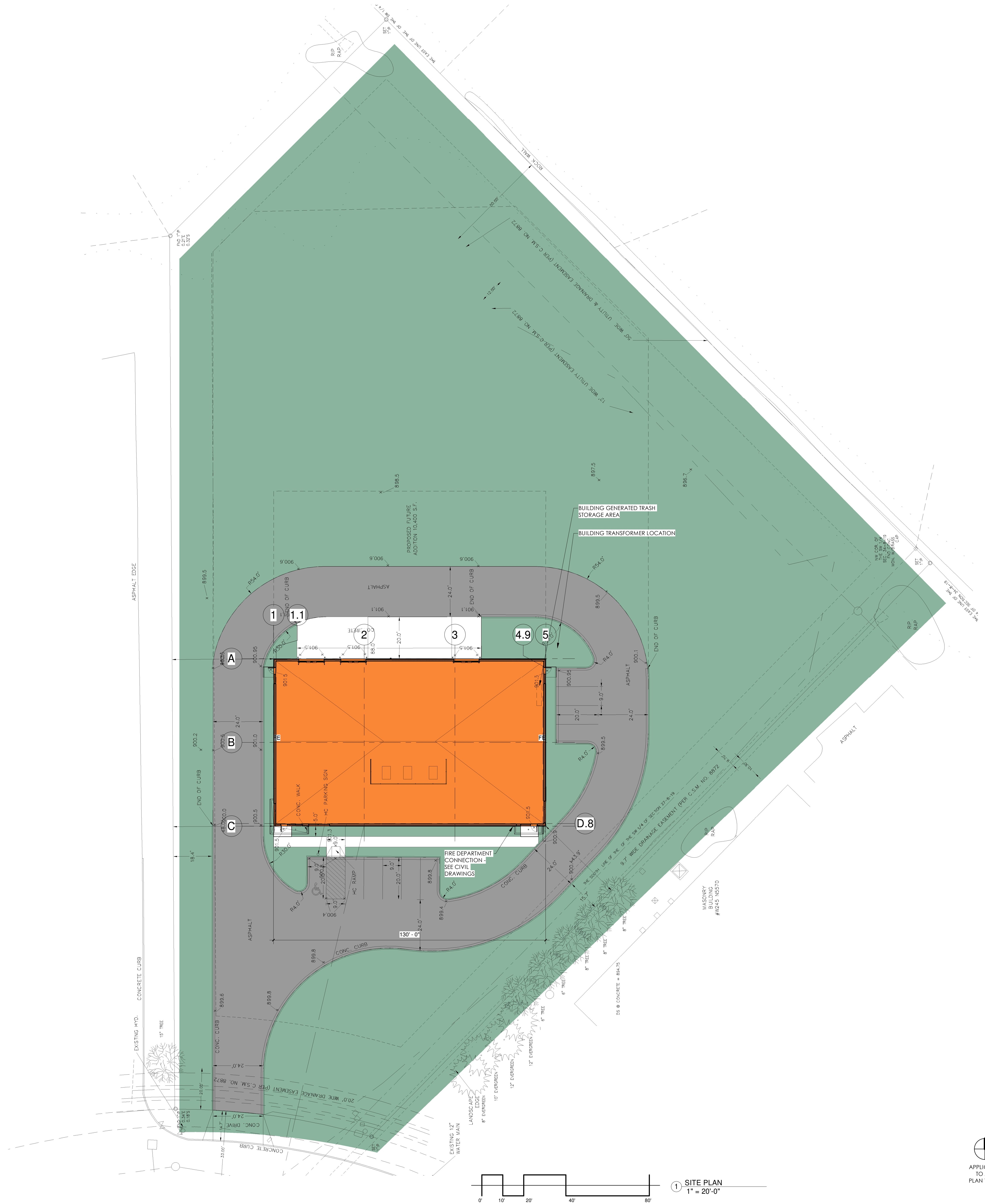
## KRENKE'S GARAGE SOUTH CORPORATE CIRCLE SUSSEX, WI 53089

## PROGRESS SET NOT FOR CONSTRUCTION

Revision  
Date  
JOB: 3414  
DRAWN: PA  
CHECKED: DH  
DATE: 07/12/2022  
SHEET:

## L1.2





PARTITION TYPES

TAG	STUD TYPE	STUD HEIGHT	INSULATION	VAPOR BARRIER	NOTED SIDE SURFACE MATERIAL	NOTED SIDE SURFACE HEIGHT	OPPOSITE SIDE SURFACE MATERIAL	OPPOSITE SIDE SURFACE HEIGHT	REMARKS
S6 D2	6" STEEL STUDS	TO UNDERSIDE OF STRUCTURE (17'-9" +/-)	6" SOUND BATT	----	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (17'-9" +/-)	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (17'-9" +/-)	----
<div>1. ALL STEEL STUDS SHALL BE 25 GAUGE STUDS @ 24" O.C., (UNLESS NOTED OTHERWISE)</div> <div>2. ALL EXPOSED GYPSUM WALL BOARD SHALL BE TAPED &amp; COATED SMOOTH, READY FOR PAINT.</div> <div>3. USE 6" METAL STUDS AND INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL "WET WALL" LOCATIONS.</div> <div>4. AT EXTERIOR WALLS, RETURN GYPSUM WALL BOARD INTO WINDOW JAMBS AND HEAD.</div> <div>5. STUDS EXTENDED TO DECK SHALL HAVE A SLIP CONNECTION TO ALLOW FOR DEFLECTION</div>									

FLOOR PLAN LEGEND

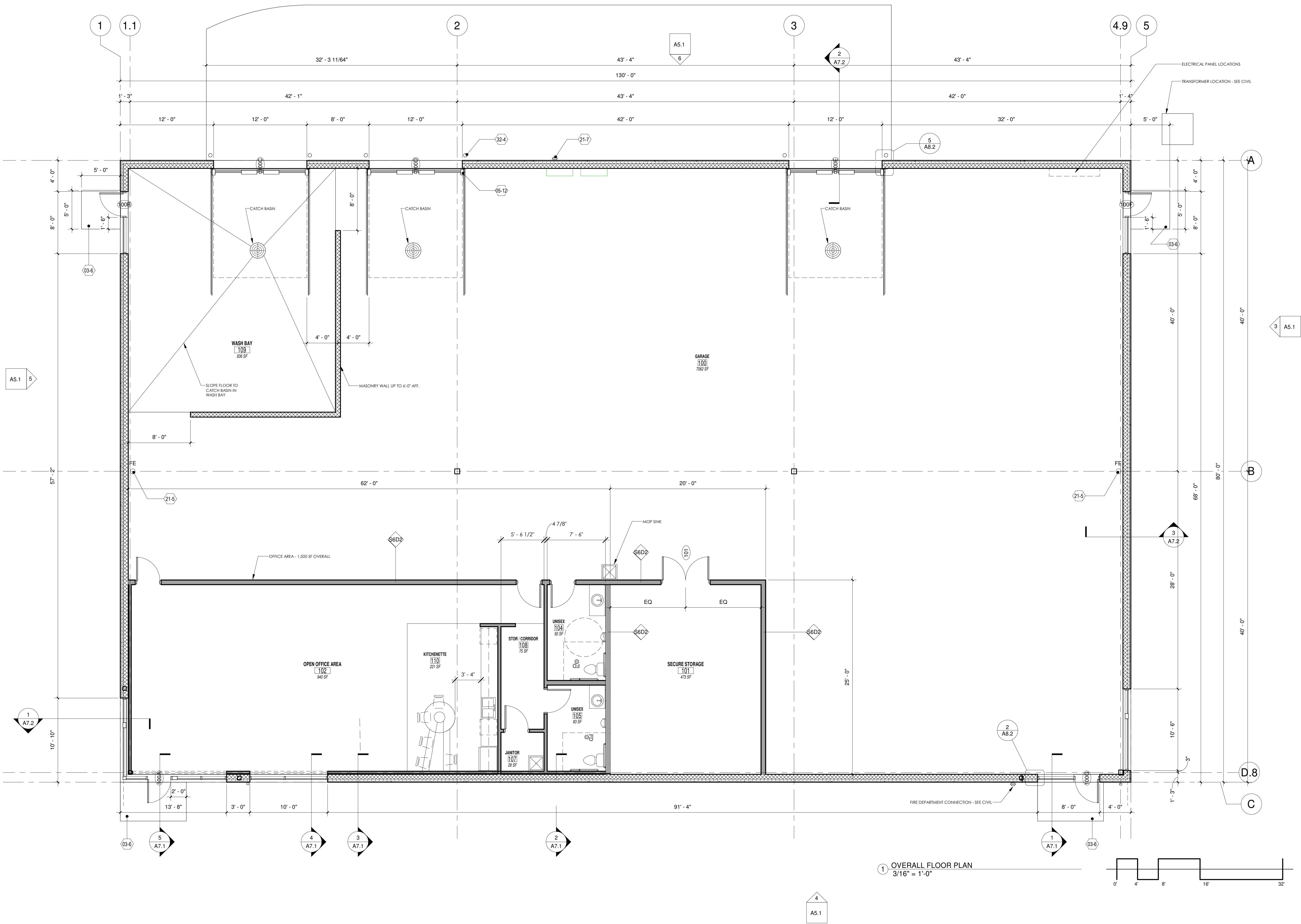
ROOM	ROOM NAME	
100	ROOM NUMBER	NEW PARTITION
100	DOOR NUMBER	
1	PARTITION TYPE	NEW MASONRY CONSTRUCTION
1	PLAN NOTES	NEW DOOR & FRAME
F.E.	SURFACE MOUNTED FIRE EXTINGUISHER	
F.E.C.	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER	
	EXIT LIGHT	
	EXIT LIGHT (DIRECTIONAL)	

GENERAL NOTES - NEW FLOOR PLAN

1. VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRIOHNS ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
2. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
4. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR WINDOW TYPES.
5. SEE SHEET A4.2 FOR SUNSHADE AND CANOPY PLAN INFORMATION AND DIMENSIONS
6. SEE SHEET A0.1 FOR PARTITION TYPES AND FLOOR PLAN LEGEND.
7. EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL, CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
8. FURNITURE AND APPLIANCES PROVIDED BY TENANT AND ARE SHOWN FOR REFERENCE ONLY.

KEYNOTE LEGEND

VALUE	FLOOR PLAN CODED NOTES
03-6	CONCRETE STOOP
05-12	4'-0" TALL 'Z' BOLLARD, PAINTED SAFETY YELLOW EACH SIDE OF OVERHEAD DOOR OPENING
21-5	PROVIDE WALL-MOUNTED FIRE EXTINGUISHERS. COORDINATE FINAL QUANTITY AND LOCATIONS WITH FIRE MARSHAL.
21-7	FIRE DEPARTMENT CONNECTION AND ALARM AS REQUIRED BY LOCAL GOVERNING MUNICIPALITY - REFER FLOOR PLAN.
32-4	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S), PAINTED SAFETY YELLOW



Revision	Date	Job:	3414
		Drawn:	CW
		Checked:	CB
		Date:	07-12-22
		Sheet:	

CONCEPTUAL DESIGN FOR:  
KRENKE'S GARAGE  
SUSSEX, WI

**PROGRESS SET**  
NOT FOR CONSTRUCTION

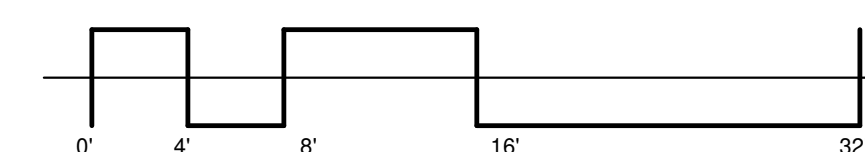
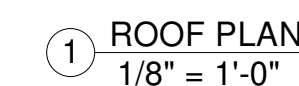
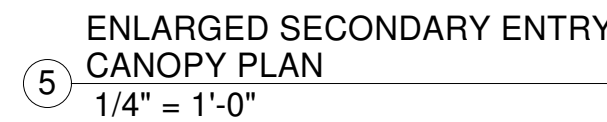
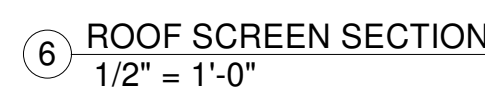
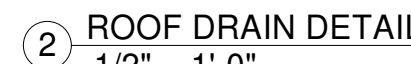
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JOB:	3414
DRAWN:	CW
CHECKED:	CW
DATE:	07-12-22

## A4.1

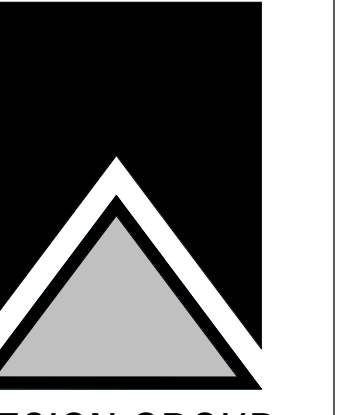
1	SEE STRUCTURAL DWGS FOR FURTHER STRUCTURAL INFORMATION.
2	COORDINATE ROOF SCREEN SIZE WITH MECHANICAL UNITS. SEE STUCTURAL DRAWINGS FOR FURTHER INFORMATION.
3	SEE SHEET A4.2 FOR OTHER CANOPY AND TUBE SUN SHADES PLANS
4	PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLAN BY OTHERS FOR LOCATIONS.

VALUE	REPAIR PLAN COLOR NOTES
07-7	PRE FINISHED METAL 24 GA. GRAVEL STOP COLOR TO MATCH REVEAL COLOR 4.
07-8	PRE FINISHED METAL 24 GA. COPING COLOR TO MATCH REVEAL COLOR 4.
07-11	FULLY ADHERED ROOF ASSEMBLY: FULLY ADHERED ROOF MEMBRANE ON TAPERED DIRECT TO DECK APPROVED EPS INSULATION, TAPER TO ROOF DRAIN [CANOPY ROOF]
07-15	PROVIDE PRE-FINISHED METAL DOWNSPOUT. COLOR AND FINISH TO MATCH CANOPY METAL. LOCATION SHOWN FOR REFERENCE ONLY - ROUTE DOWNSPOUT ALONG BUILDING FACE AS REQ.



APPLICABLE  
TO ALL  
PLAN VIEW





**DESIGN GROUP**  
5 N BROOKFIELD ROAD, SUITE 200  
BROOKFIELD WISCONSIN 53045-1950  
(262) 790-0500 PHONE  
(262) 780-0505 FAX

EXTERIOR PERSPECTIVE -  
LOOKING NORTHEAST

L

CONCEPTUAL DESIGN FOR:  
KRENKE'S GARAGE

[illegible]

**PROGRESS SET**  
NOT FOR CONSTRUCTION

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[illegible]

B:	3414
AWN:	CW
ECKED:	CW
TE:	07-12-22
EET:	

## A5.2





EXTERIOR AERIAL -  
LOOKING NORTHEAST

SHEET TITLE

CONCEPTUAL DESIGN FOR:  
KRENKE'S GARAGE

SUSSEX, WI

PROGRESS SET  
NOT FOR CONSTRUCTION

Revision

Date

JOB: 3414  
DRAWN: CW  
CHECKED: CW  
DATE: 07-12-22  
SHEET:

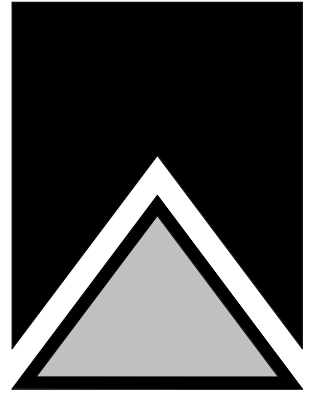
A5.3



APPLICABLE  
TO ALL  
PLAN VIEWS



B R I O H N



DESIGN GROUP  
3805 N BRIDGFIELD ROAD, SUITE 200  
BROOKFIELD, WISCONSIN 53005-1950  
(262) 780-6500 PHONE  
(262) 780-6505 FAX

EXTERIOR RENDERING -  
LOOKING SOUTHEAST

SHEET TITLE

CONCEPTUAL DESIGN FOR:  
KRENKE'S GARAGE

SUSSEX, WI


PROGRESS SET  
NOT FOR CONSTRUCTION


Revision

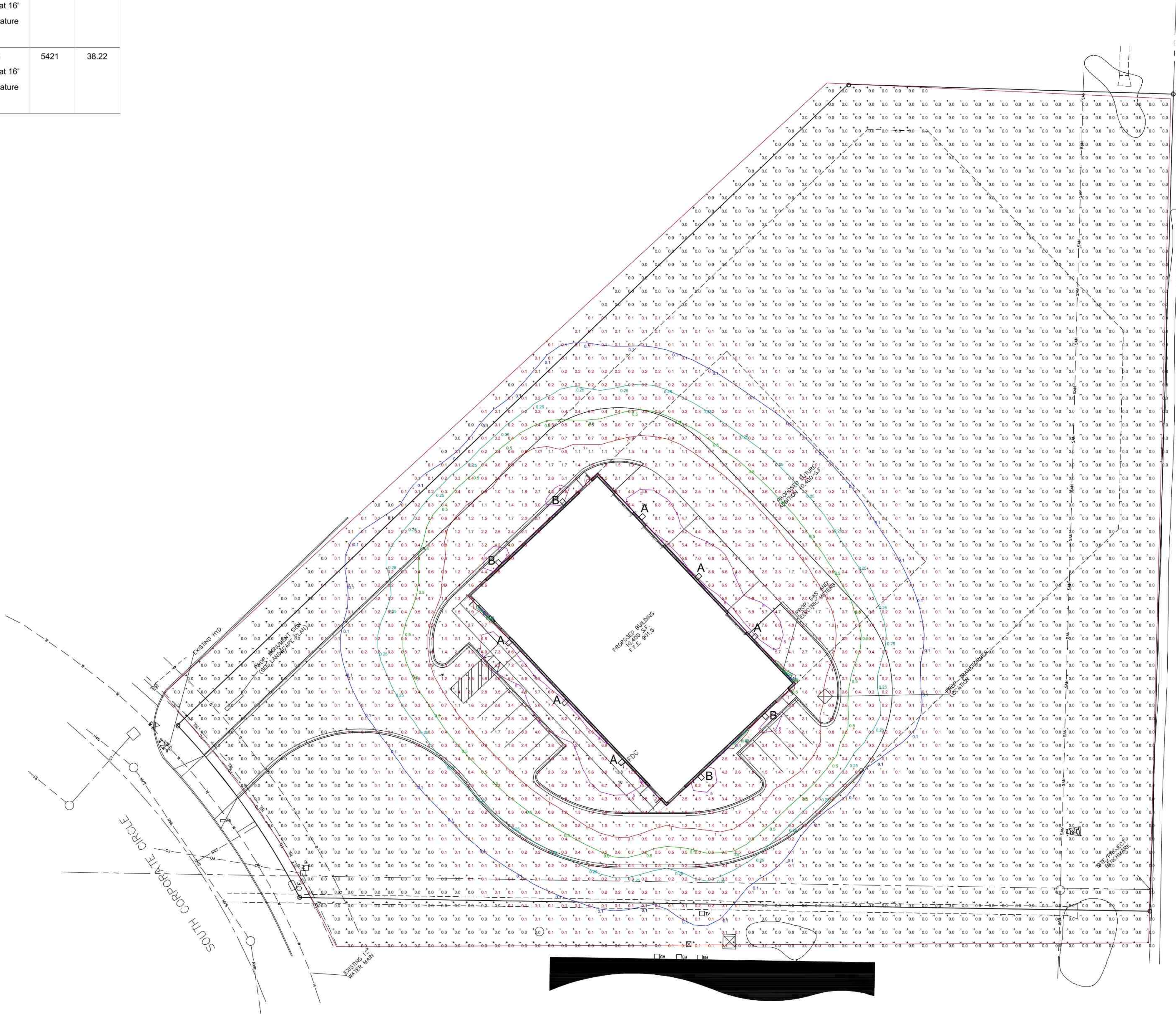
Date

JOB: 3414  
DRAWN: Author  
CHECKED: Checker  
DATE: 07-12-22  
SHEET:

A5.4

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog Number	Lumens per Lamp	Wattage
	A	6	RAB Lighting Inc.	A17-4T70N Wall Mount Fixture at 16' 4000K color temperature	9938	70.82
	B	4	RAB Lighting Inc.	SLIM17FAFC40-4K Wall Mount Fixture at 16' 4000K color temperature	5421	38.22

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1		0.5 fc	13.8 fc	0.0 fc	N/A	N/A





*RESIDENTIAL • COMMERCIAL • INDUSTRIAL*

*227 Weil Drive • Slinger, WI 53086*

*Phone(262)644-6940 • Fax(262)644-7647*

Sussex Krenke Garage

Exterior Lighting Submittal 6-29-2022



Color: Bronze



Weight: 10.8 lbs

Project:

Type:

Prepared By:

Date:

**Driver Info**

Type	Constant Current
120V	0.70A
208V	0.40A
240V	0.35A
277V	0.30A
Input Watts	70.82W

**LED Info**

Watts	70W
Color Temp	4000K (Neutral)
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	9938.2
Efficacy	140.3 lm/W

**Technical Specifications****Compliance****UL Listed:**

Suitable for wet locations

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**DLC Listed:**

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PLPPBUH2NS6D

**Electrical****Driver:**

Constant Current, Class 2, 120-277V, 50/60Hz, 120V: 0.70A, 208V: 0.40A, 240V: 0.35A, 277V: 0.30A

**Dimming Driver:**

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

**THD:**

3.19% at 120V, 13.21% at 277V

**Power Factor:**

99.5 % at 120V, 91.7 % at 277V

**Surge Protection:**

10kV

**Performance****Lifespan:**

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

**Construction****IES Classification:**

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

**Cold Weather Starting:**

The minimum starting temperature is -40°C (-40°F)

**Maximum Ambient Temperature:**

Suitable for use in up to 40°C (104°F)

**Lens:**

Polycarbonate lens

**Housing:**

Die-cast aluminum housing, lens frame and mounting arm

**IP Rating:**

Ingress protection rating of IP65 for dust and water

**Vibration Rating:**

3G vibration rating per ANSI C136.31

**EPA:**

1 Fixture:	0.46
2 Fixtures at 90°:	0.60
2 Fixtures at 180°:	0.93
3 Fixtures at 90°:	0.93
4 Fixtures at 90°:	0.93

**EPA with Slipfitter & Adjustable Arm Mounting Accessories (Sold Separately)**

1 Fixture:	0.66
2 Fixtures at 90°:	0.80
2 Fixtures at 180°:	1.32
3 Fixtures at 90°:	1.32
4 Fixtures at 90°:	1.32

**Mounting:**

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

**Finish:**

Formulated for high durability and long-lasting color

## Technical Specifications (continued)

### Construction

#### Green Technology:

Mercury and UV free. RoHS-compliant components.

### LED Characteristics

#### LEDs:

Long-life, high-efficiency, surface-mount LEDs

### Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

### Other

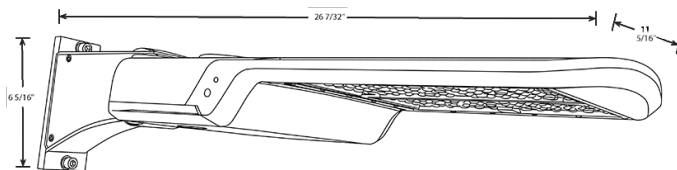
#### 5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

## Dimensions: A17-4T70N



## Features

- 0-10V Dimming, standard
- 100,000-hour LED lifespan
- 5-Year, Limited Warranty

## Ordering Matrix

Family	Distribution	Wattage/Lumens	Mounting	Color Temp	Driver	Options
A17	-	4T	70	N		
	3T = Type III 4T = Type IV 5T = Type V	70 = 70W/10,000LM 100 = 100W/15,000LM 150 = 150W/22,500LM 200 = 200W/30,000LM 240 = 240W/36,000LM 300 = 300W/45,000LM 375 = 375W/51,800LM	Blank = Universal Pole Mount SF = Slipfitter (Factory installed SF available in 150W)	Blank = 5000K Cool N = 4000K Neutral	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = No Option /3PRS = 3-pin Receptacle and Shorting Cap /7PRS = 7-pin Receptacle and Shorting Cap /MVS = Microwave Motion Sensor /LC = Lightcloud® Controller



Color: Bronze

Weight: 6.8 lbs

Project:

Type:

Prepared By:

Date:

**Driver Info**

Type	Constant Current
120V	0.40A
208V	0.30A
240V	0.20A
277V	0.15A
Input Watts	37.7/38.2/38.2W

**LED Info**

Watts	40W
Color Temp	3000K/4000K/5000K
Color Accuracy	80 CRI
L70 Lifespan	100,000 Hours
Lumens	4595/5421/4826
Efficacy	121.9/141.8/126.5 lm/W

**Technical Specifications****Field Adjustability****Field Adjustable:**

Color temperature selectable by 3000K, 4000K and 5000K

**Compliance****UL Listed:**

Suitable for wet locations

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**Dark Sky Conformance:**

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

**DLC Listed:**

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PL3FKMCN05F0

**Performance****Lifespan:**

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

**LED Characteristics****LEDs:**

Long-life, high-efficiency, surface-mount LEDs

**Electrical****Driver:**

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.40A, 208V: 0.30A, 240V: 0.20A, 277V: 0.15A

**Dimming Driver:**

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

**Photocell:**

120-277V selectable photocell that can be turned on and off.

**Note:**

All values are typical (tolerance +/- 10%)

**Construction****IP Rating:**

Ingress protection rating of IP65 for dust and water

**Cold Weather Starting:**

The minimum starting temperature is -40°C (-40°F)

**Maximum Ambient Temperature:**

Suitable for use in up to 50°C (122°F)

Technical Specifications (continued)

Construction

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Full cutoff (0°)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

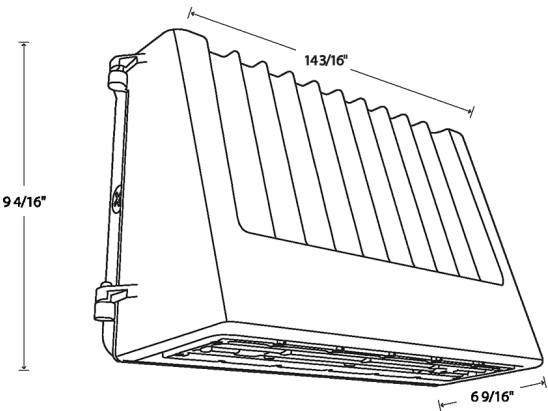
Equivalency:

Equivalent to 200W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Selectable CCT
- Full cutoff
- Selectable on/off photocell
- 0-10V dimming standard

Ordering Matrix

Family	Style	Wattage
SLIM17FA	FC	40
FC = Full cutoff		40 = 40W 60 = 60W



N64W23760 Main Street  
Sussex, Wisconsin 53089  
Phone (262) 246-5200  
FAX (262) 246-5222  
Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
Website: [www.villagesussex.org](http://www.villagesussex.org)

## REQUEST FOR ARCHITECTURAL REVIEW BOARD

The ARB reviews projects after conceptual review has been made by staff and the Plan Commission. The ARB determines if the project meets the Village of Sussex Design Standards established to ensure high quality buildings. A copy of the Design Standards can be found on our Village website [www.villagesussex.org](http://www.villagesussex.org). The ARB makes a recommendation to the Plan Commission of its findings.

The fee for the project review is \$125.00 check made payable to the Village of Sussex.  
(All fees are non-refundable).

ARB meetings are held on the first Wednesday of the month at 10:00 a.m. at the 2<sup>nd</sup> floor Committee Room at the Sussex Civic Center.

### SUBMITTAL REQUIREMENTS:

The following must be submitted 10 business days prior to the meeting date:

For new construction

1 full set of plans with Plan Commission requested revisions\*. (Refer to the Site Plan Review Checklist) 6 reduced copies.

Due to Village canceling July meeting, ARB prior to PC. PC slated for 8/16/22.

Miscellaneous projects:

6 copies of project to be reviewed preferred size 11x17 in color. (Building elevations, site plan, lighting plan, landscape plan and sign plan).

Project Name \_\_\_\_\_

Location \_\_\_\_\_

Contact person for meeting and minutes: \_\_\_\_\_

E-mail address: \_\_\_\_\_ Phone #: \_\_\_\_\_

Please bring to the meeting building material samples and display boards.

Village contact:

Jeremy Smith  
Village Administrator  
(262)246-5200 [jsmith@villagesussex.org](mailto:jsmith@villagesussex.org)

\*Staff will review and may make additional requests for changes and require new plans submitted prior to deadline date.

Quest CE, a financial services software and training firm was founded in 1986 and is owned by Linda and Alan Krenke. Quest CE has built a reputation of being an award- winning provider of Compliance Education to the financial services industry. In addition to offering Providership Administration and insurance continuing education (CE) for professionals holding insurance licenses and professional designations, Quest CE also provides a complete spectrum of FINRA compliance training solutions.

Quest CE is headquartered at 10100 Innovation Drive, Suite 200, Milwaukee WI 53226. Company Phone Number: 877-593-3366. Corporate website: [www.questce.com](http://www.questce.com).

Working with financial services institutions across the United States, Quest CE is required to have a 24 x 7 disaster recovery site available. This site acts as a backup site that the company can temporarily relocate staff to, following a security breach or natural disaster.

Additionally, Quest CE is required by laws and regulations to maintain client records in a secure, offsite facility for a term of 7 years.

Currently, Quest CE's disaster recovery and records retention site is located at N53 W24880 S. Corporate Circle, Unit 4 in the Village of Sussex.

Linda Krenke  
President and Chief Executive Officer  
Quest CE





## PLAN OF OPERATION – NEW CONSTRUCTION PROCEDURE LIST

Quest CE

Project Name

SUXV0278999055

Tax Key #

Pre-application conference must be arranged with staff. Please contact us at 262-246-5200 prior to submitting application materials.

### Submittal checklist:

- ☒ Original completed Plan of Operation (Page 1-3)
- ☒ Original completed Professional Services Reimbursement, Emergency Contact, Wastewater Discharge Permit and Flood Plain Occupancy
- ☒ 3 original size and 3 reduced (11 x 17) copies of Site Plan
- ☒ 3 original size and 3 reduced (11 x 17) copies of Architectural plans
- ☐ 3 original size and 3 reduced (11 x 17) copies of Sign Plan
- ☒ 3 original size and 3 reduced (11 x 17) copies of Landscape Plan
- ☒ 3 original size and 3 reduced (11 x 17) copies of Lighting Plan
- ☒ Submit plans in PDF format on a disc

The following fees are required at the time of submittal:

- ☒ Plan of Operation fee \$175.00
- ☐ Conditional Use fee \$210.00
- ☒ Plan Review fee \$250.00

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Please make check payable to: Village of Sussex (fees are non refundable)

Deadline for submittals is the last business day of the month for consideration for the next Plan Commission Agenda. (Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda.). Application can be submitted via email to [building@villagesussex.org](mailto:building@villagesussex.org).

Contact Name for meetings: Caitlin LaJoie Phone # 262-790-0500  
E-mail: clajoie@briohn.com

For office use only:

Met with staff on: \_\_\_\_\_  
Received documents on: \_\_\_\_\_  
Fees received and paid on: \_\_\_\_\_  
To be on the Plan Commission Agenda for: \_\_\_\_\_  
Original forms to the following:  
Service reimbursement \_\_\_\_\_  
Emergency Contact to Sheriff Dept \_\_\_\_\_  
Wastewater Permit to WWTP \_\_\_\_\_  
Any outstanding fees owed on PROPERTY \_\_\_\_\_

# SITE PLAN REVIEW CHECKLIST

This checklist is a guide for developers to have a project reviewed by the Village of Sussex Plan Commission. Before a project can be reviewed by the Plan Commission, initial consultation should be made with staff.

## **GENERAL INFORMATION**

Names and addresses of owner/developer/  
designer/engineer  
Graphic scale, north arrow  
Location sketch  
Size of site (gross and net acreage)  
Existing zoning, adjacent zoning  
Summary of proposed development

## **EXISTING SITE INFORMATION**

Dimensions of site and lot lines  
Existing grades  
Adjacent property grades and structures  
Drainage systems and structures  
Natural features  
Wetland boundaries  
Floodplain elevation and boundaries  
Environmental concerns  
Roads, curbs, parking lots, pavement areas  
Structures (location, size)  
Rights-of-way (existing/proposed)  
Easements (drainage, utility)  
Existing utilities  
Benchmark locations and elevations  
Location of fences, wells, borings, etc.

## **ARCHITECTURAL PLANS**

Existing building location  
Existing building elevations/materials  
Proposed use  
Proposed floor plans  
Square footage  
Proposed elevations, building height  
Proposed materials and colors (material sample  
board  
required for new construction)  
Details of any special features

## **PROPOSED SITE PLAN**

Grading and spot elevations  
Erosion control measures  
Stormwater management  
Stormwater management design report  
General drainage pattern  
Swales w/ arrows for direction of flow  
Pond design with outfalls  
Culverts location/size  
Utilities  
Sanitary  
Water  
Stormsewer  
Electrical or power generators  
Building location (dimension)  
Building elevation (finished grade)  
Location of proposed signage  
Dumpster enclosure details  
Setbacks (clearly marked and dimensioned)  
Vehicular entrances (dimension to centerline of  
nearest intersection)  
Streets (dimension and direction for one-ways)  
Curve radii  
Sidewalks  
Parking areas (show striping/spot elevations)  
Parking setback from property line  
Lot coverage  
Square footage total  
Impervious surface total %  
Green space total %  
Percent permitted %  
Municipal utility connections  
Sanitary sewer (pipe size/elevations)  
Water (size, valve location, elevations)  
Location of hydrants  
Easement for public water mains

## **LIGHTING PLAN**

Major improvements for context  
Location/nature of existing fixtures  
Location of proposed fixtures  
Photometric report (to scale on plan)  
Manufactures cut-sheets of all fixtures  
Lighting schedule  
Key to plan  
Number/type of fixtures  
Output (wattage)  
Installation details as appropriate

The following materials can be reviewed on our website [www.villagesussex.org](http://www.villagesussex.org)

Design Standards  
Chapter 17 & 18  
Development Requirements  
Downtown Plan  
2040 Comprehensive Plan  
2040 Land Use Plan

## **LANDSCAPING PLAN**

Landscape plan to be same scale as site plan  
Location of driveways, walk ways and sidewalks  
Proposed outdoor amenities (benches, decks, gazebos)  
Existing vegetation plan  
Saved  
Destroying  
Proposed landscape features (berms, fountains)  
Plant list broken down in the following categories  
Deciduous trees, names and numbers  
Evergreens, names and numbers  
Shrubs/flowers, names and numbers  
Indicate sizes of plantings

Fire Department Chapter 5

## **ITEMS SUBMITTED FOR PLAN COMMISSION**

Completed Plan of Operation  
Required # of copies to be received by established deadline date  
Building material sample board  
All required fees paid

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.



## PLAN OF OPERATION

To be used for a business with new construction.

Is this request to be considered for a Conditional Use? No If yes, is this a new CU? \_\_\_\_\_

OR an amendment to an existing CU? \_\_\_\_\_

(Conditional Use Permits require a Public Hearing)

Address location of new construction W245N5604 Corporate Circle, Sussex, WI 53089

Tax Key # SUXV0278999055

Zoning: BP-1

**1. Name of Business:**

Quest CE

**Business**

W245N5604 Corporate Circle

Sussex, WI 53089

877-593-3366

**Address**

**City, State, Zip**

**Phone #**

akrenke@questce.com

**Fax #**

**Email address**

**2. Business owner contact information:**

Alan Krenke

**Contact**

1643 Twisted Oak Court

Hartland, WI 53029

262-366-5628

**Address**

**City, State, Zip**

**Phone #**

akrenke@questce.com

**Fax #**

**Email address**

**3. Building/Land owner contact information:**

Same as #2 above

**Contact**

**Address**

**City, State, Zip**

**Phone #**

**Fax #**

**Email address**

**4. Number of Employees/Shifts:**

1

1

**Employees**

**Shifts**

**5. Days of Operation:**

Please see Quest CE business summary (#7); access 24/7/365 is required

Put an X in box that applies:

**Hours**

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
10:00a-3:00p	10:00a-3:00p	10:00a-3:00p	10:00a-3:00p	10:00a-3:00p	as needed	as needed

6. Is this an extension of an existing operation? Yes

7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.

8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? N/A Do you need an Outdoor Establishment Permit? N/A  
Arcade permit?

If yes, explain: N/A

If yes, please obtain and complete form.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No

If yes, explain: N/A

11. Dimensions and levels of all buildings:

	Dimensions	Levels	Square footage
Building 1	<u>130'x80'</u>	<u>1</u>	<u>10,400 SF</u>
Building 2	<u>N/A</u>	<u></u>	<u></u>
Building 3	<u>N/A</u>	<u></u>	<u></u>

Is the building(s) to be used for multi-tenant purpose? TBD

12.	Lot size	Depth	Width	Area
	<u>115,628SF</u>	<u>527'</u>	<u>110'</u>	<u>2.654 AC</u>
	<i>Above to be included on survey</i>			

13 Parking: Dimensions of parking lot 20'x63' and 20'x36'

Parking lot construction Asphalt - see C1.0

Type of screening: Fence  or Plantings See landscape plan

Number of spaces needed per code 6 # of spaces for employees 10

*Above to be included on site plan*

Please provide the following information:

Total square footage of building, new and existing 10,400 SF new

Total square footage of parking lot, new and existing 1,800 SF new

14. Signs: Type: Free standing TBD Attached to building TBD

Lighted TBD Single or double faced TBD

Size TBD Location TBD

*Above to be included on sign plan*

Sign package to be submitted  
under separate cover

15. What security lighting are you proposing? (Please include on lighting plan)

Wall mount fixtures - see lighting plan

16. Is there a need for outside storage? No If yes, explain:

N/A

17. Is a Highway access permit needed from the state or County Highway Departments? N/A

If yes, please attach a copy of the secured permit.

What conditions has the State or County imposed upon your permit?

N/A

18. Is there a need for any special type of security fencing? No

If yes, what type? \_\_\_\_\_

19. What provisions are you making for fire protection? None

What provisions are your making for a sprinkler system? None

Storage system? None

Hydrant stand pipes? None

Is there a fire lane shown on your site plan? No

Explain: No dedicated; please see C4.0 for turning radius exhibit

20. Surface water drainage facilities and impervious areas, describe and/or include on site plan.

21. Did Wisconsin State Department of Industry Labor and Human Relations approve building plans?

No If yes, explain: \_\_\_\_\_

22. Please give a timetable for items to be completed:

Building construction Spring 2023

Paving Spring 2023

Landscaping Spring 2023

Occupancy Spring 2023

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Alan Krenke

Name

7/14/2022

Date

Owner

Title or Position



Information on Flood Plain Occupancy:

1. What is the flood plain elevation at the site? 889
2. Is the flood plain construction elevated or flood proofed? Elevated N/A Flood proofed N/A
3. What is the elevation of the lowest floor of the structure? 901.5
4. What is the elevation of the land fill surrounding the structure? 901.5
5. Does the fill extend beyond the structure? N/A  
How far beyond the structure? \_\_\_\_\_ feet
6. Is dry land access provided? Yes
7. If the structure is flood proofed, what flood proofing measures are used?  
N/A
8. Certification of elevation or flood proofing must be provided by a licensed surveyor or registered Engineer.



N64W23760 Main Street  
 Sussex, Wisconsin 53089  
 Phone (262) 246-5200  
 FAX (262) 246-5222  
 Email: [info@villagesussex.org](mailto:info@villagesussex.org)  
 Website: [www.villagesussex.org](http://www.villagesussex.org)

### VILLAGE OF SUSSEX PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

### PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Caitlin LaJoie (Director of Land Development - Briohn Building Corp, Authorized Agen

3885 N. Brookfield Rd #200, Brookfield, WI 53045

Business Name: Quest CE

Name of Owner and Address of the Property involved in the Request (if different from above):

Alan Krenke

W245N5604 Corporate Circle, Sussex, WI 53089

Tax Key No. of the Property involved in the Request: SUXV 0278999055

DocuSigned by:

Alan Krenke

80A7E086224844C...

Signature of Property Owner and /or Authorized Agent

7/14/2022

Date

Signature of Village Official Accepting Form

Date

*A copy of this completed form shall be provided to the Village Clerk for billing purposes.*



## WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Quest CE

Address: W245N5604 Corporate Circle, Sussex, WI 53089

Owner/Operator: Alan Krenke

Standard Industrial Classification #: S-1 (8,452 SF) and B (1,524 SF)

How many people do you employ? 1 at this location; building is backup temporary disaster relief site

What are your businesses hours of work? Require access 24/7/365; daily hours limited

Who is responsible for water quality? ( List job titles)  
N/A - standard grey water

Time and Duration of Discharge: Generally M-F 10a-3p

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):  
Daily

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Disaster recovery and records retention location for Quest CE (financial services industry). Minimal discharge based off 1 employee's use of bathroom facility and/or kitchenette. Per law, owner and clients must have access 24/7/365 in case of disaster.

Please list each product your business produces. (Include type, amount and rate of production):  
N/A

What are the constituents and characteristics of your wastewater?  
N/A - standard grey water

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



**Village of Sussex Fire Department**  
**N63 W24335 Main Street**  
**Sussex, Wisconsin 53089**

Fire Station - *Business*  
262-246-5197  
Fire Station - *FAX*  
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

**Business Name:** Quest CE

**Business Address:** W245N5604 Corporate Circle, Sussex, WI 53089

**Business Phone #:** 877-593-3366

**Business**  
**Email#:** akrenke@questce.com

**Business Emergency Contacts**

Name and Phone #: Alan Krenke (262-366-5628)

Name and Phone #: Linda Krenke (262-565-8993)

Name and Phone #: Adam Krenke (262-366-1812)

**Building Owner Name:** Alan Krenke

**Building Owner Email:** akrenke@questce.com

**Building Owner Emergency Contacts**

Name and Phone #: Alan Krenke (262-366-5828)

Name and Phone #: Linda Krenke (262-565-8993)

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes ☐ No ☒

Will coordinate with FD when appropriate



PROJECT NUMBER: J202237

PROJECT NAME: HM Brandt Hard Walls

PROJECT LOCATION: Lisbon, WI COUNTY: Waukesha

CUSTOMER: Redhawk Metal Buildings, LLC Richfield, WI



PROJECT LOADS

DESIGN CODE: WCBBC 2018 BUILDING END USE: 2C

ROOF LIVE LOAD: 20 PSF MBMA OCC. CLASS: II - Standard Buildings

GROUND SNOW LOAD: 30 PSF SNOW EXP. FACTOR, Ce: 1

SNOW IMPORTANCE FACTOR, Is: 1

WIND: 115 WIND IMPORTANCE FACTOR, lw: 1

EXPOSURE: B WITHIN HURRICANE COASTLINE YES NO

UL 90 YES NO RAIN INTENSITY (in/hr) N/A

SEISMIC INFORMATION Ss:0.073, S1:0.047

Design Sds/Sd1: Site Class: D

Seismic Imp. Factor Ie: 1 Seismic Design Category:

Analysis Procedure: Equivalent Lateral Force Method

Basic SFRS:

NOTES:

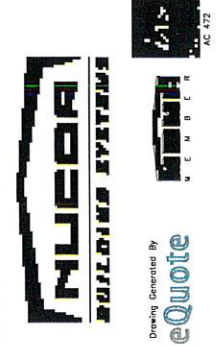
1) COLLATERAL DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE UNIFORMLY DISTRIBUTED. WHEN SUSPENDED SPRINKLER SYSTEMS, LIGHTING, HVAC EQUIPMENT, CEILINGS, ETC., ARE SUSPENDED FROM ROOF MEMBERS, CONSULT THE M.B.S. IF THESE CONCENTRATED LOADS EXCEED 200 POUNDS, OR IF INDIVIDUAL MEMBERS ARE LOADED SIGNIFICANTLY MORE THAN OTHERS.

2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.

	BUILDING	
	Addition	Existing
ROOF DEAD (PSF):	3.4	3.4
PRI. COL. (PSF):	3	3
SEC. COL. (PSF):	3	3
SNOW Ct:	1	1
SNOW Cs:		
ROOF SNOW (PSF):	21	21
WIND ENCLOSURE:	Enclosed	Enclosed
GCpt:		
SEISMIC R:		
SEISMIC Cs:		
BASE SHEAR (KIPS):		

GENERAL NOTES

1. MATERIALS
- | ASTM DESCRIPTION       | MATERIALS                | ASTM DESCRIPTION       |
|------------------------|--------------------------|------------------------|
| STRUCTURAL STEEL PLATE | A529 / A572 / A1011      | ROOF AND WALL SHEETING |
| HOT ROLLED MILL SHAPES | A36 / A529 / A572 / A500 | BOLTS                  |
| HSS ROUND              | A500                     | CABLE                  |
| HSS RECTANGULAR        | A500                     | RODS                   |
| COLD FORM SHAPES       | A653 / A1011             |                        |
2. STRUCTURAL PRIMER NOTES:
- SHOP COAT PRIMER IS INTENDED TO PROTECT THE STEEL FRAMING FOR A SHORT PERIOD OF TIME. STORAGE IN EXTREME COLD TEMPERATURES OR WINTER SNOW CONDITIONS, INCLUDING TRANSPORTATION ON SALTED OR CHEMICALLY TREATED ROADS WILL ADVERSELY AFFECT THE DURABILITY AND LONGEVITY OF THE PRIMER. THE COAT OF SHOP PRIMER DOES NOT PROVIDE THE UNIFORMITY OF APPEARANCE, OR THE DURABILITY AND CORROSION RESISTANCE OF A FIELD APPLIED FINISH COAT OF PAINT OVER A SHOP PRIMER. MINOR ABRASIONS TO THE SHOP COAT PRIMER CAUSED BY HANDLING, LOADING, SHIPPING, UNLOADING AND ERECTION ARE UNAVOIDABLE AND ARE NOT THE RESPONSIBILITY OF THE METAL BUILDING MANUFACTURER. METAL BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR THE DETERIORATION OF THE PRIMER OR CORROSION THAT MAY RESULT FROM ATMOSPHERIC AND ENVIRONMENTAL CONDITIONS NOR THE COMPATIBILITY OF THE PRIMER TO ANY FIELD APPLIED COATING.
3. BUILDING ERECTION NOTES:
- THE GENERAL CONTRACTOR AND/OR ERECTOR IS RESPONSIBLE TO SAFELY AND PROPERLY ERECT THE METAL BUILDING SYSTEM IN CONFORMANCE WITH THESE DRAWINGS, OSHA REQUIREMENTS AND EITHER MBMA OR CSA S16 STANDARDS PERTAINING TO PROPER ERECTION. TEMPORARY SUPPORTS SUCH AS GUYS, BRACES, FALSEWORK, CRIBBING OR OTHER ELEMENTS FOR ERECTION ARE TO BE DETERMINED, FURNISHED AND INSTALLED BY THE ERECTOR.THESE SUPPORTS MUST SECURE THE STEEL FRAMING, OR PARTLY ASSEMBLED STEEL FRAMING, AGAINST LOADS COMPARABLE IN INTENSITY TO THOSE FOR WHICH THE STRUCTURE WAS DESIGNED IN ADDITION TO LOADS RESULTING FROM THE ERECTION OPERATION. SECONDARY WALL AND ROOF FRAMING (PURLINS, GIRTS AND/OR JOIST) ARE NOT DESIGNED TO FUNCTION AS A WORKING PLATFORM OR TO PROVIDE AS AN ANCHORAGE POINT FOR A FALL ARREST /SAFETY TIE OFF.\P
4. A325 & A490 BOLT TIGHTENING REQUIREMENTS:
- IT IS THE RESPONSIBILITY OF THE ERECTOR TO ENSURE PROPER BOLT TIGHTNESS IN ACCORDANCE WITH APPLICABLE REGULATIONS. FOR PROJECTS IN THE UNITED STATES SEE THE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS OR FOR PROJECTS IN CANADA, SEE THE CAN/CSA S16 LIMIT STATES DESIGN OF STEEL STRUCTURES FOR MORE INFORMATION.
- THE FOLLOWING CRITERIA MAY BE USED TO DETERMINE THE BOLT TIGHTNESS (I.E., "SNUG-TIGHT" OR "FULLY-PRETENSIONED"), UNLESS REQUIRED OTHERWISE BY LOCAL JURISDICTION OR CONTRACT REQUIREMENTS:
- A) ALL A490 BOLTS SHALL BE "FULLY-PRETENSIONED".
- B) ALL A325 BOLTS IN PRIMARY FRAMING (RIGID FRAMES AND BRACING) MAY BE "SNUG-TIGHT",EXCEPT AS FOLLOWS: "FULLY-PRETENSION" A325 BOLTS IF:
- a) BUILDING SUPPORTS A CRANE SYSTEM WITH A CAPACITY GREATER THAN 5 TONS.
- b) BUILDING SUPPORTS MACHINERY THAT CREATES VIBRATION, IMPACT OR STRESS-REVERSALS ON THE CONNECTIONS. THE ENGINEER-OF-RECORD FOR THE PROJECT SHOULD BE CONSULTED TO EVALUATE FOR THIS CONDITION.
- c) THE PROJECT SITE IS LOCATED IN A HIGH SEISMIC AREA FOR IBC-BASED CODES "HIGH SEISMIC AREA" IS DEFINED AS "SEISMIC DESIGN CATEGORY" OF "D", "E", OR "F". SEE THE "BUILDING LOADS" SECTION OF THIS PAGE FOR THE DEFINED SEISMIC DESIGN CATEGORY FOR THIS PROJECT.
- d) ANY CONNECTION DESIGNATED IN THESE DRAWINGS AS "A325-SC". "SLIP-CRITICAL (SC)" CONNECTIONS MUST BE FREE OF PAINT, OIL, OR OTHER MATERIALS THAT REDUCE FRICTION AT CONTACT SURFACES. GALVANIZED OR LIGHTLY RUSTED SURFACES ARE ACCEPTABLE.
- C) IN CANADA, ALL A325 AND A490 BOLTS SHALL BE "FULLY PRE-TENSIONED", EXCEPT FOR SECONDARY MEMBERS (PURLINS, GIRTS, OPENING FRAMING, ETC.) AND FLANGE BRACES.
- SECONDARY MEMBERS (PURLINS, GIRTS, OPENING FRAMING, ETC.) AND FLANGE BRACE CONNECTIONS MAY ALWAYS BE "SNUG-TIGHT", UNLESS INDICATED OTHERWISE IN THESE DRAWINGS.
5. GENERAL DESIGN NOTES:
- 1) ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS ARE DESIGNED IN ACCORDANCE WITH ANSI/AISC 360 "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" OR THE CAN/CSA S16 "LIMIT STATES DESIGN OF STEEL STRUCTURES", AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 2) ALL WELDING OF STRUCTURAL STEEL IS BASED ON EITHER AWS D1.1 "STRUCTURAL WELDING CODE ? STEEL" OR CAN/CSA W59 "WELDED STEEL CONSTRUCTION (METAL ARC WELDING)" . AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 3) ALL COLD FORMED MEMBERS ARE DESIGNED IN ACCORDANCE WITH ANSI/AISI 100 OR THE CAN/CSA S136 "SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS" , AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 4) ALL WELDING OF COLD FORMED STEEL IS BASED ON AWS D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL" OR CAN/CSA W59 "WELDED STEEL CONSTRUCTION (METAL ARC WELDING)", AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 5) THIS MANUFACTURING FACILITY IS IAS AC-472 ACCREDITED AND CAN/CSA A660 AND W47.1 CERTIFIED (IF APPLICABLE) FOR THE DESIGN AND MANUFACTURING OF METAL BUILDING SYSTEMS.
- 6) IF JOISTS ARE INCLUDED WITH THIS PROJECT, THEY ARE SUPPLIED AS A PART OF THE SYSTEMS ENGINEERED METAL BUILDING AND ARE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1928.758 OF OSHA SAFETY STANDARDS FOR STEEL ERECTION, DATED JANUARY 18, 2001.
6. GLOSSARY OF ABBREVIATIONS:
- |                              |                               |                                 |
|------------------------------|-------------------------------|---------------------------------|
| A.B. = ANCHOR BOLTS          | Max = MAXIMUM                 | Req'd = REQUIRED                |
| BS = BOTH SIDES              | M.B. = MACHINE BOLTS          | Rev. = REVISION                 |
| B.U. = BUILT-UP              | MBS = METAL BUILDING SUPPLIER | SIM = SIMILAR                   |
| Dia = DIAMETER               | Min = MINIMUM                 | SL = STEEL LINE                 |
| Flg = FLANGE                 | N/A = NOT APPLICABLE          | SLV = SHORT LEG VERTICAL        |
| F.S =FAR SIDE                | NIC = NOT IN CONTRACT         | TBD = TO BE DETERMINED          |
| Go. = GAUGE                  | N.S. = NEAR SIDE              | Typ = TYPICAL                   |
| H.S.B. = HIGH STRENGTH BOLTS | O.A.L. = OVERALL LENGTH       | U.N.O. = UNLESS NOTED OTHERWISE |
| Ht. = HEIGHT                 | O.C. = ON CENTER              |                                 |
| LLV = LONG LEG VERTICAL      | BS = BOTH SIDES               |                                 |
- ?? = PART MARK TO BE DETERMINED AND WILL BE UPDATED ON FOR CONSTRUCTION DRAWINGS



PROJECT NAME: HM BRANDT HARD WALLS

LISBON, WI

CUSTOMER NAME: REDHAWK METAL BUILDINGS, LLC

RICHFIELD, WI

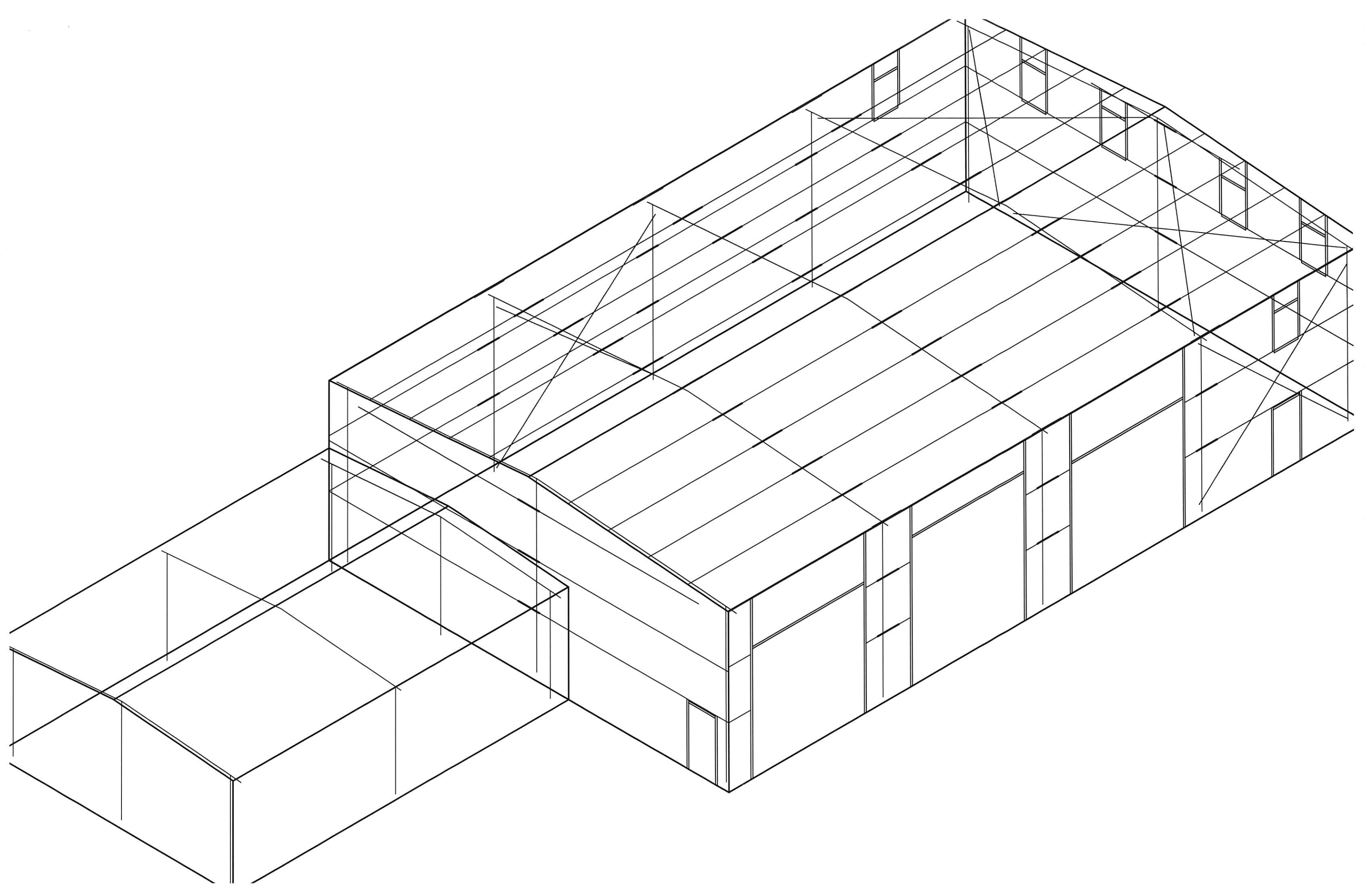
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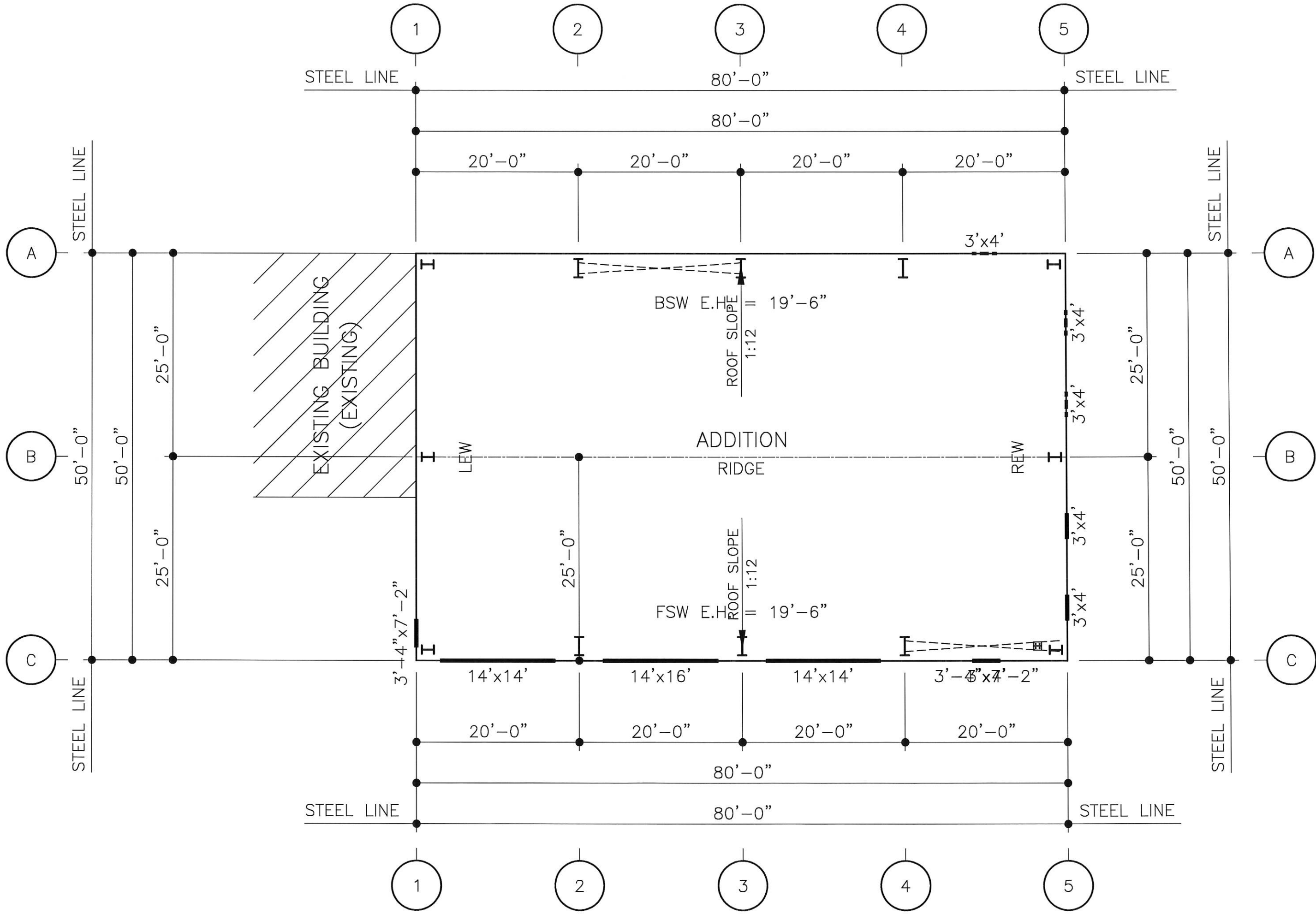
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RELIMINARY COVERSHEET DRAWING

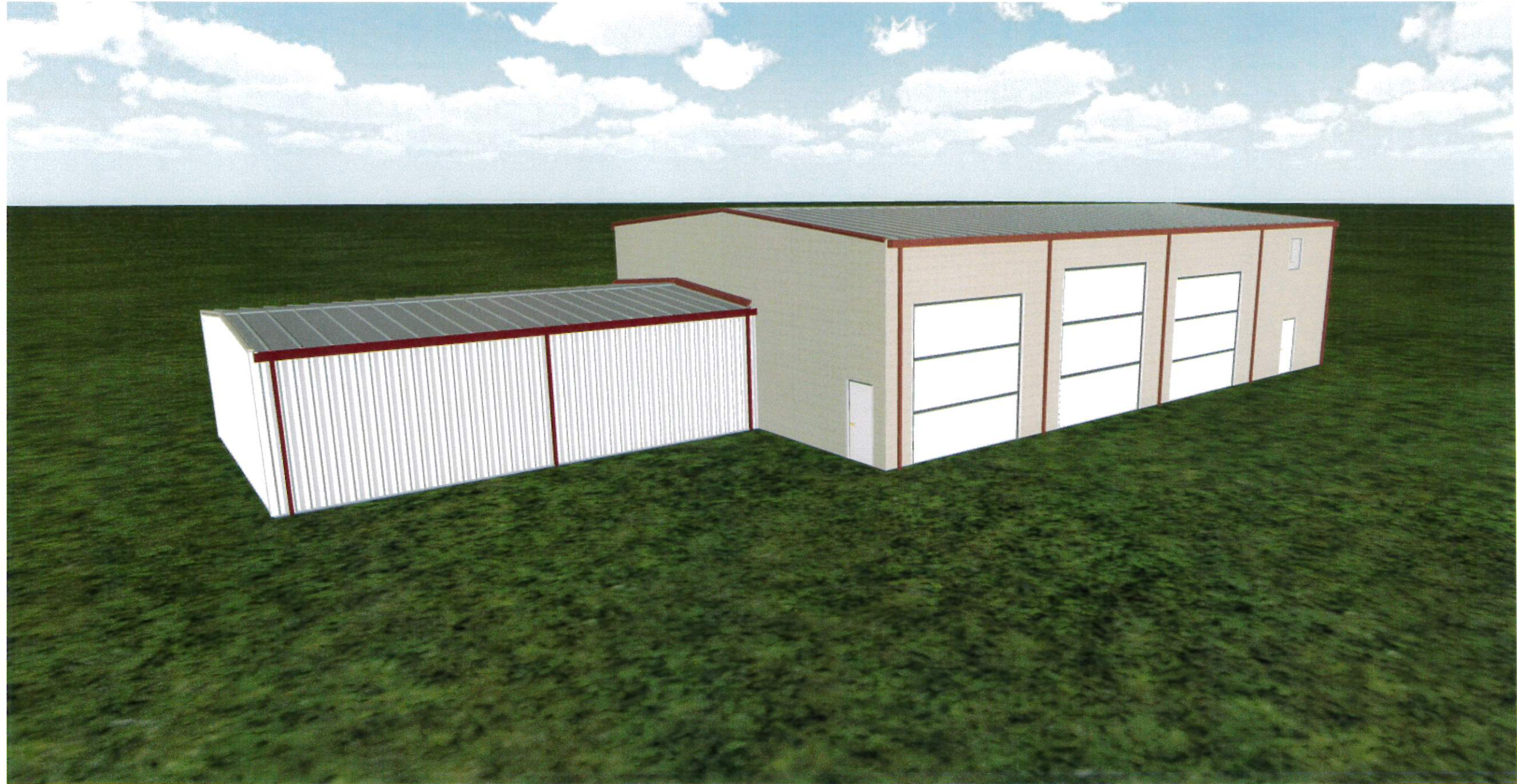
QUOTE NUMBER: J202237

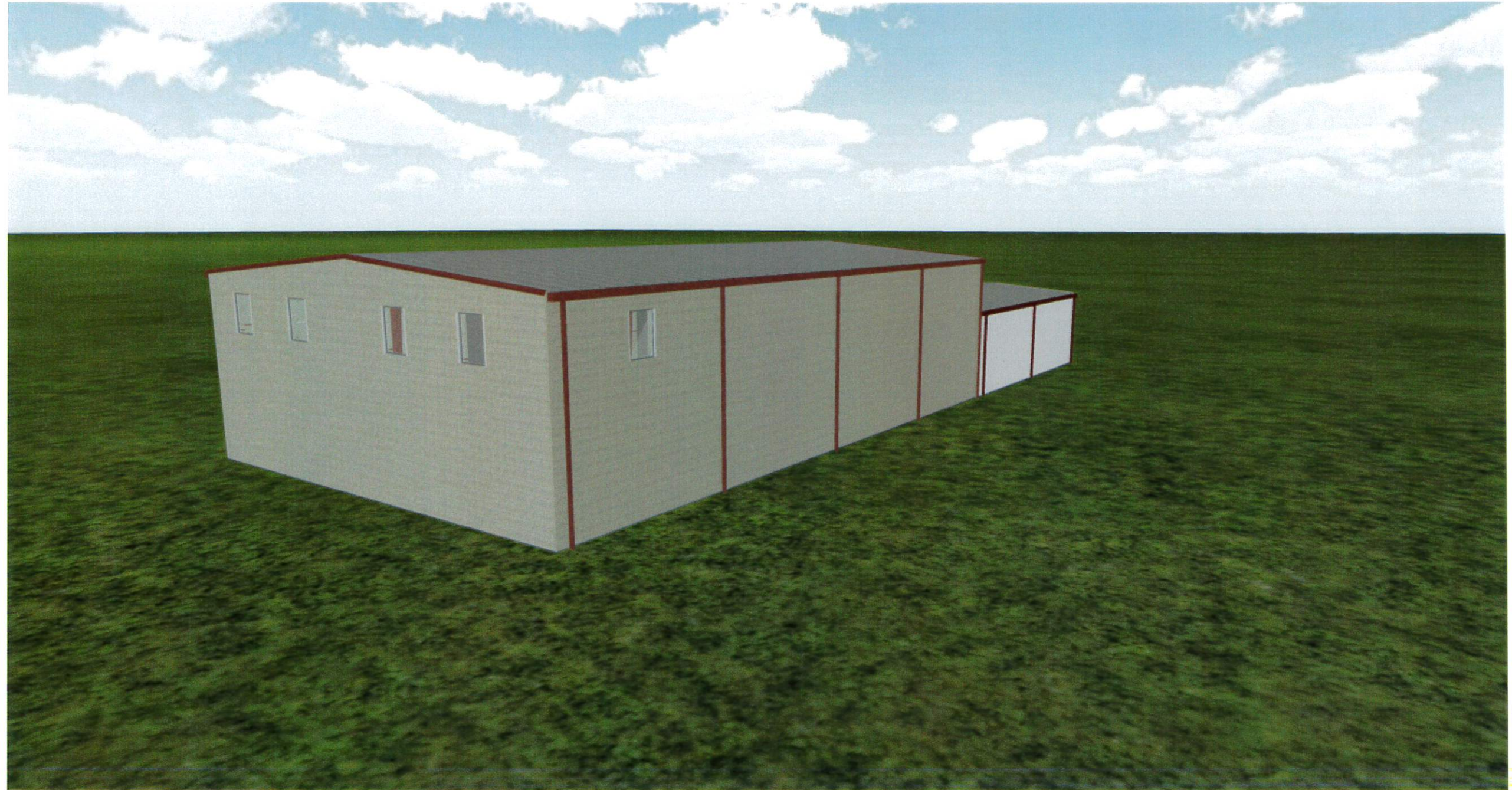
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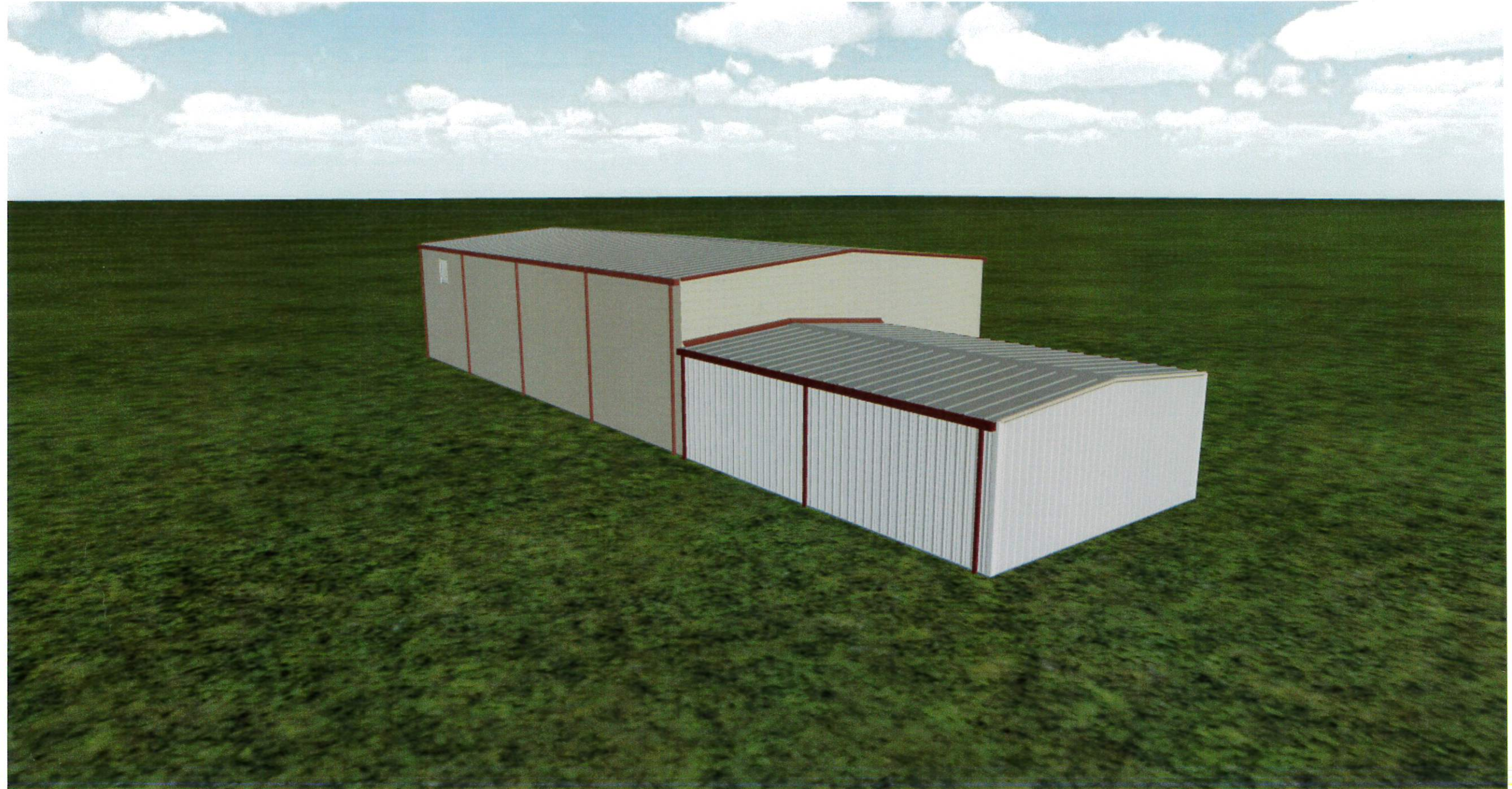




DO NOT USE FOR FINAL CONSTRUCTION	PROJECT NAME:	HM BRANDT HARD WALLS
	CUSTOMER NAME:	REDHAWK METAL BUILDINGS, LLC
	LOCATION:	LISBON, WI
	DATE:	5/13/2022 1:23 PM
RELIMINARY FLOOR PLAN	QUOTE NUMBER:	J202237
FP1		







The site location of the addition in green.

